

ZONING BOARD OF APPEALS

Town of Orangetown

20 Greenbush Road

Orangeburg, New York 10962

(914) 359-8410 (ex. 4331)

Date: January 9, 2024

TO: OBAPAE

Environmental Management and Engineering

✓ Rockland County Sewer District #1

New York State Dept. of Transportation

Palisades Interstate Park Commission

Orange and Rockland Utilities

Orangetown Highway

✓ Rockland County Drainage

✓ Rockland County Health

✓ Rockland County Planning

✓ Rockland County Highway

Review of Plans: McGlashin, 90 W. Madison Ave., Pearl River, NY

Section 68.19 Block 4 Lot 24 RG zone

This matter is scheduled for:

Chapter 43, RG District, Section 3.12, Group Q, Column 8 (Front Yard: 25' required, 13' proposed) and from Section 9.2 (Degree of Non-Conforming Bulk not to be increased) for an addition to an existing single-family residence. The premises are located at 90 W. Madison Avenue, Pearl River, New York and identified on the Orangetown Tax Map as Section 68.19, Block 4, Lot 24 in the RG zoning district.

Please review the information enclosed and provide comments. These comments may be mailed by February 21, 2024, e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: darbolino@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: February 21, 2024

() Comments attached

() No Comments at this time. Please send future correspondence for review.

() No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.

() This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, February 21, 2024** . **Kindly forward your completed review to this office by February 21, 2024.**

Reviewing Agency _____

Name _____ date: _____

Signature: _____

Thank you, Deborah Arbolino

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 1/8/24

Please check all that apply:	
<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-4253-23
ASSIGNED
INSPECTOR: Glenn
Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: McFlashin

Street Address: 90 West Madison Ave.
Pearl River, NY 10965

Tax Map Designation:
Section: 68.19 Block: 4 Lot(s): 24
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the South side of W. Madison Ave, approximately
40 feet of the intersection of Rt. 304 (S. Pearl St.), in the
Town of Orangetown in the hamlet/village of Pearl River.

Acreage of Parcel .19
School District Orangetown
Ambulance District Pearl River
Water District Verona

Zoning District RG
Postal District Pearl River
Fire District Pearl River
Sewer District Orangetown

Project Description: (If additional space required, please attach a narrative summary.)

2 story addition expanding the existing living
space and 2nd floor bedroom space.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 1/3/24 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: December 13, 2023 Section: 68.19 Block: 4 Lot: 24

Applicant: ~~McGashin~~ McGlashin

Address: 90 W Madison Ave, Pearl River, NY

RE: Application Made at: same

Referred For:

Chapter 43, §3.12, RG District, Column 8, Required Front Yard 25', with 13' proposed.
Chapter 43, §9.2 Degree of Non-Conforming Bulk not to be increased

Two variance required

Note: Lot originally CO, converted to RG September 2023

Comments:

Two Story Addition

Dear McGashin:

Please be advised that the Building Permit Application # p23-4253, which you submitted on 10.27.23, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com.

Sincerely,


Richard Oliver
Deputy Building Inspector

12/19/23


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

12/19/23

Date
Liz DeCort
Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
392489	68.19-4-17	Dan-Cor Realty Company LLC	95 S Pearl St,Pearl River, NY 10965
392489	68.19-4-18	Roque Auto Repair Inc	99 Rte 304,Pearl River, NY 10965
392489	68.19-4-19	Mario P Doriguzzi	60 N Serven St,Pearl River, NY 10965
392489	68.19-4-20	Daniel L Glim	117 S Pearl St,Pearl River, NY 10965
392489	68.19-4-21	John Hennessy	83 Hunt Ave,Pearl River, NY 10965
392489	68.19-4-22	Robert Weber	125 S Pearl St,Pearl River, NY 10965
392489	68.19-4-23.1	Erin A Burns	139 S Pearl St,Pearl River, NY 10965
392489	68.19-4-23.2	Erin A Burns	139 S Pearl St,Pearl River, NY 10965
392489	68.19-4-24	Dominic Mc Glashin	90 W Madison Ave,Pearl River, NY 10965
392489	68.19-4-25	Kevin H Stokes	52 Grotke Rd, Spring Valley, NY 10977
392489	68.19-4-26	Jonathan Soler	94 Elwin St,Pearl River, NY 10965
392489	68.19-4-27	Robert Edsall	88 Elwin St,Pearl River, NY 10965
392489	68.19-4-45.2	John O'Connor	89 Elwin St,Pearl River, NY 10965
392489	68.19-4-46	Daniel Donovan	99 Elwin St,Pearl River, NY 10965
392489	68.19-4-47	Michelle Donaghy	105 Elwin St,Pearl River, NY 10965
392489	68.19-4-48	Irene Tracey	113 Elwin St,Pearl River, NY 10965
392489	68.19-4-49	Sanjay Joshi	119 Elwin St,Pearl River, NY 10965
392489	68.19-4-50	Charles La Barbera Jr	125 Elwin St,Pearl River, NY 10965
392489	68.19-4-51	Peter J Tarsnane	99-101 Park Way,Pearl River, NY 10965
392489	68.19-4-52	Adam Nelson	103-105 Park Way,Pearl River, NY 10965
392489	68.19-4-53	Patricia Arpino	140 Dexter Av,Pearl River, NY 10965
392489	68.19-4-54	Jon Felz	132 Dexter Ave,Pearl River, NY 10965
392489	68.19-4-63	Christopher DiToma	98 S Magnolia St,Pearl River, NY 10965
392489	68.20-5-71	Metro North Commuter Railroad	347 Madison Ave,New York, NY 10017
392489	68.20-5-72	ADSS136 LLC	9 Rheinlander Ln,New City, NY 10956
392489	72.07-1-18	Nicola Caraccia	100 Park Way,Pearl River, NY 10965
392489	72.07-1-19	Caterina Fasano	157 S Pearl St,Pearl River, NY 10965

D E C I S I O N

ZBA #96-08

TO: Carolyn Anderson
90 West Madison Avenue
Pearl River, New York 10965

FROM: ZONING BOARD OF APPEALS: TOWN OF ORANGETOWN

RE: Appeal from denial by the building inspector. Application of Carolyn Anderson for erection of a 7' x 12' wood deck at the rear of a one family dwelling does not conform to the use regulations for the district in which it is located. Section 9.34, a non-conforming use shall not be extended nor enlarged except upon application to the Zoning Board of Appeals. Premises involved are situated on the south side of West Madison Avenue at the intersection of West Madison Avenue and Elwin Avenue in the hamlet of Pearl River, Rockland County, New York. Section 68.19, Block 4, Lot 24. This is a CO Zoning District.

To determine the environmental significance of the application pursuant to the requirements of the New York State Environmental Quality Review Act.

Heard by the ZONING BOARD OF APPEALS of the Town of Orangetown at a meeting held on Wednesday, January 17, 1996, at which time the Board made the following determination:

Carolyn Anderson appeared and testified.

The applicant presented the following:

1. A Short Environmental Assessment Form dated December 2, 1995.

2. Site plan not dated handdrawn by applicant.

The applicant stated that the access from the rear door of the residence was down a set of steps that were in disrepair and that it was an unsafe and hazardous condition to continue to use it as an exit. The proposed plan is to erect a deck off the back of the house and have steps exiting from the deck. The proposed deck would be 12 feet out from the house and 7 feet wide. The house is 101 years old and although it is in a Co Zone, it is surrounded by mostly residential homes.

The Board members made a personal inspection of the premises on Sunday January 14, 1996 and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of the State of New York was received.

The proposed action is classified as an "unlisted action" as defined by Section 617.2(K) of the State Environmental Quality Review Act ("SEQRA"). That no agency, other than the Orangetown Zoning Board of Appeals, will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRA. On motion by Ennio Munno, seconded by William Mowerson, the Board unanimously adopted the Resolution declaring the Board as Lead Agency.

The Zoning Board of Appeals, as Lead Agency, determined that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement ("DEIS") will not be prepared.

The reasons supporting this determination are as follows:
It will not have a significant impact upon the environment and a DEIS will not be prepared because the proposed action does not significantly affect air quality, surface or ground water quality, noise levels, drainage or existing traffic patterns, and it does not intensify the existing use of the property as "a legal non-conforming one-family residence" in a CO Zoning District. In addition, it will have no impact upon the aesthetics, agricultural or cultural resources of the neighborhood and no vegetation, fauna or wildlife species will be affected as a result of the proposed addition. Also the proposed action is consistent with the Town's Master Plan in that it is a pre-existing legal non-conforming use, and will not have any adverse economic or social impact upon the Town of Orangetown. On motion by Ennio Munno, seconded by William Mowerson, the Board unanimously adopted the Resolution.

FINDINGS OF FACT:

The Board, after personal observation of the property, hearing all the testimony and reviewing same, found as fact that:

1. The variances requested will not produce any undesirable change or detriment to nearby properties which is predominately residential.
2. The benefit sought cannot be achieved by some other method that is feasible for the applicant to pursue other than to replace an unsafe and hazardous condition.
3. The requested variances are modest requests and similar in design to other houses in the neighborhood, which although in a CO District, consists mostly of residential homes.
4. The steps are in such disrepair that it creates a hazardous and unsafe condition for the residents and the proposed construction will eliminate whatever hazards exist.

DECISION: In view of the foregoing and the testimony before the Board, the application is APPROVED:

The foregoing resolution was presented and moved by Ennio Munno, seconded by William Mowerson and carried as follows;; Ennio Munno, aye; William Mowerson, aye; Alfred Visalli, aye; and Dr. Mary Ann Quaranta, aye.

The Clerk of the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the Office of the Town Clerk.

DATED: January 24, 1996.

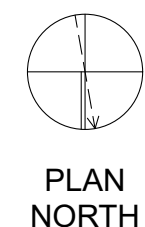
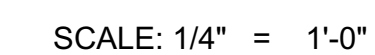
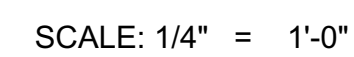
ZONING BOARD OF APPEALS

John A. Bosco, Clerk

DISTRIBUTION:

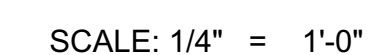
Applicant
Town Board Members
ZBA Members
Supervisor
Town Attorney
Deputy Town Attorney
OBZPAE
Building Inspector

Town Clerk
Highway Department
Assessor
Dept. of Environmental
Mgmt and Engineering
Supervising Clerk
PB, ZBA, ACABOR Chairmen

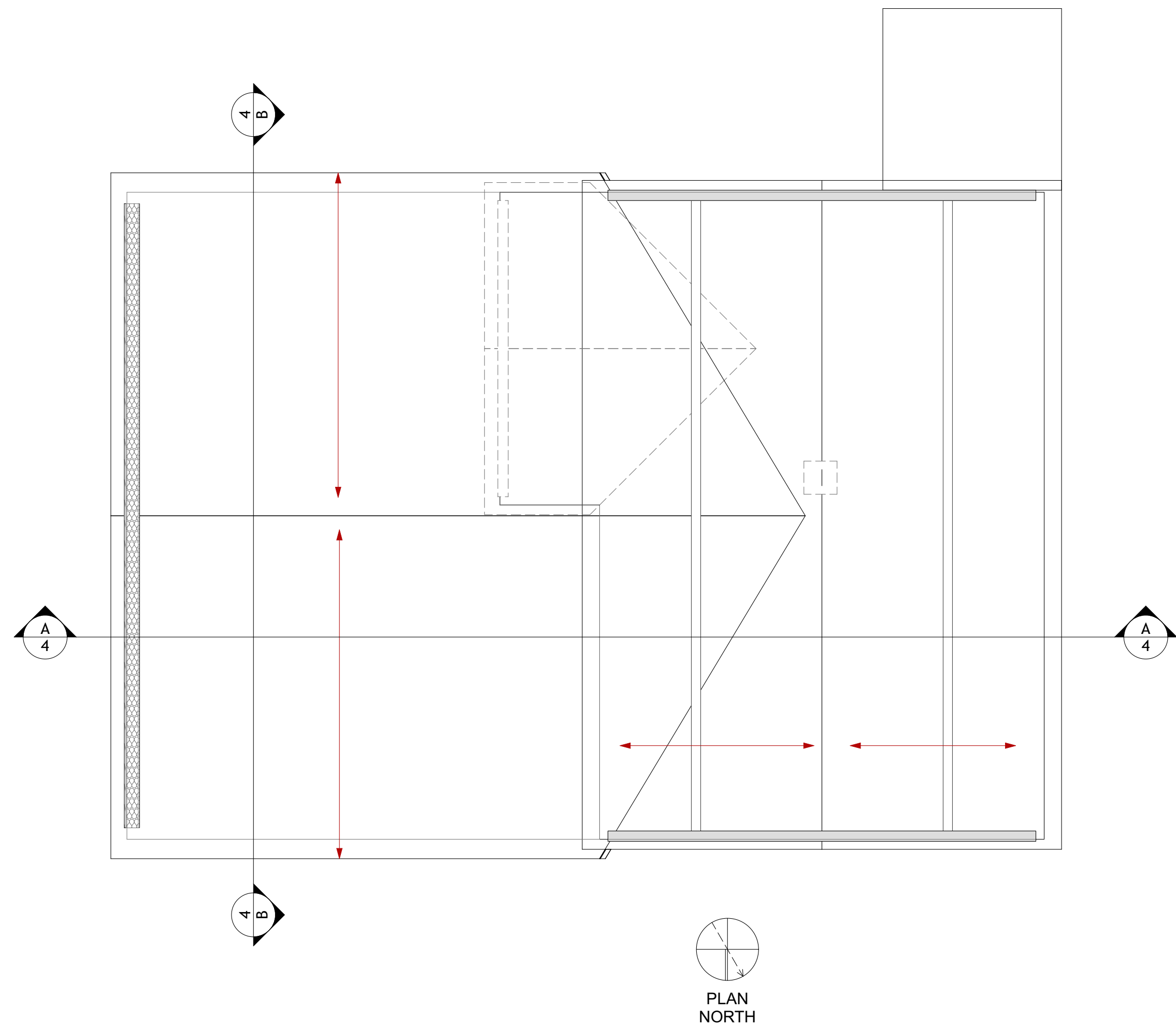


Prepared with information taken
from Tax Map Town of Orangetown
Rockland County, New York sheet
68.20 revised through February 28,
2019 and barely legible partial copy
of a survey, field measurements and
observations by the architect

Building Area		
Garage	177	177
First Floor	654	998
Second Floor	516	960
Total Building Area	1,347	2,135



1014



Roof Plan
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE			
Unit Dimensions	2'-9"×4'-0"	3'-1"×4'-8"	6'-2"×4'-8"
View from Opening Side			
Quantity	2	1	5
Fire Egress	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Tempered	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Notes			

Window Notes:

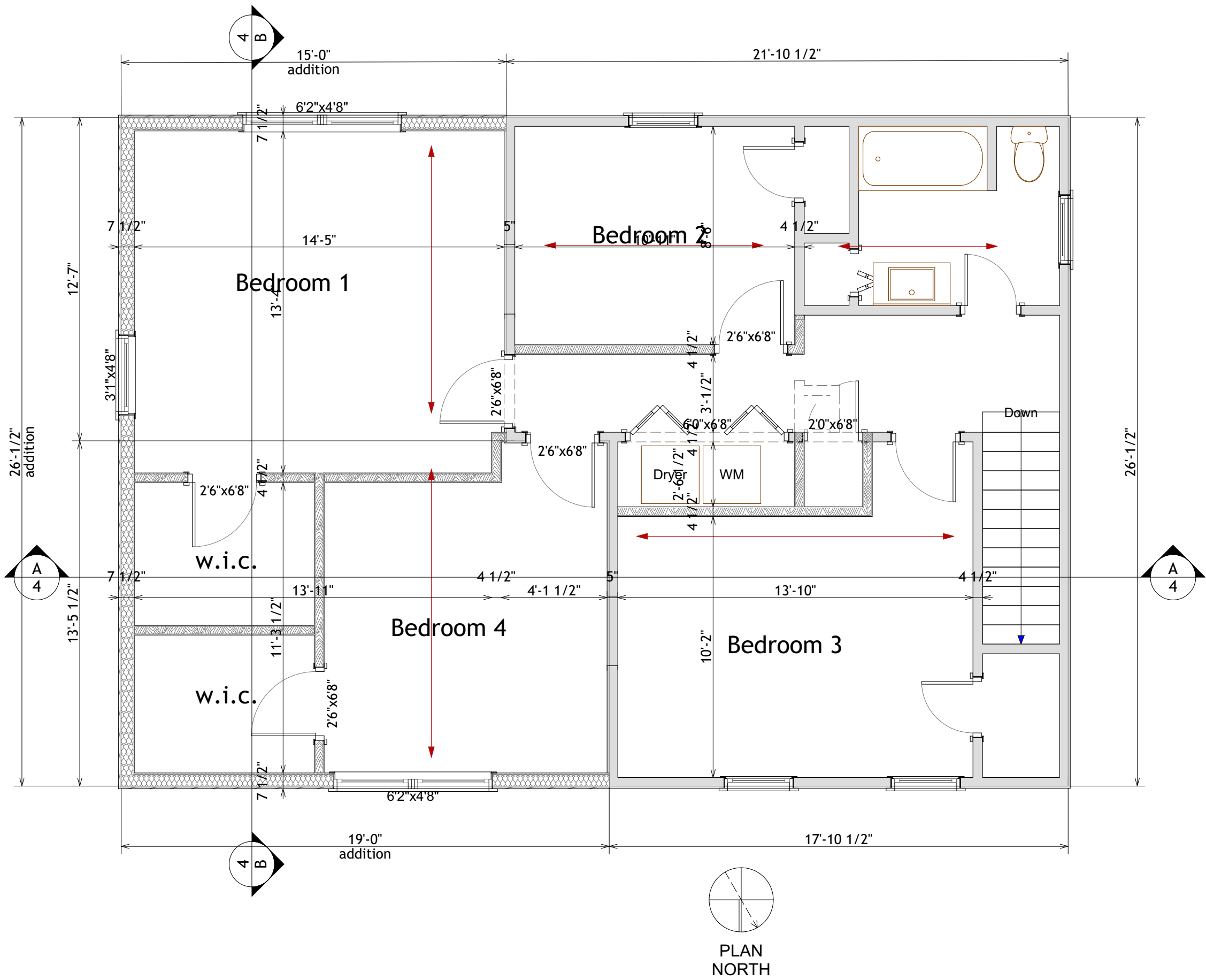
Windows indicated as "Egress Units" (at least one per new bedroom) shall meet the following dimensions:
Minimum net opening area 5.7 sf except grade floor openings 5.0 sf
Minimum net clear opening height 24"
Minimum net clear opening width 20"
Maximum sill height 44"
Egress windows shall be operational from inside without use of keys, tools or special knowledge.

Window sizes are based upon Anderson 400 Series standard sizes. Other window manufacturers may be substituted but contractor is responsible to verify that opening clearances comply.

When top of sill is less than 24" above the finished floor & greater than 72" above exterior grade the window shall be equipped with an ASTM F2090 opening control device that limits the opening to prevent the passage of a 4" sphere.

Windows in hazardous locations and windows indicated to be tempered shall have "Tempered Safety Glazing" and shall be marked as such by the manufacturer.

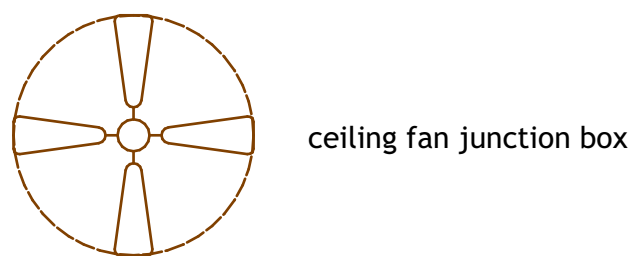
Glazing is double pane w/ Low-E coating, U Value = 0.30 maximum



Second Floor Plan
SCALE: 1/4" = 1'-0"

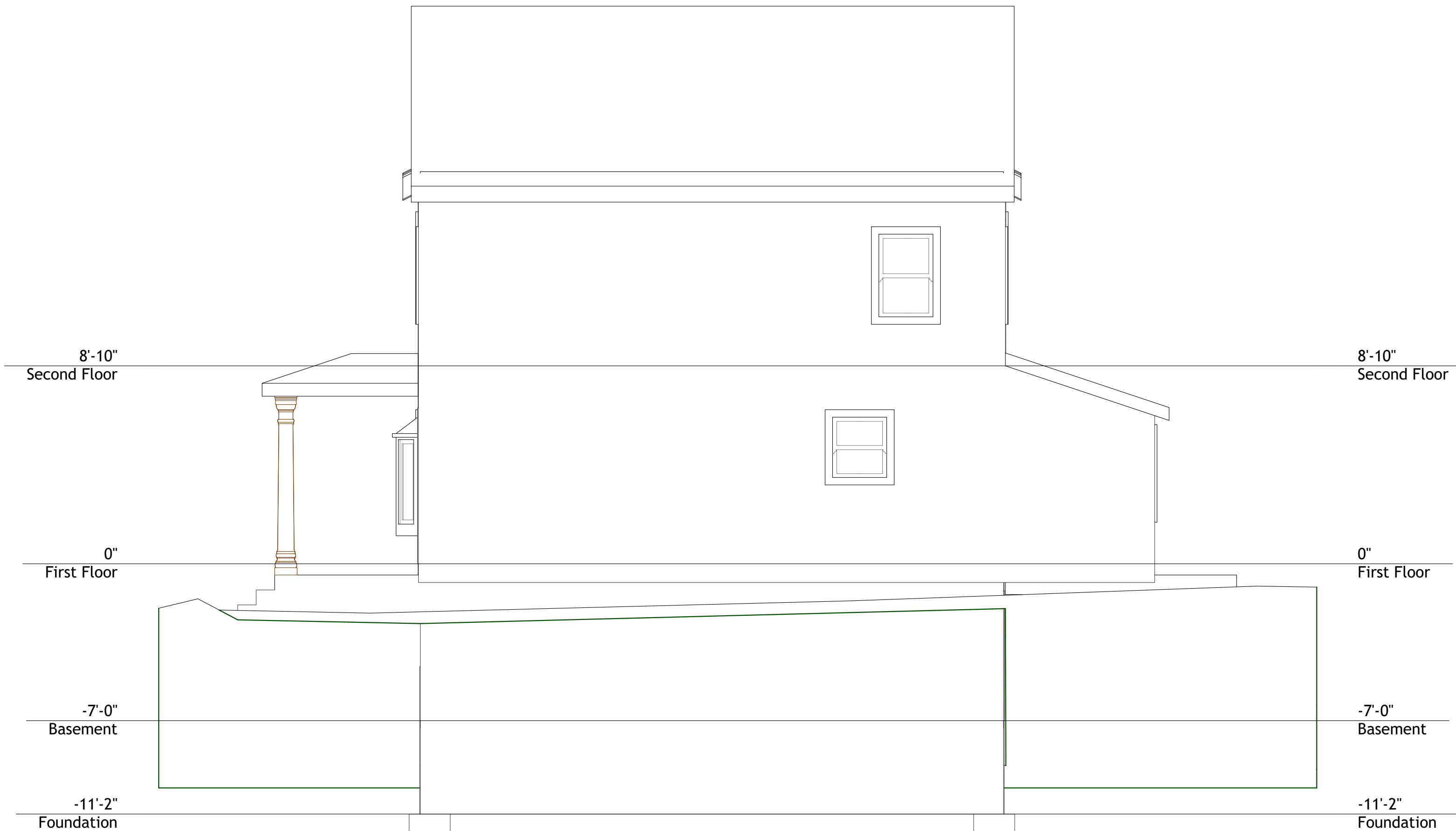
Electrical Symbols

- light switch
- duplex convenience outlet, 18" aff
- duplex convenience outlet w/ ground fault interrupt protection
- weather resistant duplex convenience outlet w/ gfi
- recessed LED light fixture, type IC rated for insulation contact
- wall mounted light fixture
- pendant light fixture
- keyless lamp holder
- exhaust fan/light combination unit vent to exterior
- exhaust fan vent to exterior
- smoke & carbon monoxide detector combination, hardwired & interconnected w/ battery back up



JOHN J
GILCHRIST
ARCHITECT
A Professional Corporation

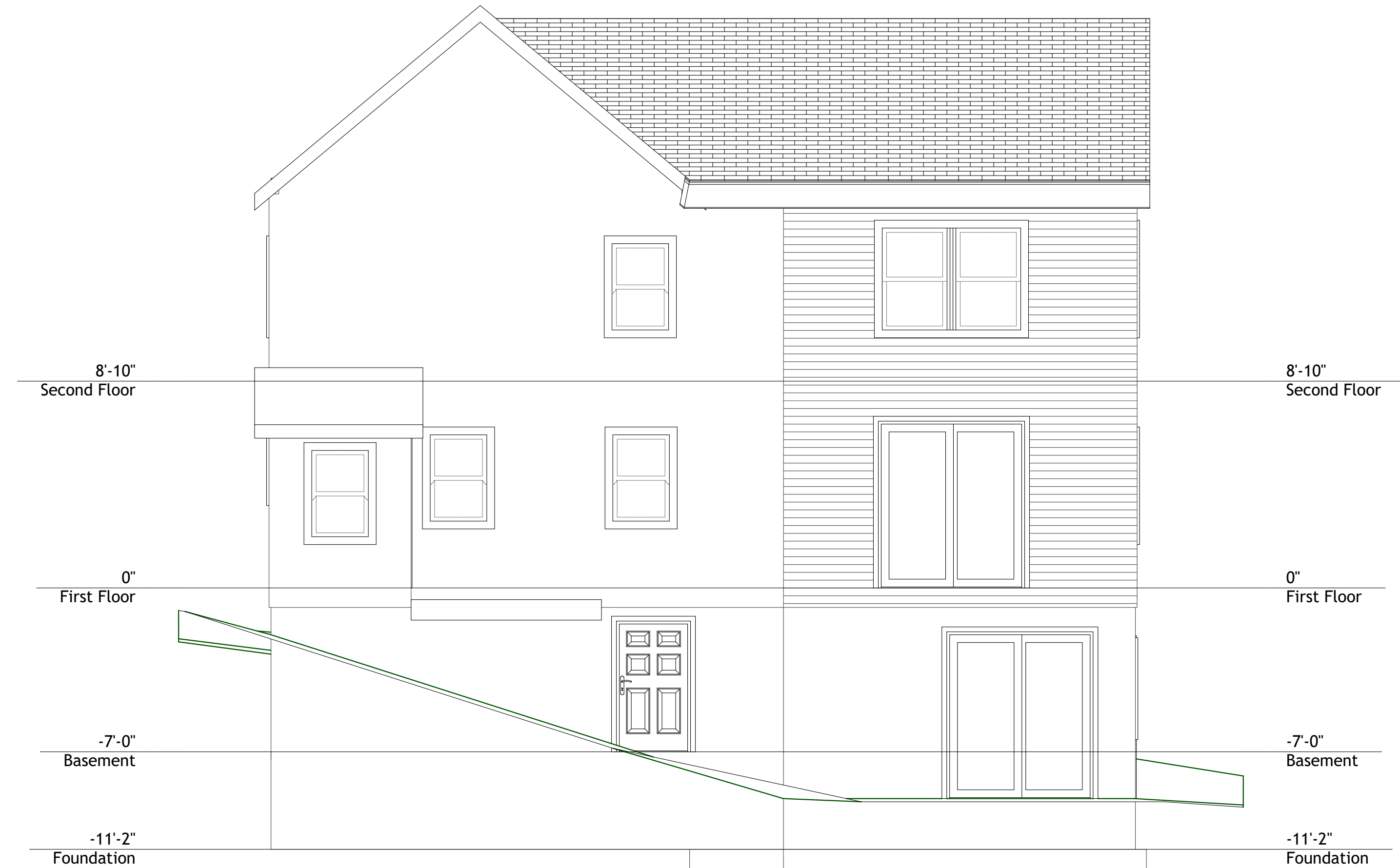
10-26-23	for review	JJG
Date	Issue	Initial
Residential Addition & Renovations for Mr & Mrs D McGlashin 90 West Madison Avenue Pearl River Town of Orangetown Rockland County New York		
Second Floor & Roof Plan		
John J Gilchrist Architect A Professional Corporation 8 Coach Lane Upper Saddle River New Jersey 07458 Phone 201 573 1877 JJGAPC@gmail.com		
1/4" = 1'-0"		McGlashin 2 of 4
230621		



Right Elevation
SCALE: 1/4" = 1'-0"



Front Elevation
SCALE: 1/4" = 1'-0"




Rear Elevation
SCALE: 1/4" = 1'-0"



Left Elevation
SCALE: 1/4" = 1'-0"

JOHN J
GILCHRIST
ARCHITECT
A Professional Corporation

10-26-23	for review	JJG
Date	Issue	Initial
Residential Addition & Renovations for Mr & Mrs D McGlashin 90 West Madison Avenue Pearl River Town of Orangetown Rockland County New York		
Elevations		
 NJ 10567 NY 024343-1		
John J Gilchrist Architect A Professional Corporation 8 Coach Lane Upper Saddle River New Jersey 07458 Phone 201 573 1877 JJGAPC@gmail.com		
1/4" = 1'-0"	McGlashin 3 of 4 230621	



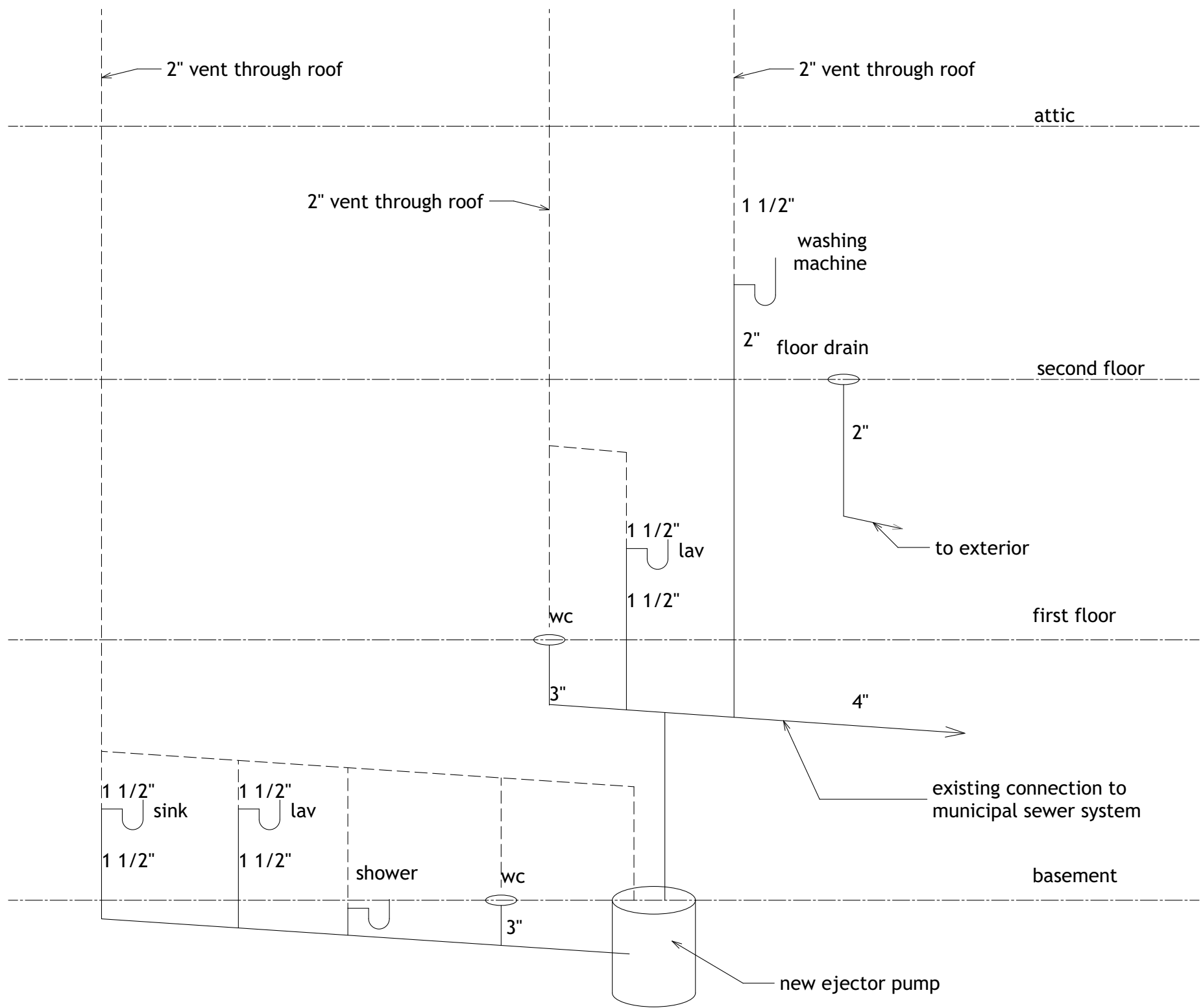
Section A

SCALE: 1/4" = 1'-0"



Section B

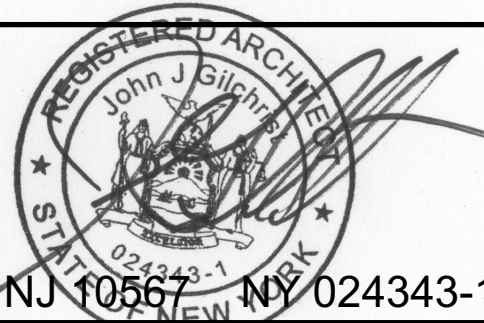
SCALE: 1/4" = 1'-0"



Sanitary Riser Diagram

SCALE: 1/4" = 1'-0"

JOHN J
GILCHRIST
ARCHITECT
A Professional Corporation

10-26-23	for review	JJG
Date	Issue	Initial
Residential Addition & Renovations for Mr & Mrs D McGlashin 90 West Madison Avenue Pearl River Town of Orangetown Rockland County New York		
Sections		
 NJ 10567 NY 024343-1		
John J Gilchrist Architect A Professional Corporation 8 Coach Lane Upper Saddle River New Jersey 07458 Phone 201 573 1877 JJGAPC@gmail.com		
1/4" = 1'-0"		McGlashin 4 of 4
230621		