

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

| | |
|--|--|
| <p><input type="checkbox"/> Commercial</p> <p><input checked="" type="checkbox"/> Planning Board</p> <p><input checked="" type="checkbox"/> Zoning Board of Appeals</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Number of Lots</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Special Permit</p> <p><input checked="" type="checkbox"/> Variance</p> <p><input type="checkbox"/> Performance Standards Review</p> <p><input type="checkbox"/> Use Variance</p> <p><input type="checkbox"/> Other (specify): _____</p> | <p><input type="checkbox"/> Residential</p> <p><input type="checkbox"/> Historical Board</p> <p><input type="checkbox"/> Architectural Board</p> <p><input type="checkbox"/> Consultation</p> <p><input type="checkbox"/> Pre-Preliminary/Sketch</p> <p><input type="checkbox"/> Preliminary</p> <p><input type="checkbox"/> Final</p> <p><input type="checkbox"/> Interpretation</p> |
|--|--|

PERMIT#: BLDR-4324-23

ASSIGNED

INSPECTOR: Ken

Referred from Planning Board: YES / NO

If yes provide date of Planning Board meeting: _____

Project Name: Addition & Alterations for McGinnis Residence

Street Address: 151 Fairview Avenue Pearl River NY 10965

Tax Map Designation:

Section: 68.19 Block: 3 Lot(s): 59

Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the Right side of Fairview Avenue, approximately
300 feet of the intersection of South Magnolia St, in the
Town of Orangetown in the hamlet/village of Pearl River.

Acreage of Parcel .319 acres

School District Pearl River

Ambulance District Pearl River

Water District Orangetown

Zoning District R-15

Postal District Pearl River

Fire District Pearl River

Sewer District Orangetown

Project Description: *(If additional space required, please attach a narrative summary.)*

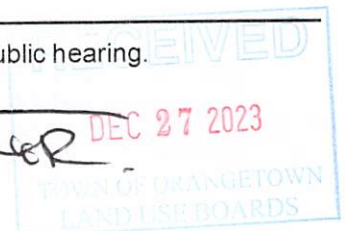
Existing Residence converted from 1 story to 1 1/2 story with new second floor

and new front porch and new side entry, as per the attached documents.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 12/21/23 Applicant's Signature: _____

ON BEHALF OF OWNER



APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? no _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: December 15, 2023 Section: 68.19 Block: 3 Lot: 59

Applicant: McGinnis

Address: 151 Fairview Ave, Pearl River, NY

RE: Application Made at: same

Referred For:

Chapter 43, Table 3.12 R-15 District, Column 4, Maximum FAR 20% with 23.58% proposed.
Column 9, Minimum Side Yard 15' (Chapter 43, §5.21(c) for undersized lot applies) with 5' proposed.
Chapter 43, §9.2 Degree of Non-Conforming Bulk not to be increased

Three Variances required

Comments:


Side Yard and FAR variance

Variance for Increase in Non-conforming Bulk

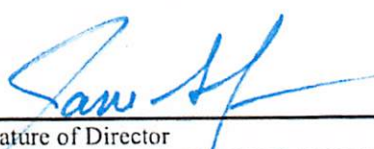
Dear McGinnis:

Please be advised that the Building Permit Application # p23-4324, which you submitted on November 14, 2023, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com.

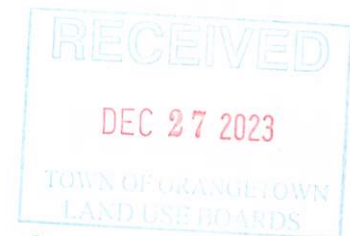
Sincerely,


Richard Oliver
Deputy Building Inspector

12/19/24


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

CC: Date
Liz DeCort
Debbie Arbolino



12/19/23

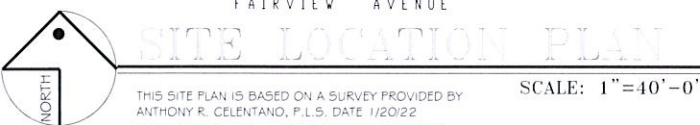
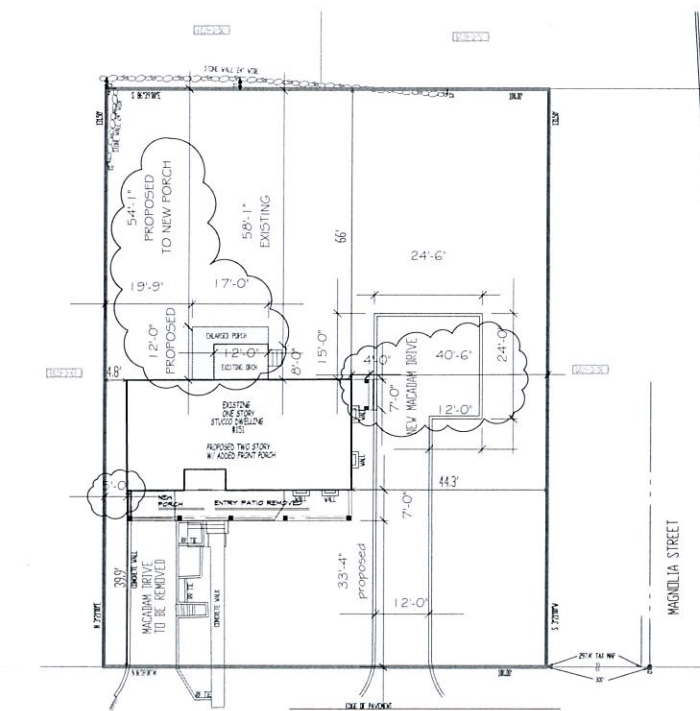
| SWIS | PRINT KEY | NAME | ADDRESS |
|--------|------------|-------------------------|---|
| 392489 | 68.19-3-35 | Christine Carmody | 137 W Park Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-36 | Dorothy A Satenberg | 141 West Park Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-37 | Kenneth Mc Carthy | 155 West Park Av,Pearl River, NY 10965 |
| 392489 | 68.19-3-38 | William Dillane | 159 W Park Av,Pearl River, NY 10965 |
| 392489 | 68.19-3-48 | Michael Ingenito | 164 West Park Av,Pearl River, NY 10965 |
| 392489 | 68.19-3-49 | Patrick Feeney | 160 W Park Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-50 | Francis J Miller | 156 W Park Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-51 | Gregory Ehrie | 146 West Park Av,Pearl River, NY 10965 |
| 392489 | 68.19-3-52 | John Depinto | 138 W Park Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-53 | Joan Purcell | 57 S Magnolia St,Pearl River, NY 10965 |
| 392489 | 68.19-3-54 | Kevin J Helmke | 61 So Magnolia St,Pearl River, NY 10965 |
| 392489 | 68.19-3-55 | Lorriane Longing | 65 So Magnolia St,Pearl River, NY 10965 |
| 392489 | 68.19-3-56 | Joseph M Mc Morrow | 71 S Magnolia St,Pearl River, NY 10965 |
| 392489 | 68.19-3-57 | James M Lynch | 137 Fairview Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-58 | Patrick Coyne | 143 Fairview Av,Pearl River, NY 10965 |
| 392489 | 68.19-3-59 | Elisha Mc Ginnis | 151 Fairview Ln,Pearl River, NY 10965 |
| 392489 | 68.19-3-60 | Brian Maye | 155 Fairview Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-61 | John Brosnan | 159 Fairview Av,Pearl River, NY 10965 |
| 392489 | 68.19-3-62 | John T Conway | 165 Fairview Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-67 | James Scanlon | 160 Fairview Av,Pearl River, NY 10965 |
| 392489 | 68.19-3-68 | Scott S Raumberger | 154 Fairview Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-69 | Robert G Mahon | 150 Fairview Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-70 | Robert Perretta | 144 Fairview Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-71 | Paul Burke | 140 Fairview Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-72 | Jessica De Los Santos | 85 S Magnolia St,Pearl River, NY 10965 |
| 392489 | 68.19-3-73 | Peter Morris | 87 So Magnolia St,Pearl River, NY 10965 |
| 392489 | 68.19-3-75 | Francis Gannon | 133 Springsteen Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-76 | Eugene Finnigan | 145 Springsteen Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-77 | John Casella | 149 Springsteen Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-78 | Christopher J Tighe III | 155 Springsteen Ave,Pearl River, NY 10965 |
| 392489 | 68.19-3-79 | Joseph Signorile | 165 Springsteen Ave,Pearl River, NY 10965 |



LIST OF DRAWINGS

| SHEET | DESCRIPTION |
|-------|---|
| A-0 | SITE LOCATION PLAN, NOTES, LIST OF DRAWINGS, ELEVATIONS |
| A-1 | FOUNDATION PLAN |
| A-2 | FIRST FLOOR PLAN |
| A-3 | SECOND FLOOR PLAN - ATTIC - BALANCE FUTURE |
| A-4 | ELECTRICAL ALLOWANCE PLANS |
| A-5 | SIDE ELEVATION AND DETAILS |
| A-6 | DETAILS |
| A-7 | WALL SECTION |
| A-8 | SPECIFICATIONS |
| A-9 | SPECIFICATIONS |
| A-10 | SPECIFICATIONS |

SITE PLAN GENERAL NOTES



THIS SITE PLAN IS BASED ON A SURVEY PROVIDED BY ANTHONY R. CELENTANO, P.L.S., DATE 1/20/22. THE DESIGNER SHALL ASSUME NO RESPONSIBILITY FOR ACCURACY OF ORIGINAL SURVEY. REFER TO ORIGINAL SURVEY FOR ALL ADDITIONAL INFORMATION.

SCALE: 1"=40'-0"

SITE DATA
ZONING BULK TABLE

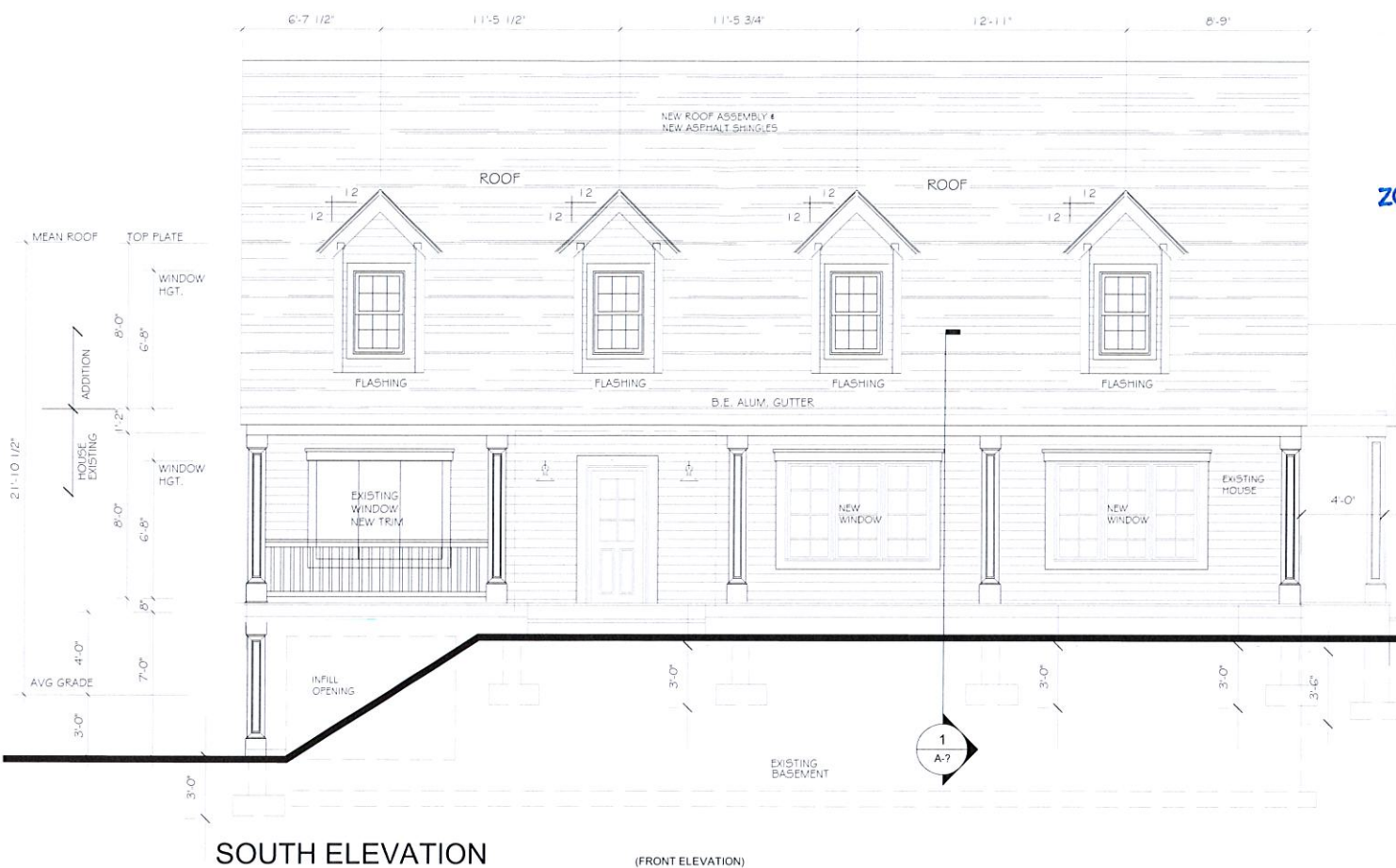
| REQUIRED | EXISTING | PROPOSED | |
|--|--|--|-----------------------------------|
| LOT REQUIRED 15,000 S.F. | EXISTING LOT AREA= 13,150 SQ. FT. (.319 ACRES) | EXISTING LOT AREA= 13,150 SQ. FT. (.319 ACRES) | (ENC) |
| FAR - .20 (20%) | EXISTING FAR - 1,373 / 13,150 = .1044 (10.44%) | PROPOSED FAR - 3,101 / 13,150 = .2358 (23.58%) | VARIANCE |
| FRONT YARD SET BACK: 30'-0" | 39.9' | 33.33' | |
| SIDE YARD SET BACK: 20'-0" (15'-0" allowed reduction 5.21c) | 4.8' EXISTING HOUSE (15'-0" allowed reduction 5.21c) | 4.8' EXISTING HOUSE / NEW PORCH 5.0' (15'-0" allowed reduction 5.21c) | (ENC) / NEW PORCH 10'-0" VARIANCE |
| COMBINED SIDE YARD SET BACK: 50'-0" | 4.8' + 44.3' = 49.1' (30'-0" allowed reduction 5.21c) | 4.8' + 40.5' = 45.3' (30'-0" allowed reduction 5.21c) | |
| REAR YARD SET BACK: 35'-0" | 58.1' EXISTING | 54.08' PROPOSED | |
| LOT WIDTH: 100'-0" | 100'-0' EXISTING | EXISTING - NO CHANGE | |
| STREET FRONTAGE: 75'-0" | 100.0' EXISTING | EXISTING - NO CHANGE | |
| 20'-0" (5.21e 20'-0" Max.) | (+/-) 16'-0' EXISTING | 20'-0' PROPOSED W/ AVERAGE GRADE | |

EXISTING F.A.R. DATA

EXISTING FIRST AND REAR PORCH - 1,373 S.F. S.F.
EXISTING FAR - 1,373 / 13,150 = .1044 (10.44%)

PROPOSED F.A.R. DATA

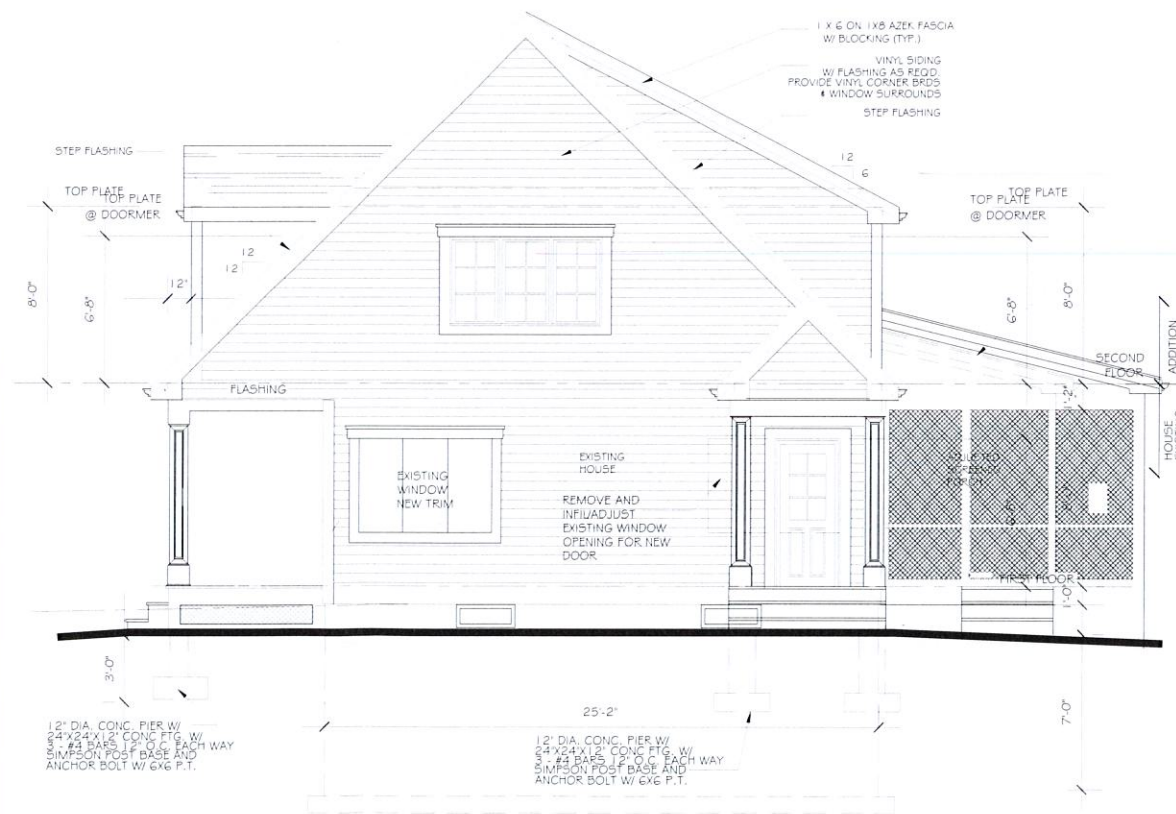
EXISTING FIRST AND REAR PORCH - 1,328 S.F. S.F.
PROPOSED PORCH - 460 S.F. S.F.
PROPOSED SECOND FLOOR - 1,313 S.F. S.F.
PROPOSED FAR - 3,101 / 13,150 = .2358 (23.58%)



SOUTH ELEVATION

(FRONT ELEVATION)

SCALE: 1/4"= 1'-0"



EAST ELEVATION

(SIDE ELEVATION)

SCALE: 1/4"= 1'-0"

Town of Orangetown
MEETING OF:

FEB 7 2024

ZONING BOARD OF APPEALS

It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way if an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal of the architect, and the signature and the date of such alteration, and a specific description of the alteration.

Karl Ackermann, AIA NCARB
Architect

159 East Central Avenue
Pearl River, New York 10965
(845) 732-0702 karl@karlarchitect.com

Residential & Commercial Architecture and Green Design
New York & New Jersey Licensed Architect

NYS, E.C. 03765, Registered through Date April 30, 2026
NJ Lic. 134814205

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Addition & Alteration For
Mr. & Mrs. McGinnis Residence
151 Fairview Ave Pearl River NY 10965 - 69.19.3-59

| Issue Date: | Revisions |
|-------------|------------------------------|
| 1 | 4/29/22 Client Review |
| 2 | 11/14/23 BUILDING PERMIT |
| 3 | 11/17/23 SITE BULK REVISIONS |
| 4 | 12/1/23 SITE BULK REVISIONS |

Sheet No.

A-0

NOTE:

PLANS SUBMITTED FOR
REVIEW AND PROCESS TO
ZONING BOARD OF APPEALS
(VARIANCE REQUIRED)
NOT FOR CONSTRUCTION

| TABLE R301.8 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (in pounds per square foot) | |
|--|------------------|
| USE | LIVE LOAD |
| Uninhabitable attics without storage ^a | 10 |
| Uninhabitable attics with limited storage ^{a, b} | 20 |
| Habitable attics and attics served with fixed stairs | 30 |
| Balconies (exterior) and decks ^c | 40 |
| Fire escapes | 40 |
| Garages and handtrucks ^d | 200 ^e |
| Guard m/s components ^f | 50 ^g |
| Passenger vehicle garages ^h | 50 ^g |
| Rooms other than sleeping rooms | 40 |
| Sleeping rooms | 30 |
| Stairs | 40 ⁱ |

For 5: 1 pound per square foot = 0.247 kPa; 1 square inch = 6.45 mm²; 1 pound = 4.45 N.

a. Elevated garage floor shall be capable of supporting a 2,000-pound load applied over a 35-square-inch area.

b. Uninhabitable attics without storage are those where the clear height between joists and rafters is not more than 42 inches, or where there are no two or more adjacent trusses with web configurations capable of supporting an assumed rectangular 42 inches in height by 24 inches in width, or greater, within the plane of the trusses. This live load need not be assumed to act concurrently with any other live load requirements.

c. Individual steel beams shall be designed for the uniformly distributed live load acting over an area of 4 square inches, whichever produces the greater stress.

d. A single concentrated load applied in any direction at any point along the top.

e. See Section R301.1 for areas where this is not required.

f. Guard m/s components, all those except the handrails, balusters and panel fills shall be designed to withstand a horizontally applied normal load of 50 pounds or an area equal to 1 square foot. This load need not be assumed to act concurrently with any other live load requirement.

g. Uninhabitable attics with limited storage are those where the clear height between joists and rafters is not greater than 42 inches, or where there are two or more adjacent trusses with web configurations capable of supporting an assumed rectangular 42 inches in height by 24 inches in width, or greater, within the plane of the trusses. This live load need only be applied to those portions of the joists or truss bottom chords where all of the following conditions are met:

- The attic area is accessible from an opening not less than 20 inches in width by 30 inches in length, or both, located where the clear height in the attic is not less than 30 inches.
- The slope of the joists or truss bottom chords are not greater than 2 inches vertical in 12 inches horizontal.
- Required insulation depth is less than the joist or truss bottom chord member depth.

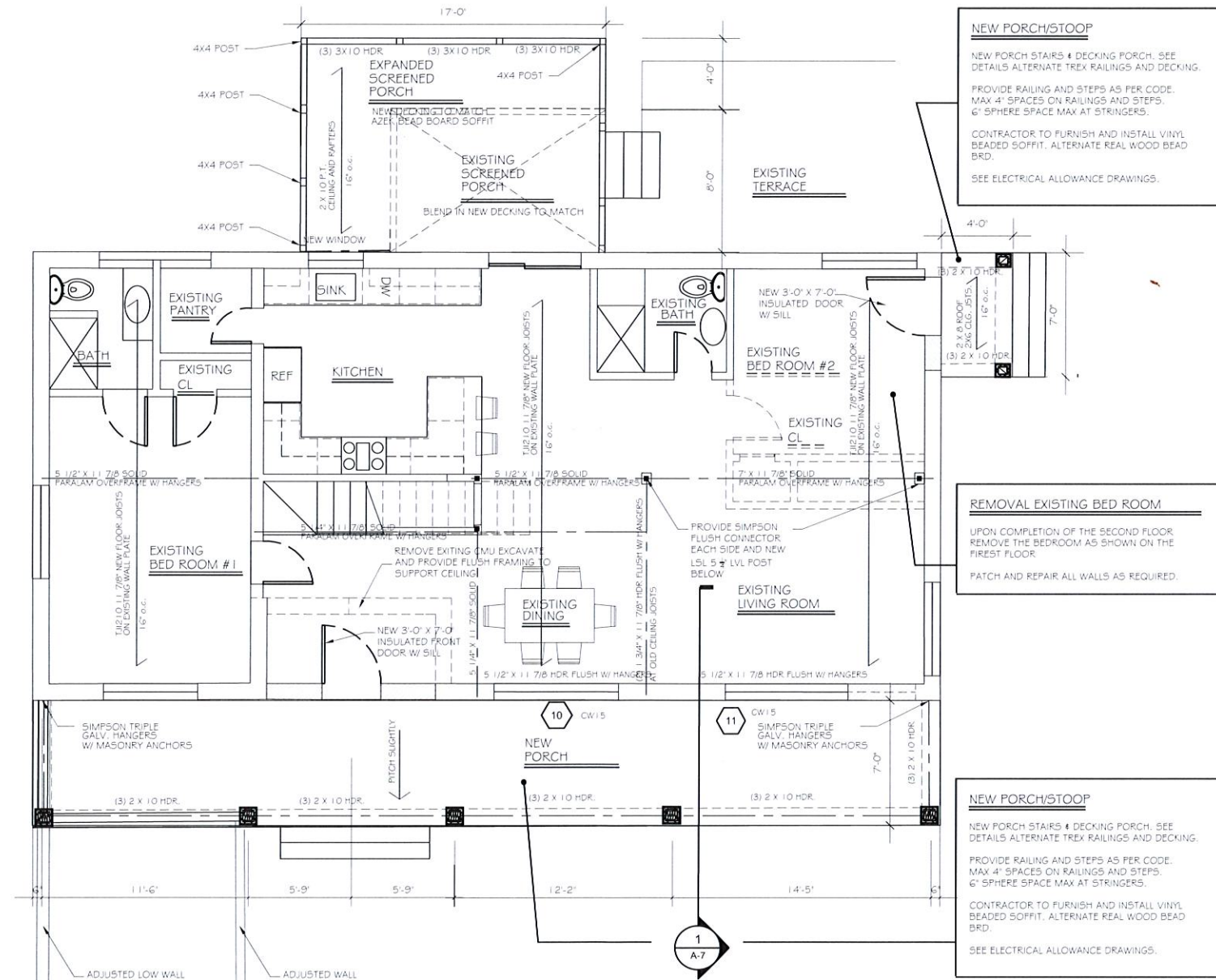
The remaining portions of the joists or truss bottom chords shall be designed for a uniformly distributed live load of not less than 10 pounds per square foot.

h. Decking used as handrail balusters and panels shall be designed with a safety factor of 4. The safety factor shall be applied to each of the concentrated loads applied to the top of the rail and to the load on the rail components. These loads shall be determined independent of one another, and shall be determined not to occur with any other live load.

| TABLE R302.1 (1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA | | | | | | | | | |
|--|------------|-------------|------------|----------------|------------|--------------|------------------|--------------|-----------------|
| GROUND SNOW LOAD | Snow Depth | Temperature | Wind Speed | R-Value Design | Seismicity | Flood Hazard | Ice Accumulation | Flood Hazard | Wind Mitigation |
| | | | | | | | | | |
| 30 | 115 | YES | YES | NO | 8 | Severe | 36 | Medium | 15 |

For 5: 1 pound per square foot = 0.247 kPa; 1 inch per hour = 2.54 mm/h.

a. Insulating this requires a higher design temperature or greater design wind speed, the designer shall specify the required design temperature and design wind speed. The design temperature shall be determined from ASHRAE 90.1-2010, Table 5.5.1, Table 5.5.2, Table 5.5.3, Table 5.5.4, Table 5.5.5, Table 5.5.6, Table 5.5.7, Table 5.5.8, Table 5.5.9, Table 5.5.10, Table 5.5.11, Table 5.5.12, Table 5.5.13, Table 5.5.14, Table 5.5.15, Table 5.5.16, Table 5.5.17, Table 5.5.18, Table 5.5.19, Table 5.5.20, Table 5.5.21, Table 5.5.22, Table 5.5.23, Table 5.5.24, Table 5.5.25, Table 5.5.26, Table 5.5.27, Table 5.5.28, Table 5.5.29, Table 5.5.30, Table 5.5.31, Table 5.5.32, Table 5.5.33, Table 5.5.34, Table 5.5.35, Table 5.5.36, Table 5.5.37, Table 5.5.38, Table 5.5.39, Table 5.5.40, Table 5.5.41, Table 5.5.42, Table 5.5.43, Table 5.5.44, Table 5.5.45, Table 5.5.46, Table 5.5.47, Table 5.5.48, Table 5.5.49, Table 5.5.50, Table 5.5.51, Table 5.5.52, Table 5.5.53, Table 5.5.54, Table 5.5.55, Table 5.5.56, Table 5.5.57, Table 5.5.58, Table 5.5.59, Table 5.5.60, Table 5.5.61, Table 5.5.62, Table 5.5.63, Table 5.5.64, Table 5.5.65, Table 5.5.66, Table 5.5.67, Table 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EXISTING / PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NEW PORCH/STOOP
NEW PORCH STAIRS & DECKING PORCH. SEE DETAILS ALTERNATE TREX RAILINGS AND DECKING.
PROVIDE RAILING AND STEPS AS PER CODE. MAX 4" SPACES ON RAILINGS AND STEPS. 6" SPHERE SPACE MAX AT STRINGERS.
CONTRACTOR TO FURNISH AND INSTALL VINYL BEADED SOFFIT. ALTERNATE REAL WOOD BEAD BRD.
SEE ELECTRICAL ALLOWANCE DRAWINGS.

REMOVAL EXISTING BED ROOM
UPON COMPLETION OF THE SECOND FLOOR REMOVE THE BEDROOM AS SHOWN ON THE FIRST FLOOR.
PATCH AND REPAIR ALL WALLS AS REQUIRED.

NEW PORCH/STOOP
NEW PORCH STAIRS & DECKING PORCH. SEE DETAILS ALTERNATE TREX RAILINGS AND DECKING.
PROVIDE RAILING AND STEPS AS PER CODE. MAX 4" SPACES ON RAILINGS AND STEPS. 6" SPHERE SPACE MAX AT STRINGERS.
CONTRACTOR TO FURNISH AND INSTALL VINYL BEADED SOFFIT. ALTERNATE REAL WOOD BEAD BRD.
SEE ELECTRICAL ALLOWANCE DRAWINGS.

NOTE:
PLANS SUBMITTED FOR REVIEW AND PROCESS TO ZONING BOARD OF APPEALS (VARIANCE REQUIRED)
NOT FOR CONSTRUCTION

It is a violation of the law for any person, unless acting in accordance with the provisions of this law, to alter, in any way, if an item bearing the seal of an architect is altered, the altering architect shall affix to his own the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

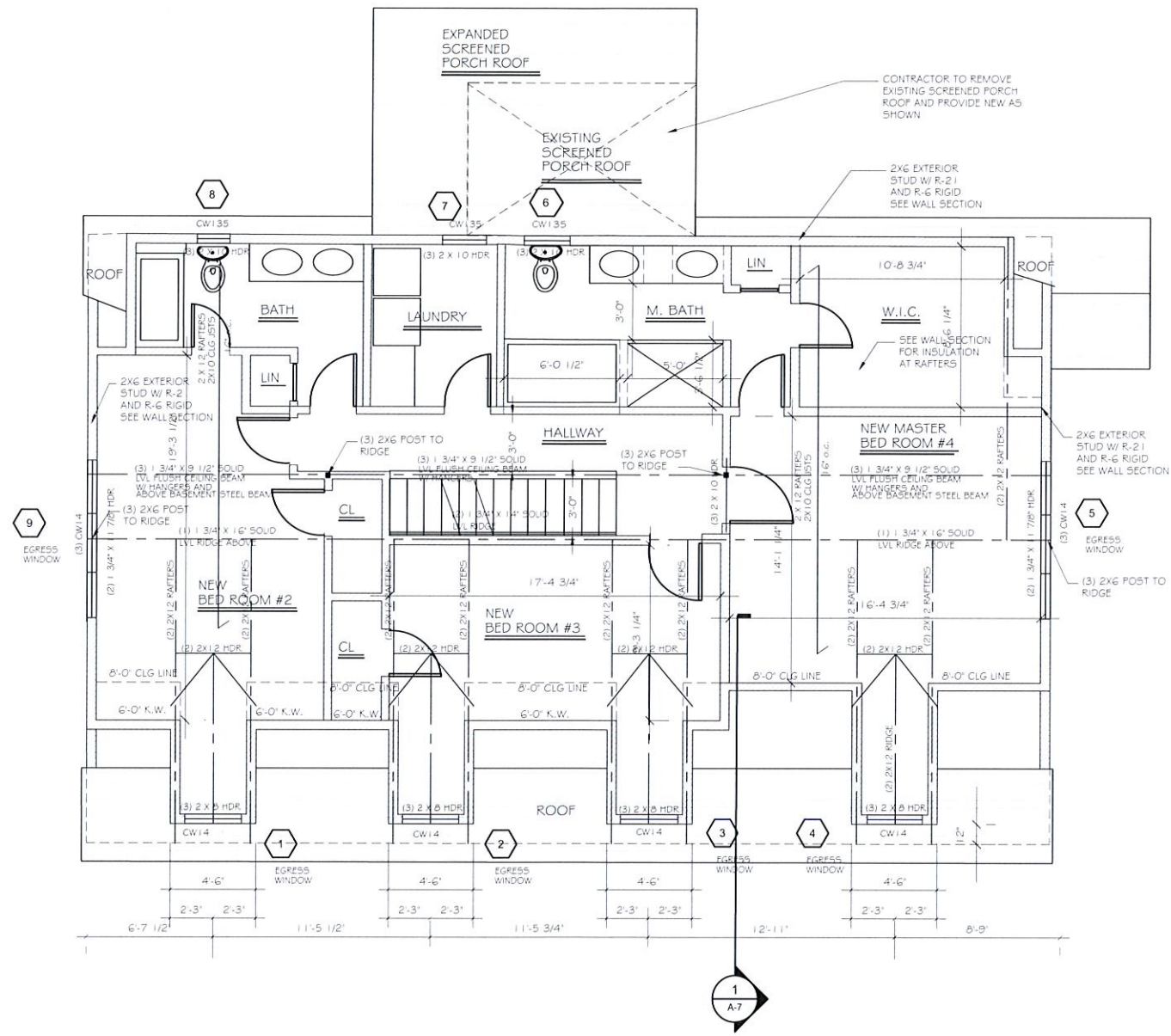
Mr. & Mrs. McGinnis Residence
151 Fairview Ave Pearl River NY 10965 - 69.19-3-59

Addition & Alteration For

Karl Ackermann, AIA NCARB
Architect
159 East Central Avenue
Pearl River, New York 10965
(845) 732-1752 karl@159ackermann.net
Residential & Commercial Architecture and Green Design
New York & New Jersey Licensed Architect
NYS LISC 027353 - Registered through Date April 30, 2026
NJ LISC 21A0004200

Issue Date:
Revisions
1 4/29/22 Client Review
2 11/13/23 BUILDING PERMIT

Sheet No.
A-2



PROPOSED ATTIC PLAN

SCALE: 1/4"= 1'-0"

NOTE:
PLANS SUBMITTED FOR
REVIEW AND PROCESS TO
ZONING BOARD OF APPEALS
(VARIANCE REQUIRED)
NOT FOR CONSTRUCTION

It is a violation of the law for any person, unless acting in accordance with the provisions of this law, to alter, in any way, if an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by followed by his signature and the date of such alteration, and a specific description of the alteration."



Mr. & Mrs. McGinnis Residence
151 Fairview Ave Pearl River NY 10965 - 69.19-3-59

Karl Ackermann, AIA NCARB
Architect

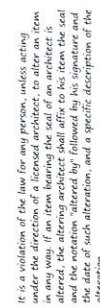
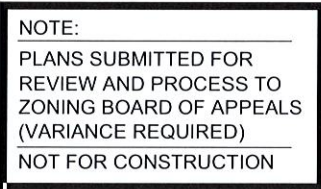
159 East Central Avenue
Pearl River, New York 10965
(845) 732-9792 karl@ackermann.net
Residential & Commercial Architecture and Green Design
New York & New Jersey Licensed Architect

| Issue Date: | |
|-------------|--------------------------|
| Revisions | |
| 1 | 4/29/22 Client Review |
| 2 | 11/13/23 BUILDING PERMIT |

Sheet No.
A-3

NYS LSC 027593 - Registered through Date April 30, 2026
NJ LSC 2400184200 © Copyright 2022

It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way, if an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.



Mr. & Mrs. McGinnis Residence
Addition & Alteration For
 151 Fairview Ave Pearl River NY 10965 - 69.19-3-59

150 East Central Avenue
Pearl River, New York 10965
(845) 732-3132 karl@ackermann.net

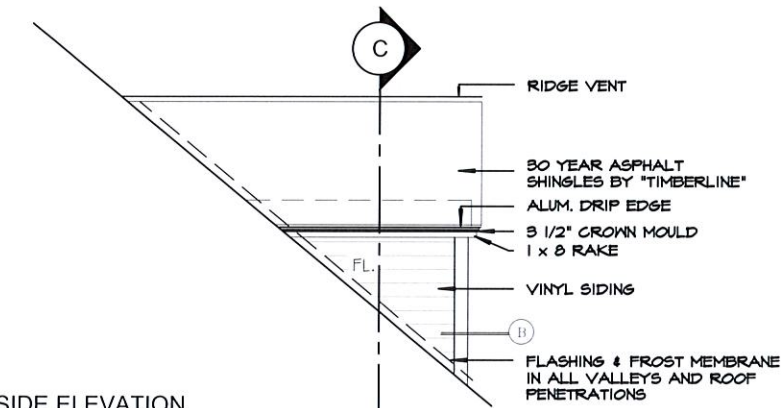
Karl Ackermann, AIA NCARB Architect

Residential & Commercial Architecture and Green Design
New York & New Jersey Licensed Architect

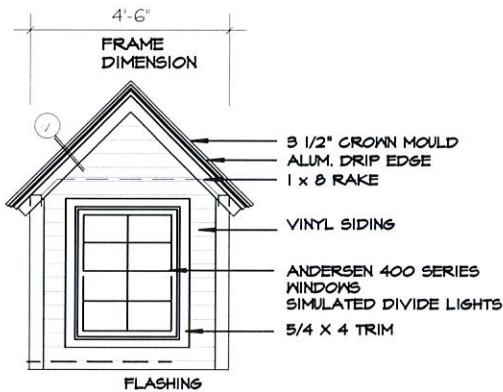
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| | |
|-------------|-----------------------------|
| Issue Date: | |
| | Revisions |
| 1 | 4/29/22 Client Review |
| 2 | 11/13/23 BUILDING PERMIT |

Sheet No.
A-5



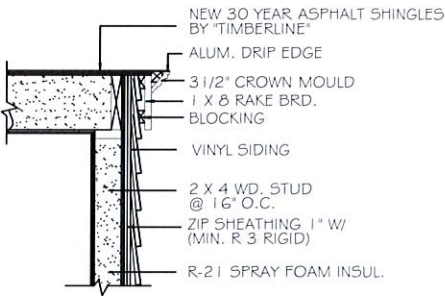
SIDE ELEVATION
SCALE: 3/8"= 1'-0"



FRONT ELEVATION
SCALE: 3/8"= 1'-0"

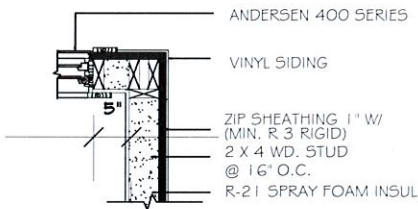
DORMER DETAIL

NOTE:
SEE ELEVATION &
PLANS FOR ADDITIONAL
INFORMATION & LOCATION



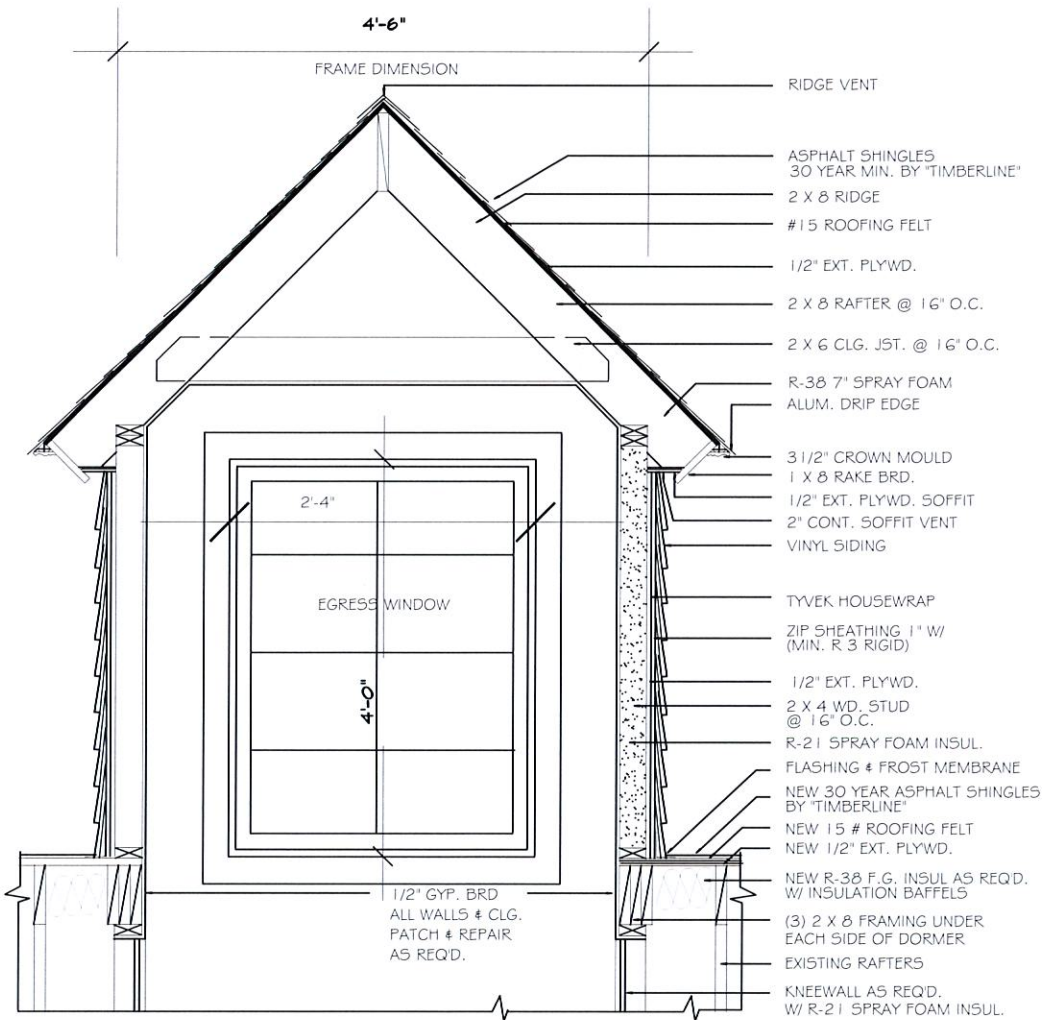
SEE SOFFIT / SECTION DETAIL
FOR ADDITIONAL INFORMATION

RAKE DETAIL
SCALE: 1'= 1'-0"



SEE SOFFIT / SECTION DETAIL
FOR ADDITIONAL INFORMATION

CORNER DETAIL
SCALE: 1'= 1'-0"



SOFFIT / SECTION DETAIL
SCALE: 1'= 1'-0"

NOTE:
PLANS SUBMITTED FOR
REVIEW AND PROCESS TO
ZONING BOARD OF APPEALS
(VARIANCE REQUIRED)
NOT FOR CONSTRUCTION

It is a violation of the law for any person, unless acting
under the direction of a licensed architect, to alter an item
in any way, if an item bearing the seal of an architect is
altered, the altering architect shall affix to his item the seal
of the architect, and the alteration shall be followed by the signature and
the date of such alteration, and a specific description of the
alteration.

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Architect

Residential & Commercial Architecture and Green Design
New York & New Jersey Licensed Architect

NYS LISC 027233 - Registered Through Date April 30, 2026
NJ LISC #246184260

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Addition & Alteration For
Mr. & Mrs. McGinnis Residence
151 Fairview Ave Pearl River NY 10965 - 69.19-3-59

| Issue Date: | |
|-------------|--------------------------|
| Revisions | |
| 1 | 4/29/22 Client Review |
| 2 | 11/13/23 BUILDING PERMIT |

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NYS LIC. 027393 - Registered through Date April 30, 2026
NJ LIC. 21A01634200

New York & New Jersey Licensed Architect

New York & New Jersey Licensed Architect

Sheet No.
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SCALE: 1" = 1'-0"

STAIR FRAMING NOTE:
CONTRACTOR TO INSURE
STAIRS COMPLY W/ NYS
RESIDENTIAL CODE. NO
SPACES IN RAILING
GREATER THAN 4" AND
NO SPACE AT RISER
GREATER THAN 4" ALSO
CONTRACTOR TO PROVIDE
SOLID RISER OR OTHER
METHOD. CONTRACTOR TO
INSURE SPACE BETWEEN
TREAD AND RAILING
NO GREATER THAN 6".

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6.2 Wood Porch and Decks: Contractor to furnish and install all materials, labor and equipment required for a complete deck installation as shown on plans.

A. Materials:

1. wood Porch Decking: TREX SYSTEM - See Plan Details.

B. SUBMITTALS: For each product indicated, submit manufacturer's product data.

C. EXECUTION:

1. All framing not resting on wood headers shall rest on metal hangers "Simpson's - Zmax line or USP Connectors with triple zinc" or equal. All Hangers shall be rated for contact to 'ACQ' pressure treated material and all fasteners shall be approved type.
2. Wood decking members, except for tongue and groove members, shall be installed with a "Finish-nail" thickness separation to allow drainage of water and expansion.
3. No framing or finished wood shall be within 8" of finished grade.
4. Deck ledger shall be decay resistant (pressure treated/Woimanzed) and thru bolted to adjacent construction with (2) rows 1/2" galvanized lag bolts @ 36" on center in staggered layout. Contractor to provide flashing system which shall be approved for contact to pressure treated material and galvanized hangers. Yorkshield IOG PT system or equal with joist protection tape. Contractor to waterproofing underlayment membrane behind ledger and approved flashing noted above ledger to divert water away from structure. Contractor to install 'deck-lok' lateral load anchors which secure deck framing to house ledger at max. spacing 64" on center. See manufacturer's installation guidelines for installation at deck side and interior side of floor framing.
5. Railing assemblies shall be able to resist a single concentrated load of 200 pounds, applied in any direction at any point along the top. Properly anchor all posts and rails to meet this criteria. Review installation methods with Architect.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

7.1 below grade waterproofing:

A. MATERIALS: Provide a fluid-applied waterproofing membrane system, 40 mils cured thickness, single component, and polymer-modified asphalt emulsion designed for below-grade applications with 8 feet of hydrostatic head resistance on block or concrete. An acceptable product is Tuff N Dri H8 spray-on membrane as manufactured by Tremco Barrier Solutions with a 30-year warranty. System shall include protection boards as required by manufacturer's system standards or as indicated on the drawings for insulation purposes. In any circumstance, waterproofing shall not be backfilled un-protected.

B. SUBMITTALS: For each product indicated, submit manufacturer's product data, product test reports based on comprehensive tests performed by a qualified testing agency, installation manual and warranty.

C. EXECUTION: For each product indicated, comply with the manufacturer's specifications and installation instructions. Material shall be applied from bottom of footing to top of wall in order to apply the protection/drainage/insulation board.

7.2 PROTECTION/DRAINAGE/INSULATION BOARD:

A. MATERIALS: Un-faced rigid fiber glass board 'Warm N Dri' protection board as manufactured by Owens Corning.

B. SUBMITTALS: For each product indicated, submit manufacturer's product data, product test reports based on comprehensive tests performed by a qualified testing agency, installation manual.

C. EXECUTION: For each product indicated, comply with the manufacturer's specifications and installation instructions.

7.3 VAPOR RETARDER BARRIER:

A. MATERIALS: 6 mil polyethylene film vapor barrier for under slab applications with water vapor permeance of 0.018 perms, 1456 grams of puncture resistance. An acceptable product is Stego Industries' Class C Vapor retarder or equal.

B. SUBMITTALS: Submit manufacturer's product data, product test reports performed by qualified testing agency.

C. EXECUTION: For each product indicated, comply with the manufacturer's specifications and installation instructions. Install over the sand topping with 6" lap at joints and tape all seams.

7.4 Thermal Insulation:

A. MATERIALS:

1. Glasswool Batt' Insulation: Bio-based materials that contains no phenol, formaldehyde, acrylics or artificial colors. A minimum of 30% post-consumer recycled bottle glass and shall be certified to meet Greenguard's indoor air quality criteria. Unfaced batt meets ASTM C 665, Class A. An acceptable product is Ecobatt Insulation as manufactured by Knauf. Provide Knauf's High Density insulation for reduced thermal cavity depths where the standard insulation cannot meet the thermal requirement. Provide Knauf's QuietTherm for sound attenuation batt, especially if metal stud framing is used. Provide Knauf's Staple-Free kraft-faced batts as standard insulation if stud cavity widths are no more than 16" on center, which can also be used for sound attenuation.

2. Rigid Insulation Board: Extruded polystyrene insulation, closed-cell structure, R-5/inch, compressive strength of 25 psi, water absorption of 0.1 %, water vapor permeability of 1.1 perms max, no water capillary, flame spread at 5, smoke developed at 45-175. An acceptable product is Foamular 250 rigid foam insulation as manufactured by Owens Corning.
3. Closed Cell Spray Polyurethane Foam: Bio-based, 1.7 lbs/cu ft min, a two-part product with an R-5.9/in, compressive strength of 23 psi, flame spread less than 25, smoke development index less than 450, pass for fungi resistance, water vapor permeability of 2 perms for 1" thick foam and water absorption of 0.2% and shall be certified to meet Greenguard's indoor air quality criteria. An acceptable product is BioBased 1701s Insulation as manufactured by BioBased Technologies.
4. ATTIC RAFTER BAFFLES: Raft-R-mate attic rafter vent with optional air stop/insulation (where conditions allow), extruded polystyrene, widths vary, 1" min thickness as manufactured by Owens Corning.

B. SUBMITTALS: For each product indicated, submit manufacturer's product data, product test reports based on comprehensive tests performed by a qualified testing agency, environmental 'green' performance/certifications, and installation manual.

C. EXECUTION: For each product indicated, comply with the manufacturer's specifications and installation instructions. Comply with the Energy Code's performance thermal values as listed in this spec.

7.5 Roofing:

A. MATERIALS:

1. Fiberglass Asphalt Shingles: Timberline HDZ - High Definition Lifetime Shingles - Limited Warranty as selected by Owner. Shingles are manufactured by GAF that have layer lock technology or equal. Class A Fire, Class F Wind - 130 mph wind warranty, lifetime limited warranty if system components are used as per GAF. The components used as approved by owner need to be verified for the warranty selected. Components included approved leak barrier (peel and stick), roof protection (see below 7.1.1), starter shingles, HDZ shingles, cobra ridge vents and cap shingles must be used to obtain warranty. In addition, all installed as per code and flashing and step flashing installed as per plans.

Fastening of shingles to maintain desired warranties shall be done with (4) fasteners per shingle of sufficient depth to penetrate ¾" or thru decking. Nails are to be 12 gauge, corrosion-resistant roofing nails with 3/8" heads. As an upgrade contractors to consider ring shank nails in areas with higher winds or roof has exposure. Shingle color to be Weathered Wood unless otherwise noted.

B. SUBMITTALS: For each product indicated, submit manufacturer's product data, product test reports based on comprehensive tests performed by a qualified testing agency, environmental 'green' performance/certifications, applicable Energy Star label, installation manual and warranty. For standing seam metal roof, provide detail drawings for each type of roof condition.

C. EXECUTION: For each product indicated, comply with the manufacturer's specifications and installation instructions.

7.6 Aluminum Flashing: 0.032"aluminum flashing including hips, valleys, projections through roof, intersections of roof and vertical surfaces, including drip and rake edges, counter flashing and any other conditions shown on the drawings or required flashing. Finished surfaces shall have a white baked enamel finish or as otherwise indicated on drawings. Permanent waterproof air/vapor seal, high-tack, pressure-sensitive adhesive combined with a three-ply, cross-linked tear and puncture resistant poly facer film as manufactured by Protecto Wrap Co. Do not allow aluminum flashing to contact copper materials or any other non-aluminum metal.

7.7 COPPER CHIMNEY SHROUD: 16 oz lead coated copper chimney shroud shall be custom built. Submit shop drawings. Install to ensure a water-tight and wind-resistant condition.

7.8 self-adhered flashing: Pro-Flashing (peel & stick) as manufactured by James Hardie. Install around windows and doors. Flex flashing as manufactured by James Hardie. Submit manufacturer's product data. Install around custom shapes. Comply with the manufacturer's specifications and installation instructions.

7.9 THRU-WALL FLASHING: Soft-tempered copper permanently coated and bonded between (2) layers of asphalt-saturated glass fabric, Copper Fabric, 7 oz, as manufactured by Hohmann & Barnard. Width as determined by field conditions with corners and asphalt mastic as manufactured by Hohmann & Barnard. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions.

7.10 water resistant underlayment: Roofer's Select high performance underlayment as manufactured by CertainTeed. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions. One Layer of DiamondDeck underlayment (option)

7.11 waterproofing underlayment: WinterGuard HT waterproofing underlayment as manufactured by CertainTeed. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions.

Sealants: Siliconized polyether advanced polymer formula with no solvents, temperature application range of -35 degrees to 140 degrees, 30 minutes of tooling time, full cure time of 24 hours, for exterior use on fiber cement, siding, trim and windows, paintable, +/- 25% total joint movement, less than 1% VOCs. An acceptable sealant is Side Winder Advanced Polymer Siding and Window Sealant as manufactured by DAP. Advanced Polymer, temperature application range of -35 degrees to 140 degrees, 20 minutes of tooling time, full cure time of 24 hours, all-purpose sealant for indoor/outdoor, paintable, and low VOC. An acceptable sealant is 3.0 Advanced All-Purpose Sealant with Kwik Dry Technology as manufactured by DAP. Advanced Polymer, temperature application range of -35 degrees to 140 degrees, 20 minutes of tooling time, full cure time of 24 hours, self-leveling concrete and mortar sealant for concrete, masonry and stone surfaces, paintable, and low VOC. An acceptable sealant is 3.0 Advanced Self-Leveling Concrete Sealant with Kwik Dry Technology as manufactured by DAP.

Provide sealant according to the Energy Conservation Construction Code as listed in this spec. Provide sealant around all doors, windows and other openings for a watertight condition. Provide sealant at concrete slab isolation joints. Color to match adjacent material; unless multiple material colors or other issues, then color to be selected by Architect. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions.

7.13 Ridge vents: ShingleVent II (SVII) ridge vent as manufactured by Air Vent, Inc. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions. Install SVII continuous along length of the ridge from end to end; even though vent opening may be less. Install shingles along it top to conceal ridge vent that match roof shingles.

7.14 Soffit Vents: Continuous Soffit Vent as manufactured by Air Vent. Model VS201 WH is 0.014" aluminum, 2" wide & 8' long with white finish. Soffit vents shall be continuous across entire lengths of soffits. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions.

7.15 Aluminum Gutters and Leaders: In profiles as indicated on drawings. Gutters shall be single one length. Material shall be Aluminum, properly secured to structure. All leaders shall be piped underground in separate system to drywells. (See roof plan for selected locations). Gutters shall be 'k' style profile with ties to fascia and leaders. Provide a leader boot transition fitting from Aluminum leaders to sub-surface drainage components.

Boot shall be black plastic, tie new piping to existing underground system to daylight.

7.16 Footing Drains: Continuous 4' perforated PVC footing drain with fabric filter in gravel around perimeter of foundation at all areas where slabs are below grade. Confirm site sub-surface drainage system design, components, paths and pitches prior to submitting final bid.

7.17 Sill seal with termite shield: Provide 'Mite-out' as manufactured by Hohmann & Barnard. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions.

7.18 sill seal: Flexible polyethylene gasketing strip. An acceptable product is Styrofoam's Sill Seal as manufactured by Dow. Submit manufacturer's product data. Comply with the manufacturer's specifications and installation instructions. Sill seal shall be as wide as sill/bottom plates.

DIVISION 8 - DOORS AND WINDOWS

8.1 Interior Doors:

A. MATERIALS:

1. PANEL: Prehung, 1 3/8" thick solid wood two panel doors with square 'Shaker' sticking, as manufactured by Simpson. Provide 1 1/2 pair hinges on each door up to 7'-0" in height, 2 pair hinges on doors over 7'-0" in height to 8'-0" in height. All hinges to be 4- 1/4" x 4- 1/4". Owner or Architect to select model, finish and color.
2. FIRE-RATED DOOR: MDF or metal panel, 3-panel, 45 minute fire rating, insulated, with self-closing device, model #312 with Type 'E' sticking as manufactured by Supadoor. Hinges to match interior doors.

B. SUBMITTALS: For each product indicated, Submit manufacturer's product data, product test reports performed by qualified testing agency.

C. EXECUTION: For each product indicated, comply with the manufacturer's specifications and installation instructions.

8.2 Exterior Doors:

A. MATERIALS:

1. GLASS AND PANEL DOOR: Exterior 2-panel douglas fir wood door with thermal sash, square sticking, stain grade, Traditional Series as manufactured by 'Simpson'.
2. STEEL PANEL INSULATED: Exterior 2-panel steel insulated door, 0.16 U-factor, with air-sealed weather stripping as manufactured by 'Jeld Wen'.

B. SUBMITTALS: For each product indicated, submit manufacturer's product data, product test reports based on comprehensive tests performed by a qualified testing agency, environmental 'green' performance/certifications, installation manual and warranty.

C. EXECUTION: For each product indicated, comply with the manufacturer's specifications and installation instructions. Seal all spaces around windows with low expansion foam.

8.3 HARDWARE: Provide a 'Hardware Allowance' in bid proposal of \$ _____. Final selections and schedule to be provided by Owner and Architect. Include installation of all door and bath hardware and accessories in bid proposal. General hardware functions/finishes are indicated on door schedule/drawing. Provide deadbolts at all exterior doors. Basement doors shall be keyed alike. The front door shall be a combination lock with its own key system.

8.1 Windows:

A. MATERIALS:

1. WINDOW: Sizes and types as shown on the drawings with standard muntin bars. All glazing shall be tempered where within 18" of floor, 36" of a door and at windows directly adjacent to stairs. Units shall be as manufactured by Andersen as per window schedule. with Low E argon gas to provide a U-factor and SHGC values equal or better than the Energy Star qualification criteria for residential windows. For North-Central climate zone the U-factor shall be 0.32 or better and the SHGC shall be 0.40 or better. Units shall be equipped with screens and hardware for locking and operation. Finish shall selected by architect. All windows must meet energy star and bear a National Fenestration Rating Council (NFRC) label indicating compliance. Seal all spaces around windows with low expansion foam.

B. SUBMITTALS: For each product indicated, submit manufacturer's product data, product test reports based on comprehensive tests performed by a qualified testing agency, environmental 'green' performance/certifications, applicable Energy Star label, shop drawings for windows based on actual rough openings in field, installation manual and warranty.

C. EXECUTION: For each product indicated, comply with the manufacturer's specifications and installation instructions.

DIVISION 9 - FINISHES

Scope of Work: Contractor shall furnish and install all labor, material and equipment required to complete all finish work as shown on plans. Finishes shall meet flame spread and smoke index requirements as per N.Y.S. Building Code or as noted on drawings.

9.1 Wall # specialty Board:

A. Materials:

1. Gypsum Board: 5/8" thick (or unless otherwise noted) with tapered edges as manufactured by United States Gypsum.
2. Fire Rated Type 'X' gypsum board: 5/8" thick (or unless otherwise noted) with tapered edges as manufactured by United States Gypsum. Installed (1) layer 5/8" Type 'X' on both garage and house side of wall and on garage ceiling. All columns and beams supporting space above garage shall be finished with 5/8" Type 'X' gypsum board.
3. MOISTURE RESISTANT GYPSUM BOARD: 5/8" thick (or unless otherwise noted) with tapered edges as manufactured by United States Gypsum. Install in bathrooms and laundry rooms where tile on cement backer board is not used.
4. Cement Backer-Board: 1/2" thick (or unless otherwise noted), aggregated Portland cement slurry with polymer-coated glass-fiber mesh, edges smooth and square, water durable and mold resistant. An acceptable product is Durock Cement Board as manufactured by United States Gypsum.

B. SUBMITTALS: For each product indicated, Submit manufacturer's product data, product test reports performed by qualified testing agency.

C. executiON: For each product indicated, comply with the manufacturer's specifications and installation instructions. Furnish and install a (3) three coat compound and sanding finish over all gypsum board per manufacturer specifications to receive paint or other finishes. Installation shall be secured, nailed (and glued where specified or required) using methods in accordance with manufacturers instructions.

9.2 CERAMIC TILE:

A. MATERIALS:

1. Shall be marble, stone, bluestone, tile or ceramic mosaic tiles in sizes, colors and patterns as outlined on drawings, or as selected by Owner or Architect.
2. Shall be grouted with non-shrink grout in colors as selected by Architect/Owner. Provide a one part mildew resistant silicone sealant on all non-traffic areas, and a multi-part pourable urethane sealant on all high traffic floors.
3. Provide a white marble saddle, sized to match wall thickness and/or opening, at all transitions between tiled and non-tiled floors and directly below door. Provide an 'Allowance' in bid proposal for tile and stone work.

It is a violation of the State of New York Building Code to alter the direction of a licensed architect's professional seal in any way if an item bearing the seal of an architect is altered, the alteration shall affix to his from the seal and the notation "altered by" followed by his signature and date of alteration, and a specific description of the alteration.

Karl Ackermann, AIA NCARB
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Residential & Commercial Architecture and Green Design
New York & New Jersey Licensed Architect

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Addition & Alteration For
Mr. & Mrs. McGinnis Residence
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- A. SUBMITTALS: For each product indicated, Submit manufacturer's product data, product test reports performed by qualified testing agency.
- B. EXECUTION:
- For each product indicated, including thin-set and grout, comply with the manufacturer's specifications and installation instructions, as well as the Tile Council of North America.
 - Install tiles where indicated on drawings or as directed by Architect or Owner.
 - Install floor tile on 1/2" cement backer-board over subfloor.
 - At wet areas, install Laticrete or equal anti-fracture moisture membrane coating over cement backer-board before tile installation.
 - A one part mildew resistant silicone sealant shall be applied over tile on non-traffic areas. A multi-part pourable urethane sealant shall be used on high traffic areas
- 9.2 Painting and Staining:
- A. MATERIALS:
- Interior: Provide two (2) coats of paint over (1) coat primer to all unfinished surfaces inside the building. Interior trim around doors and windows, and base trim shall receive (2) coats of semi-gloss latex paint over primer. Sand trim between each coat. Colors of paint shall be selected by Owner/Architect. Paint shall be 'BeNY'Samin Moore' 'Eco-Advantage' and 'Eco-Spec' products. Final paint schedule shall be provided by Owner and Architect. Confirm painting scope and assumptions in bid-proposal.
 - Exterior: Exterior wood trim, moldings and ornamental wood accessories on structure shall reviewed one (1) coat of exterior wood primer, "BeNY'Samin Moore Moorwhite" Primer No. 100. Unless otherwise specified, exterior stain shall be Moorwood solid and/or semitransparent color exterior stain as manufactured by "BeNY'Samin Moore", Cabots stains, or approved equal. Stain of trim, doors, windows, fascias, soffits, columns, railings, shall be selected by the Architect.
 - Exterior: Exterior Azek trim, Azek sheet goods, Azek soffits, PVC moldings and ornamental Azek accessories on structure shall receive one (1) coat of exterior acrylic latex primer "BeNY'Samin Moore -sure seal (027)", (2) coats acrylic exterior latex paint "BeNY'Samin Moore -Aura (634)" All nail holes must be filled and sanded smooth with acrylic based caulk. In addition, any exposed wood (Rafters) shall be primed and painted accordingly.
 - Flooring and Stairs: Interior wood finish flooring shall receive (1) coat of stain (1) coat of sealer, (2) coats of polyurethane. Interior oak steps and handrails will receive (1) coat of stain, (2) coats of polyurethane. Stain and polyurethane finishes shall be selected by Owner/Architect.
- B. SUBMITTALS: For each product indicated, Submit manufacturer's product data, product test reports performed by qualified testing agency.
- C. EXECUTION:
- Contractor shall furnish and lay drop cloths in all areas where painting is done and shall protect floors and other work from damage during the process of this work. Only rags and waste must be removed from the building at the end of each work day. Upon completion of work, the painter shall clean off all paint spots from glass, hardware and other items not to be painted, and clean the windows thoroughly.
 - Painting Contractor is responsible for all putty work and finish sanding of wallboard surfaces - ready to receive finish.
- DIVISION 10 - SPECIALTIES
- 10.1 Cable/TV/Telephone/Data: Install wiring and box locations for each and coordinate with Owner or vendors for connection with service providers.
- 10.2 Home Theater: Coordinate with Owner or vendors for home theater wiring system.
- 10.3 Security System: Coordinate with Owner or vendors for alarm system insulation and wiring. Submit wiring schematics of smoke detectors and supplied devices that must connected to security system for monitoring by others.
- 10.5 Accessories: Provide a Bathroom accessory allowance of \$_____ in bid proposal. Include installation of all bathroom accessories in bid proposal. Items to include but not be limited to: medicine cabinets, mirrors, towel rods, hooks, toilet paper dispensers, soap dishes, etc. At Owner's discretion, accessories may be purchased by Owner and delivered to site for installation by contractor. Contractor shall deduct all or portions of allowance incurred directly by owner from the contract sum.
- 10.6 Closets: Shelves shall be 5/8" AC plywood with edge banding and supported with 1 x 3 wood cleats and dividers where required. Rods shall be 1/4" round chrome plated. Linen closets to include 5 shelves full depth of closet. Closets or walk-in-closet to included 14" deep shelves 4 rods.
- 10.7 Smoke Detection Scope: Furnish and install smoke detectors as follows; in each sleeping room, outside each sleeping room and in general vicinity, one on each additional level of house including basements and uninhabitable attics. Additional smoke detectors i.e. adjacent to garage and adjacent to heating equipment. System shall meet N.Y.S. Building Code requirements.

- 10.1 Smoke Alarm System: If more than one smoke alarm is required as per code all must be interconnected. All smoke alarms must be hardwired with battery backup feature.
- 10.2 Carbon Monoxide Alarm: Install carbon monoxide alarms as per code adjacent to heating equipment and/or adjacent to sleeping areas and on the lowest level of residence as per N.Y.S Building Code. Carbon monoxide alarms shall be hardwired w/ battery backup. Alarms can be combination units as long as smoke and carbon monoxide alarms signals are different in sound and approved for use. System shall meet N.Y.S. Building Code requirements.
- 10.3 Smoke Detection System: If required under the code based on project specifics the smoke alarm and carbon monoxide alarm systems shall be connected to central station monitoring system.
- 10.4 Security System: If selected or required by code contractor to coordinate with Owner's vendor to connect smoke detection system to security system for central station monitoring.

DIVISION 11 - RESIDENTIAL APPLIANCES

- 11.1 CLOTHES WASHERS: Install Owner selected Energy Star appliance. Energy Star Eligibility - only front and top loader clothes washers with capacities of greater than 1.6 ft3 with a min modified energy factor of 2.0 and a max water factor of 6.0. Comply with the manufacturer's specifications and installation instructions.
- 11.2 DISHWASHERS: Install Owner selected Energy Star appliance. Currently, all ENERGY STAR qualified dishwashers must have a minimum Energy Factor of 0.65. Features: 1) High-pressure jets that eliminate the need to pre-rinse dishes. 2) Soil sensors test how dirty dishes are throughout the wash and adjust the cycle to achieve optimum cleaning with minimum water and energy use. 3) Innovative dish rack designs maximize cleaning by strategically situating the dishes. 4) Improved water filtration removes food soils from the wash water allowing efficient use of detergent and water throughout the cycle. 5) The final clean-water rinse assures your dishes come out sparkling. 6) Internal water heaters that that reduce water heating costs by up to 10%. Comply with the manufacturer's specifications and installation instructions.
- 11.3 REFRIGERATORS: Install Owner selected Energy Star appliance. Models with top-mounted freezers use 10-25% less energy than bottom-mount or side-by-side models. Automatic ice-makers and through-the-door dispensers increase energy use by 14-20%. The most energy-efficient models are typically 16-20 cubic feet. Comply with the manufacturer's specifications and installation instructions.
- 11.4 FREEZERS: Install Owner selected Energy Star appliance in basement. Comply with the manufacturer's specifications and installation instructions.

DIVISION 22 - PLUMBING

- 22.1 General: It is the intention of this specification to require as per N.Y.S. Residential Building Code and NYS Stretch Code a water supply and waste water evacuation system. Plumbing routed in un-insulated and unconditioned spaces shall be insulated to the Energy Conservation Construction Code and NYS Stretch Code listed in this spec.
- 22.2 Plumbing Scope: The Contractor shall furnish and install equipment, fixtures fittings and piping for a complete system as selected by Owner and shown on construction documents and allow for future connections w/ valves and caps. System shall meet minimum code requirements for fixtures or better.
- a. Existing future to be submitted under future permit.
- a. Water Heater, Whole Home Gas Tankless - Future
- b. Hose Bib in exterior walls shall have a frost-free valve and insulated to prevent freezing.
- 22.3 Waste Evacuation System Sanitary : Contractor to connect to system and allow for future connections.
- 22.4 Water Supply Distribution System: Contractor to connect to new or existing water service and allow for futre connections.The Contractor shall furnish and install potable water supply system to all equipment fixtures and systems selected by Owner with amounts and pressures requirements by N.Y.S. Residential Building Code.
- 22.5 Certificates and Inspections: Contractor shall supply certificates of inspection and compliance to Owner upon completion of project.
- 22.7 Fixtures: All Fixtures and appliances shall meet the N.Y.S. Residential Building Code.
- 22.8 Water Heaters: Existing to remain - future to be submitted under future permit.

DIVISION 23 - HEATING, VENTILATING AND AIR CONDITIONING

- 23.1 General: Installations of mechanical appliances, equipment and systems shall meet New York State Residential Building Code and Energy Code requirements along with NY State Stretch Code as adopted along with Mechanical, Fuel Gas. Some types of systems to choose:
- 23.2 Heating Scope: It is the intention of this specification to require the supply and installation of complete heating and hot water heating system. Contractor shall furnish and install complete systems as per N.Y.S. Building Code and NYS Stretch Code and other requirements codes.
- Existing - Future to be submitted for additional permit

- 23.4 ZONE5: Existing future to be submitted under future permit.
- 23.5 Cooling Scope: Existing future to be submitted under future permit.
- 23.6 ZONE5: Existing future to be submitted under future permit.
- ate.
- 23.8 Controls: Programmable thermostats for each zone.
- 23.9 Ducts: Supply ducts in unconditioned attic R-8 min and in all other unconditioned spaces R-6 min. Total duct leakage is 6 CFM25/100sf max and duct leakage to outdoors is 4 max.
- 23.10 Venting Scope: Coordinate with Owner to select an Energy Star exhaust fan. Comply with the manufacturer's specifications and installation instructions.
- a. Dryer - Must be vented w/ non corrugated pipe w/ maximum length 25'-0" or manufacturer approved length.
- b. Kitchen - 100 cfm intermittent - 25 cfm cont.
- c. Bath / Toilet - 50 cfm intermittent - 20 cfm cont.
- 23.11 Certificates and Inspections: Contractor shall supply certificates of inspection and compliances to Owner upon completion of project.
- 23.12 Alternation/Additions: Contractor upon bidding shall verify existing mechanical system will handle demands of addition/alteration an include upgrades as required in prnce to meet new codes.
- 23.13 New Residences must have fresh air intake system as per R403.6.2 and must be verified as per code.

DIVISION 26 - ELECTRICAL

- 26.1 Electrical Scope: Contractor shall furnish and install a complete utility service as coordinated with utility company and complete distribution system as per project requirements and as previously noted under section 2.8 Electric Service. Electrical service and distribution system must meet N.Y.S. Building Code, UL Codes, NFPA and utility company requirements.
- 26.2 Fixtures, Bulbs, Fans: Provide a Lighting Fixture, Light Bulb/Lamps, Exhaust Fan and Kitchen Hood Exhaust allowance of \$_____. Include installation of these items in bid proposal. At Owner's discretion, accessories may be purchased by Owner and delivered to site for installation by contractor. Contractor shall deduct all or portions of allowance incurred directly by owner from the contract sum.
- 26.3 Utility Service: Provide service requirements commensurate with the size and scope of the proposed project and as coordinated with the utility shall be established in coNYSunction with the electrical sub-contractor. The service capacity shall be based on industry standards, code requirements and as required by other agencies having jurisdiction or referenced standards applied to the work. The complete system shall include a sub-surface service feed from the utility interface to the electrical panel(s). Contractor to provide alternate price line item in bid proposal for whole house lighting protection.
- a. Provide all sub Panels individual 'cut off' switches as required by industry standards and code requirements.
- b. One service per residence as per code.
- c. All bedroom breakers shall have ARC fault.
- d. Bonding as required by code.
- e. Grounding as required by code.
- f. Provide whole house lightning protection.
- g. Provide Alternate price for Sub Panel and Transfer assembly for future generator.
- g. Provide Outlet for future electric car in garage as per NYS Stretch code.
- 26.4 Power & Lighting Distribution System: Contractor to furnish and install complete distribution system including wiring, back boxes and all devices and fixtures as selected by Owner. All lighting must meet NYS Stretch Code.
- a. Provide all sub Panels individual 'cut off' switches as required by industry standards and code requirements.
- b. Provide GFCI devices at all locations required by code.
- c. Provide Type 'B' duplex receptacles as indicated on the drawings. Provide 'Quads', 'Switched' or other specialty types as indicated or as required to meet code(s). In general, switches, receptacles, face plates, etc. shall be white and of standard 'GE' profiles (round face, toggle switches). Provide an alternate line item in bid proposal for 'Decora' style switches and receptacles.
- d. Provide dedicated appliance outlets and breakers as per code.
- e. All outdoor and accessory structure outlets shall have GFCI protection and if devices are exposed to elements they shall have in-use covers.
- f. Provide lighting locations and installation as indicated in the drawings. Coordinate roughing box requirements with final fixture schedule.
- 26.5 Certificates and Inspections: Contractor shall supply certificates of inspection and compliances to Owner upon completion of project as required.

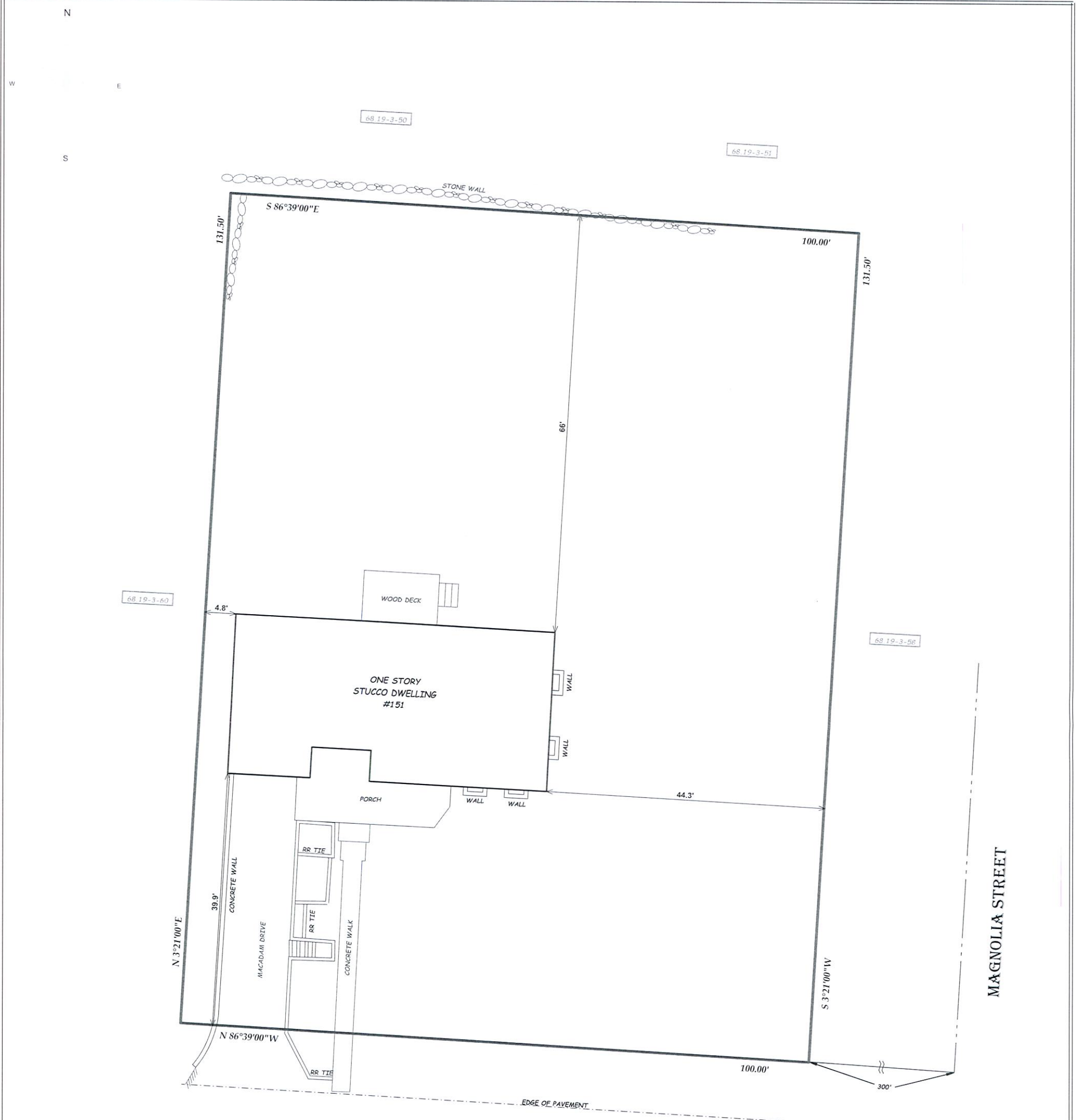
DIVISION 31 - EARTHWORK (Including site utility infrastructure scope)

- 31.1 Scope of Work: The work under this section shall include all necessary labor, material, equipment and fees required for the proper execution of the site work as shown on the drawings and/or described herein. The work includes building (foundation) excavation, retaining walls, backfill and rough grading.

- 23.1 Hot water radiant piping
- 23.2 Cooling Scope: Contractor to furnish and install complete cooling system if selected by Owner as per N.Y.S. Building Code.
- a. Equipment: 13 SEER A/C or greater
- 23.3 ZONE5: There shall be a minimum of (2) zones. One zone for the first floor and the other for the
- 31.2 Ordinances, Inspections: Contractor shall contact "call before you dig" as per state and local codes to locate all underground utility services prior to excavations. All work shall be in conformance with all applicable codes, ordinances.
- 31.3 EXCAVATION: Excavate and/or remove rock for basement, trenches and all footings and proper sub-grades. Bottom of all footings shall be level and kept free of standing water at all times. Existing rock surfaces below footings and new walls shall be scarified and approved by project Geo-Technical engineer before proceeding. Where provided, refer to Geo-Technical engineering documents for additional notes and information. Dewater as required. All footings shall be excavated to minimum depths shown on drawings or to depths required for all footings to be set on virgin soil with a minimum bearing capacity of 2,000 P.S.F. Where footings are stepped, bottoms to be stepped not more than two feet vertical to four feet horizontal. Remove all excess material from site, not to be reused for backfill. See Backfilling, Section 2.9.
- 31.4 Footing Trenches: Excavate for all footings and proper sub-grades. Bottom of all footings shall be level (not to exceed 10% slope) and kept free of standing water at all times. All footings shall be excavated to minimum depths shown on drawings. All footings shall be set on virgin soil with a minimum bearing capacity of 2,000 P.S.F. Where footings are stepped, bottoms to be stepped not more than two feet vertical to four feet horizontal.
- 31.5 Site Drainage: Contractor to furnish and install sub-surface drainage components as indicated in the drawings and specifications prepared by civil engineer, other owner engaged consultant and/or State of New York, Rockland County or local municipal standards or requirements. All leaders shall be connected to a sub-surface system.
- 31.6 potable water system: A complete potable water system is to be provided. Contractor to provide and coordinate connection to existing well location, drilling, excavation and backfill, electrical cable and connections, control devices and cabling, pump(s), utility receptacles, signage, well caps, electrical panel power, panel breakers and electrical service accommodations.
- 31.7 Electric service: Contractor to provide a complete electrical service system from the nearest utility access point as coordinated with the utility. Service requirements commensurate with the size and scope of the proposed project and as coordinated with the utility shall be established in coNYSunction with the electrical sub-contractor. The service capacity shall be based on industry standards, code requirements and as required by other agencies having jurisdiction or referenced standards applied to the work. The complete system shall include a sub-surface service feed from the utility interface to the electrical panel(s). The complete service shall also include cable television wiring and telephone wiring from the residence to the nearest cable tv and phone access point. Coordinate access point and infrastructure requirements with cable and phone providers to assure compliant access or cabling paths via conduit. Excavation, backfill and inspections shall be included in the work. All components and service size shall be reflected in the bid proposal for confirmation and review by the Owner and Architect. Where allowed, coordinate multiple use of trench(s) for cable tv and phone lines.
- 31.8 BackFilling: Backfill is to be comprised of clean earth, free from any wood or debris. Backfill and sub-grades below slabs shall be placed in 6" lifts and shall be compacted at every lift. Areas under concrete slabs to be backfilled shall be fully compacted to 95% of proctor density with power tamper. All other backfill to be placed in 12" lifts and compacted at every lift. Do not backfill against foundation walls until the concrete has achieved design strength and is braced and/or until first floor framing is secured. At no time shall bulldozers, trucks or other heavy equipment be permitted to approach foundation walls, grade beams and piers closer than 8 feet, unless walls and piers are braced and/or floor beams and joists are installed. Backfill may also require crushed stone lifts and beds as depicted in the drawings. Utility, cable tv and telephone service trenches may also require a mixture of backfill material based on utility or vendor standards. Confirm specific backfill requirements with utility and all other infrastructure vendors.
- 31.9 Rock Outcropping/Sub-surface Rock: Notify Owner and Architect upon discovery. The Contractor shall expose all areas cleanly for inspection. The Architect and his structural consultant will advise the Contractor of the measures for construction.
- 31.10 Finish Grade: Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. Where lot lines or other physical barriers prohibit this slope, then the final grade shall slope away from the foundation at a minimum slope of 5 % and the water shall be directed to drains or swales. Swales and impervious surfaces shall be sloped a minimum of 2% when located within 10 feet of the building foundation.
- 31.11 Termite and pest control: Upon the discovery of termites, borers, rodents and other pests, the Contractor shall notify the Architect and the Owner immediately.

It is a violation of the law for any person, unless acting in the regular course of business, to alter, add to, or delete any item from any drawing, specification, or contract document in any way, if an item bearing the seal of an architect is altered, the alteration shall affix to his from the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

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|---|-----------------------------|--|---|
| 159 East Central Avenue Pearl River, New York 10965 (845) 732-1972 karl@ackermann.net | | Karl Ackermann, AIA NCARB Architect | NYS LISC: 027293 - Registered Through Date April 30, 2026 NYS LISC: 2140164208 |
| | | | |
| Addition & Alteration For Mr. & Mrs. McGinnis Residence 151 Fairview Ave Pearl River NY 10965 - 69.19-3-59 | | | |
| Issue Date: | | | |
| Revisions | | | |
| 1 | 4/29/22 Client Review | | |
| 2 | 11/13/23 BUILDING PERMIT | | |
| Sheet No. A-10 | | | |



FAIRVIEW AVENUE

LOT AREA 13,150 SQUARE FEET

TAX MAP DESIGNATION: 69.19.3.59

SURVEY FOR
McGINNIS

TOWN OF ORANGETOWN, ROCKLAND COUNTY
PEARL RIVER, NEW YORK
MARCH 18, 2022 SCALE: 1" = 10'

ANTHONY R. CELENTANO P.L.S.
31 ROSMAN ROAD
THIELLS, N.Y. 10984
845 429 5290 FAX 429 5974

Anthony R. Celentano IC#50633

CERTIFIED TO: ELISHA MCGINNIS
THE SECURITY TITLE GUARANTEE CORPORATION OF BALTIMORE
FINANCE OF AMERICA MORTGAGE LLC ISAOA/ATIMA
C/O LOANCARE, LLC
P.O. BOX 202049
FLORENCE, SC 29502-2049

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THE USE BEYOND THE PURPOSES AGREED TO
BETWEEN THE CLIENT AND THE SURVEYOR EXCEEDS
THE SCOPE OF THE ENGAGEMENT"
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NOT VISIBLE ARE NOT SHOWN