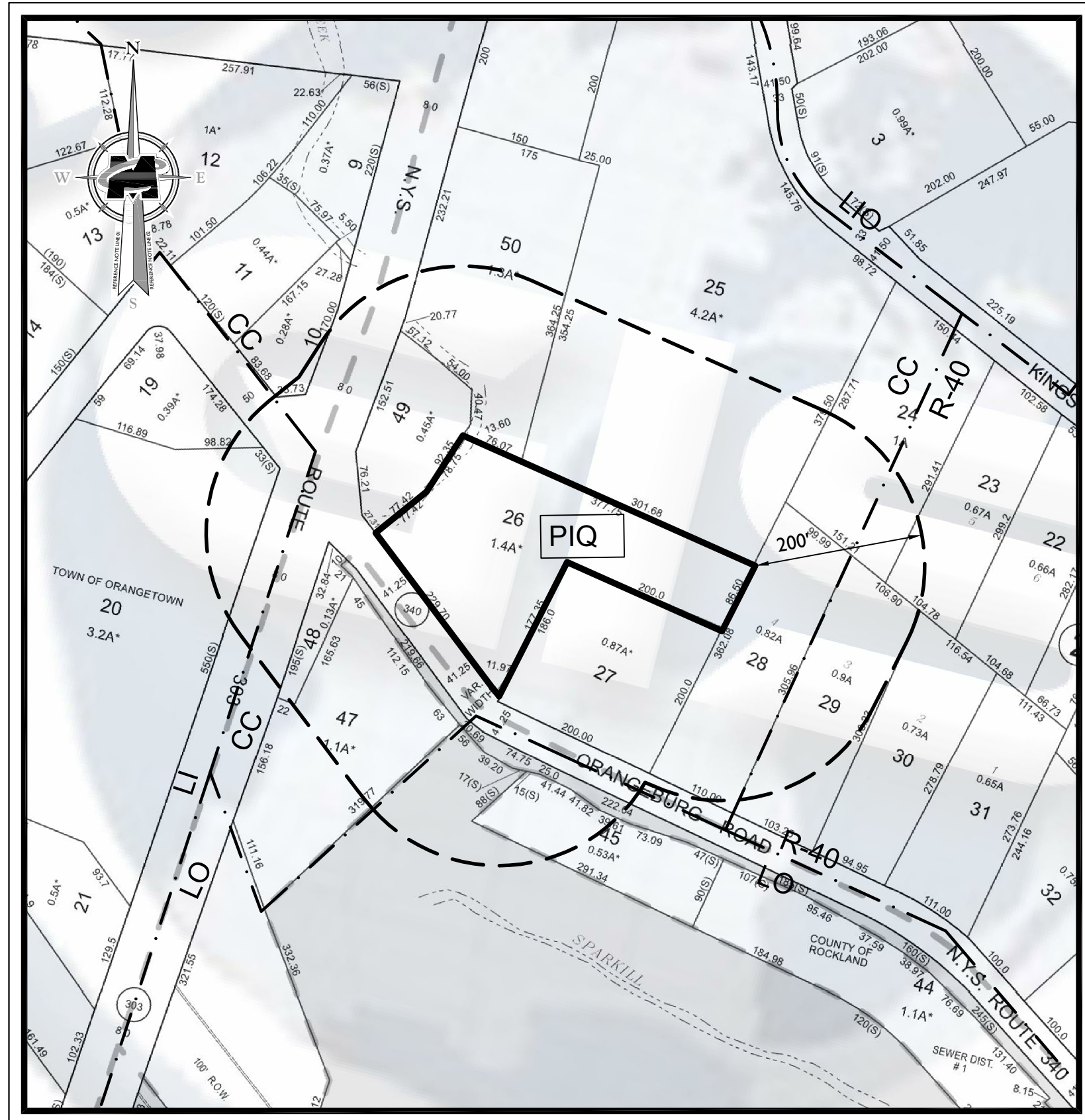
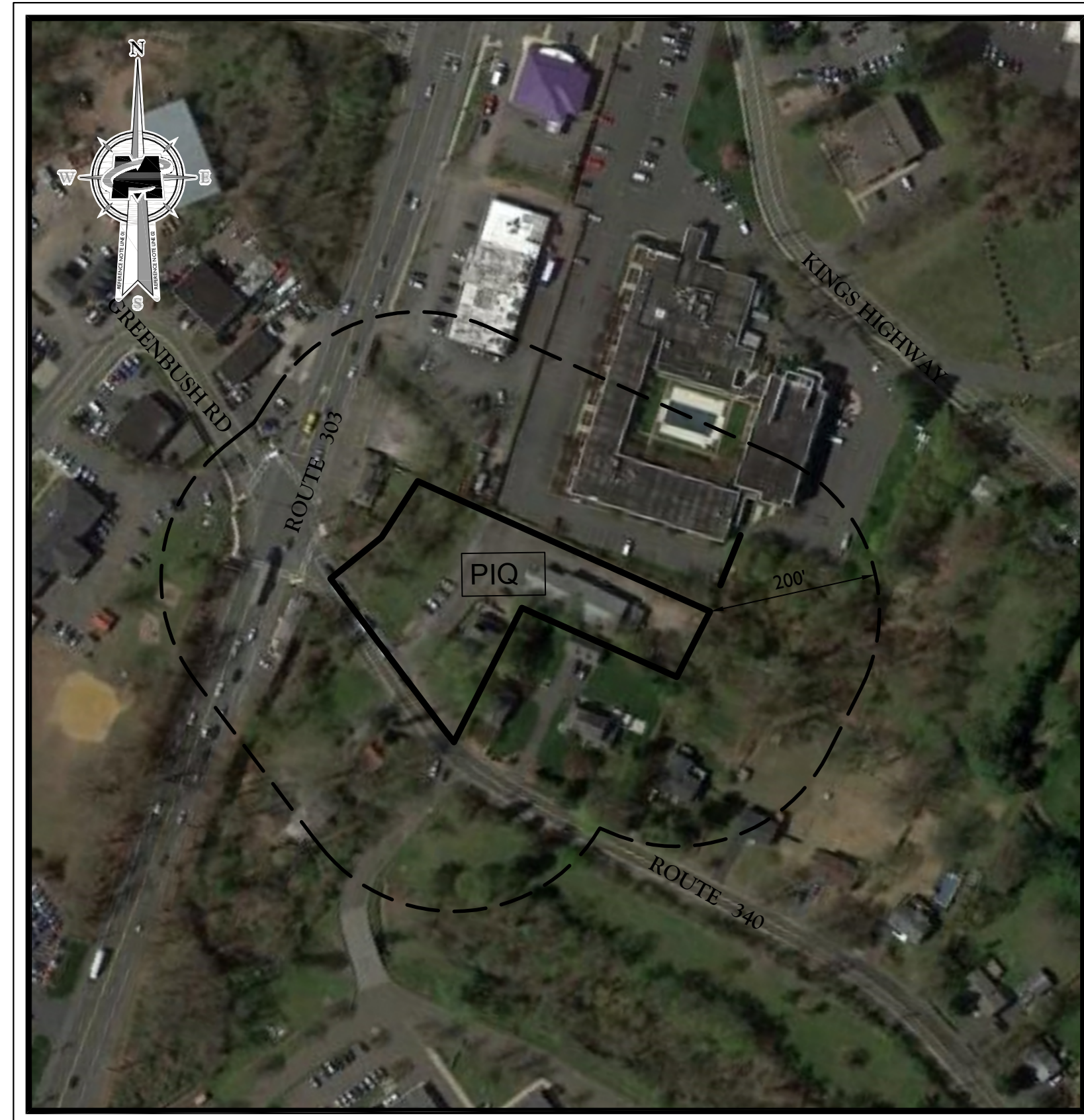
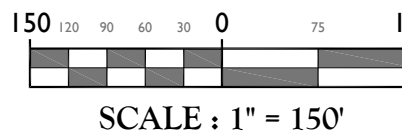


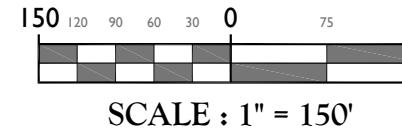
FINAL SITE PLAN
FOR
RRIS CORPORATION
SERVICE WITH ACCESSORY S
SECTION 74.11, BLOCK 2, LOT
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK



KEY & ZONING MAP



AERIAL MAP



PREPARED BY

MASER CONSULTING P.A.
50 CHESTNUT RIDGE ROAD
MONTVALE, NJ 07645

INDEX OF SHEETS		
SHT. No.	DRAWING TITLE	LATEST REVISION
1	COVER SHEET ^{1A}	1/4/19
2	PROJECT NOTES ^{1A}	1/4/19
3	DEMOLITION PLAN ^{1A}	1/4/19
4	LAYOUT PLAN ^{1A}	1/4/19
5	GRADING, DRAINAGE & UTILITY PLAN	1/4/19
6	PROPOSED STORM PROFILES	1/4/19
7	PROPOSED SANITARY PROFILES	1/4/19
8	LANDSCAPE PLAN & DETAILS ⁵	1/4/19
9	LIGHTING PLAN ⁴	1/4/19
10	SOIL EROSION & SEDIMENT CONTROL PLAN	1/4/19
11	CONSTRUCTION DETAILS	1/4/19
12	CONSTRUCTION DETAILS	1/4/19
13	CONSTRUCTION DETAILS	1/4/19

* = PLANS INCLUDED IN ACABOR SUBMISSION
^ = PLANS INCLUDED IN ZBA SUBMISSION

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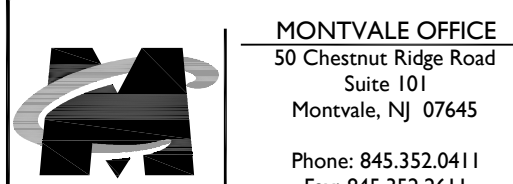
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JESSE B. COKELEY
NEW YORK LICENSED PROFESSIONAL
ENGINEER - LICENSE NUMBER: 090987

FINAL SITE PLAN
FOR
RRIS CORPORATION

SECTION 74.11
BLOCK 2
LOT 26

TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK



SCALE: AS SHOWN	DATE: 6/16/17	DRAWN BY: KH	CHECKED BY: JBC
PROJECT NUMBER: 15002742A		DRAWING NAME: C-CYER	

SHEET TITLE:

COVER SHEET

SHEET NUMBER: 1 of 13

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN
DEPICTED AND THAT I CONCUR WITH THE SUBMISSION.

OWNER - RRIS CORPORATION (1007 ROUTE 9W SOUTH, NYACK, NY 1096

APPROVED BY THE PLANNING BOARD
REGULAR MEETING OF

CHAIRMAN

SECRETARY

ENGINEER

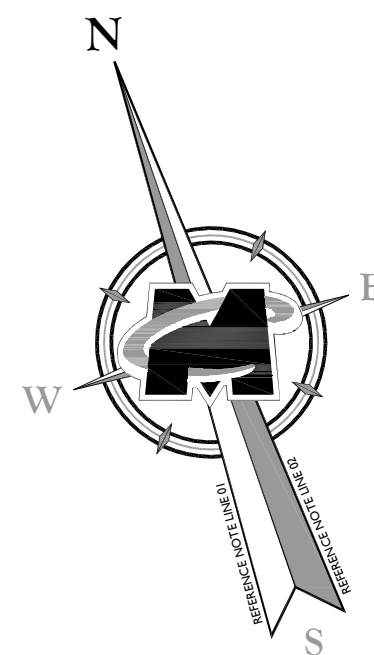
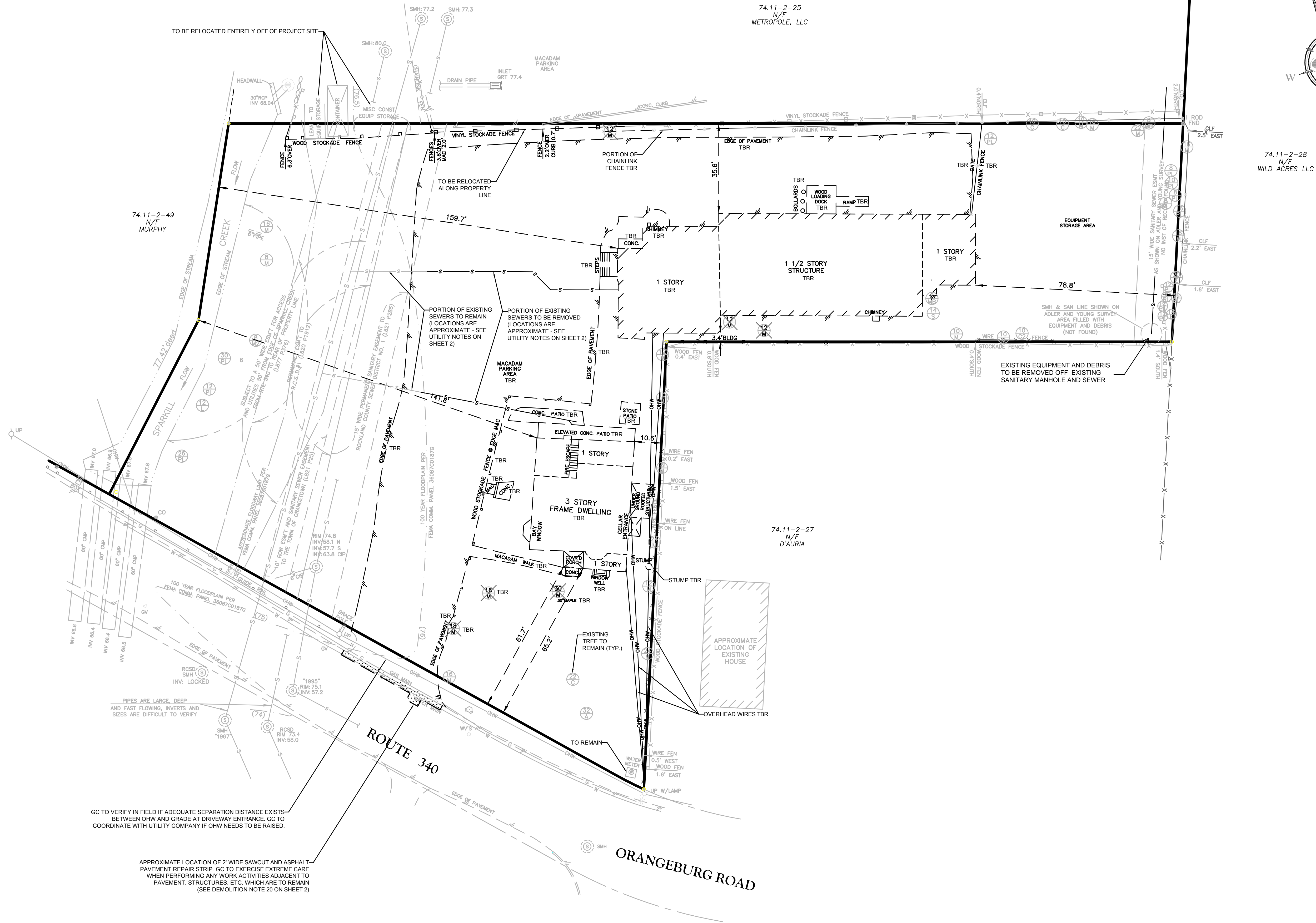
DATE _____

THE

DATE _____

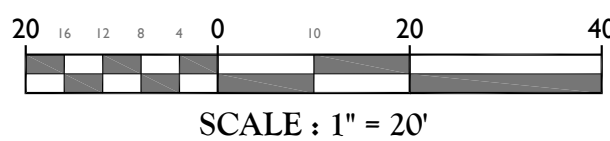
DATE _____

DATE _____



TREE LEGEND	
(12)	SIZE IN INCHES (LARGEST DIA SHOWN IN TWIN/TRIPLE)
(K2)	LETTER INDICATES TREE TYPE (SEE BELOW) SECOND NUMBER (2), (3) INDICATES TWIN/TRIPLE
A = ASH	M = MAPLE
C = CHERRY	MB = MULBERRY
E = ELM	P = PINE
K = OAK	S = SUMAC

LEGEND	
---	= ITEMS TO BE REMOVED
---	= ITEMS TO REMAIN
T.B.R.	= TO BE REMOVED
(X)	= TREE TO BE REMOVED
(S)	= TREE TO REMAIN



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2	1/13/17	KH	REVISED FOR RESOLUTION COMPLIANCE
3	6/22/18	DG	REVISED FOR RESOLUTION COMPLIANCE
4	8/10/18	DG	REVISED FOR ACADEMIA COMMENTS
5	1/4/19	DG	REVISED FOR DEIR COMMENTS

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SECTION 74.11
BLOCK 2
LOT 26


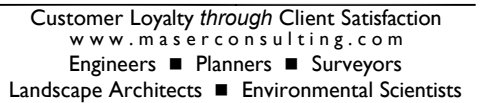
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PROJECT NUMBER:	DRAWING NAME:		
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DEMOLITION PLAN

SHEET NUMBER:
3 of 13



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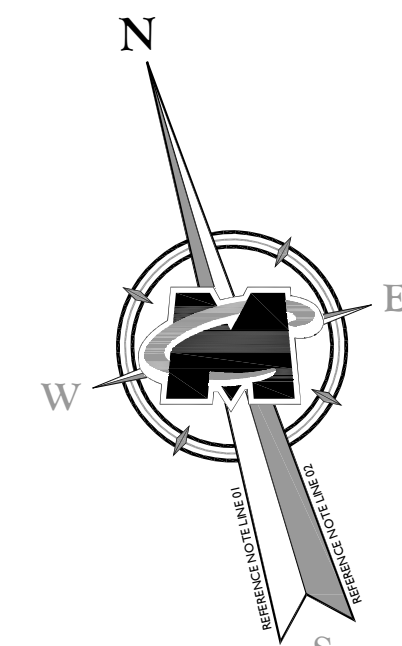
[illegible]



SEE NOTE 5

LAYOUT PLAN

SHEET NUMBER: _____



(C): COMPLIES

(V) = VARIANCE GRANTED AT THE 10/4/17 ZBA MEETING (ZBA #17-73)

PARKING:

I) AN NFPA 72 COMPLIANT FIRE ALARM SYSTEM CONNECTED TO ROCKLAND COUNTY

SCHOOL: SOUTH ORANGE

LEGEND

INVERTS OF EXISTING 4" CAST IRON SANITARY LATERALS SHOWN AT PROPOSED MANHOLES ARE APPROXIMATE BASED ON AVAILABLE MAPPING AND SURVEYED INFORMATION. GC SHALL FIELD VERIFY VIA TEST PITS THE INVERTS OF THESE LATERALS AT LOCATIONS OF PROPOSED MANHOLES PRIOR TO CONSTRUCTION AND SHALL INFORM ENGINEER OF ANY DISCREPANCIES.

CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, DIVISION OF SEWERS.

NO GRADING IS TO TAKE PLACE WITHIN FIVE FEET OF ANY PROPERTY LINE EXCEPT AS SHOWN HEREON.

SEE UTILITY NOTES ON SHEET 2 FOR IMPORTANT INFORMATION REGARDING THE PARTIAL REMOVAL OF THE EXISTING SANITARY-BUILDING CONNECTIONS

EXISTING SANITARY SEWER CONNECTION NOTES:

1. This is a one-time, special case, site specific approval.
2. The applicant shall televise the existing service connections prior to any other work or construction happening on the site to ensure that the connections are in a serviceable condition to accept the proposed flow.
3. The applicant/applicant's engineer shall arrange for and ensure that the Town's Sewer Inspector shall witness the televising of the service connections.
4. The owner of the property is solely responsible for the care and all future maintenance of these service connections (from origination to the Town's main trunk line).

STORMWATER COMPARISON TABLE						
	IMPERVIOUS COVERAGE (%)	1-YEAR RUNOFF	10-YEAR RUNOFF	25-YEAR RUNOFF	50-YEAR RUNOFF	100-YEAR RUNOFF
EXISTING	45	1.86 CFS	4.19 CFS	5.52 CFS	6.75 CFS	8.21 CFS
PROPOSED	44	1.76 CFS	4.06 CFS	5.39 CFS	6.62 CFS	8.07 CFS

EARTHWORK ANALYSIS WITHIN FLOODPLAIN

CUT = 111.50 CY
FILL = 109.50 CY
NET = 2.00 CY CUT

THEREFORE, NO LOSS OF FLOOD STORAGE IS PROPOSED AS PART OF THESE IMPROVEMENTS

LEGEND	
EXISTING	PROPOSED

20 16 12 8 0 10 20 40
SCALE: 1" = 20'

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3	6/22/18	DIG	REVISED FOR RESOLUTION COMPLIANCE
4	8/10/18	DIG	REVISED FOR ACADEMIA COMMENTS
5	1/4/19	DIG	REVISED FOR DEIR COMMENTS

JESSE B. COKELEY
NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 090987

FINAL SITE PLAN FOR RRIS CORPORATION

SECTION 74.11
BLOCK 2
LOT 26

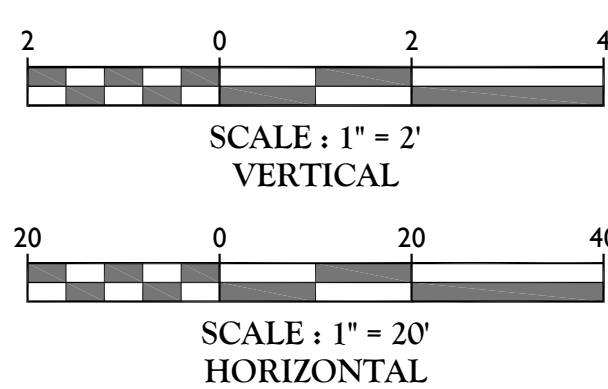
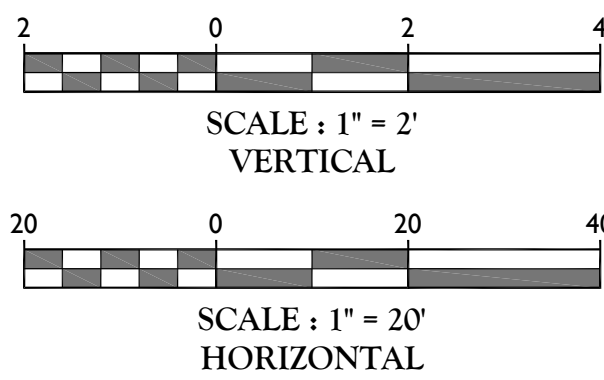
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PROJECT NUMBER:	DRAWING NAME:		
15002742A	C-GRAD		

GRADING, DRAINAGE & UTILITY PLAN

SHEET NUMBER:
5 of 13

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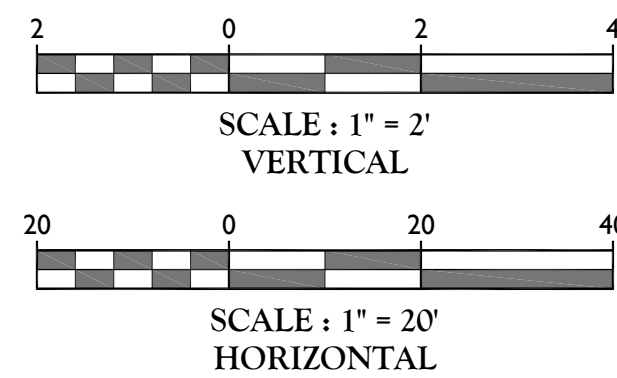
FINAL SITE PLAN
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SCALE: AS SHOWN	DATE: 6/16/17	DRAWN BY: KH	CHECKED BY: JBC
PROJECT NUMBER: 15002742A		DRAWING NAME: C-GRAD	

SHEET TITLE:

PROPOSED STORM PROFILES




REV	DATE	DRAWN BY	DESCRIPTION
1	8/3/17	KH	REVISED FOR ACABORITZA SUBMISSIONS
2	11/3/17	KH	REVISED FOR RESOLUTION COMPLIANCE
3	6/22/18	DJG	REVISED FOR RESOLUTION COMPLIANCE
4	8/10/18	DJG	REVISED FOR ICDA COMMENTS
5	11/4/19	DJG	REVISED FOR DEHE COMMENTS
6			
7			
8			
9			
10			
11			
12			

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PROJECT NUMBER: 15002742A		DRAWING NAME: C-GRAD	

SHEET TITLE:

PROPOSED
SANITARY PROFILES

SHEET NUMBER:
7 of 13

REV	DATE	DRAWN BY	DESCRIPTION
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2	11/31/17	KH	REVISED FOR RESOLUTION COMPLIANCE
3	6/22/18	DJG	REVISED FOR RESOLUTION COMPLIANCE
4	8/10/18	DJG	REVISED FOR RCDA COMMENTS
5	1/4/19	DJG	REVISED FOR DEIR COMMENTS

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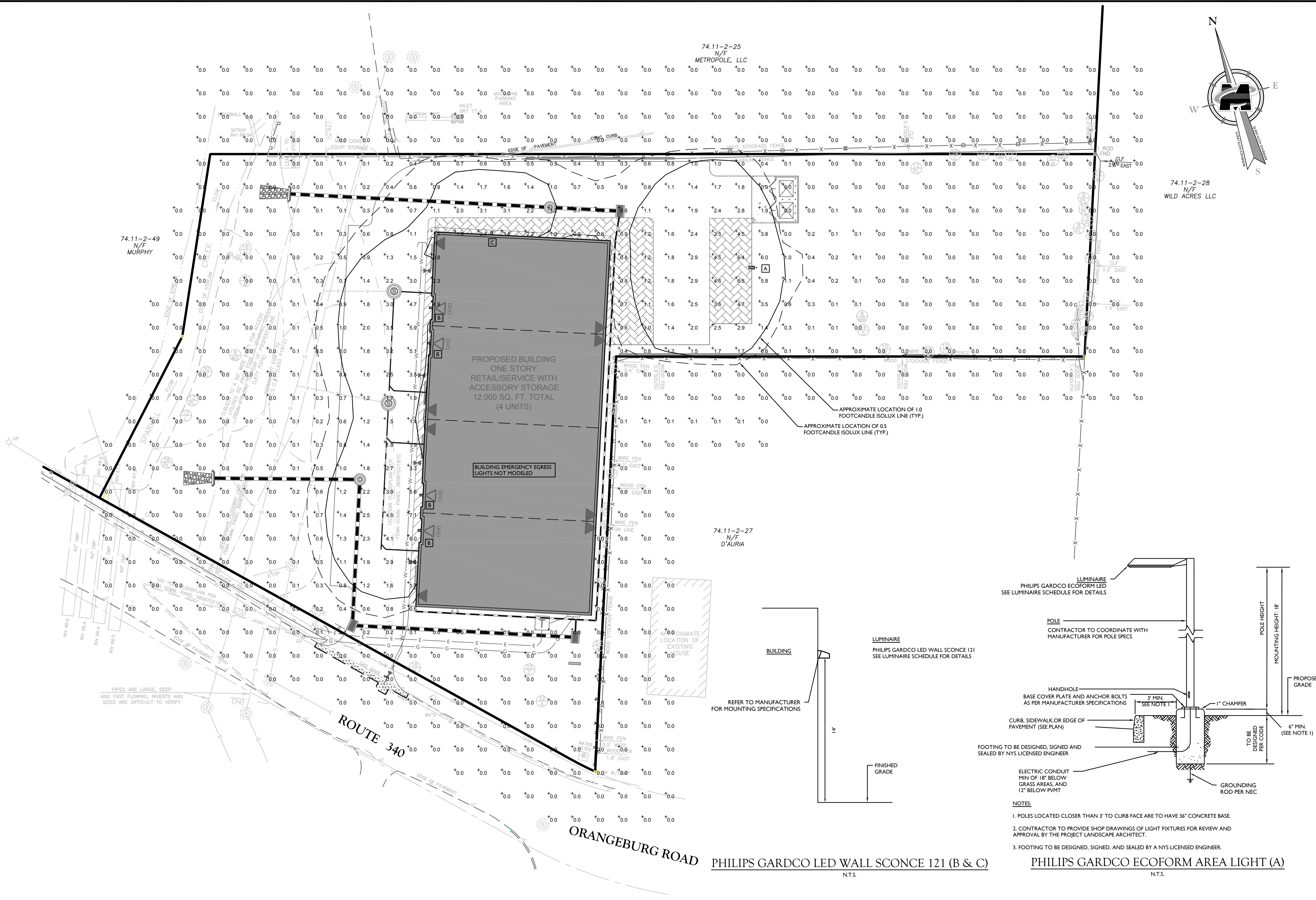
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PROJECT NUMBER:	DRAWING NAME:		
15002742A	C-LIGHT		

LIGHTING PLAN

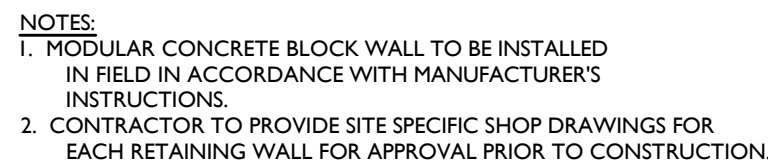


LUMINAIRE SCHEDULE							
KEY	QTY.	DESCRIPTION*	ARRANGEMENT	MTG. HT.	LUMENS	LLF	IES FILE NAME
A	1	PHILIPS GARDCO ECOFORM LED GEN-2 - TYPE 4	SINGLE	18"	16,795	.9	ECF-S-48L-900-NW-G2-4
B	4	PHILIPS GARDCO LED WALL SCONCE 121 - TYPE 4	WALL MOUNTED	14"	5,491	.9	121-32L-530-NW-G3-4-UNV-BK
C	1	PHILIPS GARDCO LED WALL SCONCE 121 - TYPE 3	WALL MOUNTED	14"	5,477	.9	121-32L-530-NW-G3-3-UNV-BK

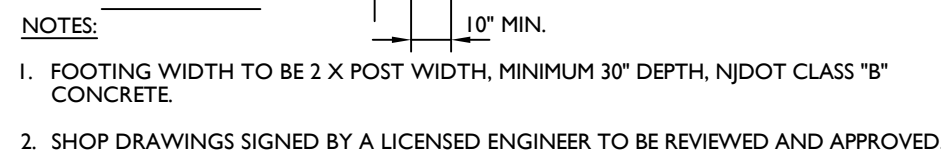
* OR APPROVED EQUAL
NOTE: EMERGENCY EGRESS LIGHTS NOT MODELED. HOWEVER, 1 LIGHT OVER EACH REAR DOOR (4 TOTAL) PER ARCHITECTURAL PLANS DATED AUGUST 22, 2017, PREPARED BY KIER B. LEVESQUE, R.A.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY.

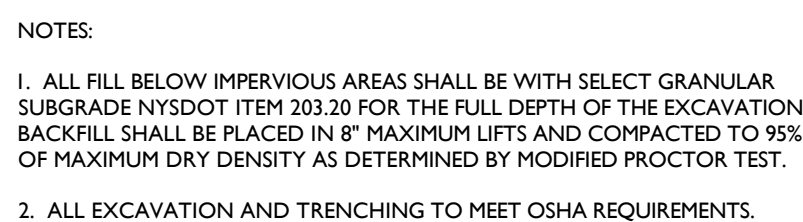
SEE PROJECT NOTES FOR LIGHTING NOTES



1



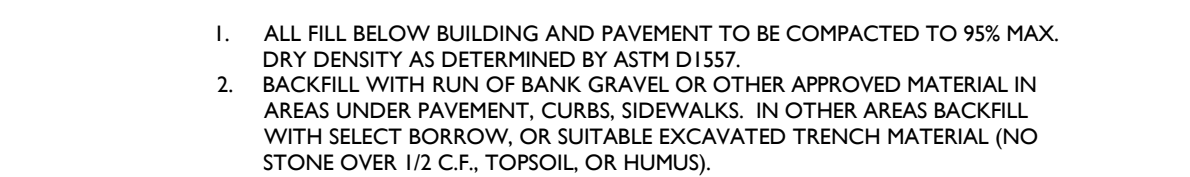
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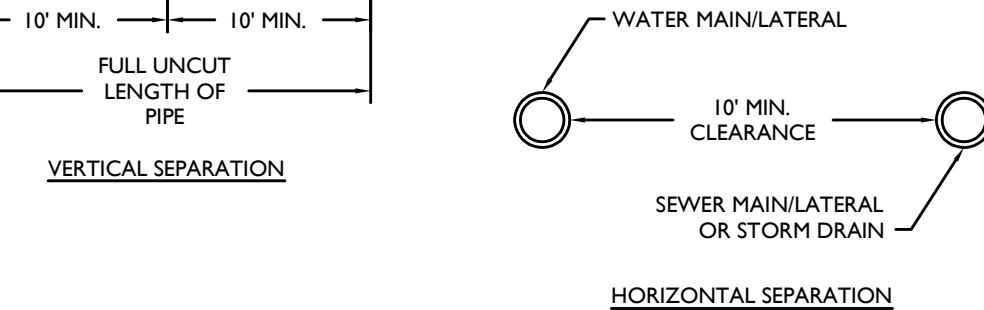
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3



8



15



1

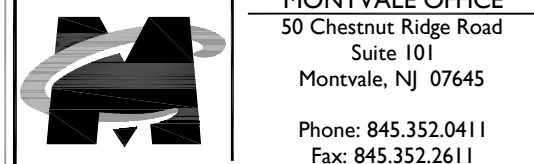
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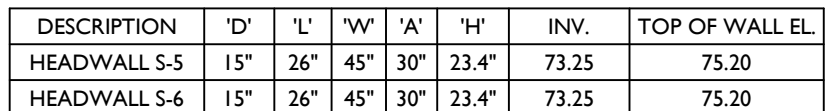
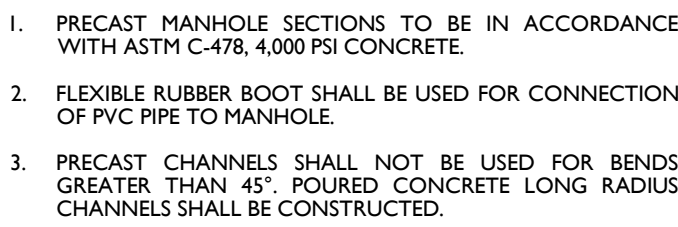


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CONSTRUCTION DETAILS

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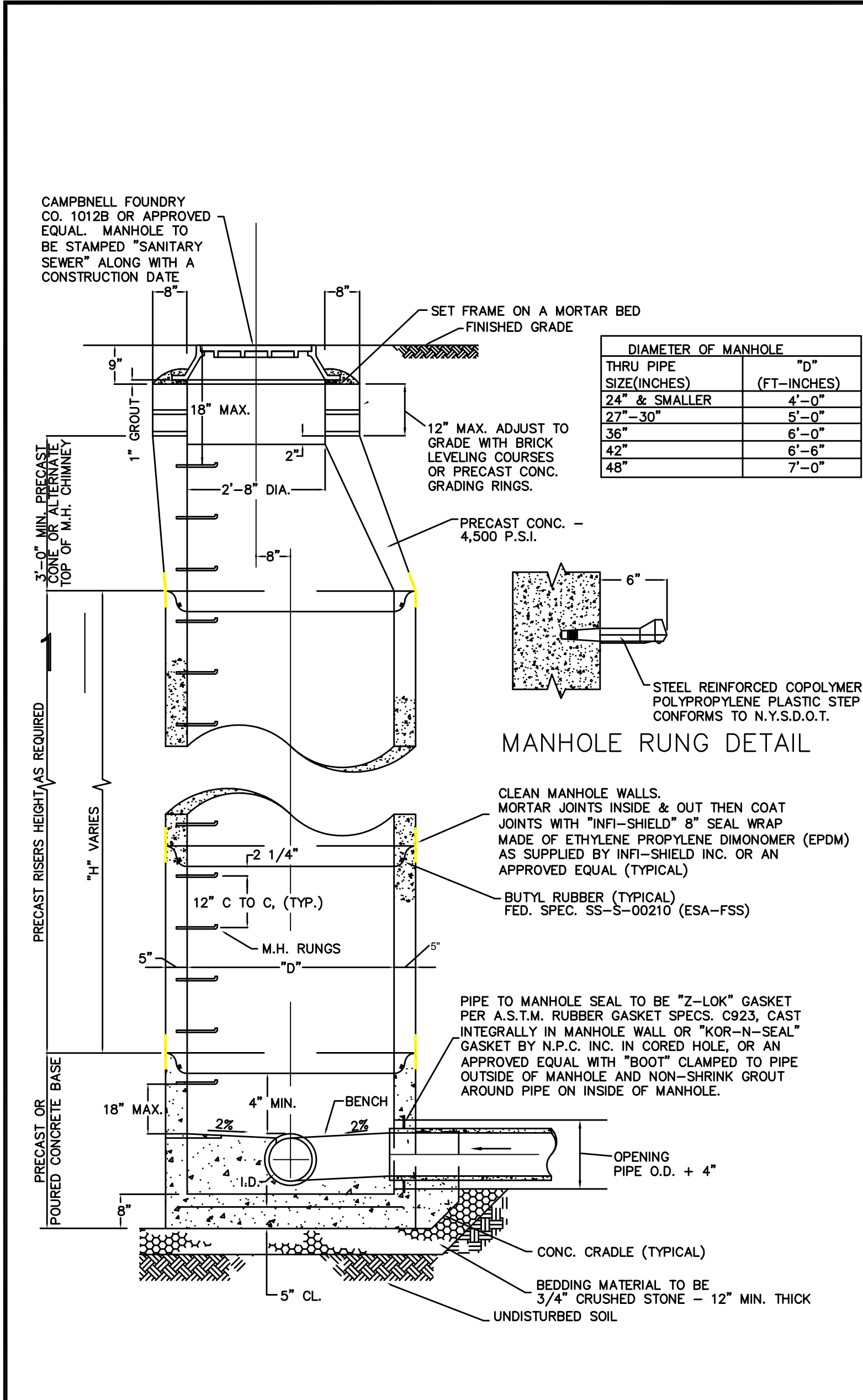
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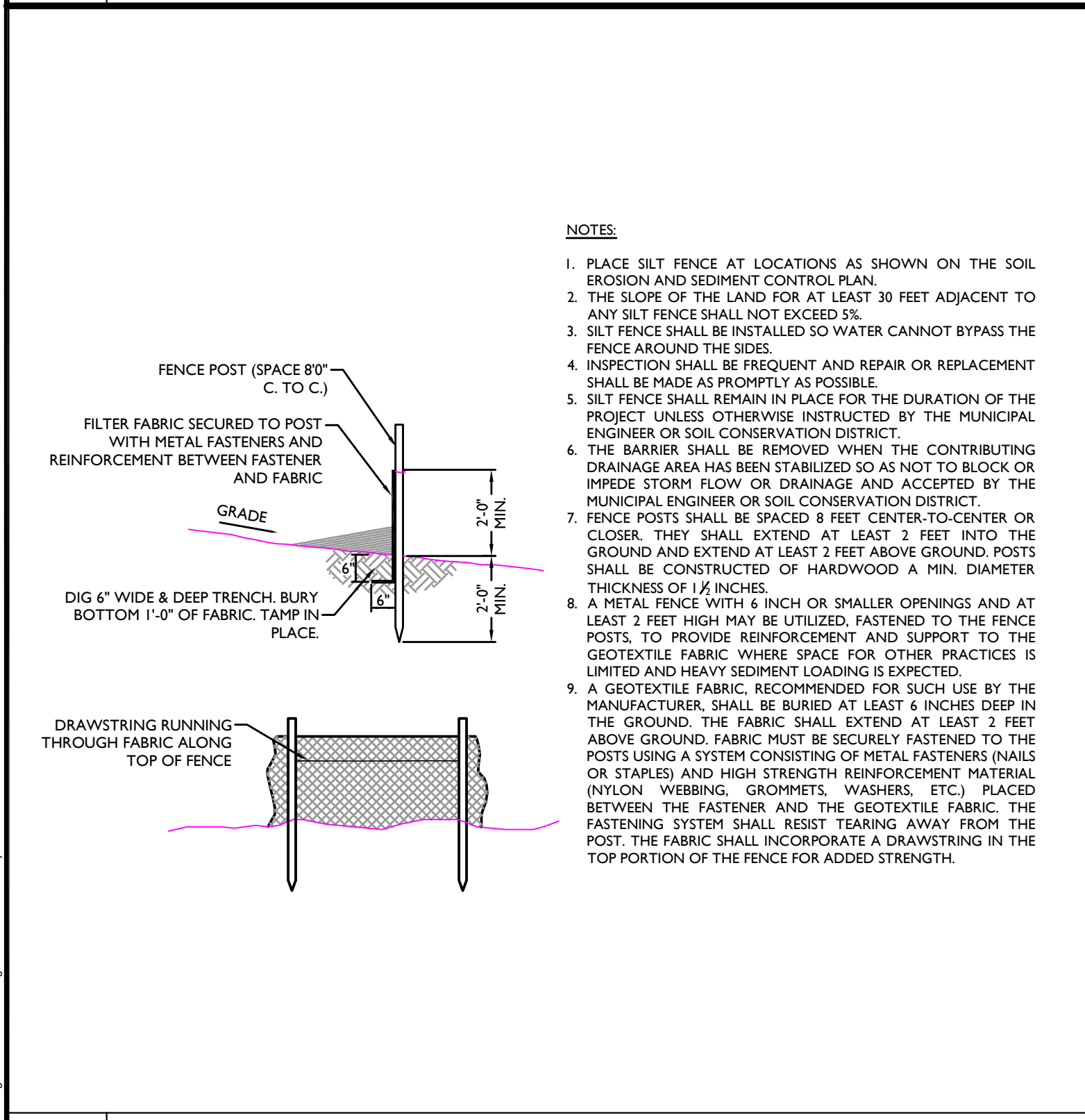
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CONSTRUCTION DETAILS



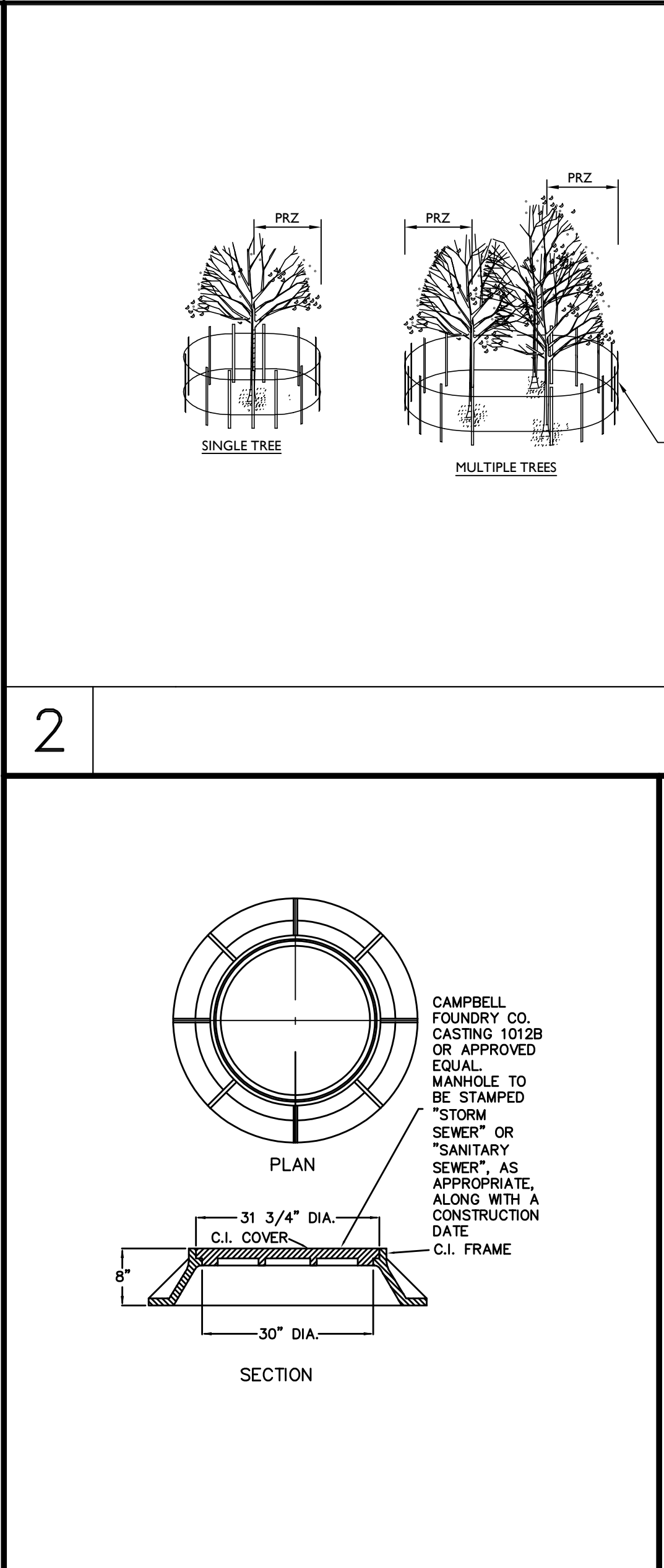
1 PRECAST STANDARD SANITARY MANHOLE DETAIL

N.T.S.



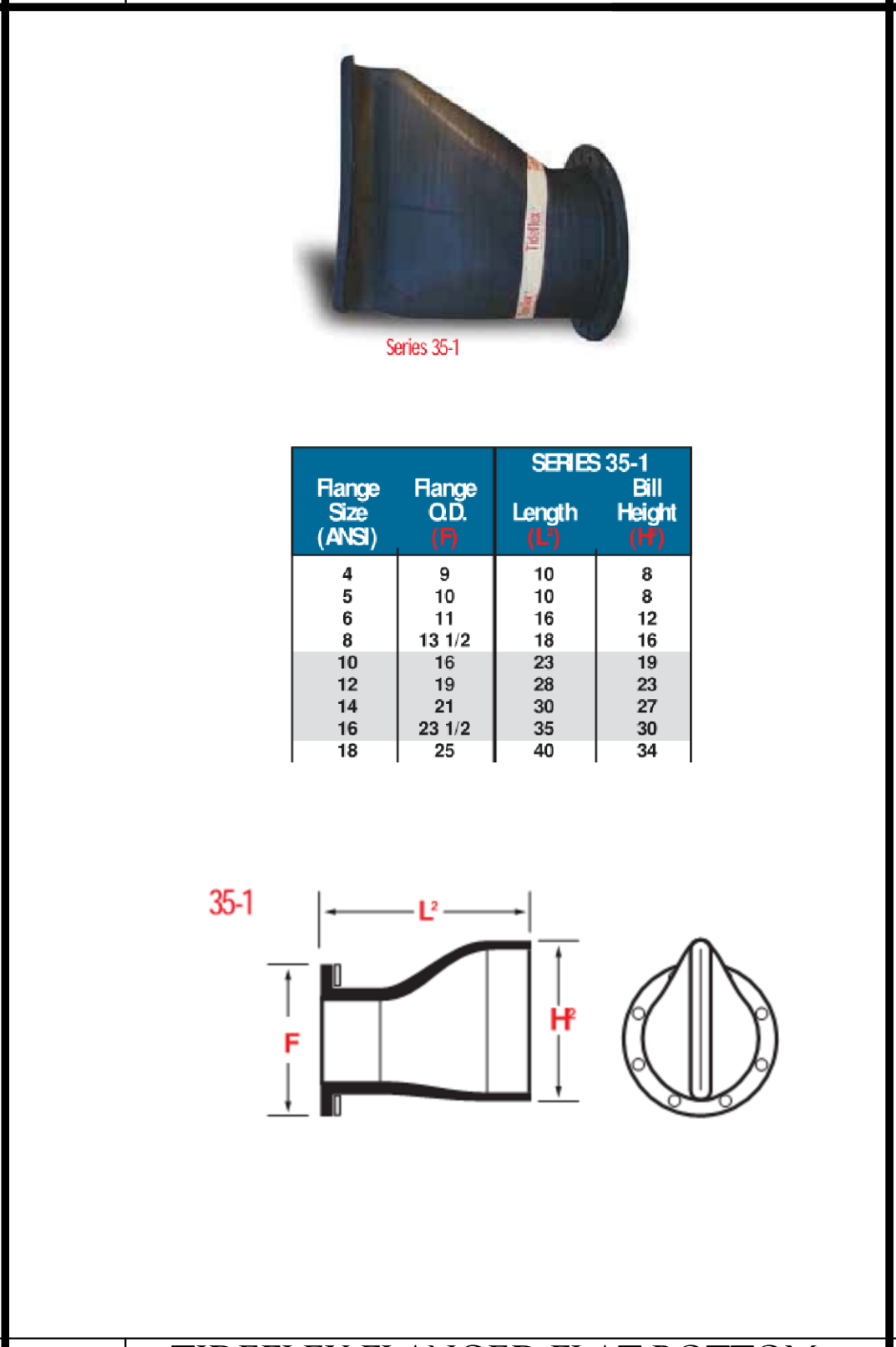
6 SILT FENCE

N.T.S.



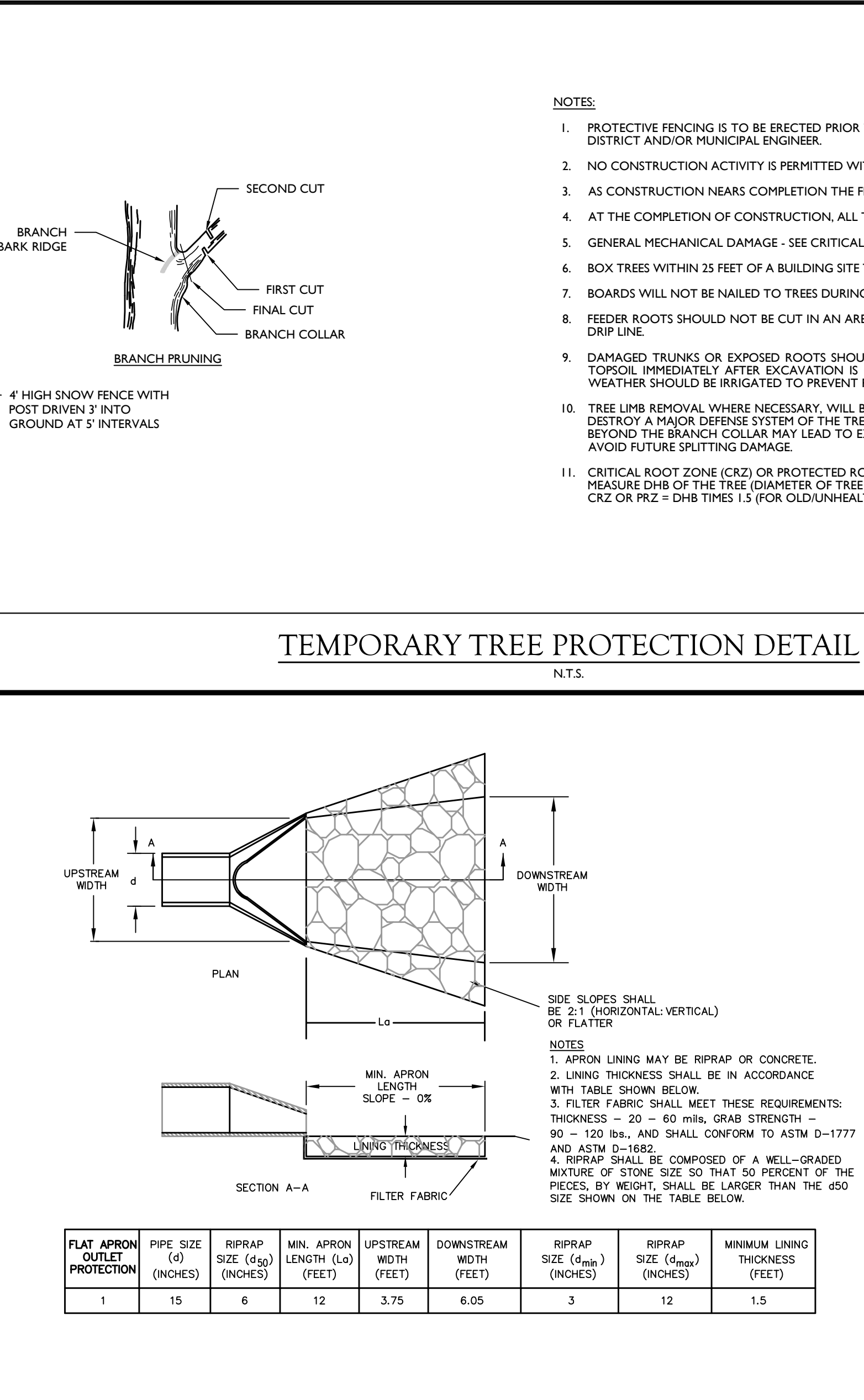
3 MANHOLE FRAME & COVER

N.T.S.



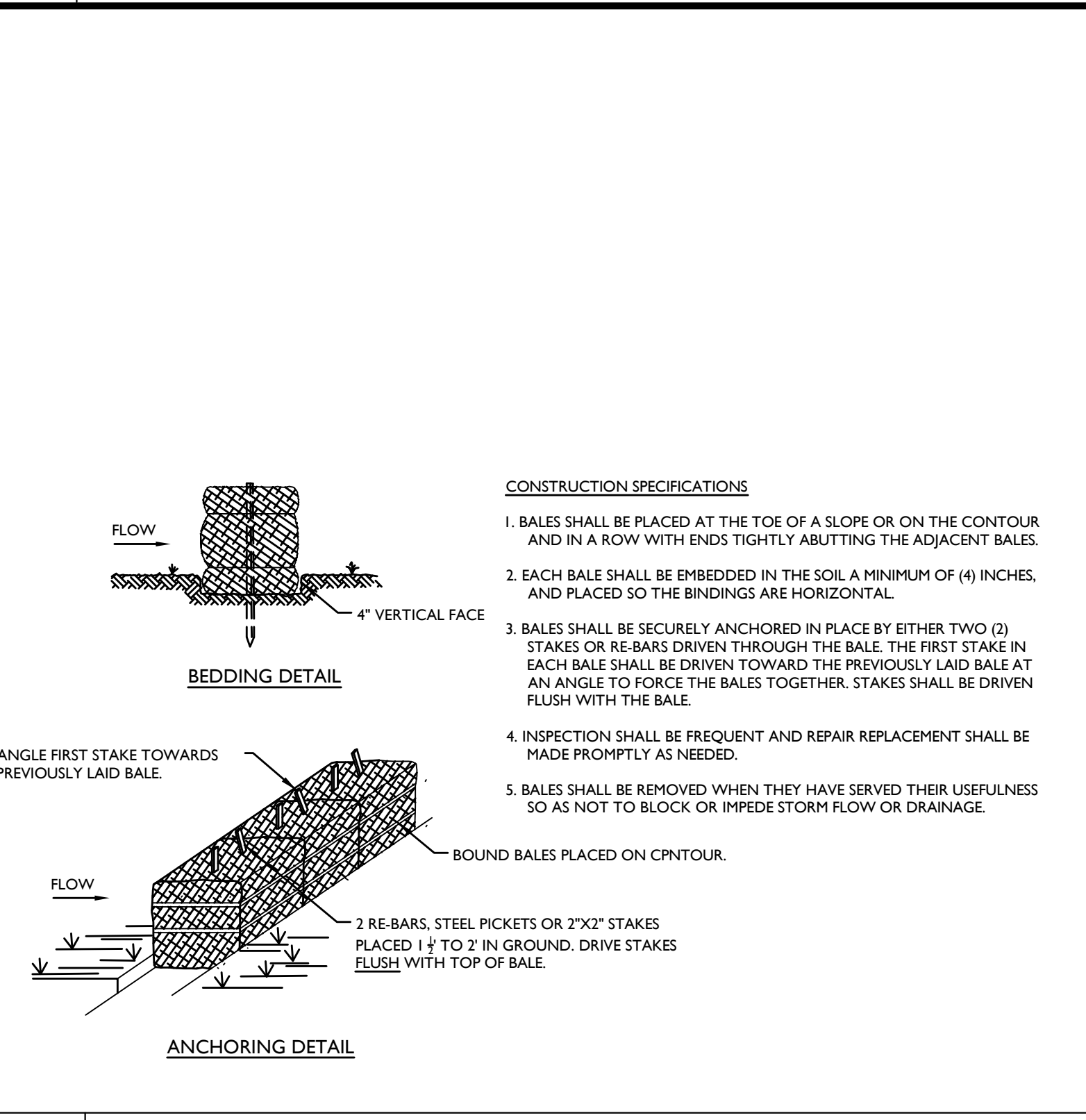
7 TIDEFLEX FLANGED FLAT BOTTOM CHECK VALVE

N.T.S.



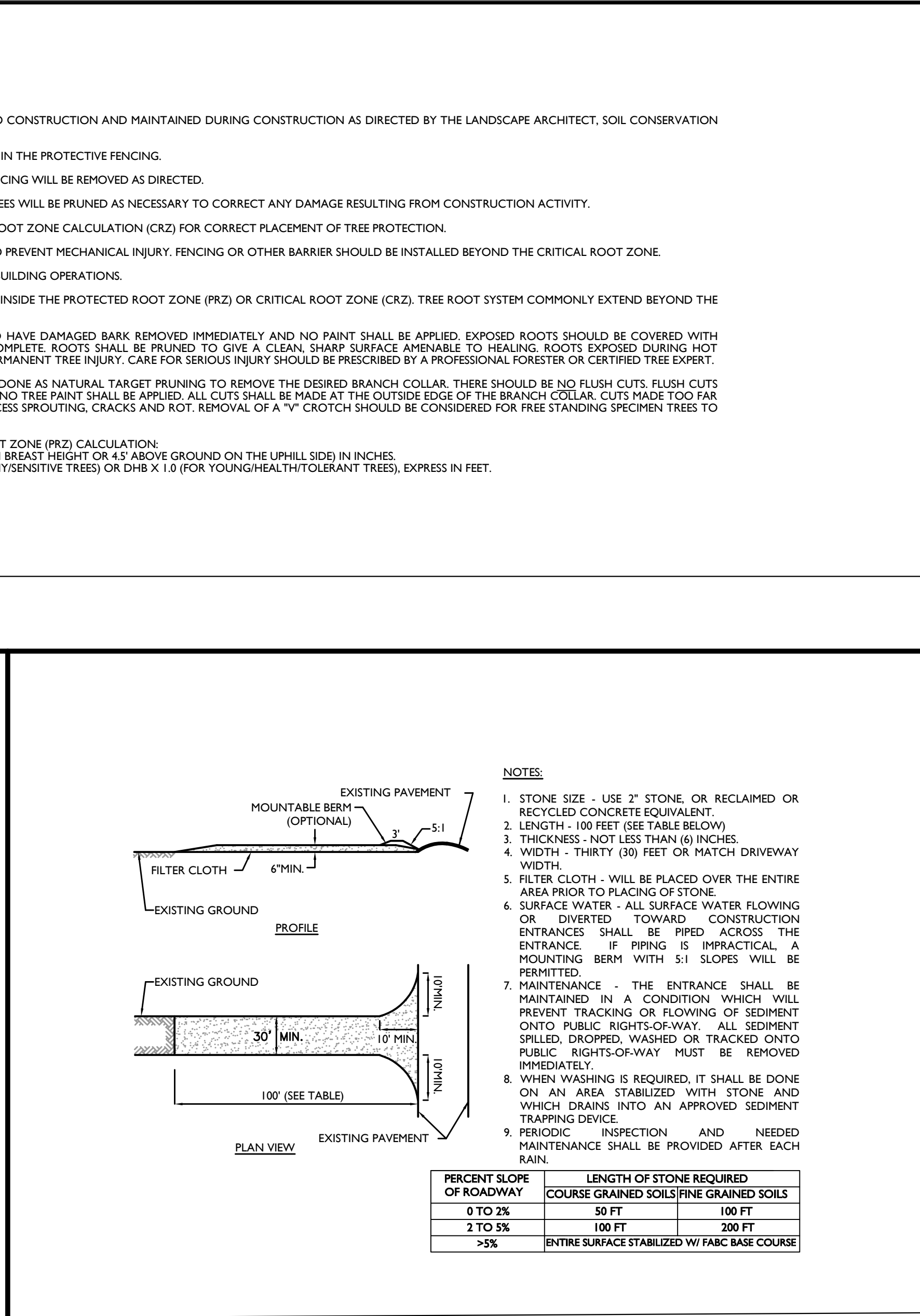
4 FLAT APRON OUTLET PROTECTION DETAIL

N.T.S.



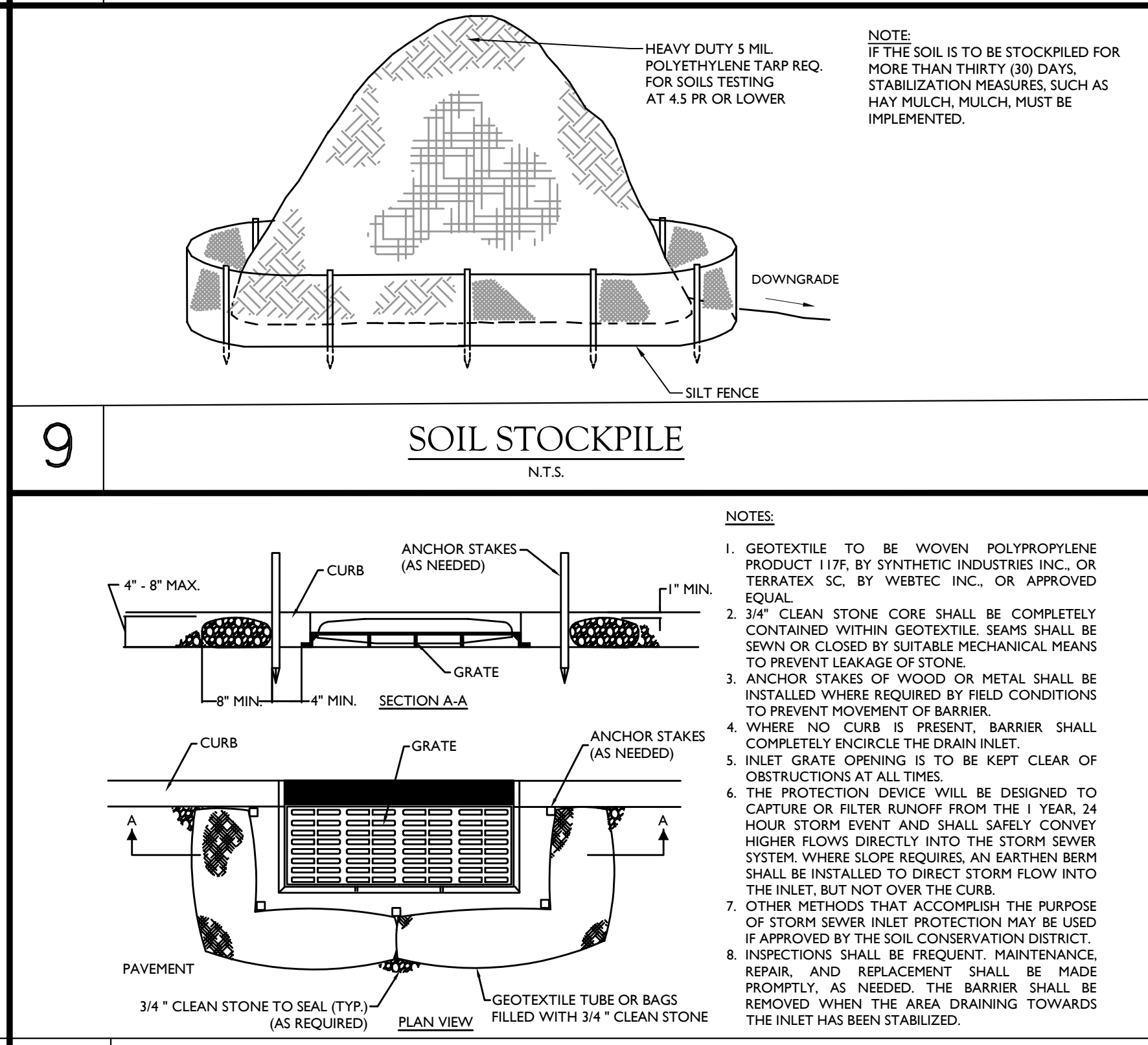
8 HAY BALE

N.T.S.



5 STABILIZED CONSTRUCTION ENTRANCE

N.T.S.



9 SOIL STOCKPILE

N.T.S.

10 INLET FILTER

N.T.S.

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4	8/10/18	DIG	REVISED FOR RCDA COMMENTS
5	1/4/19	DIG	REVISED FOR DEIR COMMENTS

JESSE B. COKELEY

NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 095987

FINAL SITE PLAN FOR RRIS CORPORATION

SECTION 74.11 BLOCK 2 LOT 26 TOWN OF ORANGETOWN ROCKLAND COUNTY NEW YORK

MONTVALE OFFICE

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SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	6/16/17	KH	JBC

PROJECT NUMBER	DRAWING NAME
15002742A	C-DTLS

CONSTRUCTION DETAILS

SHEET NUMBER:
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