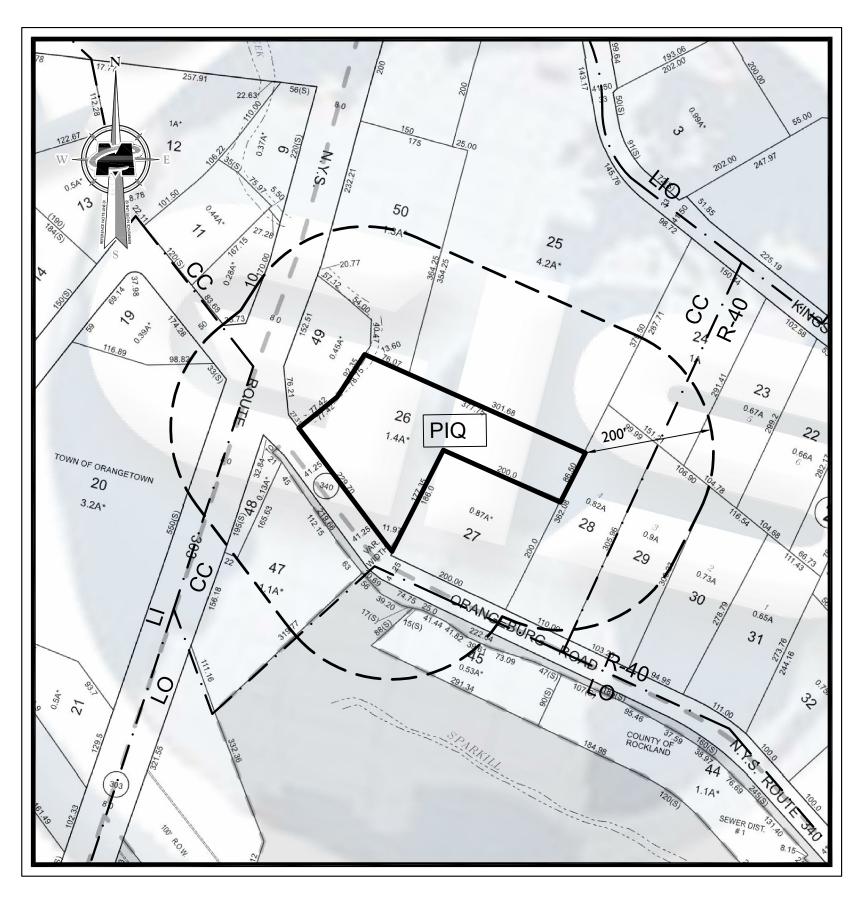
## FINAL SITE PLAN

**FOR** 

## RRIS CORPORATION

# RETAIL/SERVICE WITH ACCESSORY STORAGE SECTION 74.11, BLOCK 2, LOT 26

TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK



<b>KEY</b>	& ZONING MA	P
	150 120 90 60 30 0 75 150	

SCALE : 1" = 150'



**AERIAL MAP** 

SCALE : 1" = 150'

SHT. No.	DRAWING TITLE	LATEST REVISION
I	COVER SHEET*^	1/4/19
2	PROJECT NOTES*^	1/4/19
3	DEMOLITION PLAN*^	1/4/19
4	LAYOUT PLAN*^	1/4/19
5	GRADING, DRAINAGE & UTILITY PLAN	1/4/19
6	PROPOSED STORM PROFILES	1/4/19
7	PROPOSED SANITARY PROFILES	1/4/19
8	LANDSCAPE PLAN & DETAILS*	1/4/19
9	LIGHTING PLAN*	1/4/19
10	SOIL EROSION & SEDIMENT CONTROL PLAN	1/4/19
П	CONSTRUCTION DETAILS	1/4/19
12	CONSTRUCTION DETAILS	1/4/19
13	CONSTRUCTION DETAILS	1/4/19

\* = PLANS INCLUDED IN ACABOR SUBMISSION ^ = PLANS INCLUDED IN ZBA SUBMISSION

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN

OWNER - RRIS CORPORATION (1007 ROUTE 9W SOUTH, NYACK, NY 10960)

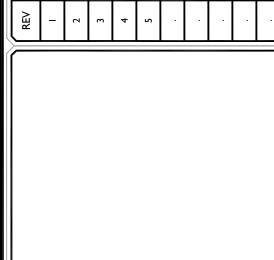
DATE

APPROVED BY THE PLANNING BOARD OF THE TOWN OF ORANGETOWN AT THE

DEPICTED AND THAT I CONCUR WITH THE SUBMISSION.

REGULAR MEETING OF \_

ENGINEER



Engineers ■ Planners ■ Surveyors

State of N.J. Certificate of Authorization: 24GA27986500

JESSE B. COKELEY NEW YORK LICENSED PROFESSIONAL

FINAL SITE PLAN

RRIS CORPORATION

SECTION 74.11 BLOCK 2 LOT 26

TOWN OF ORANGETOWN ROCKLAND COUNTY **NEW YORK** 



Phone: 845.352.0411

as shown 6/16/17

**COVER SHEET** 

of

PREPARED BY

MASER CONSULTING P.A. 50 CHESTNUT RIDGE ROAD MONTVALE, NJ 07645

BOUNDARY SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "SURVEY OF PROPERTY FOR RRIS CORP.". DATED 11/19/15.

- THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "SURVEY OF PROPERTY FOR RRIS CORP." DATED 11/19/15
- LAST REVISED 12/1/15, PREPARED BY JAY A. GREENWELL, P.L.S. LIC. NO. 49676 OF NEW YORK
- BENCHMARK REFERENCE: RCFP MON# 225, ELEVATION: 74.18 FEET. DATUM: NGVD 29
- FOR THE 100-YEAR FLOOD ELEVATION, THE ROCKLAND COUNTY DATUM CONVERSION FACTOR FOR THE SPARKILL CREEK FROM NGVD 29 NAVD 88 IS -0.99'
- FLOODWAY AND FLOOD HAZARD LIMIT SHOWN HEREON WAS TAKEN FROM A PLAN ENTITLED "SURVEY OF PROPERTY FOR RRIS CORP." PREPARED BY JAY A. GREENWELL, DATED 11/19/15, LAST REVISED 12/1/15.
- OWNER/APPLICANT: RRIS CORPORATION 1007 ROUTE 9W SOUTH **NYACK, NY 10960**
- ZONE DATA: CC RETAIL COMMERCE (RETAIL/SERVICE IS PERMITTED USE BY SPECIAL PERMIT FROM ZBA)

LAST REVISED 12/1/15, PREPARED BY JAY A. GREENWELL, P.L.S. LIC. NO. 49676 OF NEW YORK

- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
- A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2002; AS SUPPLEMENTED. B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS. C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS. D. CURRENT MANUFACTURER SPECIFICATIONS. STANDARDS. AND REQUIREMENTS.
- WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE ON ROUTE 340, OWNED AND OPERATED BY SUFZ WATER. PROPOSEI WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, AND AMERICAN WATERWORKS | C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE. ASSOCIATION STANDARDS, PIPE MATERIALS SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC EPOXY TYPE COATING. WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO THE PROPOSED GRADE
- SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY CONNECTION TO EXISTING SANITARY MANHOLE ON SITE, OWNED AND OPERATED B THE ORANGETOWN SEWER DISTRICT. PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL, ACCORDING TO MUNICIPAL AND ROCKLAND COUNTY HEALTH DEPARTMENT REGULATIONS. PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS. EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
- SANITARY SEWERS SHALL BE SEPARATED FROM WATER MAINS BY AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL RE IN SEPARATE TRENCHES WITH THE SANITARY SEWER AT LEAST 18 INCHES RELOW THE ROTTOM OF THE WATER MAIN WHERE APPROPRIATE SEPARATION IS NOT POSSIBLE THE SEWER SHALL BE ENCASED IN CONCRETE OR CONSTRUCTED OF DUCTILE-IRON-PIPE LISING MECHANICAL OR SLIP ON IOINTS, FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH IOINTS ARE AS FAR AWAY AS POSSIBLE FROM THE WATER LINE
- ). GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILIT COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- . Storm sewers shall be class III (or higher if noted) reinforced concrete pipe (rcp) with "o" ring gaskets or internally PRELUBRICATED GASKET (TYLOX SUPÈRSEAL OR EQUIVALENT), ADS N-12 HIGH DENSITY POLYÈTHYLENE PIPE (HDPEP), HANCOR SURE-LOK HIGH DENSITY POLYETHYLENE PIPE (HDPEP) OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION, PIPE LENGTH'S SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE
- . TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- . This is a site development plan and unless specifically noted elsewhere hereon, is not a survey.
- 5. BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE, FINAL BUILDING FOOTPRINT DIMENSIONS FOR THE BUILDING SHALL F FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- . Do not scale drawings as they pertain to adjacent and surrounding physical conditions, buildings, structures, etc. the
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED, ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPALITY.
- EXISTING UTILITY INFORMATION SHOWN HERFON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIEY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION, WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS. TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY II ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE
- . THIS PLAN IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE O ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.

2. NO BUILDING PERMIT SHALL BE ISSUED UNTIL SEWER ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT 🛭 🛭 🛭

- 3. NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE AND ARCHITECTURAL PLANS HAVE BEEN APPROVED BY ACABOR. AND SITE AND DRAINAGE
- PLANS BY THE ORANGETOWN PLANNING BOARD.
- 4. IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION OF ANY REQUIRED PUBLIC IMPROVEMENTS OR PRIVATE SANITARY OR STORM SEWER IMPROVEMENTS, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING. THE APPLICANT OR THE APPLICANT'S ENGINEER SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT OR DESIGN MODIFICATION TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE, PERMANENT, AND SATISFACTORY CONSTRUCTION. THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING SHALL INVESTIGATE THE CONDITION(S), AND SHALL EITHER APPROVE THE APPLICANT'S OR APPLICANT'S ENGINEER'S RECOMMENDATIONS TO CORRECT THE CONDITION(S). OR ORDER A MODIFICATION THEREOF, IN THE EVENT OF THE APPLICANT'S OR APPLICANT'S ENGINEER'S DISAGREEMENT WITH THE DECISION OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING. OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SITE PLAN OR ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA. THE MATTER SHALL BE DECIDED BY THE AGENCY WITH IURISDICTION IN THAT AREA (I.E. FEDERAL WETLANDS - U.S. ARMY CORPS OF ENGINEERS).
- i. Permanent vegetation cover of disturbed areas shall be established on the site within 30 days of the completion c CONSTRUCTION
- 6. THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS AND REFUSE CONTROL.
- 7. AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE 19. CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE A REMOVAL OF TREES & VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING. SUPERINTENDENT OF HIGHWAYS, AND THE OFFICE OF BUILDING, ZONING, & PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- TREE PROTECTION: THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT regulations of the town of orangetown will be implemented in order to protect and preserve both individual specimen TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
- NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY. THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH TREES

OR THE TOWN OF ORANGETOWN

- TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS: i. ONE (I) FOOT RADIUS FROM TRUNK PER INCH DBH
- ii. DRIP LINE OF THE TREE CANOPY THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE
- TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO
- a. LIGHT TO HEAVY IMPACTS MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS
- SHALL BE REMOVED UPON COMPLETION OF WORK.
- b. LIGHT IMPACTS ONLY INSTALLATION OF  $\frac{3}{2}$  INCH OF PLYWOOD OR BOARDS. OR EOUAL OVER THE AREA TO BE PROTECTED HE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANG AS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES. TREES 4. ESIGNATED TO BE PRESERVED SHALL BE WELLED AN/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL RADIUS OF THREE (3) FEET LARGER THAN

). PRIOR THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION &

SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD, PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE

- WORK, THE TOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION & SEDIMENT CONTROL MEASURES THE APPLICANT SHALL CONTACT THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND 6 ENGINEERING AT LEAST 48 HOURS INADVANCE FOR AN INSPECTION.
- D. EROSION CONTROL MEASURES SHALL BE DESIGNED UPON PRELIMINARY APPROVAL OF PROPOSED STORMWATER DESIGN. EROSION AND SEDIMENT CONTROL DESIGN SHALL BE IN CONFORMANCE WITH NYSDEC AND ORANGETOWN REGULATIONS.
- . THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.
- . AN ELEVATION CERTIFICATE SHALL BE PROVIDED FOR THE AS-BUILT CONSTRUCTION PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY
- A FLOODPLAIN DEVELOPMENT PERMIT IS REQUIRED FROM THE LOCAL FLOODPLAIN ADMINISTRATOR.
- 14. A ROCKLAND COUNTY DRAINAGE AGENCY STREAM CONTROL ACT PERMIT IS REQUIRED FOR THIS SITE PLAN.
- 15. IF ANY FOUNDATION WORK OR OTHER TYPE OF MAJOR EXCAVATION WORK IS TO BE DONE WITHIN CLOSE PROXIMITY TO THE RCSD NO. I|9 SANITARY EASEMENT BOUNDARY, THE DISTRICT MUST BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE. SHORING OR OTHER TYPES OF
- PRECAUTIONS MAY BE NEEDED TO PROTECT THE SEWER MAIN AND THESE SHALL BE AT THE EXPENSE OF THE PROPERTY OWNER. , the rcsd no. I must be notified when the land within its easements is to be modified, this includes but is not limited to
- REGRADING, RAISING OR LOWERING OF MANHOLE FRAMES, OR WORKING IN CLOSE PROXIMITY TO SEWERS AND MANHOLES WITHIN THE
- . PRIOR (AT LEAST 14 DAYS) TO THE PLACING OF ANY ROAD SUBBASE, THE APPLICANT SHALL PROVIDE THE TOWN OF ORANGETOWN SUPERINTENDENT OF HIGHWAYS AND THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING WITH A PLAN AND PROFILE OF THE GRADED ROAD TO BE PAVED IN ORDER THAT THESE DEPARTMENTS MAY REVIEW THE CONFORMANCE OF THE DRAWINGS TO THE APPROVED CONSTRUCTION PLANS AND THE TOWN STREET SPECIFICATIONS.
- 8. THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.

### DEMOLITION NOTES

- THIS PLAN REFERENCES THE FOLLOWING DOCUMENTS AND INFORMATION:
- A. BOUNDARY AND TOPOGRAPHIC SURVEY FOR LOT 26, BLOCK 2, SECTION 74.11 (TOWN OF ORANGETOWN), PREPARED BY JAY A. GREENWELL, DATED 11/19/15, LAST REVISED 12/1/15.
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTI ACT OF 1970, (29 U.S.C. 651 et seg.) AS AMENDED.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. TH CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK
- NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD

PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH ENGINEER, IN WRITING AND RESPONDED TO BY ENGINEER,

PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:

IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY

- A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.
- B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL DEPARTMENT OF PUBLIC WORKS, 72 HOURS PRIOR
- DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND

D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL

- STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES
- PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
- ARRANGING FOR AND COORDINATING WITH THE APPLICABLE LITILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE LITH ITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS
- COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEFKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT NO ADDITIONAL COST
- IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.

THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR

THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN, ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE

THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.

CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL B ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS, AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT, BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL B GRADED TO PROMOTE POSITIVE DRAINAGE

EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND ALL APPLICABLE GOVERNMENTA AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL. STATE AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR AL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.

CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.

CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS SIDEWALKS, WALKWAYS, AND OTHER ADIACENT FACILITIES, STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY

DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN

ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR RESPONSIBLE FOR RETURNING ALL ADIACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.

CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT TH ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.

CONTRACTOR IS RESPONSIBLE FOR SITE IOB SAFETY, WHICH SHALL INCLUDE BUT NOT LIMITED TO THE INSTALLATION AND MAINTENANC OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY

the demolition plan is intended to identify those existing items/conditions which are to be removed. It is not intended TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK, ALL MEANS AND METHODS! UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE

DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES, TO BE PROVIDED TO THE OWNER UPON REQUEST.

CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.

). GENERAL CONTRACTOR IS RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS, ${f l}^{ extstyle}$ PAVEMENT, DRAINAGE STRUCTURES, ETC. WHICH ARE TO REMAIN. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING DAMAGE DONE TO THE AFOREMENTIONED ITEMS. THE REPAIR SHALL RESTORE SUCH TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS AND IN ACCORDANCE WITH ALL APPLICABLE CODES.

## SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL

- THE ENGINEERING INSPECTOR SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE SILT FENCES, INLET FILTERS AND HAYBALES. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW JERSEY STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL

CONSTRUCT AND MAINTAIN THE CONSTRUCTION ENTRANCES AS SHOWN ON THE PLANS AND DETAILS. STAGING AND STORAGE AREA SHALL BE SET UP IN THE LOCATIONS DESIGNATED ON THE PLANS.

DEMOLISH EXISTING SITE IMPROVEMENTS (BUILDINGS, SIDEWALKS, PAVEMENT, CURBING, ETC.) AS SHOWN ON THE DEMOLITION PLAN. ALL MATERIAL TO BE CRUSHED AND STOCKPILED ON SITE.

ROUGH GRADE THE SITE BASED ON THE GRADING PLAN TO THE APPROPRIATE BUILDING PAD ELEVATIONS. EXCAVATE FOR AND CONSTRUCT THE DRAINAGE IMPROVEMENTS PROGRESSING UPSTREAM. PROVIDE INLET PROTECTION ON EXISTING AND PROPOSED DRAINAGE STRUCTURES

CONSTRUCT BUILDING FOUNDATIONS. INSTALL PROPOSED UTILITIES, CURBING AND THEN PAVE (BASE COURSE) PARKING AREA AND

STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR GABIONS).

MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT FROM THE DESIGN CAPACITY. A FIXED VERTICAL SEDIMENT DEPTH MARKER SHOULD BE INSTALLED TO MONITOR THE

FINALIZE CONSTRUCTION OF SITE IMPROVEMENTS INCLUDING THE BUILDINGS, SIDEWALKS, LANDSCAPE AREAS, SIGNAGE, LIGHTING AND ANY OTHER OUTSTANDING ITEMS.

AFTER COMPLETION OF CONSTRUCTION, FINISH GRADE TO FINAL ELEVATIONS AND APPLY SEED OR SOD ON ALL LAWN AREAS. AFTER STABILIZATION HAS BEEN ESTABLISHED CLEAR DRAINAGE PIPES AND STRUCTURES OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED. REMOVE ALL EROSION CONTROL DEVICES.

- MAINTAIN ALL LAWN AND LANDSCAPED AREAS TO ENSURE A VIABLE STABILIZED VEGETATIVE COVER.
- ADDITIONAL FROSION CONTROL MEASURES SHALL BE INSTALLED. AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES. TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.
- THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR AN' PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS

### SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FIVE (5) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATEL' RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED 2
  - WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS
  - PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING, WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL
- A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH. GRADING AND INSTALLATION OF IMPROVEMENTS TO STABILIZE STREETS ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN FIVE (5) DAYS OF THE PRELIMINARY GRADING
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY embankments) will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of two (2)
- TONS PER ACRE, ACCORDING TO STATE STANDARDS. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF TWELVE (12) INCHES OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION
- AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF TWENTY-FOUR (24) INCHES OF SOIL HAVING A PH OF AT THE TIME THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NO
- PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT IT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO B

SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATIVE

STOCKPILE AND STAGING LOCATIONS DETERMINED IN THE FIELD, SHALL BE PLACED WITHIN THE LIMITS OF DISTURBANCE ACCORDING TO THE

- UNFILTERED DEWATERING IS NOT PERMITTED. TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
- ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAY WILL BE REMOVED

COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION AND SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT
- CERTIFIED PLAN. ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR, AND SHALL BECOME THEIR
- RESPONSIBILITY.
- PAVEMENT AREAS ARE TO BE KEPT CLEAN AT ALL TIMES.

POSITIVE DRAINAGE

DURING CONSTRUCTION, ANY ADDITIONAL CONTROL MEASURES AS DEEMED NECESSARY TO PREVENT EROSION OR CONTROL SEDIMENT BEYONI THOSE MEASURES SHOWN ON THE APPROVED PLAN SHALL BE INSTALLED OR EMPLOYED AT THE DIRECTION OF THE MUNICIPAL ENGINEER.

INSPECTION AND MAINTENANCE SHALL BE PERFORMED IN CONFORMANCE WITH GP-0-15-002. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED AND INSTALLED FOR THE PROJECT. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE LANDSCAPE PLAN TO

### ADA NOTES TO CONTRACTOR

- CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDED, BUT ARE NOT LIMITED O THE FOLLOWING
- A. PARKING SPACES AND PARKING AISLES SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN ANY DIRECTION B. CURB RAMPS - SLOPES SHALL NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET. CURB RAMPS SHALL NOT RISE MORE THAN 6" WITHOUT A
- C. LANDINGS SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) CROSS SLOPE.
- D. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL, (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0% OR 5/6") PER FOOT) IN THE DIRECTION OF TRAVEL AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%). FOR A MAXIMUM DISTANCE OF 30 FFFT. SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR
- . Doorways Shall have a "level" landing area on the exterior side up the door that is sloped no more than 1:48 (1/4" per foot OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).
- IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK AT ALL CROSSWALKS, GC IS TO MAINTAIN A MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% RUNNING SLOPE. NOTIFY ENGINEER OF ANY

CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4" VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEI 1/4" AND 1/2" EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP OF 1/4" CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.

### OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2".

#### LOCATION OF ALL EXISTING AND PROPOSED UTILITIES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL CONNECTION POINTS SHALL BE VERIFIED IN FIELD BY GC AND ENGINEER SHALL BE NOTIFIED IMMEDIATELY REGARDING ANY DISCREPANCIES, CONSTRUCTION SHALL COMMENCE BEGINNING AT LOWEST INVERT AND PROGRESS UP GRADIENT. PROPOSED CROSSING OF EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO

UTILITY NOTES

PROPOSED MANHOLE CONNECTIONS TO THE EXISTING SANITARY LATERALS ARE LOCATED OUTSIDE OF THE SANITARY SEWER EASEMENT.

- THE CONTRACTOR TO INSTALL ALL STORM/SANITARY SEWERS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES. THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE TO COORDINATE THE INSPECTION OF THE CONNECTIONS TO THE EXISTING SANITARY LATERALS AND ALL CONSTRUCTION IN THE EXISTING SANITARY SEWER EASEMENT. PLEASE NOTE THE
- APPROXIMATE LOCATION OF THE EXISTING SANITARY-BUILDING CONNECTIONS IS BASED ON THE FOLLOWING REFERENCES: • "AS-BUILT" DRAWINGS PROVIDED BY THE TOWN OF ORANGETOWN AND DATED NOVEMBER, 1968
- SEWER MAPPING AND PROFILE PROVIDED BY THE TOWN OF ORANGETOWN ALL SANITARY SEWERS TO UNDERGO TESTING AS REQUIRED BY ROCKLAND COUNTY DEPARTMENT OF HEALTH (RCDOH). ALL RESULTS SHALL BE SUBMITTED TO RCDOH ALONG WITH AS-BUILT DRAWINGS FOR REVIEW AND APPROVAL. TESTS MUST CONSIST OF THE FOLLOWING:
- ALL FLEXIBLE SANITARY PIPES (PVC, FRP, ETC.) SHOULD UNDERGO ALIGNMENT AND DEFLECTION TESTING AFTER INSTALLATION ACCORDING TO "TEN STATES STANDARDS ALL SANITARY SEWER PIPES, MANHOLES, AND CLEANOUTS NEED TO BE TESTED FOR LEAKAGE IN ACCORDANCE WITH APPENDIX C "SEWER AND MANHOLE LEAKAGE TESTS" OF THE NYS DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS DATED 3/5/2014 BY NYS
- as-built drawings, test results and engineer's certification are to be submitted to the town of orangetown and the rockland COUNTY HEALTH DEPARTMENT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

## GENERAL SEEDING NOTES

- TEMPORARY SEEDING SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED AT A RATE OF 1.0 LBS. PER 1000 SF OR SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1000 SF. TEMPORARY SEEDING SHALL BE MULCHED AND MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WIT
- PERMANENT LAWN SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL OPTIMUM SEEDING DATES ARE BETWEEN APRIL AND MAY 31: AND AUGUST 16 AND OCTOBER 15.
- MIX #15 HARD FESCUE 120 LBS/ACRE PERENNIAL RYE GRASS 30 LBS/ACRE KENTUCKY BLUE GRASS (BLEND) 40 LBS/ACRE
- TALL FESCUE PERENNIAL RYE GRASS (BLEND)
- KENTUCKY BLUE GRASS (BLEND) 20 LBS/ACRE DETENTION BASIN TO BE SEEDED WITH ERNST SEED MIX 127 OR APPROVED EQUIVALENT

ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.

PERMANENT SEEDING TO BE APPLIED BY RAKING OR DRILLING INTO THE SOILS AT A RATE OF 150# PER ACRE, SLOPED AREA TO BE COVERED WIT MULCH AS INDICATED IN NOTE 6.

160 LBS/ACRE

20 LBS/ACRE

FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-20-20 APPLIED AT A RATE OF 14# PER 1000 SF OR AS DETERMINED BY SOIL TESTS. LIMESTONE FOR TEMPORARY SEEDING SHALL BE APPLIED AT A RATE OF 90# PER 1000 SF. LIMESTONE FOR PERMANENT SEEDING SHALL BE APPLIED AT RATE OF 135# PER 1000 SF.

MUICH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MUICH BINDER OR AN APPROVED FOLIAL

REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED

- IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN
- MUICH WILL RE SPREAD AT RATES OF 90 TO 115 LRS. PER 1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH BINDER. AND SHALL BE PROVIDED ON ALL SEEDINGS. HYDROMULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS WORK LIME AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE FOLIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON ON THE GENERAL CONTOUR CONTINUE TILLAGE LINTIL A
- WHEREVER FEASIBLE. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS. SUCH AS WIRE, CABLE, TREE
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

### GENERAL PLANTING NOTES

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY
- DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND VERIFY LOCATION OF ALL UTILITIES ON SITE PRIOR TO CONSTRUCTION.
- ALL PLANT MATERIAL SHALL CONFORM TO GUIDELINES AS SET FORTH IN THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARD FOR NURSERY STOCK OR THE PLANT MATERIAL WILL BE UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY, SIZE AND BE CERTIFIED DISEASE AND INSECT FREE. THE OWNER AND/OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIAL ON SITE PRIOR TO INSTALLATION.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE CONSULTANT FOR THE TOWN OF ORANGETOWN, WRITTEN PROOF OF PLANT MATERIAL UNAVAILABILITY MUST BE
- THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BED LINES SHALL BE DETERMINED IN THE FIELD UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. NO SHADE TREE. STREET TREE. ORNAMENTAL FLOWERING TREE OR EVERGREEN TREE SHALL BE PLANTED CLOSER THAN I FROM ANY SIDEWALK, DRIVEWAY, CURB OR UTILITY LOCATION UNLESS SPECIFICALLY DIMENSIONED ON THE LANDSCAPE PLAN OF INSTALLED WITH PHYSICAL ROOT BARRIER.
- ALL STREET TREES AND SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 8'-0" ABOVE GRADE. ALL PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30" ABOVE THE ELEVATION OF THE ADJACENT CURB. ALL STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT HAVE BRANCHES BELOW 10'-0".
- THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR. ALL PLANT MATERIAL SHALL BE PROPERLY INSTALLED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP, CUT AND REMOVE JUTE BURLAP FROM TOP ONE-THIRD OF THE ROOT BALL. WIRE BASKETS AND AND NOT JUTE BURLAP SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING
- BRANCHES OF DECIDUOUS TREES SHALL BE PRUNED BACK BY NO MORE THAN ONE QUARTER (1/4) TO BALANCE THE TOP GROWTH WITH ROOTS AND TO PRESERVE THEIR CHARACTER AND SHAPE. THE CENTRAL LEADER OF TREE SHALL NOT BE PRUNED.
- PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH ONE PART EACH OF TOPSOIL, PEAT MOSS AND PARENT MATERIAL. IF WET SOIL CONDITIONS EXIST THEN PLANTING PITS SHALL BE EXCAVATED AN ADDITIONAL 12" AND

II. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO EXISTING GRADE AT NURSERY

OPTIMUM PLANTING TIME DECIDUOUS - APRIL I TO JUNE I & OCTOBER 15 TO DECEMBER 15. CONIFEROUS - APRIL I TO IUNE I & SEPTEMBER I TO NOVEMBER I.

THE PLANT PIT

FILLED WITH CRUSHED STONE

- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
- ALL PLANT MATERIAL SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS.
- PLANTS THAT ARE MISSING, MORE THAN 25% DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, OR ANY TREE THAT LOSES THE MAIN LEADER SHALL BE REPLACED.
- TOPSOIL IN ALL PLANTING AREAS. A FULL SOIL ANALYSIS SHALL BE CONDUCTED AFTER CONSTRUCTION AND PRIOR TO PLANTING TO DETERMINE THE EXTENT OF SOIL AMENDMENT REQUIRED. SOIL PH SHOULD BE 5.5-6.5. ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH EITHER SOD OR SEED AS INDICATED ON THE LANDSCAPE PLANS. SOD SHALL

THE LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM 6" LAYER OF TOPSOIL IN ALL LAWN AREAS AND A MINIMUM OF 18" OF

CONSIST OF A NEW JERSEY CERTIFIED MIXTURE. SEED SHALL BE IN ACCORDANCE WITH THE LOCAL SOIL EROSION AND SEDIMENT

- AREAS SHALL BE TOPSOILED, LIMED, FERTILIZED AND FINE GRADED PRIOR TO LAWN INSTALLATION. 8. ALL PLANTING BEDS SHALL RECEIVE 3" OF SHREDDED HARDWOOD BARK MULCH.
- ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
- ). ALL EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOV FENCING, ALL FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY, ALL TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION, TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING OR CLEARING. ALL EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW
- ALL PLANTING DEBRIS (WIRE, TWINE, RUBBER HOSE, BACKFILL ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE PROPERTY IS TO BE LEFT IN A NEAT ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.
- . ALL LANDSCAPING SHOWN ON THE SITE PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON

TREELINE, SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DISEASED, OR DAMAGED BRANCHES.

- CONTRACTOR SHALL PARTIALLY FILL WITH WATER A REPRESENTATIVE NUMBER OF PITS IN EACH AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE PERCOLATION. IF PIT DOESN'T PERCOLATE, MEASURES MUST BE TAKEN TO ASSURE
- PLANTING MUST BE GUARANTEED FOR TWO FULL GROWING SEASONS FROM THE TIME OF FINAL ACCEPTANCE BY THE TOWN OF ORANGETOWN. CONTRACTOR SHALL REMOVE WRAPPING AT THE END OF GUARANTEE PERIOD.

PRUNE DAMAGED AND CONFLICTING BRANCHES MAINTAINING NORMAL TREE SHAPE, NEVER CUT CENTRAL TRUNK OR LEADER.

- BACKFILL MIXTURE TO BE SPECIFIED BASED UPON SOIL TEST AND CULTURAL REQUIREMENTS OF PLANT.
- GENERAL LIGHTING NOTES THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED

MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS

THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC

WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING

- IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.9 FOR ALL LED LUMINAIRES.
- PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE LUMINAIRES, LAMPS AND LENSES SHALL BE REGULARLY INSPECTED/MAINTAINED TO INSURE THAT THEY FUNCTION PROPERLY THIS WORK MAY INCLUDE, BUT IS NOT LIMITED TO, VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS.
- LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES.

ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES SHALL BE BROUGHT TO THE ATTENTION

OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT AND/OR LIGHTING CONTRACTOR AS INDICATED IN

THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS SHALL BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS.

LIGHTING CONTRACTOR TO COORDINATE WITH THE PROJECT ARCHITECT REGARDING POWER SOURCE FROM WITHIN THE BUILDING AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.

3. POLE LOCATIONS ARE APPROXIMATE AND MAY VARY DUE TO SPECIFIC SITE CONDITIONS. THE LIGHTING CONTRACTOR SHALL FIELD

THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND GOVERNMENTAL REGULATIONS.

CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND APPROVAL.

OF THE DESIGNER BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.

- 0. LIGHTING PLAN IS TO BE USED FOR LIGHTING PURPOSES ONLY. I. LUMINAIRES, POLES AND MOUNTS ARE TO BE BLACK.
- 12. POLE MOUNTED FIXTURES SHALL BE PLACED A MINIMUM OF THREE (3) FEET BEHIND CURBS OR IN CAR PARKING AREAS.
- VERIFY POLE LOCATIONS IN ORDER TO ACCOMMODATE UTILITIES AND PAVEMENT 14. LIGHTING SHOWN ON PLAN DEPICTS AVERAGE MAINTAINED FOOTCANDLE LEVELS AT GRADE.
- CONCRETE FOOTINGS FOR POLE MOUNTED LIGHTS TO BE DESIGNED, SIGNED AND SEALED BY A NYS LICENSED ENGINEER.

. ELECTRICAL DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS

18. LIGHTING PLAN EXCLUDES EMERGENCY LIGHTING ABOVE DOORWAYS.

19. LIGHTING PLAN EXCLUDES SOFFIT LIGHTS.

## ADDITIONAL CONSTRUCTION NOTES

ALL OUTDOOR CONSTRUCTION ACTIVITIES, INCLUDING SITE CLEARING OPERATIONS IF APPLICABLE, SHALL TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 7:00 P.M., MONDAY THROUGH SATURDAY, NO SUCH ACTIVITIES SHALL TAKE PLACE ON SUNDAY OR A LEGAL HOLIDAY. THE SAME CRITERIA SHALL APPLY TO INDOOR CONSTRUCTION ACTIVITIES, EXCEPT THAT SUCH ACTIVITIES MAY TAKE PLACE BETWEEN THE HOURS OF 7:00 A.M. AND 10:00 P.M.

Engineers ■ Planners ■ Surveyors

■ Egg Harbor, N■ Montvale, NJ

Mt. Laurel, N

Landscape Architects 

Environmental Scientists Office Locations: Lehigh Valley, PA ■ Exton. PA ■ Philadelphia, PA ■ Mt. Arlington, N ■ Miami, FL

 Albany, NY Sterling, VANorfolk, VA New Windsor, NY Westchester, NY Albuaueraue, NN ■ Charlotte, NC te of N.Y. Certificate of Authorization: 0008671 / 000882 State of N.J. Certificate of Authorization: 24GA27986500 opyright © 2019. Maser Consulting, All Rights Reserved. This drawing and a on contained herein is authorized for use only by the party for

hom the services were contracted or to whom it is certified. This draw ot be copied, reused, disclosed, distributed or relied upon for any other p



FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:

WWW.CALL811.COM

ALL STATES REQUIRE NOTIFICATION ( KCAVATORS, DESIGNERS, OR ANY PERS PREPARING TO DISTURB THE EARTH' SURFACE ANYWHERE IN ANY STATE

CONTROL DISTRICT'S SEED SPECIFICATIONS AS NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN. ALL DISTURBED LAWN

**IESSE B. COKELEY** NEW YORK LICENSED PROFESSIONAL **ENGINEER - LICENSE NUMBER: 090987** 

FINAL SITE PLAN

SECTION 74.11

BLOCK 2

**NEW YORK** 

RRIS CORPORATION

LOT 26 TOWN OF ORANGETOWN ROCKLAND COUNTY



AS SHOWN

ROJECT NUMBER:

15002742A

Phone: 845.352.041 Fax: 845.352.2611

KH

10NTVALE OFFICE

Suite 10

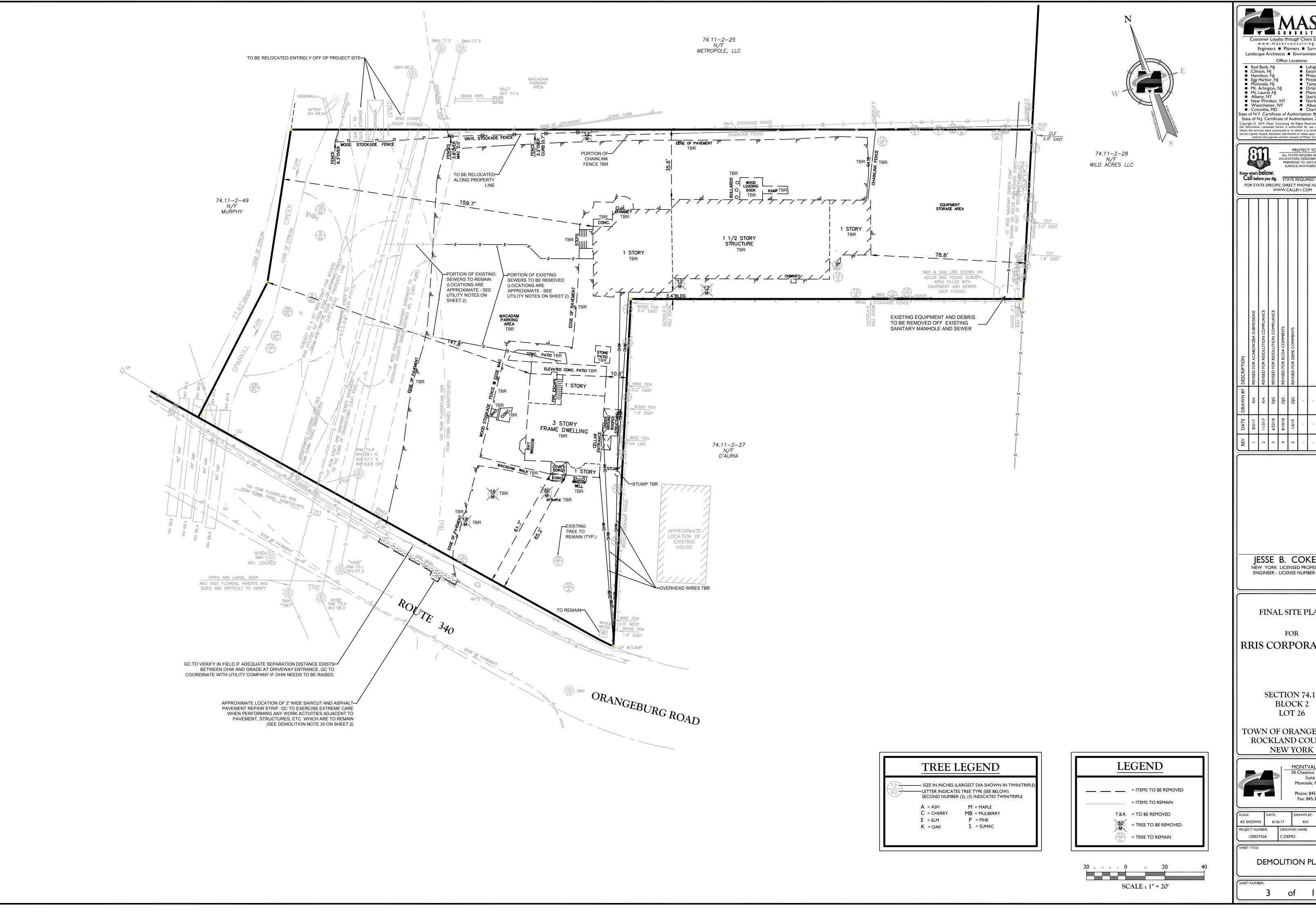
Montvale, NJ 07645

PROJECT NOTES

C-I AYT

DRAWING NAME:

6/16/17



Customer Loyalty through Client Satisfaction
www.maserconsulting.com
Engineers ■ Planners ■ Surveyors
Landscape Architects ■ Environmental Scientists

Office Locations: Tampa, FLOrlando, FLMiami, FL Sterling, VANorfolk, VAAlbuquerque, NM

■ Charlotte, NC State of N.Y. Certificate of Authorization: 0008671 / 0008821 State of N.J. Certificate of Authorization: 24GA27986500 Copyright © 2019. Maser Consulting. All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting. P.A.

ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE Know what's below.
Call before you dig.
STATE REQUIRED FILE NUMBER

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

JESSE B. COKELEY NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 090987

FINAL SITE PLAN

| RRIS CORPORATION

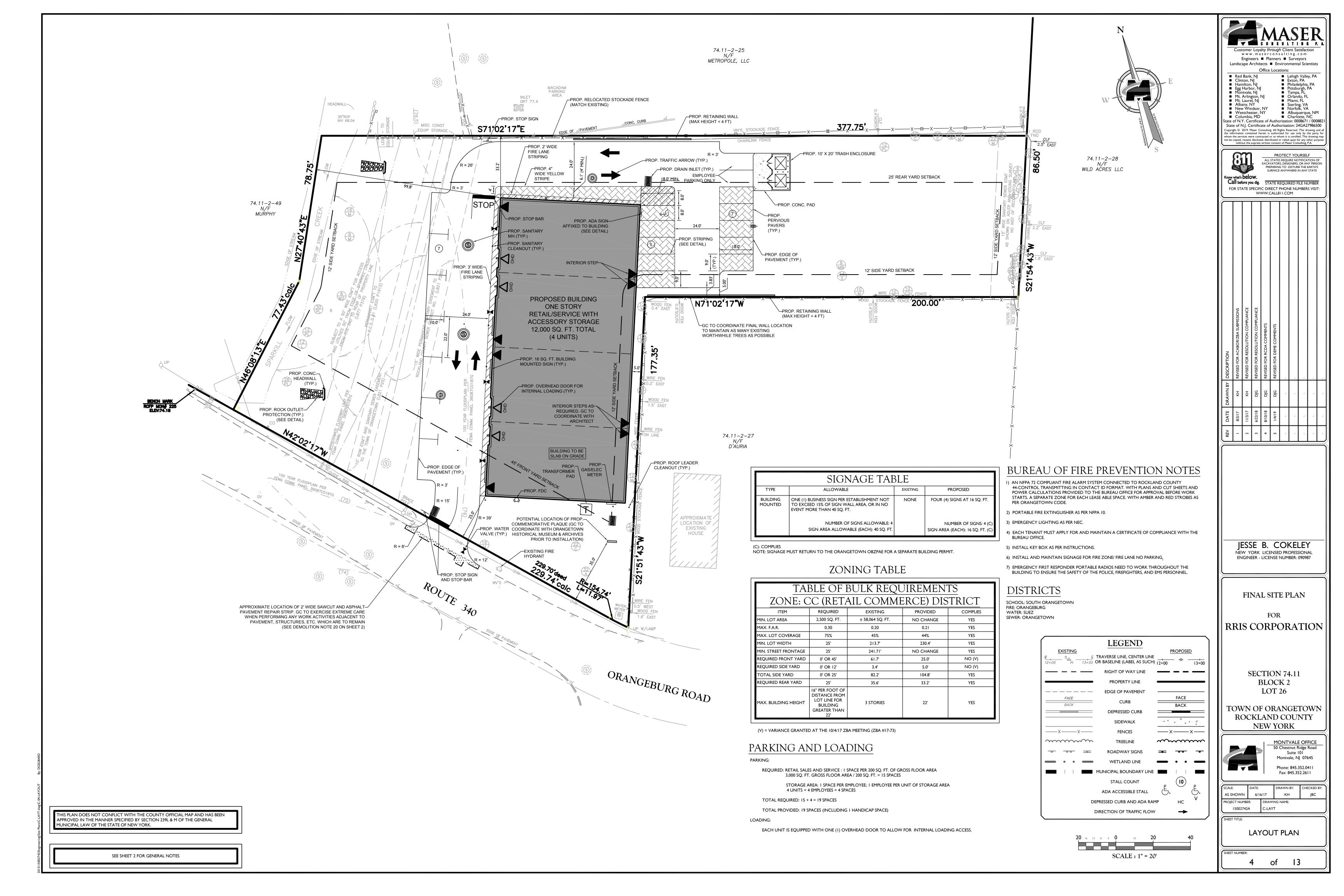
**SECTION 74.11** BLOCK 2 LOT 26

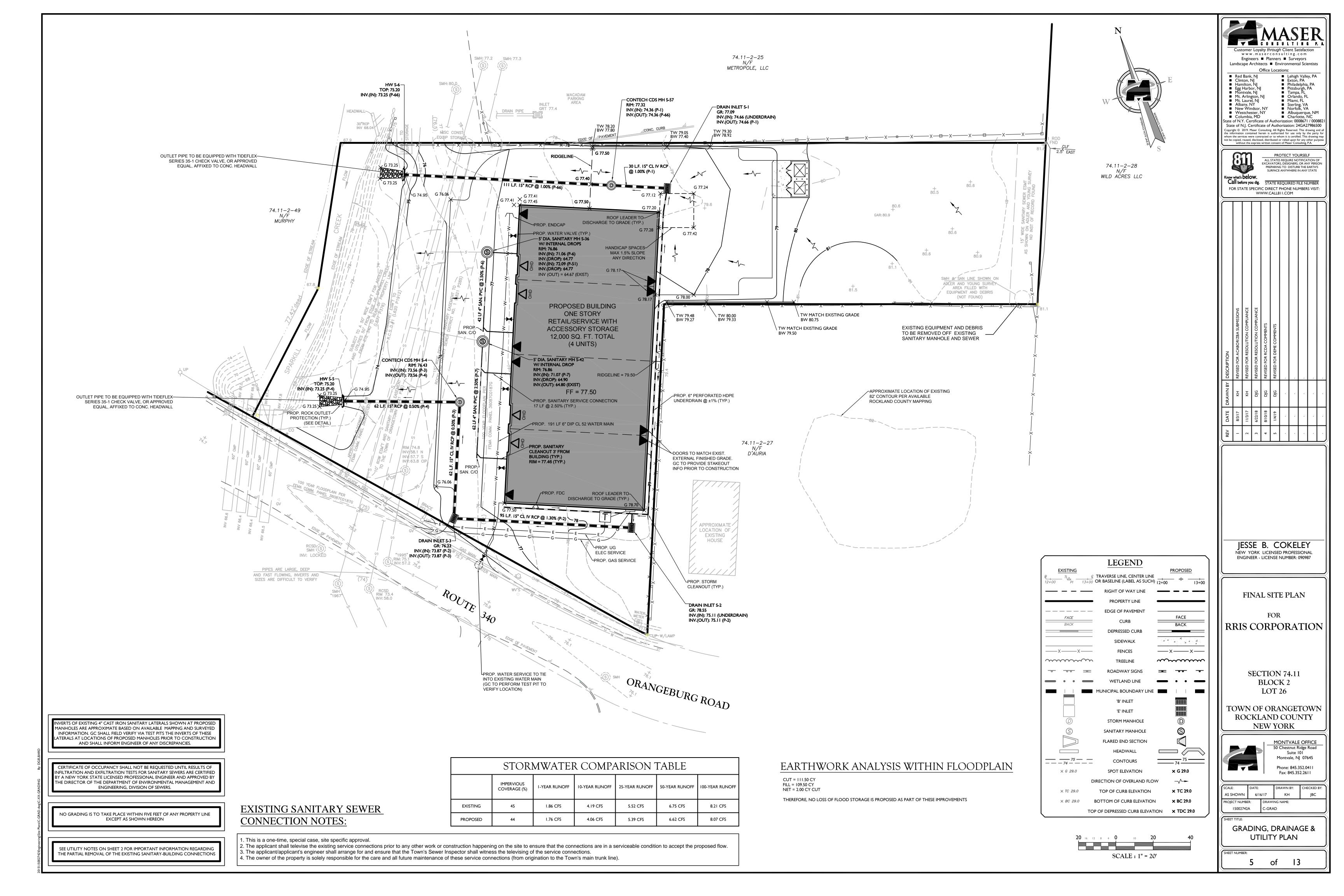
TOWN OF ORANGETOWN ROCKLAND COUNTY

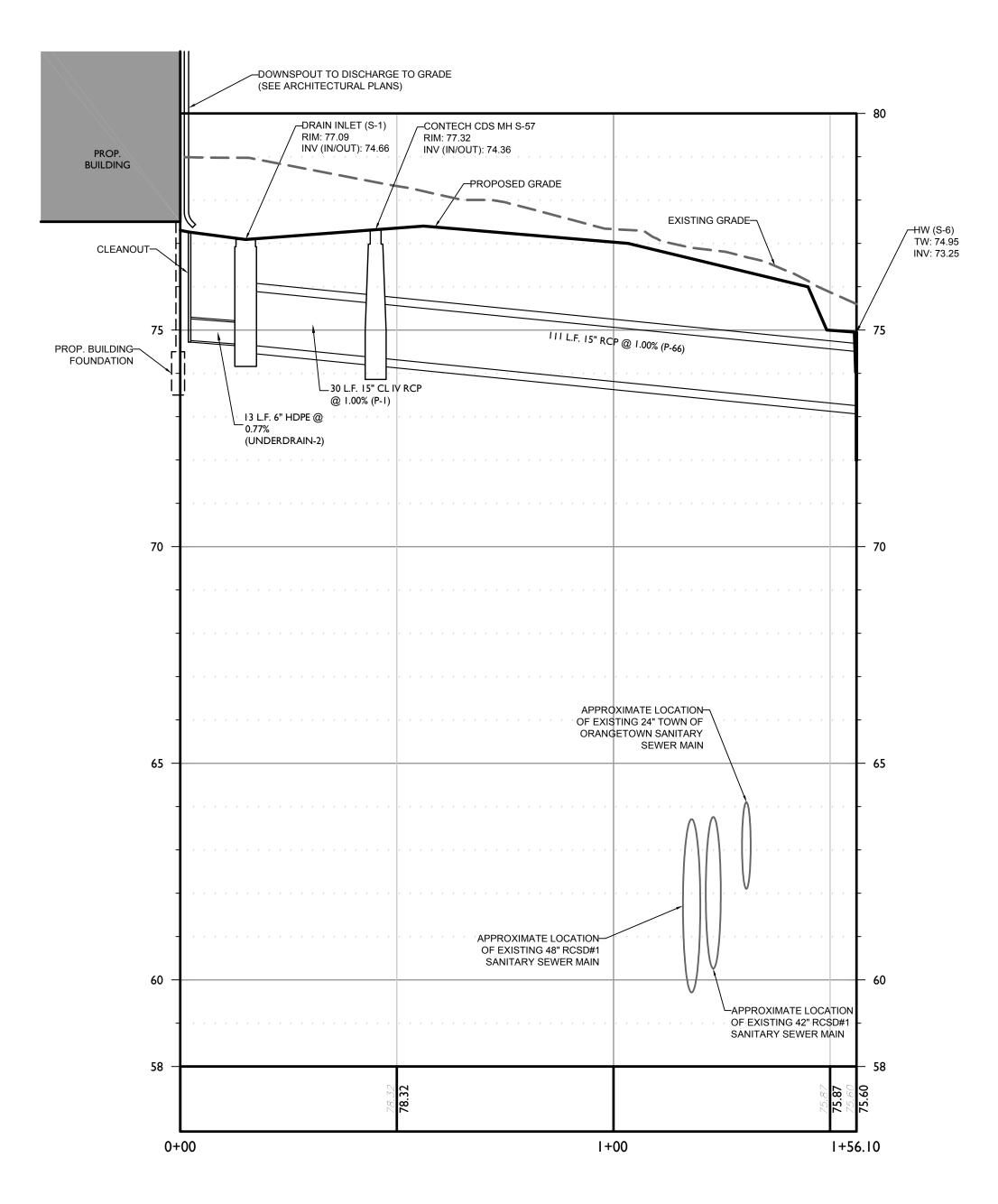
> MONTVALE OFFICE 50 Chestnut Ridge Road Suite 101 Montvale, NJ 07645 Phone: 845.352.0411 Fax: 845.352.2611

KH DRAWING NAME: C-DEMO

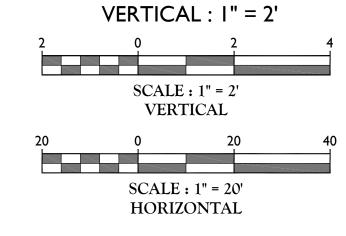
**DEMOLITION PLAN** 

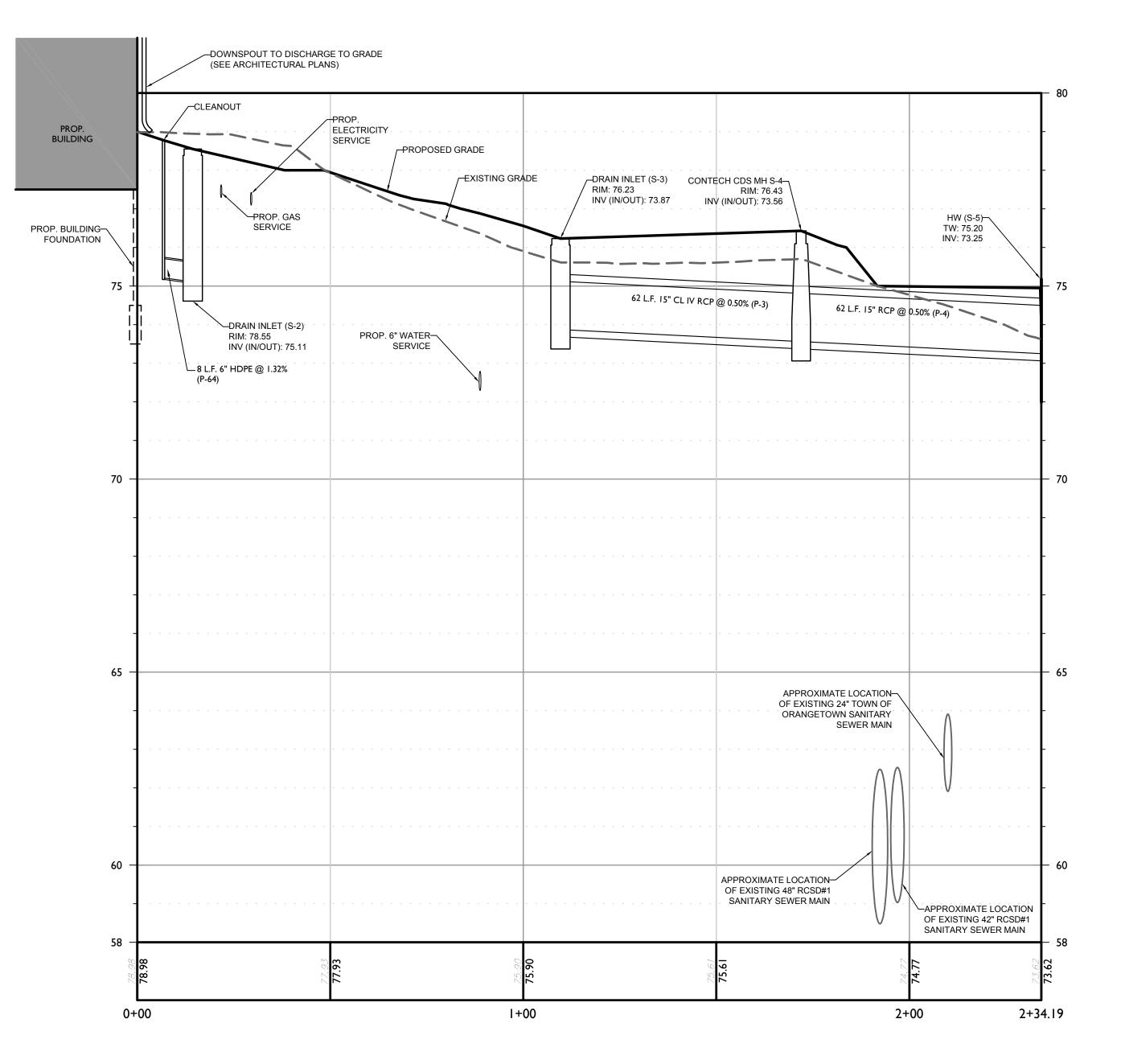






## PROPOSED STORM SEWER PROFILE (NORTHERN ROOF LEADER TO OUTFALL) HORIZONTAL: I" = 20'





## PROPOSED STORM SEWER PROFILE (SOUTHERN ROOF LEADER TO OUTFALL) HORIZONTAL: I" = 20'

HORIZONTAL

Customer Loyalty through Client Satisfaction
www.maserconsulting.com
Engineers Planners Surveyors
Landscape Architects Environmental Scientists
Office Locations:

Red Bank, NJ
Clinton, NJ
Hamilton, NJ
Egg Harbor, NJ
Montvale, NJ
Mt. Arlington, NJ
Albany, NY
New Windsor, NY
Westchester, NY
Columbia, MD

State of NJ. Certificate of Authorization: 008671 / 00088

■ Columbia, MD ■ Charlotte, NC

State of N.Y. Certificate of Authorization: 0008671 / 0008821

State of N.J. Certificate of Authorization: 24GA27986500

Copyright © 2019. Maser Consulting, All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

PROTECT YOURSELF

ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

Know what's below.

Call before you dig.

STATE REQUIRED FILE NUMBER

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:

WWW.CALL8 I I.COM

 REV
 DATE
 DRAWN BY
 DESCRIPTION

 1
 8/3/17
 KH
 REVISED FOR ACABOR/ZBA SUBMISSIONS

 2
 11/3/17
 KH
 REVISED FOR RESOLUTION COMPLIANCE

 3
 6/22/18
 DjG
 REVISED FOR RESOLUTION COMPLIANCE

 4
 8/10/18
 DjG
 REVISED FOR RCDA COMMENTS

 5
 1/4/19
 DjG
 REVISED FOR DEME COMMENTS

 6
 1
 ...
 ...

 7
 ...
 ...

 8
 ...
 ...

JESSE B. COKELEY
NEW YORK LICENSED PROFESSIONAL
ENGINEER - LICENSE NUMBER: 090987

FINAL SITE PLAN

RRIS CORPORATION

SECTION 74.11 BLOCK 2 LOT 26

TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK



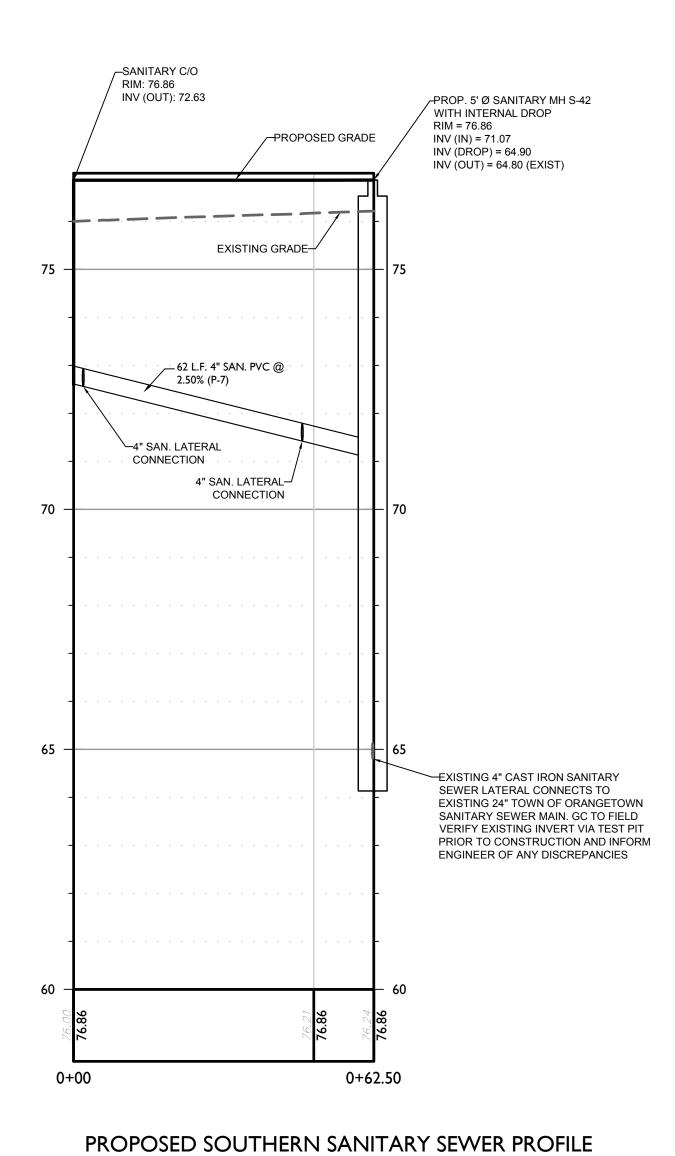
MONTVALE OFFICE
50 Chestnut Ridge Road
Suite 101
Montvale, NJ 07645
Phone: 845.352.0411
Fax: 845.352.2611

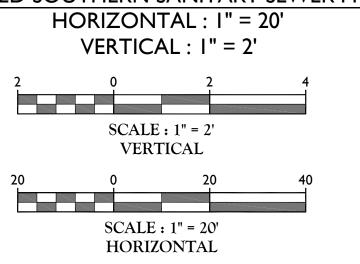
SCALE: DATE: DRAWN BY: CHECKED BY:
AS SHOWN 6/16/17 KH JBC

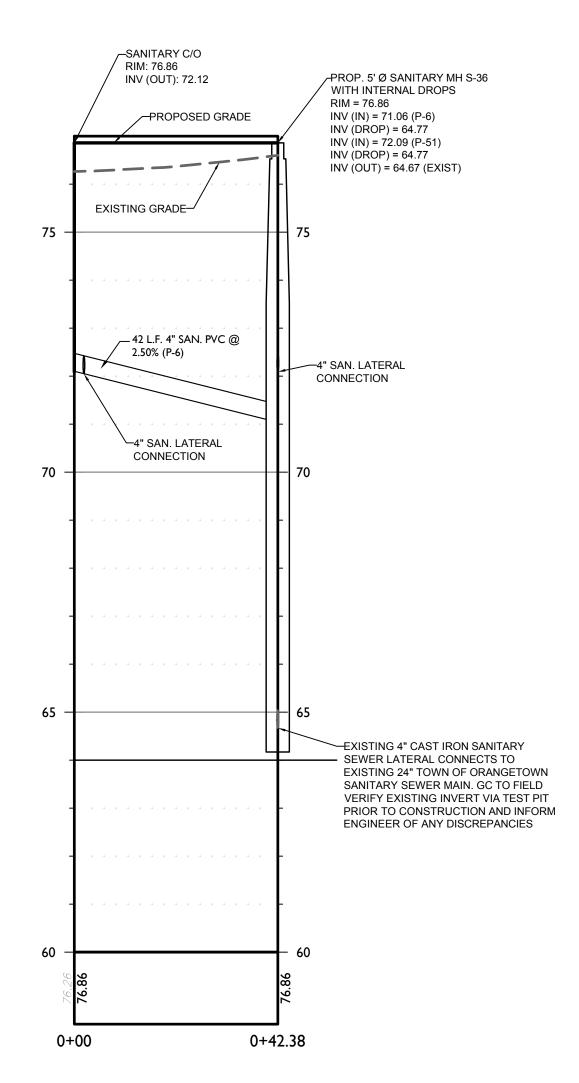
PROJECT NUMBER: DRAWING NAME:
15002742A C-GRAD

SHEET TITLE:

PROPOSED STORM PROFILES







## PROPOSED NORTHERN SANITARY SEWER PROFILE HORIZONTAL: I" = 20'

Customer Loyalty through Client Satisfaction
www.maserconsulting.com
Engineers Planners Surveyors
Landscape Architects Environmental Scientists
Office Locations:

State of N.Y. Certificate of Authorization: 0008671 / 000882 State of N.J. Certificate of Authorization: 24GA27986500 Copyright © 2019. Maser Consulting. All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

PROTECT YOURSELF

ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

Know what's below.

Call before you dig.

STATE REQUIRED FILE NUMBER

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:

WWW.CALL811.COM

 REV
 DATE
 DRAWN BY
 DESCRIPTION

 1
 8/31/7
 KH
 REVISED FOR ACABOR/ZBA SUBMISSIONS

 2
 11/3/17
 KH
 REVISED FOR RESOLUTION COMPLIANCE

 3
 6/22/18
 DjG
 REVISED FOR RESOLUTION COMPLIANCE

 5
 1/4/19
 DjG
 REVISED FOR RCDA COMMENTS

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

 .
 .
 .

JESSE B. COKELEY NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 090987

FINAL SITE PLAN

FOR

RRIS CORPORATION

SECTION 74.11 BLOCK 2 LOT 26

TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK



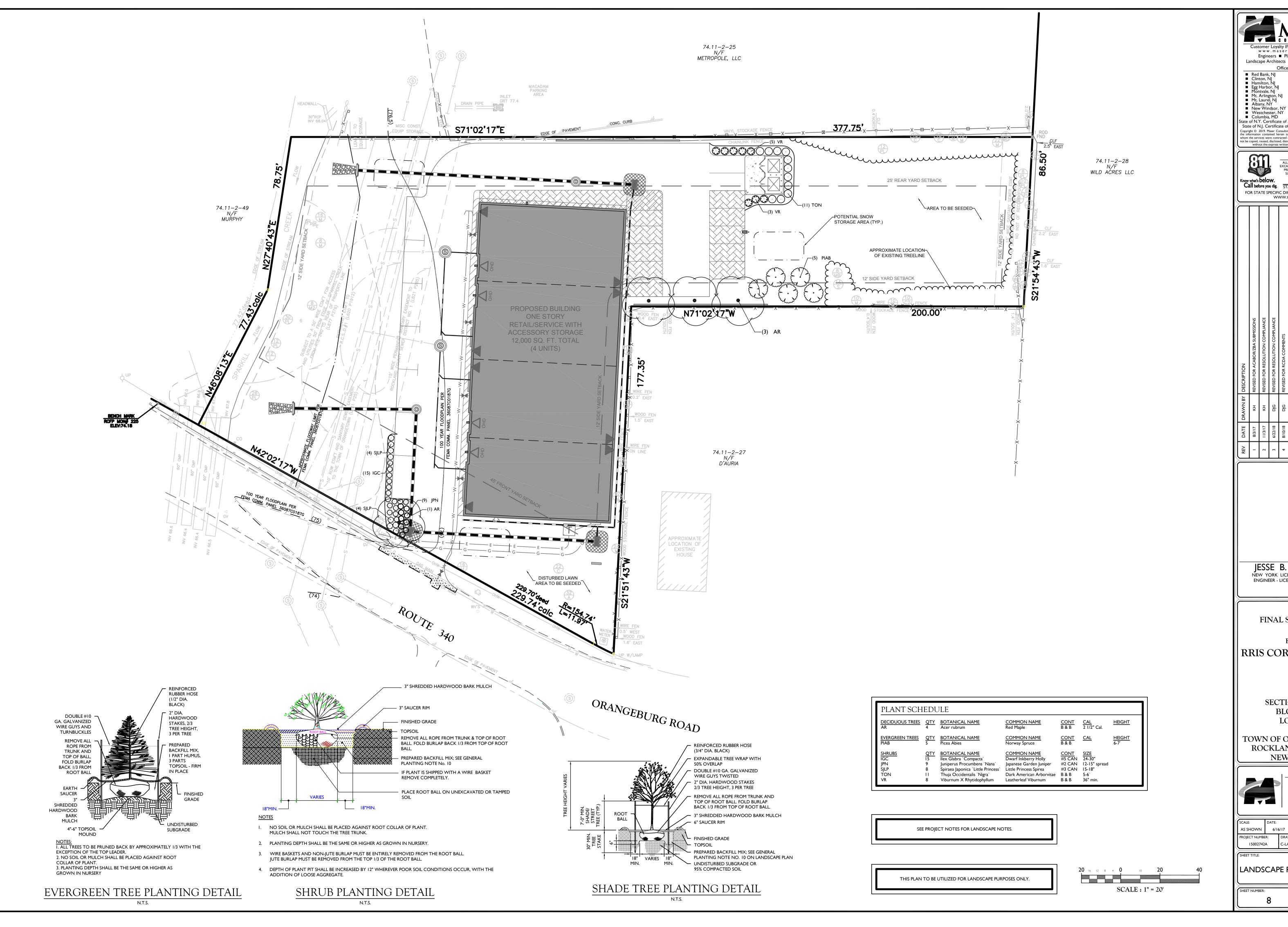
MONTVALE OFFICE
50 Chestnut Ridge Road
Suite 101
Montvale, NJ 07645
Phone: 845.352.0411
Fax: 845.352.2611

SCALE: DATE: DRAWN BY: CHECKED BY:
AS SHOWN 6/16/17 KH JBC

PROJECT NUMBER: DRAWING NAME:
15002742A C-GRAD

PROPOSED
SANITARY PROFILES

IEET NUMBER:



Customer Loyalty through Client Satisfaction
www.maserconsulting.com
Engineers Planners Surveyors
Landscape Architects Environmental Scientists Office Locations:

Tampa, FLOrlando, FLMiami, FL Sterling, VANorfolk, VAAlbuquerque, NM ■ Charlotte, NC

tate of N.Y. Certificate of Authorization: 0008671 / 000882 State of N.J. Certificate of Authorization: 24GA27986500 Copyright © 2019, Maser Consulting, All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSOI PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

Call before you dig. STATE REQUIRED FILE NUMBER FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

JESSE B. COKELEY NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 090987

FINAL SITE PLAN

FOR RRIS CORPORATION

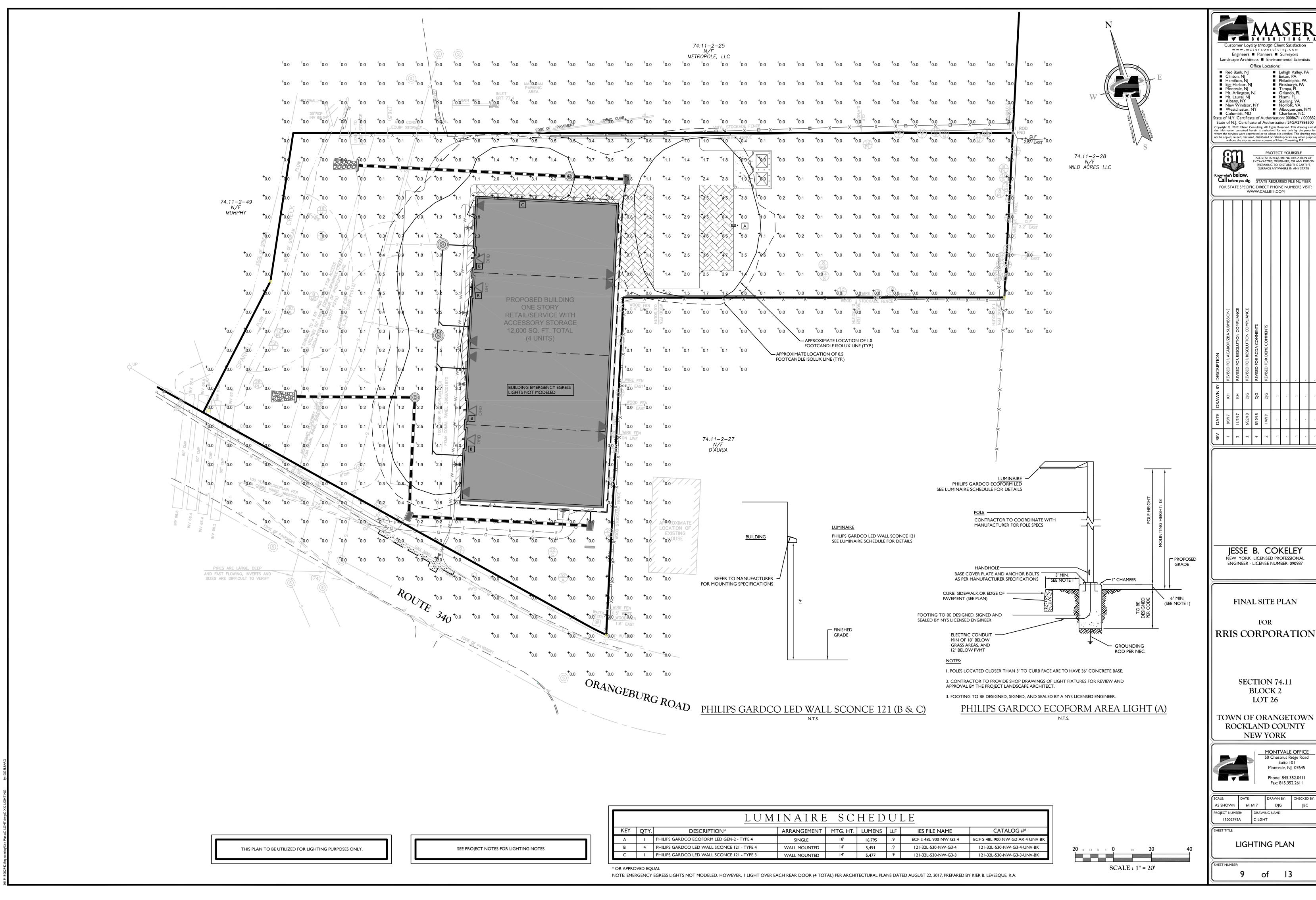
> **SECTION 74.11** BLOCK 2 LOT 26

TOWN OF ORANGETOWN ROCKLAND COUNTY **NEW YORK** 

> MONTVALE OFFICE 50 Chestnut Ridge Road Suite 101 Montvale, NJ 07645 Phone: 845.352.0411 Fax: 845.352.2611

AS SHOWN 6/16/17 KH

LANDSCAPE PLAN & DETAILS



www.maserconsulting.com Engineers ■ Planners ■ Surveyors

> Office Locations: Lehigh Valley, PAExton, PAPhiladelphia, PA Tampa, FL
> Orlando, FL
> Miami, FL Sterling, VANorfolk, VA Albuquerque, NI ■ Charlotte, NC

tate of N.Y. Certificate of Authorization: 0008671 / 000882 State of N.J. Certificate of Authorization: 24GA27986500 Copyright © 2019. Maser Consulting, All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSO PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE (now what's below.
Call before you dig. STATE REQUIRED FILE NUMBER

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

**IESSE B. COKELEY** NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 090987

FINAL SITE PLAN

**FOR** 

**SECTION 74.11** BLOCK 2 LOT 26

TOWN OF ORANGETOWN ROCKLAND COUNTY **NEW YORK** 

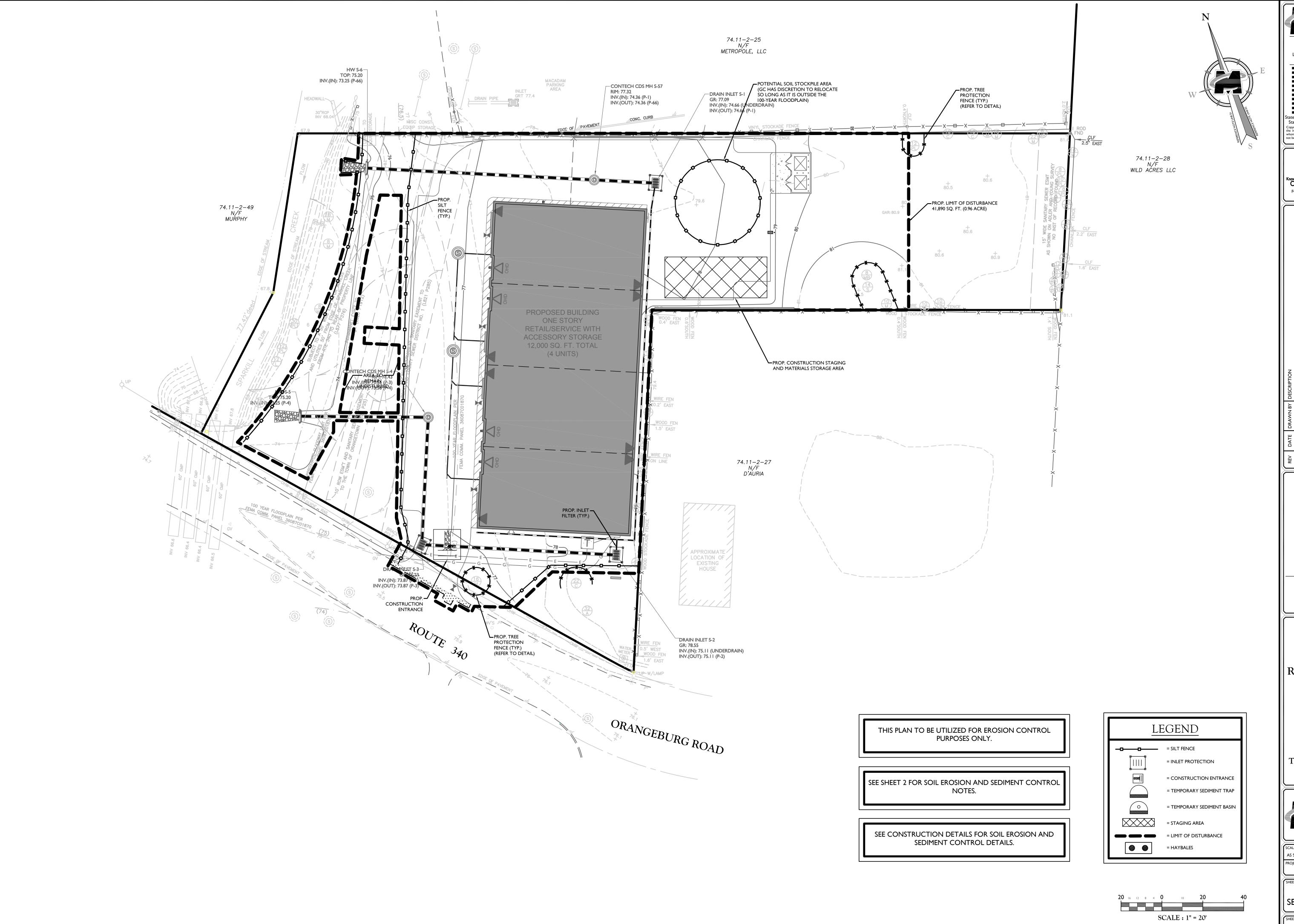


50 Chestnut Ridge Road Suite 101 Montvale, NJ 07645 Phone: 845.352.0411 Fax: 845.352.2611

MONTVALE OFFICE

DJG 6/16/17 DRAWING NAME:

LIGHTING PLAN





■ Albany, NY ■ Sterling, VA
■ New Windsor, NY ■ Norfolk, VA
■ Westchester, NY ■ Albuquerque, NM
■ Columbia, MD ■ Charlotte, NC

State of N.Y. Certificate of Authorization: 0008671 / 0008821

State of N.J. Certificate Authorization: 24GA27986500

Converte © 2019 Marce Converting All Birth Recorded This deputing and all Copyright © 2019. Maser Consulting, All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is certified. This drawing may not be copied, reused, disclosed, distributed or relied upon for any other purpose without the express written consent of Maser Consulting, P.A.

> PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE

Know what's below.
Call before you dig.
STATE REQUIRED FILE NUMBER FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

JESSE B. COKELEY NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER: 090987

FINAL SITE PLAN

FOR RRIS CORPORATION

> **SECTION 74.11** BLOCK 2 LOT 26

TOWN OF ORANGETOWN ROCKLAND COUNTY **NEW YORK** 



MONTVALE OFFICE 50 Chestnut Ridge Road Suite 101 Montvale, NJ 07645 Phone: 845.352.0411 Fax: 845.352.2611

SCALE: DATE:
AS SHOWN 6/16/17 KH PROJECT NUMBER: 15002742A

**SOIL EROSION &** SEDIMENT CONTROL PLAN

