

EXISTING COVERAGE	
DWELLING-	1,519 S.F.
DRIVEWAY-	2,793 S.F.
DECKS/WALKS-	755 S.F.
TOTAL-	5,067 S.F.
LOT AREA-	63,875 S.F.
BLD'G COVERAGE-	2.38%
TOTAL LOT COVERAGE-	7.93%

EXISTING CONDITIONS PLAN
OF
897 ROUTE 9W
LOT 13, BLOCK 1, SECTION 71.17
UPPER GRANDVIEW, ROCKLAND CO., NY

STEPHEN F. HOPPE, L.S.
LICENSED PROFESSIONAL LAND SURVEYOR
111 ROUTE 503 - TAPPAN, NY 10983
LIC. NO. 50539

SCALE: 1" = 20'
DATE: OCT. 10, 2023
FILE NO: 0193-06

Reference: Being known as Lot 4 on a map entitled :
"Miller Villa" filed in The Rockland County Clerk's
Office on February 25, 1966 as Map No. 3421.

GENERAL NOTES

1. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE NEW YORK STATE UNIFORM BUILDING CODE AND ANY AND ALL OTHER APPLICABLE ORDINANCES, REGULATIONS, AND STANDARDS AS REQUIRED BY THE TOWN OF ORANGETOWN.
2. ARCHITECT NOT ENGAGED FOR CONSTRUCTION.
3. ALL MANUFACTURED ITEMS SHALL BE INSTALLED OR APPLIED AS DIRECTED BY THE MANUFACTURER'S RECOMMENDATIONS.
4. CONTRACTOR SHALL INCLUDE ALL MATERIALS, LABOR, INCIDENTALS AND SERVICES FOR SATISFACTORY COMPLETION OF THE WORK.
5. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING WORK.
6. CONTRACTOR SHALL PERFORM ALL WORK REQUIRED FOR THE TOTAL COMPLETION OF THE PROJECT, WHETHER OR NOT INDICATED IN THESE DRAWINGS. THE INTENTION OF THESE DRAWINGS IS FOR A COMPLETE AND PROPER FUNCTIONING OF THE ENTIRE PROJECT.
7. CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMAN'S COMPENSATION INSURANCE AS WELL AS ADEQUATE LIABILITY INSURANCE DURING THE ENTIRE LENGTH OF THE JOB.
8. OWNER SHALL PROVIDE ADEQUATE PROPERTY INSURANCE ON VALUE OF THE CONSTRUCTION, INCLUDING FIRE AND VANDALISM.
9. CONTRACTOR SHALL FURNISH ALL PERMITS, LICENSES AND APPROVALS NECESSARY TO COMPLETE THE WORK UNLESS OTHERWISE DIRECTED BY THE OWNER.
10. BUILDING SHALL BE STAKED OUT BY THE NEW YORK STATE LICENSED LAND SURVEYOR WHO SHALL FILE A FINAL SURVEY AT THE COMPLETION OF WORK.
11. THE JOB SITE SHALL BE KEPT CLEAN AT ALL TIMES; TRASH SHALL BE REMOVED FROM SITE WEEKLY.
12. ANTI TRACKING PADS SHALL BE INSTALLED AS REQUIRED TO PREVENT EROSION AND SEDIMENTATION OF SOIL ONTO PUBLIC ROADS BY CONSTRUCTION VEHICLES.

EXCAVATION

1. PROPOSED FOUNDATION DESIGNED BASEDON A MINIMUM 2-TONS PER SQ. FT. BEARING CAPACITY.
2. EXCAVATE TO FROST LINE (42" MIN. BELOW FINISH GRADE) FOR ALL FOOTINGS, PADS, AND PIERS. NOTIFY THE ARCHITECT ON ANY UNSUITABLE SUBSOLIL CONDITIONS IF ENCOUNTERED DURING EXCAVATION.
3. STOCKPILE ALL EXCAVATED SOIL FOR FUTURE REUSE AS FILL MATERIAL OR REMOVE AND DISPOSE OF AS REQUIRED.
4. ALL FILL MATERIAL TO BE CLEAN FILL COMPACTED TO 95% OPTIMUM DENSITY PERFORM IN 6" LIFTS.

CONCRETE AND MASONRY

1. ALL CONCRETE FOR FOOTINGS AND WALL SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS AS PER ACI CODE.
2. PROVIDE CONCRETE FOOTINGS AND PIERS AS INDICATED ON DRAWINGS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE ACI CODE 318 (OR LATEST EDITION).
4. ALL REINFORCEMENTS SHALL BE PLACED FREE OF RUST OF OTHER COATINGS THAT SHALL DESTROY THE BOND.
5. WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A185 (OR LATEST EDITION).
6. BRIC SHALL BE SELECTED BY OWNER AND MASON TO INSTALL.
7. ALL MASONRY TO BE LAID UP IN A PORTLAND CEMENT MORTAR 1:3 MIX WITH 15% LIME MAXIMUM.
8. INSTALL 1/4" DIA. X 18" LONG ANCHOR BOLTS 2'-0" FROM CORNERS AND AT 48" ON CENTER.
9. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED LUMBER.

CARPENTRY

1. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED LUMBER.
2. ALL LUMBER SHALL BE DOUGLAS FIR LUMBER No.1/No.2, 75%-25%, WITH A MINIMUM FI-950 PSI AS PER NFPA GRADING RULES.
3. ALL STRUCTURAL LUMBER DESIGNED FOR FOLLOWING LOADS:
FLOOR: 40 PSF LIVE LOAD & 10 PSF DEAD LOAD
ROOF: 40 PSF SNOW LOAD & 10 PSF DEAD LOAD
4. INSTALL SILL SEALS AT SILL PLATES ON ALL FOUNDATION WALLS.
5. DOUBLE ALL JOISTS UNDER ALL PARTITIONS PARALLEL TO FRAMING, ANY AND ALL GIRDERS TO BE BOLTED AT 16" ON CENTER STAGGERED WITH 1/2" DIA. BY REQUIRED LEGTH BOLTS.
6. BRIDGING SHALL BE 1" X 3" SPACED AT 8'-0" ON CENTER OR MIDSPAN OF BEAMS, WHICHEVER IS LESS.
7. BLOCKING, BRIDGING, NAILERS, AND FURRING SHALL BE NO. 1 COMMON DOUGLAS FIR OR SOUTHERN PINE. LEDGER BOARDS, WHERE REQUIRED, SHALL BE SECURELY SET WITH JOISTS NOTCHED SLIGHTLY.
8. PROVIDE SOLID BLOCKING FOR BEARING OF ALL BEAMS AND POSTS.
9. SUBFLOORING: 1 LAYER OF 3/4" PLYWOOD SHEATHING.
10. ALL STUDS FOR EXTERIOR WALLS SHALL BE 2" BY 6" WOOD STUDS AT 16" ON CENTER. FOR INTERIOR WALLS STUDS SHALL BE 2" BY 4" STUDS AT 16" ON CENTER. (UNLESS OTHERWISE NOTED)
11. INSTALL (2) 2" BY 12" HEADERS ABOVE ALL WINDOW, DOORS, OPENINGS, ETC. UNLESS OTHERWISE NOTED.
12. EXTERIOR SHEATHING: 5/8" CDX PLYWOOD SHEATHING.
13. ROOF SHEATHING: 5/8" CDX PLYWOOD SHEATHING.
14. SOFFITS: 1/2" CDX PLYWOOD WITH CONTINUOUS ALUMINUM VENTS AND ALUMINUM TRIM.
15. PROVIDE FIRE STOPPING AT ALL HOOD PARTITIONS GREATER THAN 6'-0" IN HEIGHT AS PER BUILDING CODE REQUIREMENTS.
16. ALL EXTERIOR OPENINGS SHALL RECEIVE ALUMINUM DRIP CAPS.
17. INSTALL COPPER FLASHING AS REQUIRED.
18. ROOF SHINGLES SHALL BE 250 LBS. ASPHALT ROOF SHINGLES ON 15 LBS. ROOFING FELT.
19. INSULATION: R19 BATT INSULATION AT ALL EXTERIOR WALLS R-30 BATT INSULATION AT 1ST FLOOR JOISTS AND 2ND FLOOR JOISTS (UNHEATED AREAS).
20. DOORS: EXTERIOR - 1 1/2" THICK WEATHER STRIPPED 6 PANEL.
INTERIOR - 1 1/4" THICK PANEL DOORS
21. WINDOWS: ALL WINDOWS SPECIFIED ON DRAWINGS ARE ANDERSEN WINDOWS (OR APPROVED EQUAL) IN SIZES AND MODELS SPECIFIED.
22. INTERIOR FINISHES: 1/2" GYPSUM DRYWALL TAPED, SPACKLED AND SANDED WITH THREE (3) COATS OF COMPOUND. INSTALL METAL CORNER BEADS AT ALL TURNS, WATERPROOF SHEETROCK OR "WONDERBOARD" AT ALL SHOWERS, TUB SURROUNDINGS, AND SINKS.
BACKSPLASHES, WALLS AND CEILINGS OF GARAGE & UTILITY ROOMS SHALL BE 5/8" FIRE CODE SHEETROCK.
23. INTERIOR TRIM: TO BE SELECTED BY OWNER.
24. CERAMIC TILE: TUN SET ORGANIC ADHESIVE ON 1 1/2" CONCRETE BASE. TILE AND GROUT TO BE PURCHASED BY OWNER. INSTALL SADDLES AT ALL DOOR AND WALL OPENINGS. SADDLES TO BE PURCHASED BY OWNER.
25. OWNER SHALL PURCHASE ALL KITCHEN CABINETS, HARDWARE, COUNTER TOPS, BATHROOM VANITIES AND TOPS AND CONTRACTOR TO INSTALL.
26. KITCHEN AND BATHROOM APPLIANCES, FIXTURES, ETC. SHALL BE PURCHASED BY OWNER AND CONTRACTOR TO INSTALL AND HOOK UP.

ALL DRAWINGS AND WRITTEN MATERIAL CONSTITUTE ORIGINAL WORK OF RUDY DUPUY ARCHITECTS AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE FIRM.

THERE SHALL BE NO NET INCREASE IN THE PEAK RATE OF DISCHARGE FROM THE SITE AT ALL DESIGN POINTS.

ELECTRICAL

1. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL TO SUPPLY A COMPLETE ELECTRICAL SYSTEM FOR THE ENTIRE HOUSE AND SHALL INCLUDE:
A. 200 AMP ELECTRICAL SERVICE FROM POWER SOURCE ON STREET. UNDERGROUND CONDUIT SHALL BE USED FOR ALL ADDITIONAL SERVICE AT A FUTURE DATE. (PROVIDE 3" CONDUIT)
2. ALL SERVICE SWITCHES/ PANELS, METER/ ETC. FOR A COMPLETE SERVICE.
3. WIRING FOR ALL LIGHTS, SWITCHES, OUTLETS, ETC.
4. ALL WORK SHALL CONFORM TO THE NEC AND ANY AND ALL OTHER CODES OR AGENCIES HAVING JURISDICTION.
5. INSTALL ALL LIGHTING FIXTURES (TO BE PURCHASED BY OWNER), OUTLETS AND SWITCHES AS REQUIRED BY CODE. INSTALL GROUND FAULT CIRCUIT IN KITCHEN, OUTLETS AND OTHER LOCATIONS AS REQUIRED BY CODE.
6. PROVIDE ALL RECEPTACLES, SWITCHES, COVER PLATES AND DEVICES, WIRING TO EQUIPMENT/ EXHAUST FAN/ TV ANTENNA OR CABLE TV, ETC.
7. COORDINATE AND INSTALLATION OF TELEPHONE LINES BEFORE CLOSING UP WALLS.
8. CONTRACTOR IS RESPONSIBLE FOR PROCUREMENT OF ALL INSPECTION CERTIFICATES/ CONNECTING ALL APPLIANCES, FIXTURES AND ELECTRICAL EQUIPMENT SUPPLIED BY OWNER.
9. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.

NOTES:

AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES AND THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENT MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.

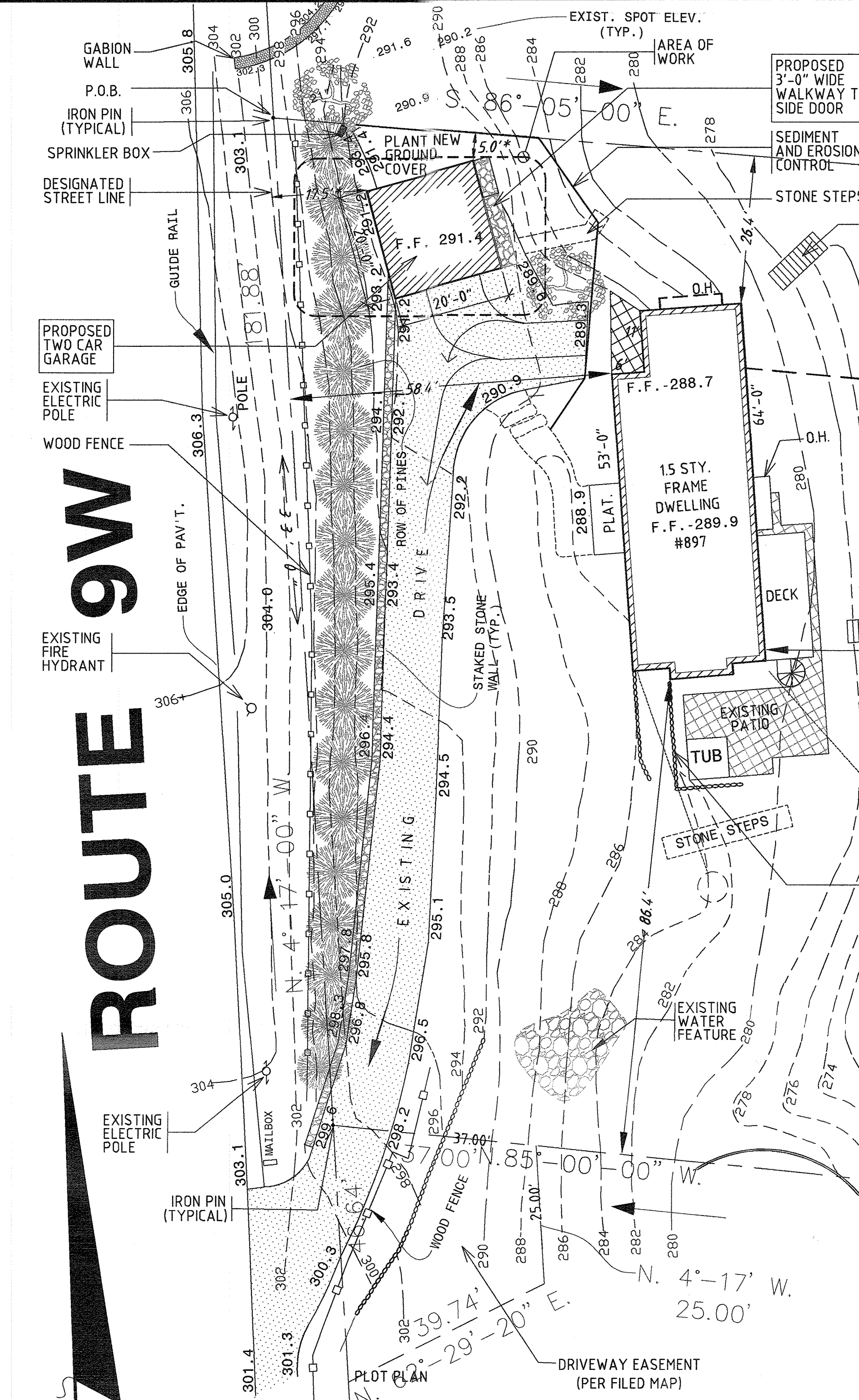
REGARDING STORM WATER MANAGEMENT PHASE II REGULATIONS: ADDITIONAL CERTIFICATION, BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD, INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS.

TREE PROTECTION: THE FOLLOWING NOTE SHALL BE PLACED ON THE SITE PLAN:
THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:

- a. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
- b. THERE WILL BE NO EXCAVATION OF STOCKPIILING OF EARTH UNDERNEATH THE TREES.
- c. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10-FOOT HEIGHT.
- d. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 1. ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH DRIP LINE OF TREE CANOPY. THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
 1. LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 2. LIGHTS IMPACTS ONLY - INSTALLATION OF 1/2 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED.
 3. THE BUILDER OR ITS AGENTS MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.

STORMWATER RUNOFF EVALUATION FROM EAST SIDE OF 9W

THERE IS A LARGE STORM DRAIN ON 9W 72 FEET AND UPHILL FROM THE NORTHWEST CORNER OF THE PROPERTY. THE STORM DRAIN CATCHES MOST RUNOFF ON 9W DURING HEAVY RAIN EVENTS. 9W DOES NOT HAVE A GUTTER LINE ON THE EAST SIDE OF THE STORM DRAIN AT THE LOCATION OF THE PROPOSED GARAGE. INSTEAD, THE WATER ENTERS A NATURAL AND TREE-LINED BERM. THE STORMWATER IN THE IMPERVIOUS AREA OF THE PROPOSED GARAGE DRAINS INTO A LOWER-GRADE BERM COVERED WITH GROUND COVER AND AWAY FROM THE HOUSE IN A NORTHEAST DIRECTION. DIRT WILL COVER TWENTY SQUARE FEET OF THE LOWER-GRADE BERM TO ALLOW A STONE WALKWAY TO ENTER THE GARAGE. ONCE THE WALKWAY IS COMPLETED, THE DIRT WILL BE COVERED WITH GROUND COVER TO REDUCE EROSION AND CONTINUE DRAINAGE NORTHEAST AWAY FROM THE PROPERTY'S STRUCTURES. DRIVEWAY RAIN PASSES NORTHEAST OVER THE DRIVEWAY INTO A GRASSY AREA, ENTERING A FRENCH DRAIN AND AWAY FROM THE HOUSE.



1 PLOT PLAN
SCALE: 1/16" = 1'-0"

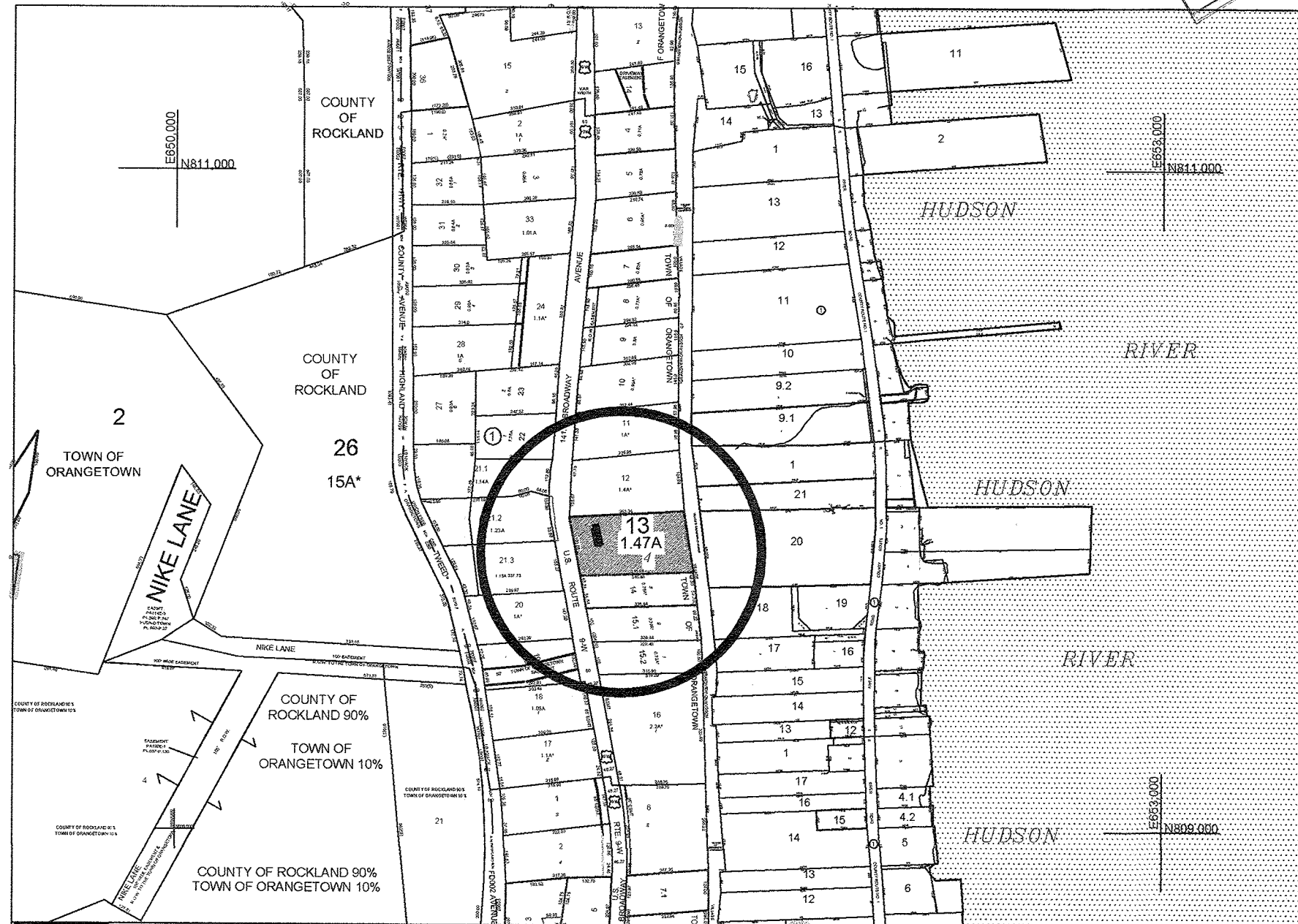


ZONING BULK REQUIREMENTS ZONE: R-22			
	REQUIRED	EXISTING	PROPOSED
FLOR AREA RATIO	0.20	0.04	0.06
LOT AREA	22,500 S.F.	61,974 S.F.	NO CHANGE
LOT WIDTH	125.0'	187.50'	NO CHANGE
STREET FRONTAGE	75.0'	187.50'	NO CHANGE
FRONT YARD SETBACK	4.0.0'	58.4'	NO CHANGE
SIDE YARD SETBACK	30.0'	86.4'	NO CHANGE
TOTAL SIDE YARD SETBACK	60.0'	112.8'	NO CHANGE
REAR YARD SETBACK	45.0'	259.58'	NO CHANGE
MAXIMUM BUILDING HEIGHT	52.0'	20.0'	NO CHANGE

GARAGE PROPOSED ZONING SETBACK ZBA #23-34 APPROVED 9-20-2023		
FRONT YARD	17'-5" *	
SIDE YARD	5'-0" *	

NOTE:
DRAINAGE REMEDIATION.
THE PROPOSED GARAGE IS LOCATED ON AN EXISTING PAVED DRIVEWAY. NO ADDITIONAL IMPERVIOUS AREA IS PROPOSED, THEREFORE NO DRAINAGE REMEDIATION IS REQUIRED.

NOTES:
- NO CHANGE IN GRADING.
- PROPOSED GARAGE IS BUILT ON EXISTING IMPERVIOUS SURFACE (DRIVEWAY)



2 VICINITY MAP
NOT TO SCALE

IMPERVIOUS CALCULATIONS	
EXISTING COVERAGE	
DWELLING-	1,519.00 S.F.
DRIVEWAY-	2,793.00 S.F.
DECKS/WALKS-	755.00 S.F.
TOTAL-	5,067.00 S.F.
LOT AREA-	63,875.00 S.F.
BLD'G COVERAGE-	2.38%
TOTAL LOT COVERAGE-	7.93%
NEW COVERAGE	
PROP. GARAGE OVER EXIST. DRIVEWAY	460.00 S.F.
NO CHANGE TO EXISTING COVERAGE	

RUDY DUPUY ARCHITECTS

1107Y CIRCLE, TAPAN, N.Y. 10983
845.536.1618 TL

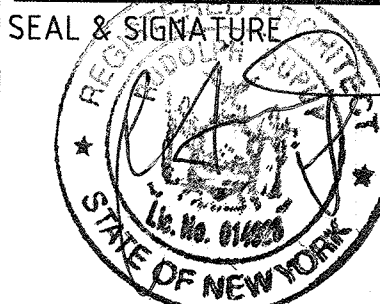
JOB DESCRIPTION: PROPOSED TWO CAR GARAGE		
NO.	REVISIONS	DATE
1		4/01/2023
2		10/19/2023

PROJECT LOCATION:

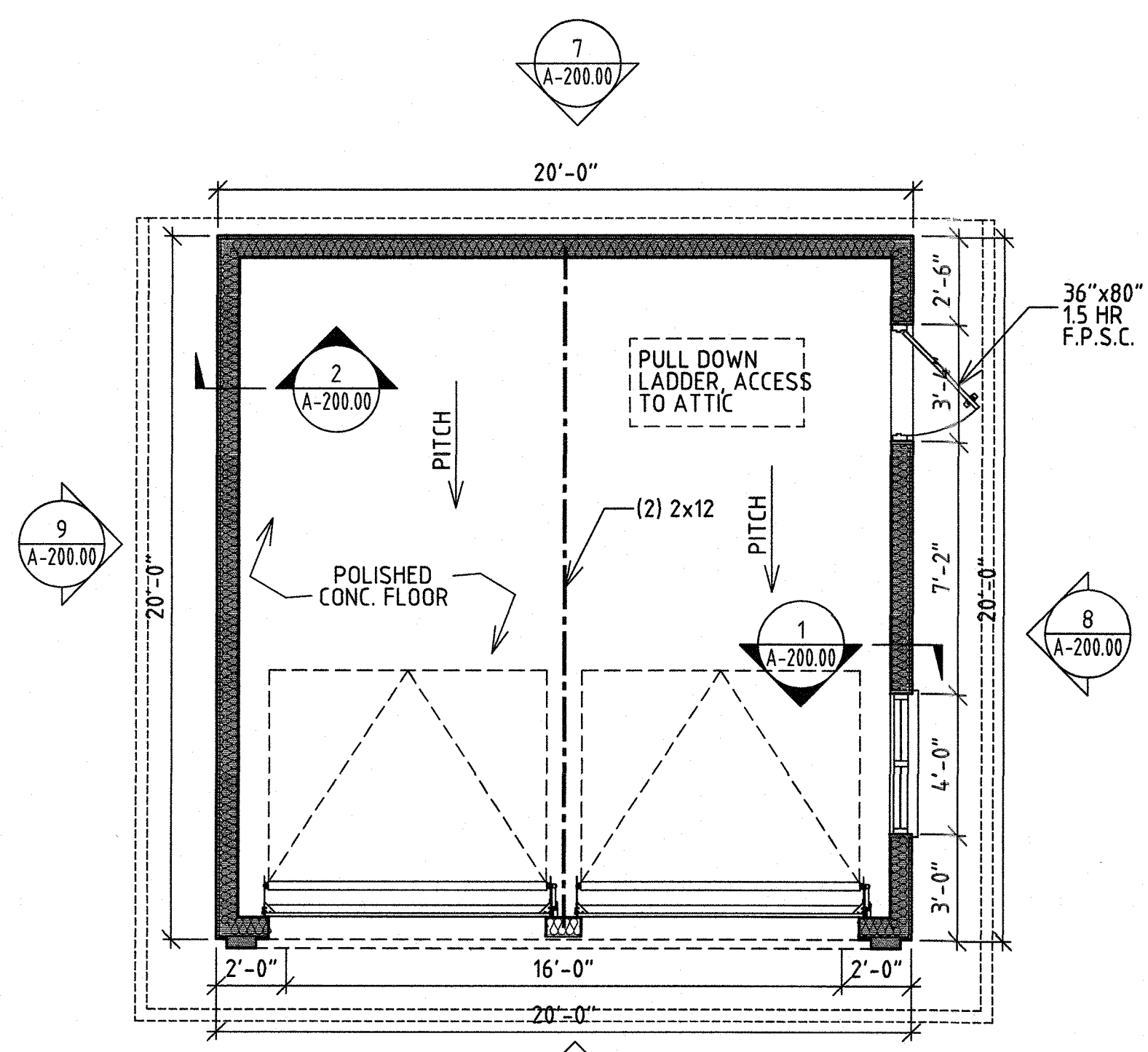
**897 ROUTE 9W
LOT 13, BLOCK 1
SECTION 71.17
UPPER GRANDVIEW
ROCKLAND CO., NY**

- PLOT PLAN-

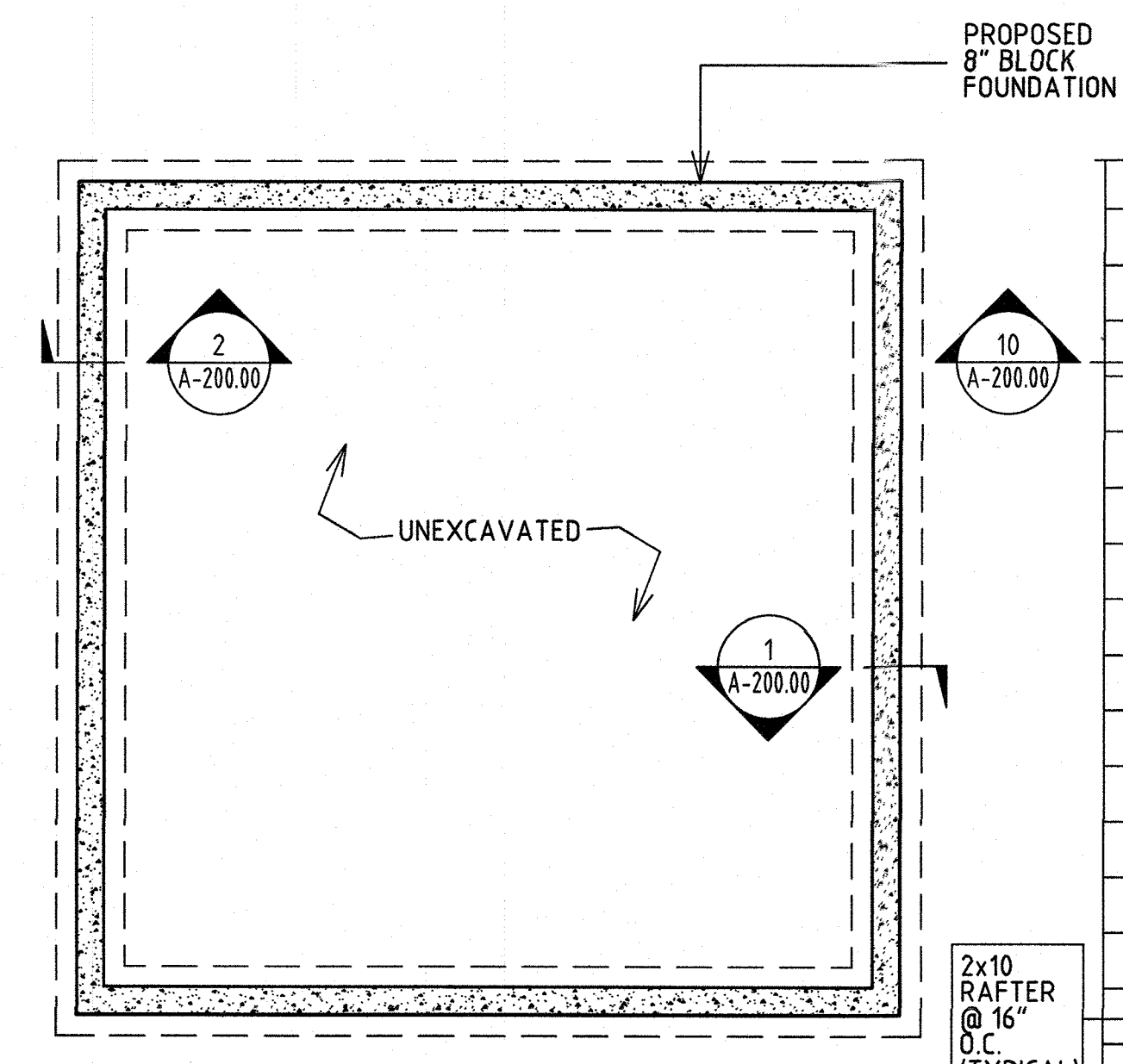
GENERAL NOTES
ZONING INFORMATION



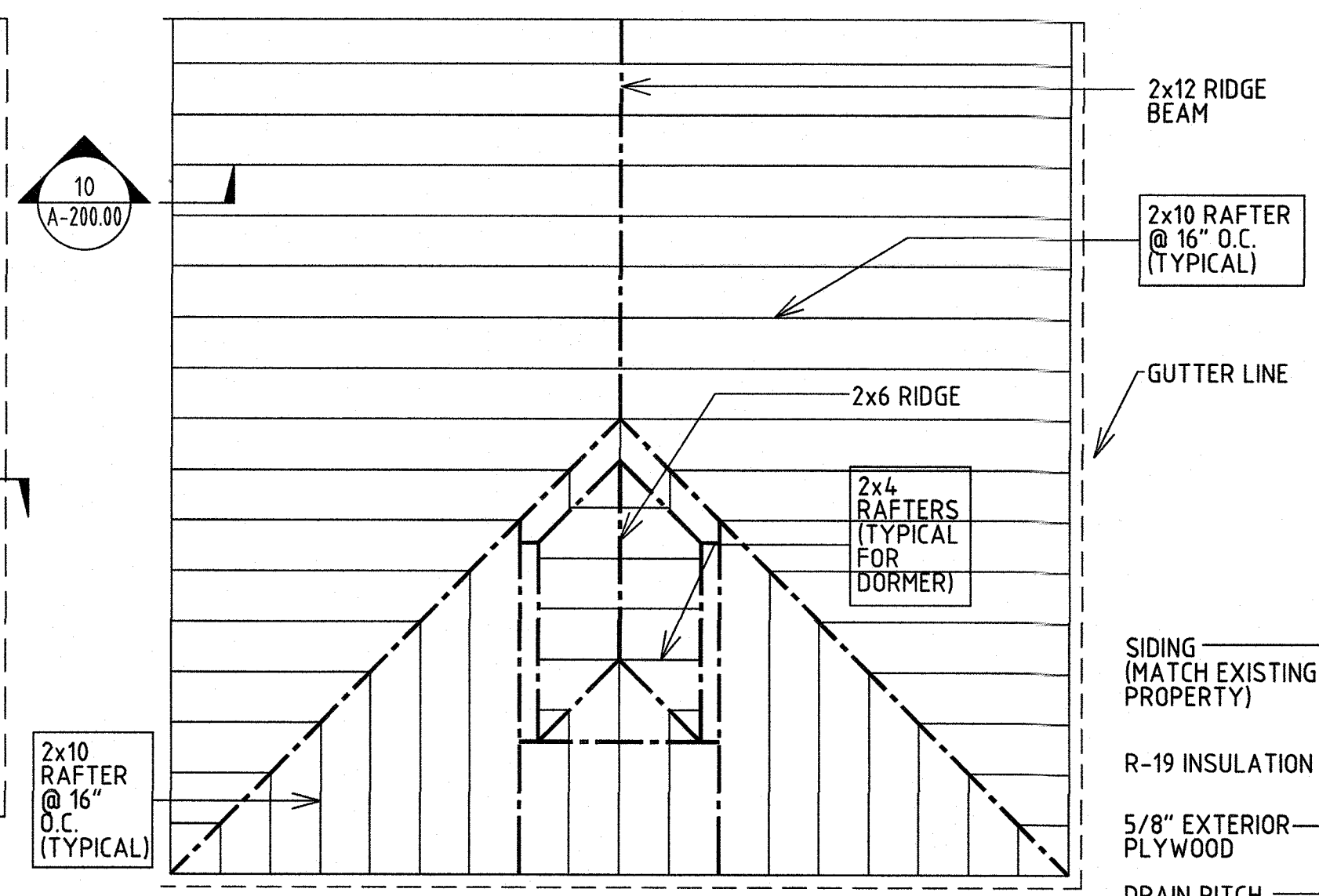
DATE: 10.19.2023
PROJECT NO. 20221209.2
DRAWING BY: X.X.
CHK. BY: R.D.
DWG NO. A-100.00
CAD FILE NO. 1 OF 2



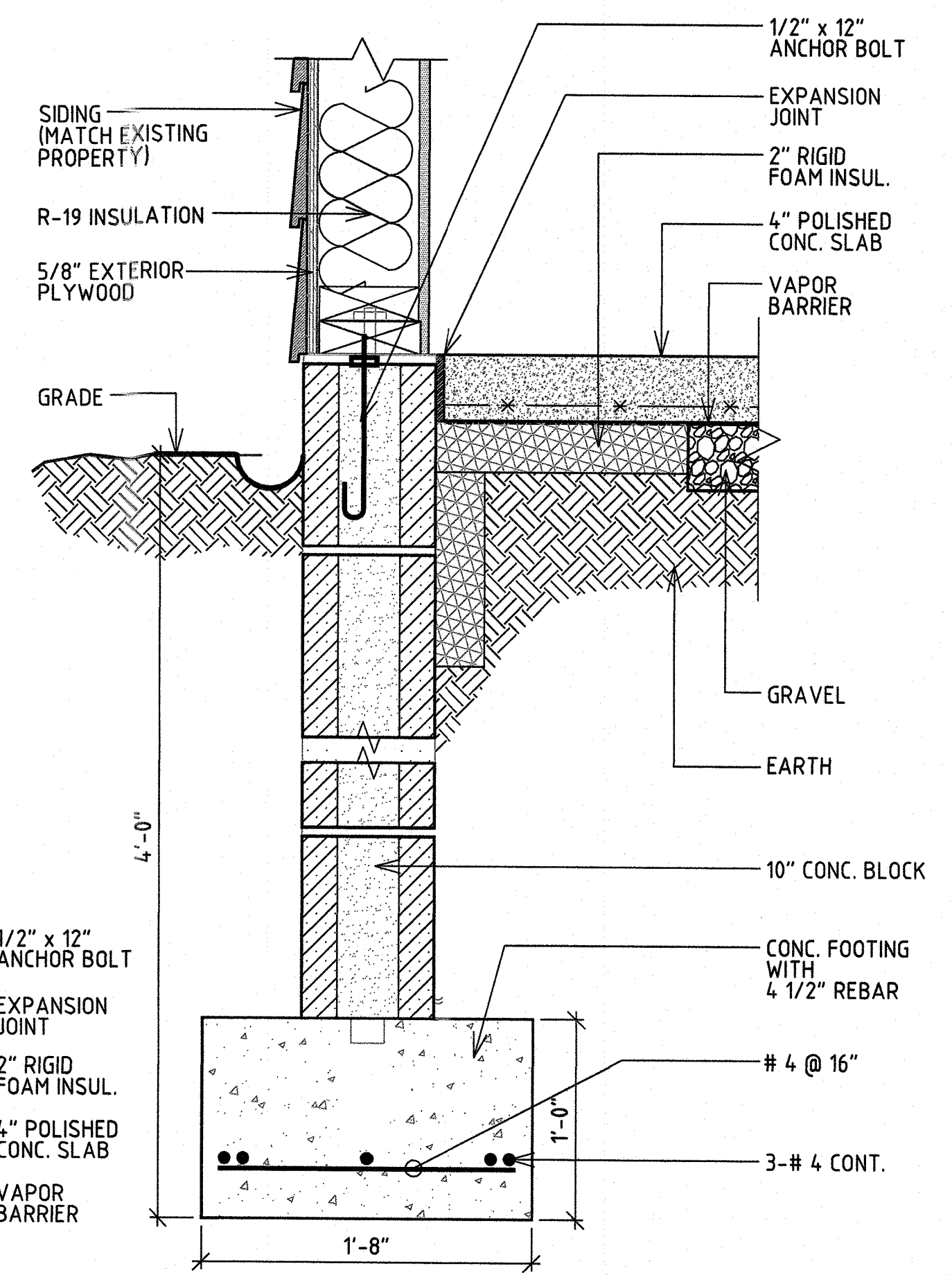
3 PROPOSED GARAGE PLAN
A-200.00 SCALE: 1/4" = 1'-0"



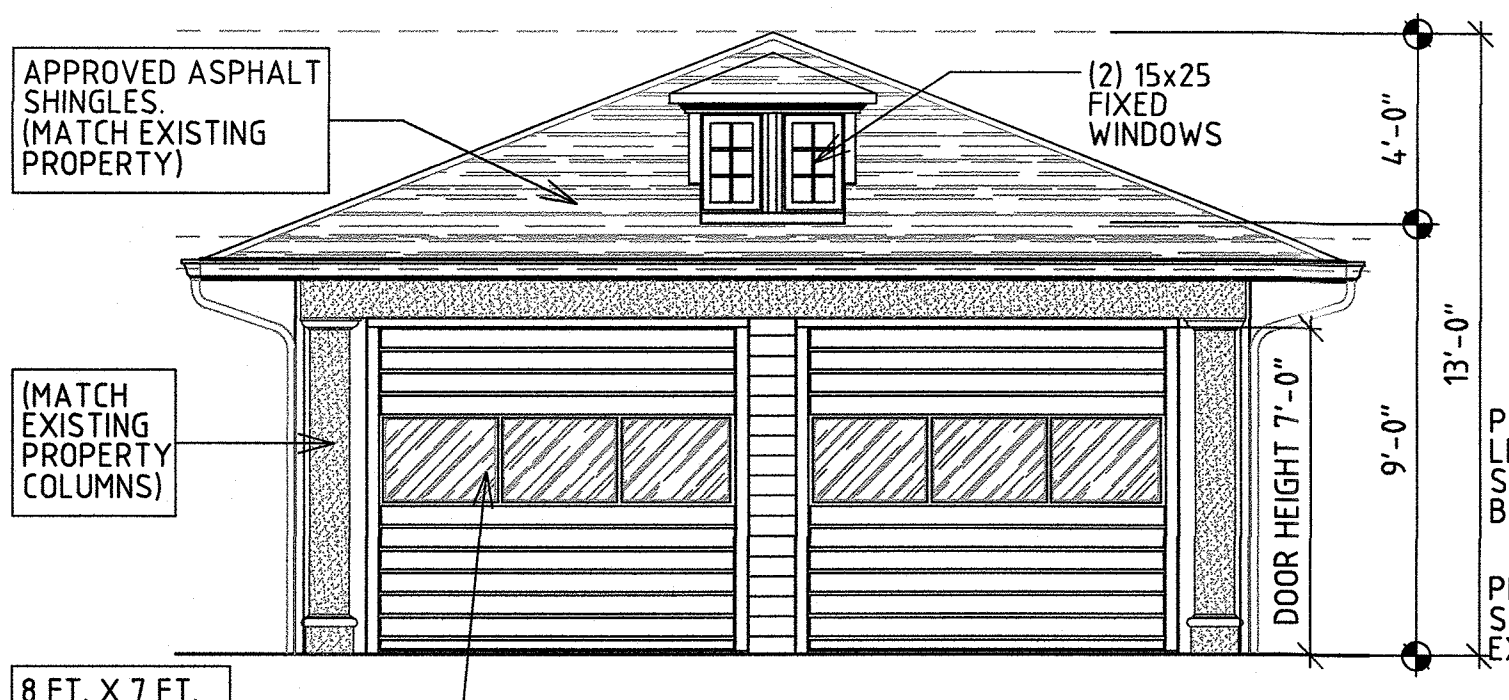
4 PROPOSED GARAGE FOUNDATION PLAN
A-200.00 SCALE: 1/4" = 1'-0"



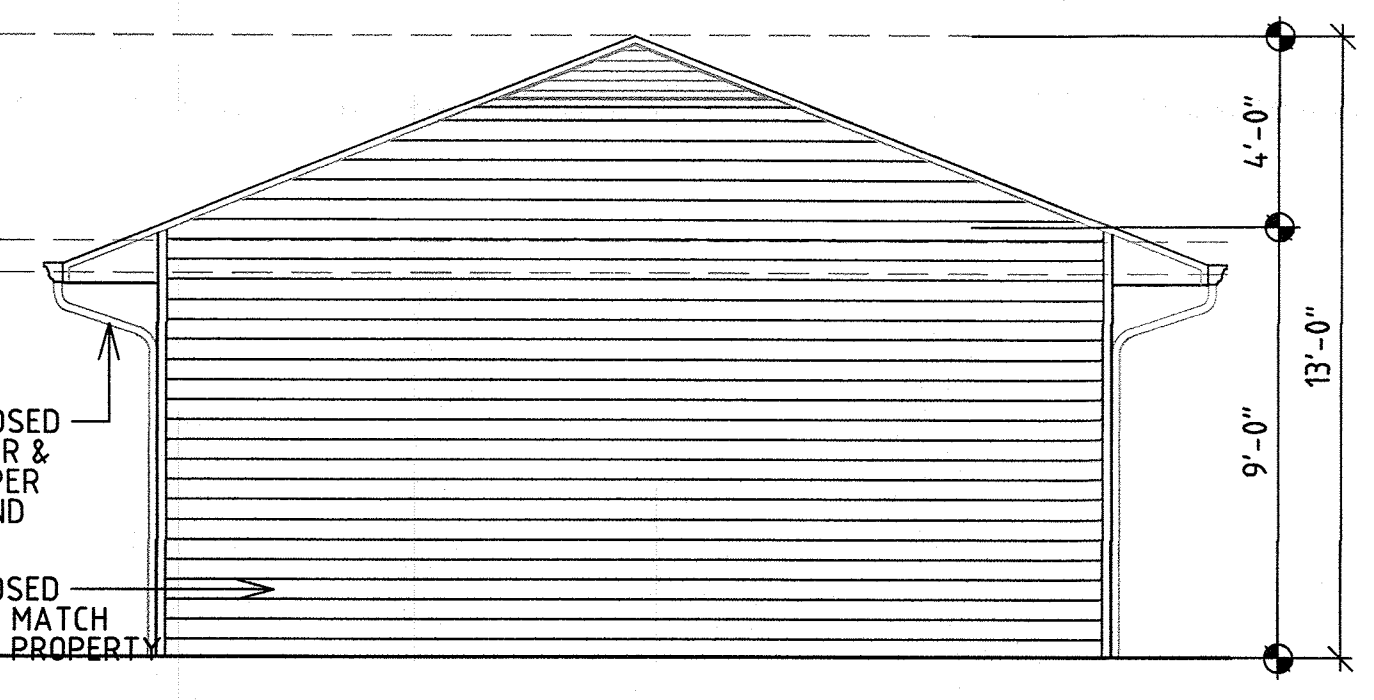
5 PROPOSED GARAGE ROOF FRAMING PLAN
A-200.00 SCALE: 1/4" = 1'-0"



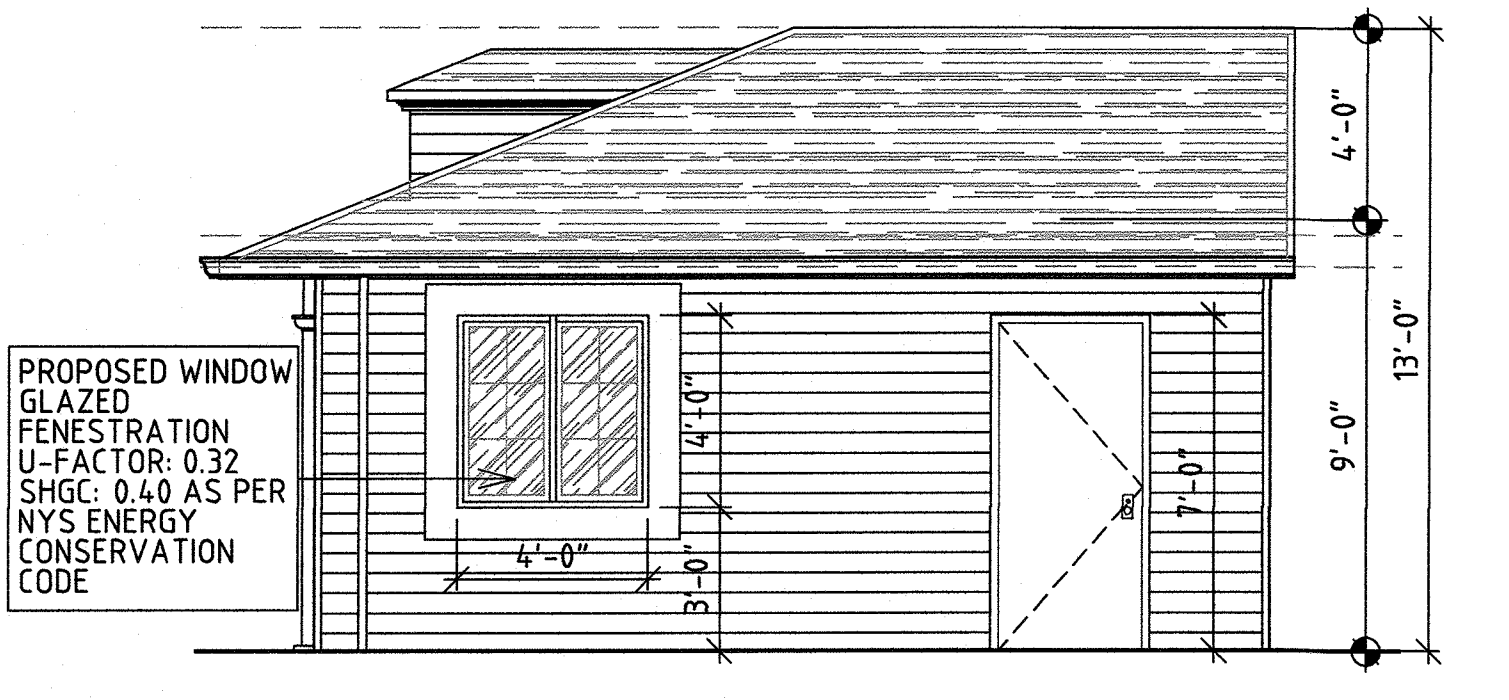
1 WALL SECTION W/ FOUNDATION
A-200.00 NOT TO SCALE



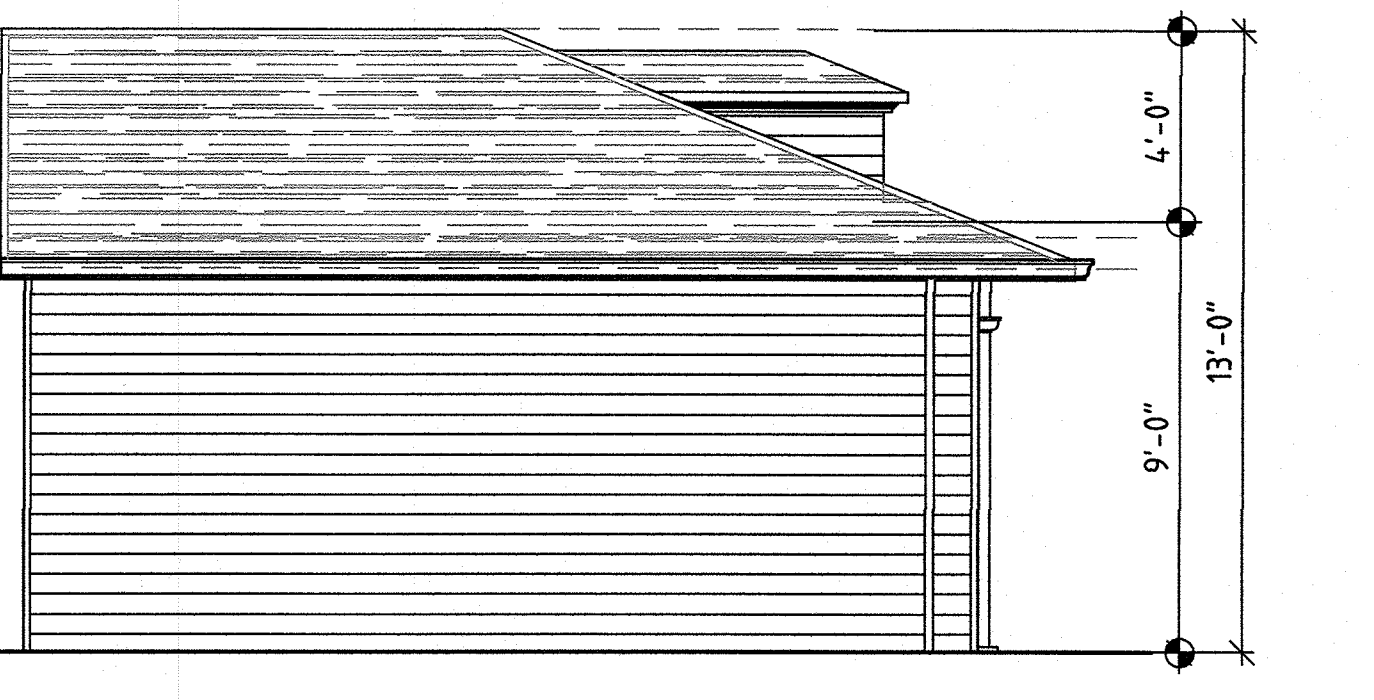
6 PROPOSED GARAGE FRONT ELEVATION
A-200.00 SCALE: 1/4" = 1'-0"



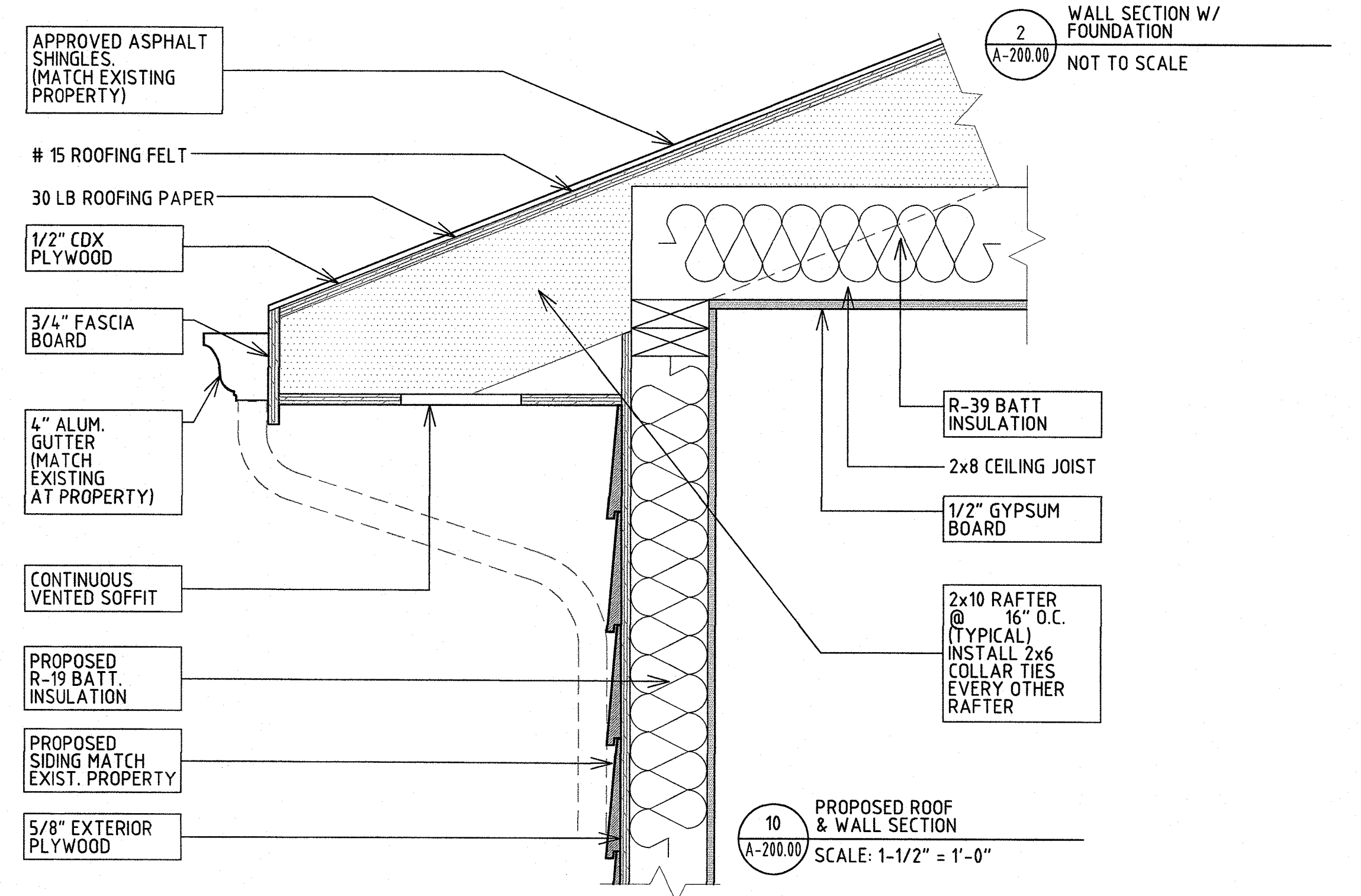
7 PROPOSED GARAGE REAR ELEVATION
A-200.00 SCALE: 1/4" = 1'-0"



8 PROPOSED GARAGE SIDE ELEVATION
A-200.00 SCALE: 1/4" = 1'-0"



9 PROPOSED GARAGE SIDE ELEVATION
A-200.00 SCALE: 1/4" = 1'-0"



10 PROPOSED ROOF & WALL SECTION
A-200.00 SCALE: 1-1/2" = 1'-0"

RUDY DUPUY ARCHITECTS 1 TORY CIRCLE, TAPAN, N.Y. 10983 845.536.1618 TL

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JOB DESCRIPTION:
PROPOSED NEW CAR GARAGE

NO.	REVISIONS	DATE
1		00/00/0000

PROJECT LOCATION:
**#897 ROUTE 9W
LOT 13, BLOCK 1
SECTION 71.17
UPPER GRANDVIEW
ROCKLAND CO., NY**

- FLOOR PLAN - ELEVATIONS, DETAILS

SEAL & SIGNATURE	DATE: 01.06.2023
	PROJECT NO. 20221209.2
	DRAWING BY: X.X.
	CHK. BY: R.D.
	DWG NO. A-200.00
	CAD FILE NO. 2 OF 2