

ZONING BOARD OF APPEALS

Town of Orangetown  
20 Greenbush Road  
Orangeburg, New York 10962  
(914) 359-8410 (ex. 4331)

Date: November 1, 2023

TO: OBAPAE

Environmental Management and Engineering  
✓ Rockland County Sewer District #1  
New York State Dept. of Transportation  
Palisades Interstate Park Commission  
Orange and Rockland Utilities  
Orangetown Highway

✓ Rockland County Drainage  
✓ Rockland County Health  
✓ Rockland County Planning  
✓ Rockland County Highway

Review of Plans: Holly Barnett, 11A William Street, Sparkill, NY  
Section 77.08 Block 5 Lot 29.2 RG zone

This matter is scheduled for:

Chapter 43, Section 3.12, RG District, Group Q, Columns 4 ( Floor Area ratio: 30% permitted, 32% proposed), 9 ( Side Yard: 10' required, 5.66' proposed), 10 (Total Side Yard: 20' required, 17.1' proposed) Section 5.21 Undersized lot applies for an addition to an existing single-family residence.

Please review the information enclosed and provide comments. These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: [darbolino@orangetown.com](mailto:darbolino@orangetown.com) or
- Fax to the Town of Orangetown ZBA @845 359 8526

**Zoning Board Meeting Date: December 6, 2023**

- ( ) Comments attached
- ( ) No Comments at this time. Please send future correspondence for review.
- ( ) No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- ( ) This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, December 6, 2023**. **Kindly forward your completed review to this office by December 6, 2023.**

Reviewing Agency \_\_\_\_\_

Name \_\_\_\_\_ date: \_\_\_\_\_

Signature: \_\_\_\_\_

Thank you, Deborah Arbolino



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN

20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**REFERRAL TO THE ZONING BOARD OF APPEALS**

Date: ~~8.15.23~~ <sup>October 30, 2023 (R)</sup> Section: 77.08 Block: 5 Lot: 29.2

Applicant: Barnett

Address: 11A William St. Sparkill

RE: Application Made at: same

Referred For:

Chapter 43, Bulk Table 3.12, RG District  
Column 1 RG District, Column 2 Group Q, Column 3 SFR, Column 4 Max FAR 30% w/ 32% proposed,  
Column 9 Required side yard 10' w/ 5.66' proposed, Column 10 Required Total Side Yard 20' (per Ch  
43, Section 5.21(d)) w/ 17.1' proposed  
ENC (Existing Non-Conforming) Lot Width 50.00'  
Section 5.21 Undersized Lot applies  
3 variances required

Comments:

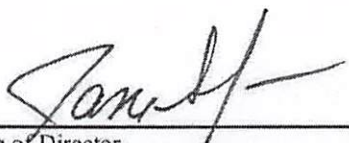
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Dear Barnett:

Please be advised that the Building Permit Application # p23-2632, which you submitted on  
November 11, 2022, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to  
the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear  
before the board. She can be reached at 845-359-8410 ext. 4331 or [darbolino@orangetown.com](mailto:darbolino@orangetown.com).

Sincerely,

  
Richard Oliver  
Deputy Building Inspector

  
Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
1-30-2023

8/16/23  
Date  
Liz DeCort  
Debbie Arbolino



Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: \_\_\_\_\_

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: P23-2632  
 ASSIGNED  
 INSPECTOR: R. Oliver

Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: 11A William St. Deck

Street Address: 11A William St. , Sparkill NY , 10976

**Tax Map Designation:**

Section: 787.08 Block: 5 Lot(s): 29.2  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

**Directional Location:**

On the SE side of William St., approximately 200 feet SE of the intersection of William St. / Goswick Ct., in the Town of Orangetown in the hamlet/village of Sparkill.

Acreage of Parcel <u>0.26</u>	Zoning District <u>RG</u>
School District <u>S. Orangetown</u>	Postal District <u>Sparkill</u>
Ambulance District <u>S. Orangetown</u>	Fire District <u>Sparkill - Palisade</u>
Water District <u>Neolia</u>	Sewer District <u>Orangetown</u>

**Project Description:** (If additional space required, please attach a narrative summary.)

Remove exg deck and deck structure at first floor and second floor )  
Remove exg exterior stair to backyard , build new expanded deck  
w/ new posts + fastings @ first floor , replace doors on exg one story addition

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing. w/windows

Date: \_\_\_\_\_ Applicant's Signature: \_\_\_\_\_

**APPLICATION REVIEW FORM**

**FILL IN WHERE APPLICABLE.**

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

**If subdivision:**

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

**If site plan:**

- 1) Existing square footage 3436
- 2) Total square footage 3583
- 3) Number of dwelling units 1

**If special permit**, list special permit use and what the property will be used for.

\_\_\_\_\_  
\_\_\_\_\_

**Environmental Constraints:**

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_

Are there **streams** on the site? If yes, please provide the names. Sparkill Creek

Are there **wetlands** on the site? If yes, please provide the names and type:  
\_\_\_\_\_

**Project History:**

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

\_\_\_\_\_  
\_\_\_\_\_

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

\_\_\_\_\_  
\_\_\_\_\_

**DECISION**

ZBA #98-80

TO: Thomas C Heatley and Elizabeth J. Moody  
33 River Road  
Grand View, New York 10960

FROM: ZONING BOARD OF APPEALS: TOWN OF ORANGETOWN

RE: Appeal from denial by building inspector. Application of Thomas Heatley and Elizabeth J. Moody for a New York Town Law Section 280-a variance. The following variance is requested:

- (1) Section 280-a of New York Town Law requires that no permit for the erection of any building shall be issued unless a street or highway giving access to such proposed structure has been duly placed on the official map or plan....Applicant requests a variance from Section 280-a.

Premises involved are situated on the southwest side of William Street approximately 252' northeast of the intersection of Sparkill Avenue and William Street in the hamlet of Sparkill, Rockland County, New York. Section 77.08, Block 5, Lot 29.2. This is a RG zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held Monday September 28, 1998 at which time the Board made the following determination.

Thomas C. Heatley, Jason Heatley, Joseph Heatley and Donald Brenner, Esq. appeared and testified.

The following documents were presented:

1. Plans for proposed new lot.
2. Letter from County of Rockland, Department of Planning, dated September 10, 1998, signed by James Cymore, Deputy.
3. Letter from County of Rockland, Department of Highways, dated August 31, 1998, signed by Claudette Tufau, Engineer.
4. Letter from County of Rockland, Department of Highways, dated August 31, 1998, signed by Merle Mammato, Principal Engineering Technician.

The applicant testified that the lot in question has a right-of-way easement through an existing driveway as per plans submitted dated July 20, 1998; that this is a new easement and that there is a second easement on the adjoining property through a driveway which is not the subject of this application; that the property is in a 100-year flood plain but the Rockland County Drainage Agency has issued the necessary permits; that the proposed excavation will be done without causing additional run-off and will not affect the neighboring properties.

Mike Betteman, abutting neighbor, stated that his mother's house is on property fronting applicant's lot which is the site of applicant's alleged second right-of-way. Mr. Betteman claims the easement no longer exists, that he and his sister have used the driveway for many years, and that there is no access to the rear lot through this driveway.

Carol Demola, abutting neighbor, stated the house on applicant's property is just a shack with no sewer or gas services. She also expressed concern that the proposed new construction will rise to a height higher than her house and cause additional flooding in the area. She also questioned as to how a permit can be issued in a flood plain.

LE: 6V 9- AON 86.

Thomas Demola, abutting neighbor, expressed concern with potential drainage problems caused by this new house.

NAAC 17 7-30 30 NAAC1

The Board members made a personal inspection of the premises on Saturday September 26, 1998 and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of the State of New York was received

**FINDING OF FACTS:**

The Board after personal observation of the property, hearing all the testimony and reviewing same, found as fact that:

1. The circumstances of the case do not require the proposed structure to be related to existing or proposed streets or highways. Applicant will use an easement on adjoining property on lot 29 to the northeast for access and egress.

**DECISION:** In view of the foregoing and the testimony before the Board, the application is APPROVED AND A BUILDING PERMIT IS AUTHORIZED TO BE ISSUED, SUBJECT TO ALL APPLICABLE MUNICIPAL REQUIREMENTS, WITH THE FOLLOWING CONDITION:

1. The easement to be used for access to and egress from applicant's property shall be the easement located on that part of lot 29 bordering on William Street as shown on the plan submitted by applicants dated July 20, 1998.

(I) The approval of any variance or Special Permit is granted by the Board in accordance with, and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.

(ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.

(iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to the variances being requested.

(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the Building Department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the Building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning, and Planning Administration and Enforcement which legally permits such occupancy.

(v) Any foregoing variance or Special Permit will lapse if any contemplated construction for which the variance or Special Permit is granted is not substantially implemented within one year of the date this decision is filed; it being clearly understood and agreed that the mere obtainment of a Building Permit does not constitute "substantial implementation" for the purposes hereof.

The foregoing resolution to approve the application was presented and moved by John Duffy seconded by Ennio Munno and carried as follows; Dominic Filippone, aye; Alfred Visalli, aye; Ennio Munno, aye; William Mowerson, aye; and John Duffy, aye.

18:56 9-10N 86.

TOWN OF ...

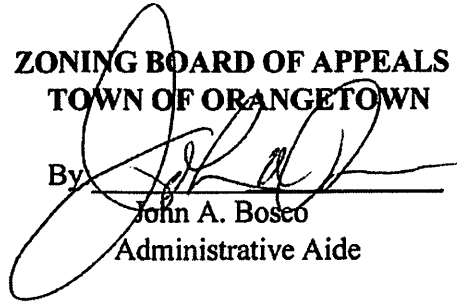
ZBA #98-80 pg. 3.

The administrative aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: September 28, 1998

**ZONING BOARD OF APPEALS  
TOWN OF ORANGETOWN**

By



John A. Boseo

Administrative Aide

**DISTRIBUTION:**

Applicant  
Town Board Members  
ZBA Members  
Supervisor  
Town Attorney  
Deputy Town Attorney  
OBZPAE  
Building Inspector

Town Clerk  
Highway Department  
Assessor  
Dept. of Environmental  
Mgmt and Engineering  
Supervising Clerk  
Chairman PB,ZBA, ACABOR

TOWN CLERK'S OFFICE

SEP 29 9- AM '98

TOWN CLERK'S OFFICE

DECISION

AMENDMENT TO ZBA #98-80 APPROVED

To: Thomas Heatley  
11A William Street  
Sparkill, New York 10976

ZBA # 05-71  
Date: 7 / 6 / 05

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

Re: ZBA# 05-71: Application of Thomas Heatley for an amendment to ZBA Decision #98-80 dated September 28, 1998 for the approval of a new access easement and the release of the existing access easement at an existing single family residence. Premises are located at 11 A William Street, Sparkill, New York and are identified on the Orangetown Tax Map as Section 77.08, Block 5, Lot 29.2; RG zone.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, July 6, 2005 at which time the Board made the determination hereinafter set forth.

Thomas Heatley and Donald Brenner, Attorney, appeared and testified.

The following documents were presented:

1. As Built Survey dated August 31, 2000 by Thomas McDougall, P.L.S.
2. ZBA Decision # 98-80 dated September 28, 1998.
3. A letter dated June 13, 2005 from the County of Rockland Department of Highways signed by Joseph Arena, Principal Engineering Technician.
4. A letter dated June 24, 2005 from the County of Rockland Department of Planning signed by Salvatore Corallo, Commissioner of Planning.
5. A letter dated June 30, 2005 from the County of Rockland Drainage Agency signed by Edward F. Devine.

On advice of Mr. Mulhearn, Attorney to the Zoning Board of Appeals, Mr. Duffy moved for a Board determination that the foregoing application is a Type II action under SEQRA regulations which does not require SEQRA environmental review. The motion was seconded by Mr. Mowerson and carried as follows: Mr. Sullivan, aye; Mr. Mowerson, aye; Ms. Castelli, aye; Mr. Munno, aye; and Mr. Duffy, aye.

Donald Brenner, Attorney, testified that in 1998 the applicant was before the Zoning Board and received a variance and an easement was submitted; that during construction the easement was changed and the Building Inspector has sent the applicant back to the Board to amend the ZBA decision.

Thomas Heatley testified that the easement is the same in the front of the house but that the description needs to be adjusted in the back by his house because it was extended to the southeast corner; that it was extended because he had to build two four foot stone walls instead of one taller retaining wall at the instruction of the Rockland County Drainage Agency; that he built on flood plain and by following the instructions of the Rockland County Drainage Agency he has never had a water problem; and that these two walls took up more space and forced the easement to be extended.



Heatley  
ZBA # 05-71  
Page 2 of 4

Public Comment:

No public comment.

The Board members made a personal inspection of the premises on Sunday, July 3, 2005 and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

**FINDINGS OF FACT AND CONCLUSIONS:**

After personal observation of the property, hearing all the testimony and reviewing the documents presented, the Board found and concluded that:

1. The requested amendment to ZBA #98-80 would not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties.
2. The applicant has agreed to submit the revised easement to the Town Attorney's office for review and approval.
3. The requested amendment to ZBA #98-80 would have no adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
4. The benefits sought cannot be achieved by other means feasible for the applicant other than obtaining a variance.

**DECISION:** In view of the foregoing and the testimony and documents presented, the Board: **RESOLVED**, that the application for the requested amendment to ZBA#98-80 is **APPROVED** with the **SPECIFIC CONDITION** that the easement instrument be submitted to the Town Attorney's office for approval; and **FURTHER RESOLVED**, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

TOWN CLERK OF

5 JUL 28 PM 2:15

TOWN OF

General Conditions:

(i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.

(ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.

(iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.

(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

(v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

TOWN CLERK'S OFFICE

JUL 28 12:15

TOWN CLERK'S OFFICE


Heatley  
ZBA # 05-71  
Page 4 of 4

The foregoing resolution to approve the application for the requested amendment to ZBA #98-80 was presented and moved by Mr. Mowerson, seconded by Ms. Castelli, and carried as follows: Mr. Sullivan, aye; Ms. Castelli, aye; Mr. Mowerson, aye; Mr. Munno, aye; and Mr. Duffy, aye.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: July 6, 2005

ZONING BOARD OF APPEALS  
TOWN OF ORANGETOWN

By   
Deborah Arbolino  
Administrative Aide

DISTRIBUTION:

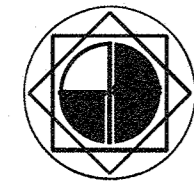
APPLICANT  
ZBA MEMBERS  
SUPERVISOR  
TOWN BOARD MEMBERS  
TOWN ATTORNEY  
DEPUTY TOWN ATTORNEY  
OBZPAE  
BUILDING INSPECTOR - B.VW.

TOWN CLERK  
HIGHWAY DEPARTMENT  
ASSESSOR  
DEPT. of ENVIRONMENTAL  
MGMT. and ENGINEERING  
FILE,ZBA, PB  
CHAIRMAN, ZBA, PB, ACABOR

TOWN CLERK

JUL 28 12:15

TOWN CLERK



**RAMSAY LAND SURVEYING, P.C.**  
PROFESSIONAL LAND SURVEYORS – PLANNERS

TITLE No. XXXXXX

**NOTE I:**

THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON AND OR THE ORGANIZATION FOR WHOM THIS SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENT AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE SUCCESSORS AND OR ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY STAMPED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INKED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

**NOTE II:**

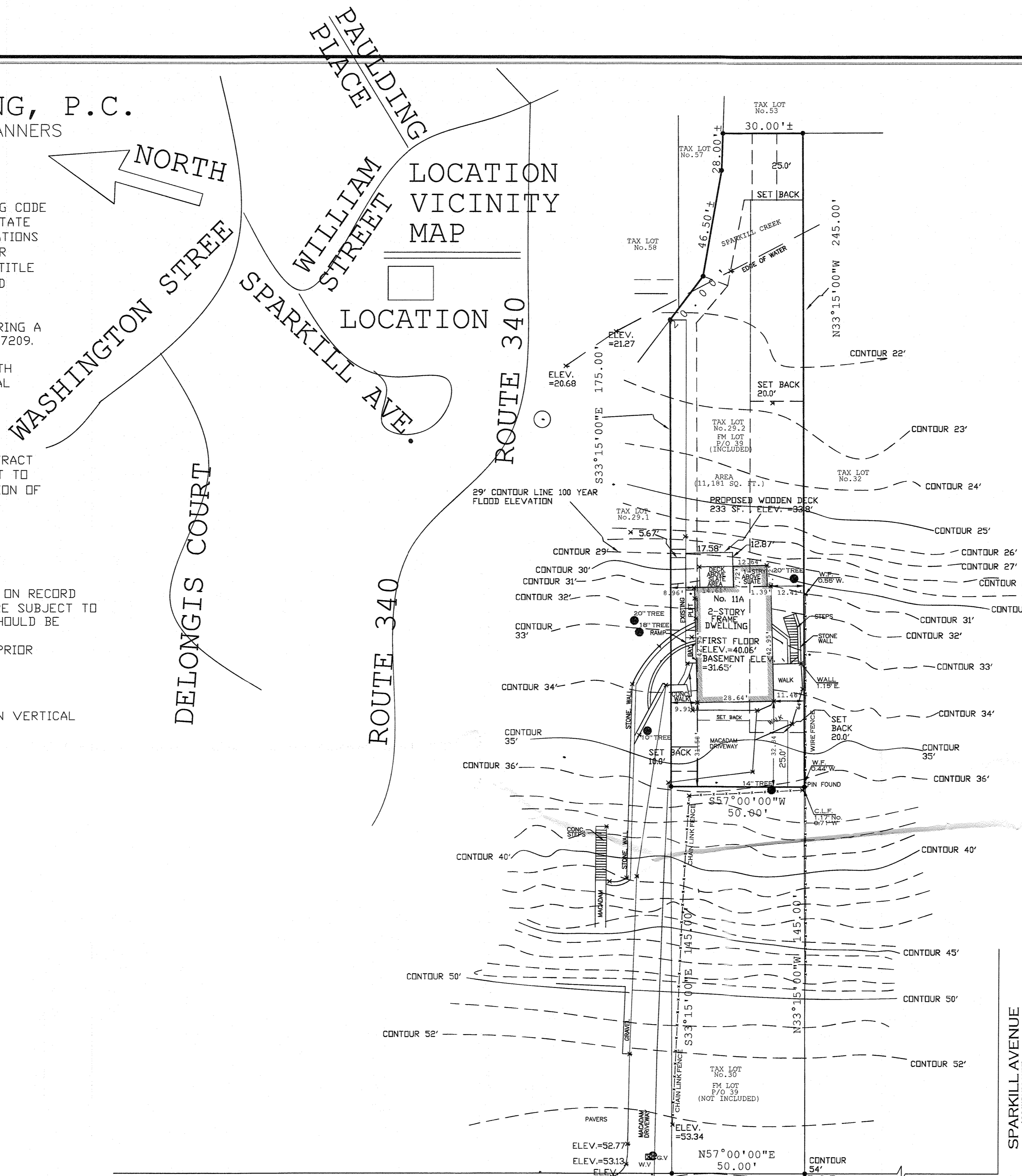
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE OR A FULL TITLE REPORT AND IS THEREFORE SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH DOCUMENTS.

**NOTE III:**

LOCATION OF SUBSURFACE UTILITIES SHOWN HEREON ARE BASED ON RECORD INFORMATION AND / OR ELECTRONIC DETECTION METHODS AND ARE SUBJECT TO THE ACCURACY THEREOF. LOCATION OF SUBSURFACE FACILITIES SHOULD BE VERIFIED PRIOR TO EXCAVATION AND /OR CONSTRUCTION. CONSULT WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO DESIGNING IMPROVEMENTS.

**NOTE IV:**

ALL ELEVATIONS ARE REFERENCED TO THE 1988 NORTH AMERICAN VERTICAL DATUM.  
[ N. A. V. D. 1988 ]



BULK TABLE ANALYSIS			
SECTION 787.08 TAX LOT 29.2 BLOCK 5 ZONING DISTRICT : RG ORANGE TOWN ZONING CODE REFERENCE : CH. 43 SECTION 5.2 & 9.2			
	REQUIRED	EXISTING	PROPOSED
LOT AREA MIN.	10,000	11,181	NO CHANGE
MIN. LOT WIDTH	75'	50'	NO CHANGE
FRONT YARD MIN.	25'	31.58'	NO CHANGE
SIDE YARD MIN.	10'	5.66' EXISTING NON-CONFORMING	5.66' VARIANCE REQUIRED
TOTAL SIDE YARD	20' per sec. 5.21 (d)	17.1' EXISTING NON-CONFORMING	17.1' VARIANCE REQUIRED
REAR YARD MIN.	25'	92.6'	87.6'
MAX. BUILDING HEIGHT	20' per sec. 5.21 (e)	19'-7"	NO CHANGE
MAX ALLOWBLE FAR	0.30	0.31 EXISTING NON-CONFORMING	0.32 VARIANCE REQUIRED per ch. 43 sec 9.2 1.3 increase in nonconforming bulk

SURVEY UP-DATED ; 09 : 27 : 2023

SURVEY REVISED : 11 / 30 / 2022

SURVEY REVISED : 10 : 09 : 2023

SCALE 1" = 30'

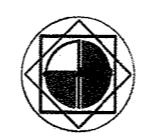
DESIGNATED AS PART OF LOT 39 ON A CERTAIN MAP ENTITLED,  
" MAP OF LOTS OF LUCILLA S. BLANCH, DEC., AT SPARKILL,  
& ROCKLAND, STATE OF NEW YORK."

FILED IN THE OFFICE OF THE CLERK OF ROCKLAND COUNTY,  
ON MARCH , 1891 AS MAP NUMBER 1419.

CERTIFIED TO :-  
BUILDING DEPARTMENT

DATE OF SURVEY : OCTOBER 21, 2022  
MAP DRAFTED : OCTOBER 26, 2022

LOT No. 29.2



**RAMSAY LAND SURVEYING, P.C.**  
PROFESSIONAL LAND SURVEYORS – PLANNERS

3024 RADCLIFF AVENUE  
BRONX, NEW YORK 10469  
MOBILE # 917 544 8174  
PHONE : 718 884 0238  
EMAIL :  
NVRECLANDSURY@YAHOO.COM

TOPOGRAPHICAL SURVEY  
SHOWING EXISTING FEATURES, PROPOSED DECK, SET BACK LINES AND  
BULK TABLE ANALYSIS.

11A WILLIAM STREET  
IN THE SPARKILL  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
STATE OF NEW YORK.



NEVILLE V. RAMSAY, PROFESSIONAL LAND SURVEYOR  
NEW YORK STATE LICENCE No. 050294-1

ZONING BOARD OF APPEALS  
Meeting Of:  
DEC 06 2023  
Town Of Orangetown



## BULK TABLE ANALYSIS

SECTION 787.08  
 TAX LOT 29.2  
 BLOCK 5  
 ZONING DISTRICT: RG  
 ORANGETOWN ZONING CODE REFERENCE: CH. 43 SECTION 5.2 & 9.2

	REQUIRED	EXISTING	PROPOSED
LOT AREA MIN.	10,000	11,181	NO CHANGE
MIN. LOT WIDTH	75'	50'	NO CHANGE
FRONT YARD MIN.	25'	31.58'	NO CHANGE
SIDEYARD MIN.	10'	5.66' EXISTING NON-CONFORMING	5.66' VARIANCE REQUIRED
TOTAL SIDE YARD	20' per sec. 5.21(d)	17.1' EXISTING NON-CONFORMING	17.1' VARIANCE REQUIRED
REAR YARD MIN.	25'	92.6'	87.6'
MAX BUILDING HEIGHT	20' per sec. 5.21(e)	19'-7"	NO CHANGE
MAX ALLOWBLE FAR	0.30	0.31 EXISTING NON-CONFORMING	0.32 VARIANCE REQUIRED per ch.43 sec 9.2 1% increase in nonconforming bulk

## DRAWING LIST

PAGE	SHEET NUMBER	SHEET NAME
1	A-000	COVER SHEET, BULK TABLE, NOTES
2	A-001	PLOT PLANS
3	DM-100	DEMO PLANS
4	A-100	PROPOSED PLANS
5	A-200	EXTERIOR ELEVATIONS
6	A-500	DETAILS
7	A-510	SECTION DETAIL

# PROPOSAL FOR DECK 11A WILLIAM STREET

ALL WORK TO BE IN CONFORMANCE WITH THE 2020 RESIDENTIAL CODE OF NYS  
 ALL WORK TO BE IN CONFORMANCE WITH THE 2020 ENERGY CONSERVATION CODE

## PROJECT DATA

PROJECT ADDRESS:  
 11A WILLIAM STREET  
 SPARKILL, NY 10976

TAX LOT:  
 29.2

ZONE:  
 RG - GENERAL RESIDENCE DISTRICT

USE GROUP: SINGLE FAMILY DETACHED RESIDENCE

CONST TYPE: WOOD FRAME

GROUND SNOW LOAD: 30LB/SF

SEISMIC DESIGN CAT: B

SOIL SITE CLASS: D

WIND SPEED: 130 MPH

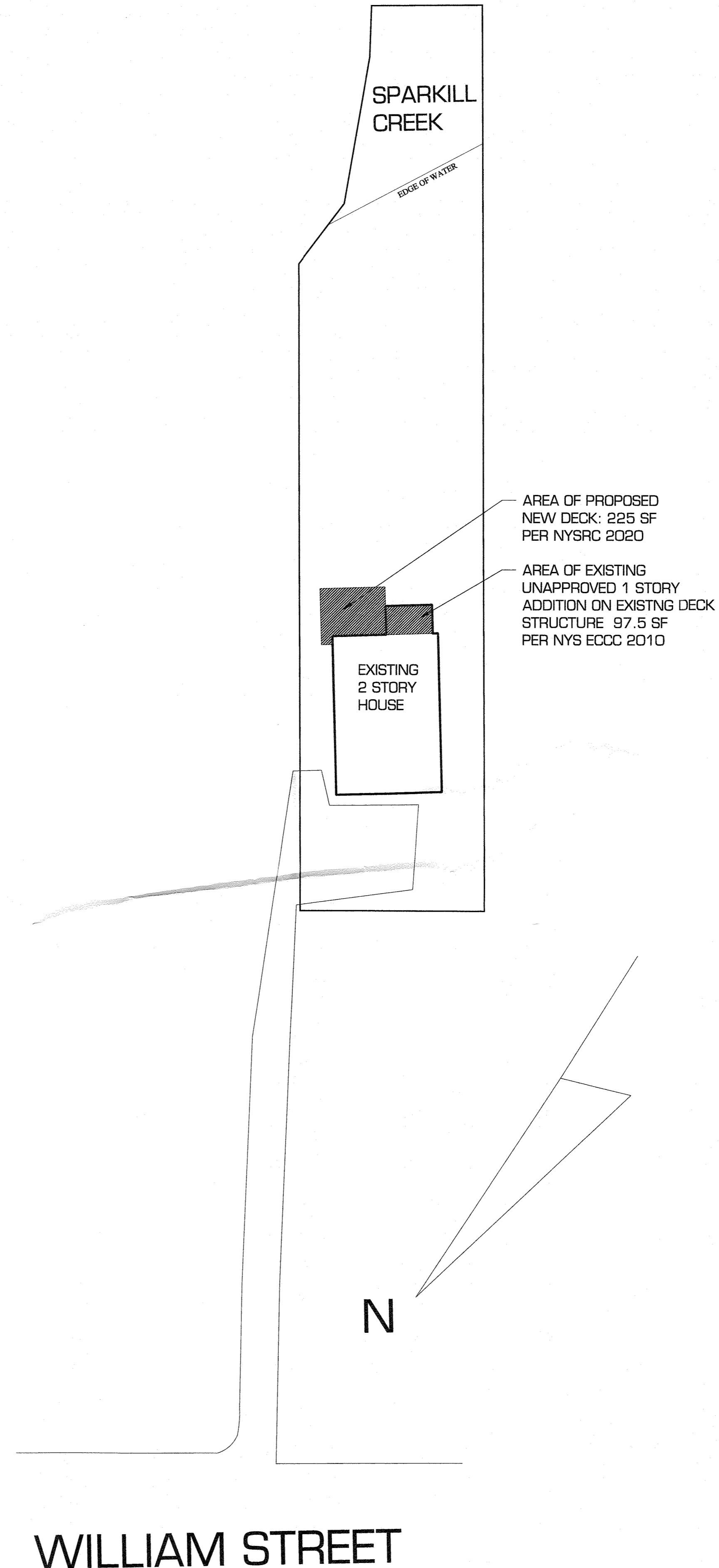
EXPOSURE CAT: B

FLOOD ZONE: AE

STORIES: 2

FLOOR LIVE LOAD: 40 PSF

CLIMATE ZONE: 5



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 TAPPAN, NY 10983  
 845-536-3040

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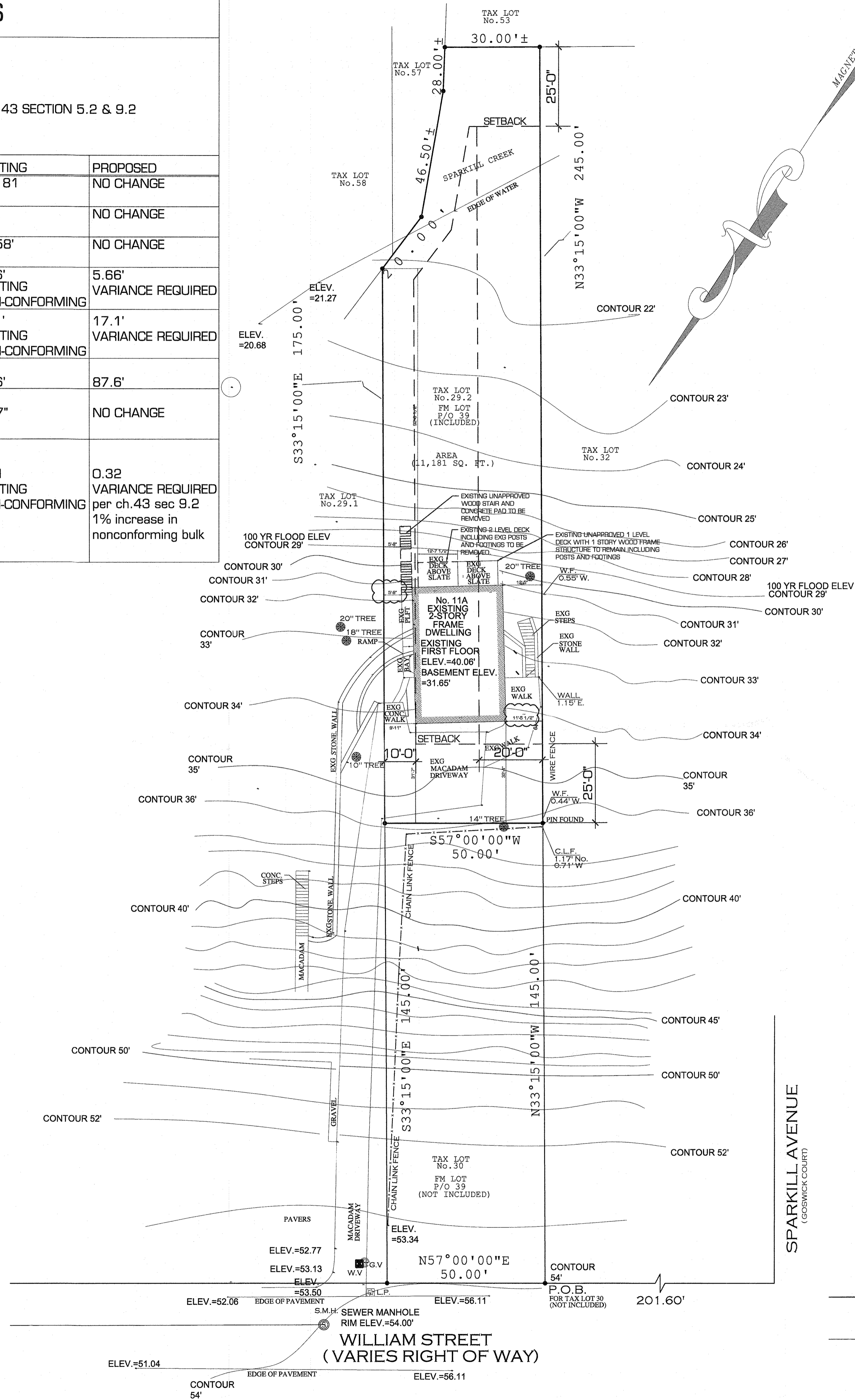
DRAWING NO.: 1 OF 7

**A-000.04**

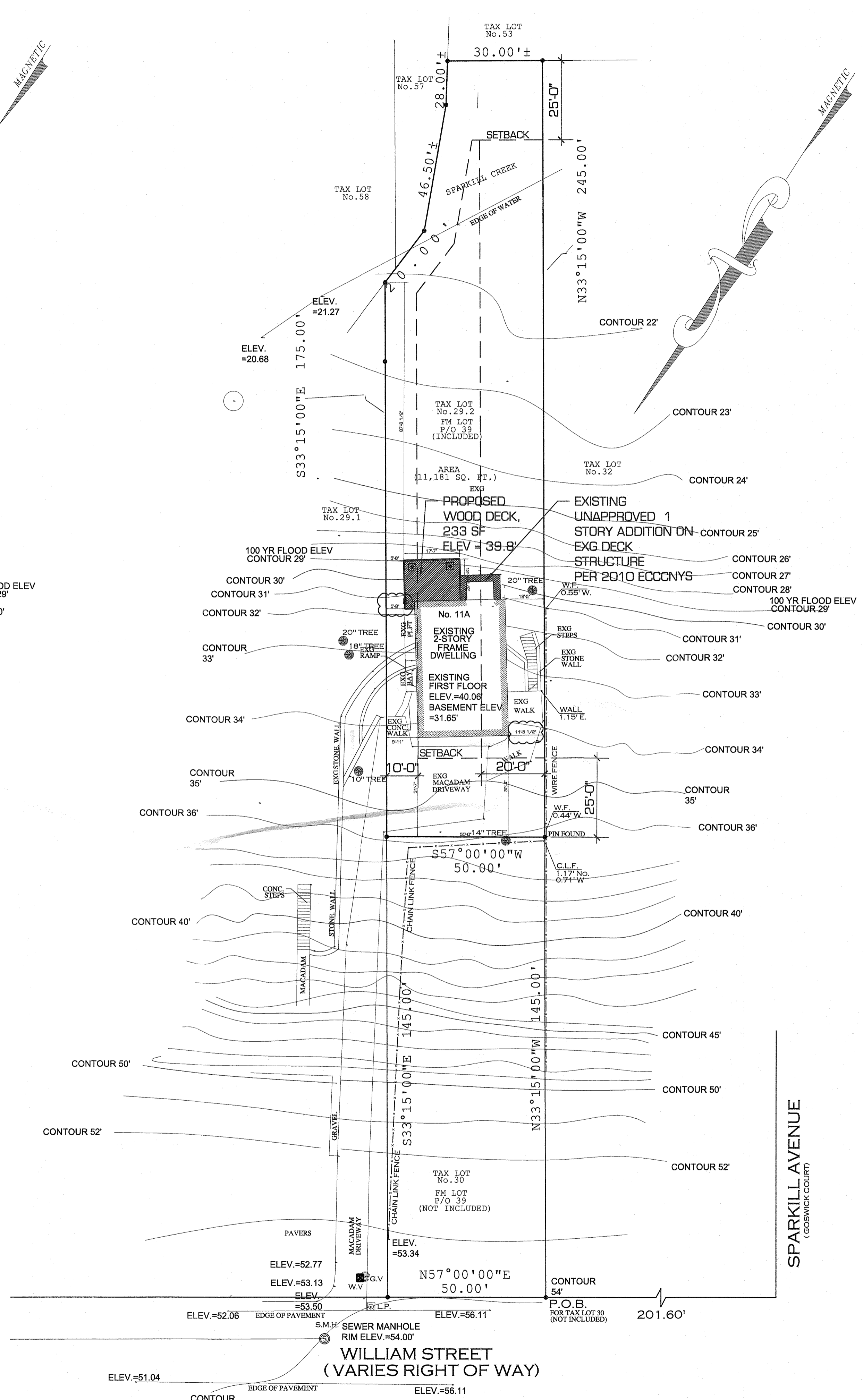
# BULK TABLE ANALYSIS

SECTION 787.08  
 TAX LOT 29.2  
 BLOCK 5  
 ZONING DISTRICT: RG  
 ORANGETOWN ZONING CODE REFERENCE: CH. 43 SECTION 5.2 & 9.2

	REQUIRED	EXISTING	PROPOSED
LOT AREA MIN.	10,000	11,181	NO CHANGE
MIN. LOT WIDTH	75'	50'	NO CHANGE
FRONT YARD MIN.	25'	31.58'	NO CHANGE
SIDEYARD MIN.	10'	5.66' EXISTING NON-CONFORMING	5.66' VARIANCE REQUIRED
TOTAL SIDE YARD	20' per sec. 5.21(d)	17.1' EXISTING NON-CONFORMING	17.1' VARIANCE REQUIRED
REAR YARD MIN.	25'	92.6'	87.6'
MAX BUILDING HEIGHT	20' per sec. 5.21(e)	19'-7"	NO CHANGE
MAX ALLOWBLE FAR	0.30	0.31 EXISTING NON-CONFORMING	0.32 VARIANCE REQUIRED per ch.43 sec 9.2 1% increase in nonconforming bulk



**01 PLOT PLAN: EXISTING**  
 NTS



**02 PLOT PLAN: PROPOSED**  
 NTS

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DRAWING TITLE:  
 PLOT PLANS

DATE: JUNE 12, 2023

JOB NO.:

DRAWN BY:

DRAWING NO.: 2 OF 7

**A-001.04**



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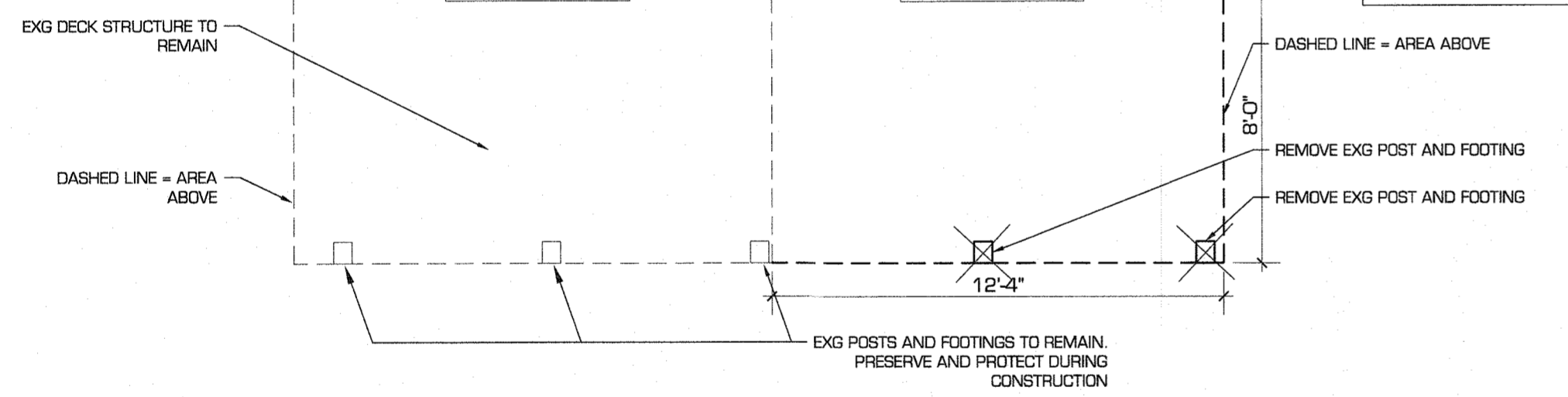
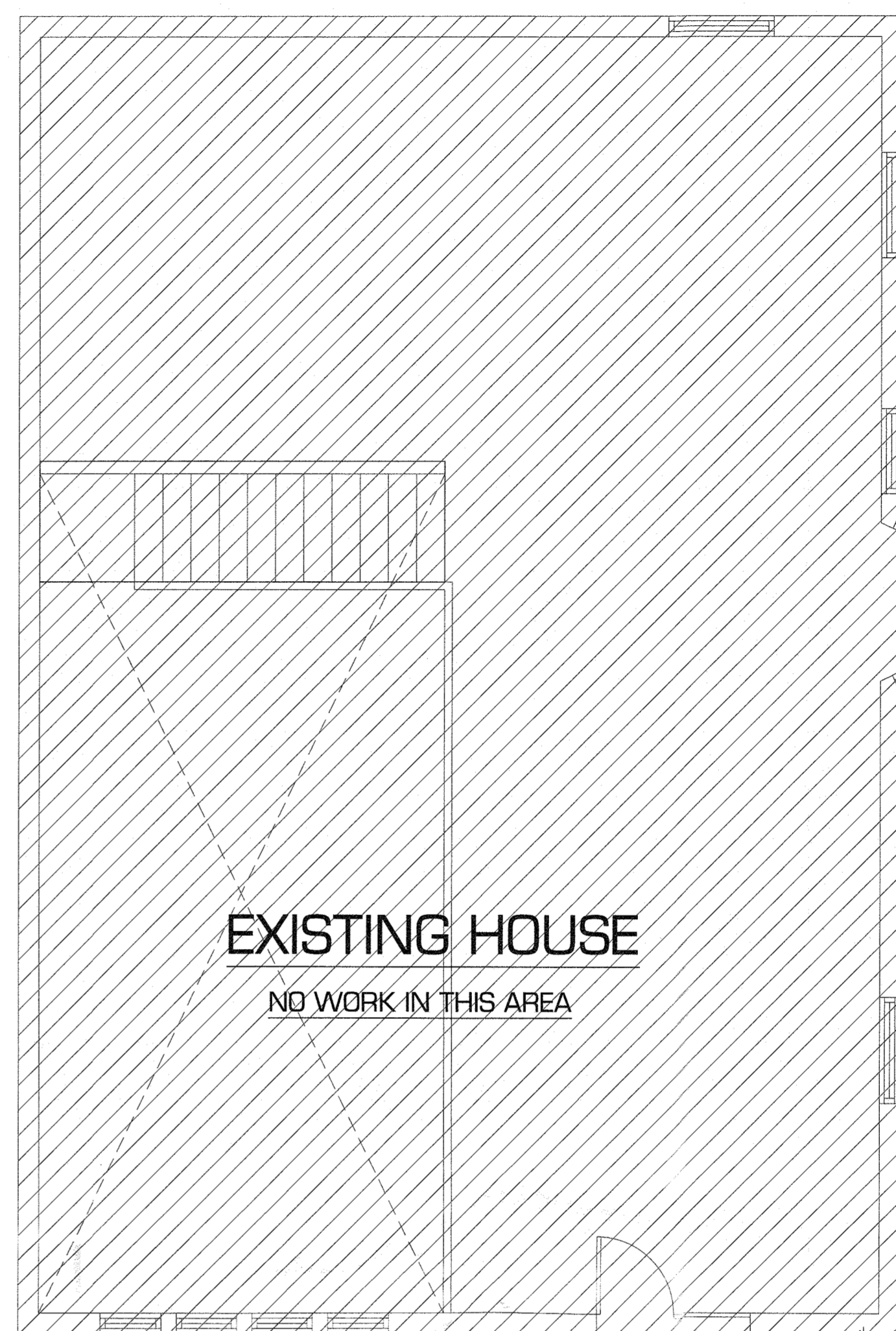
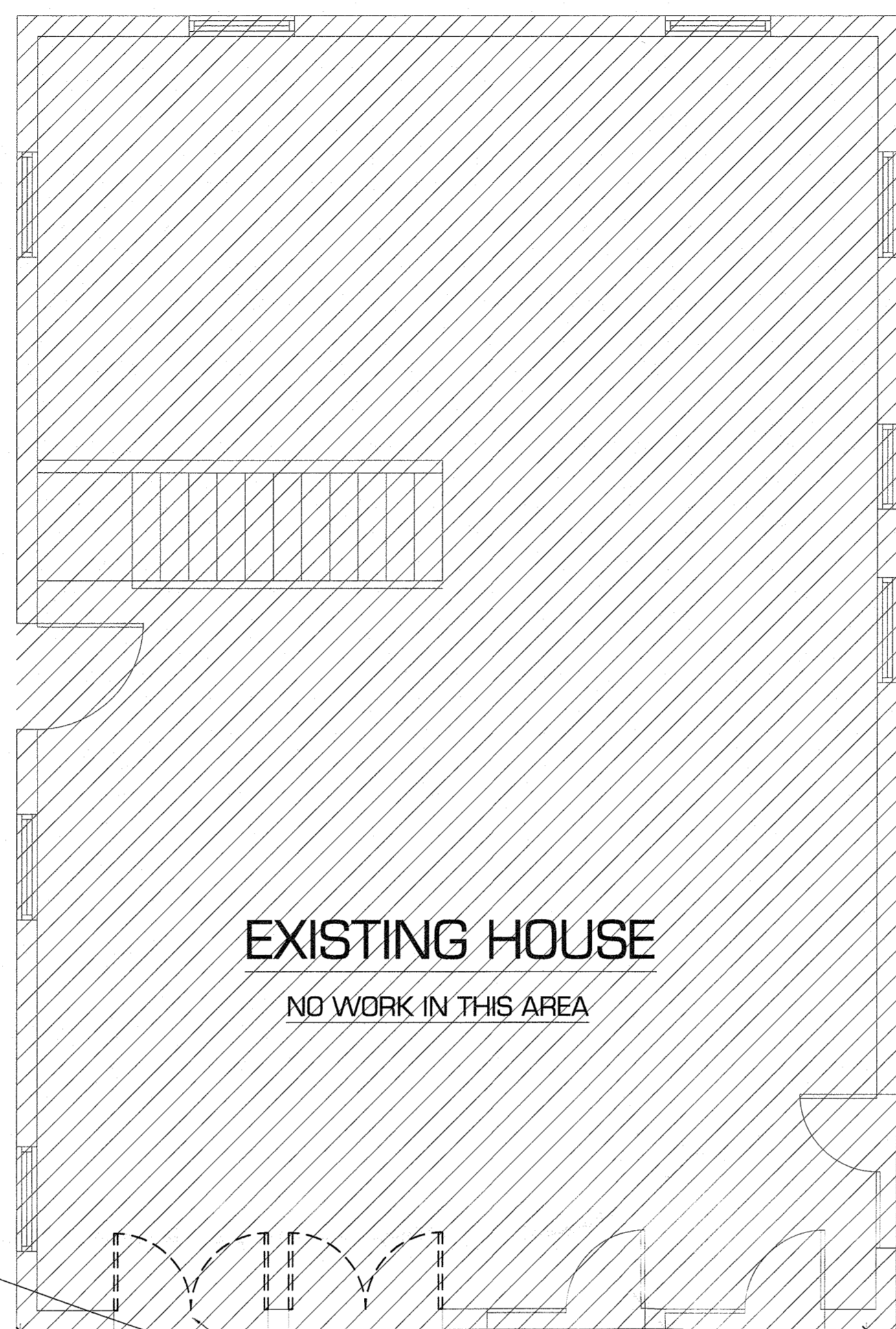
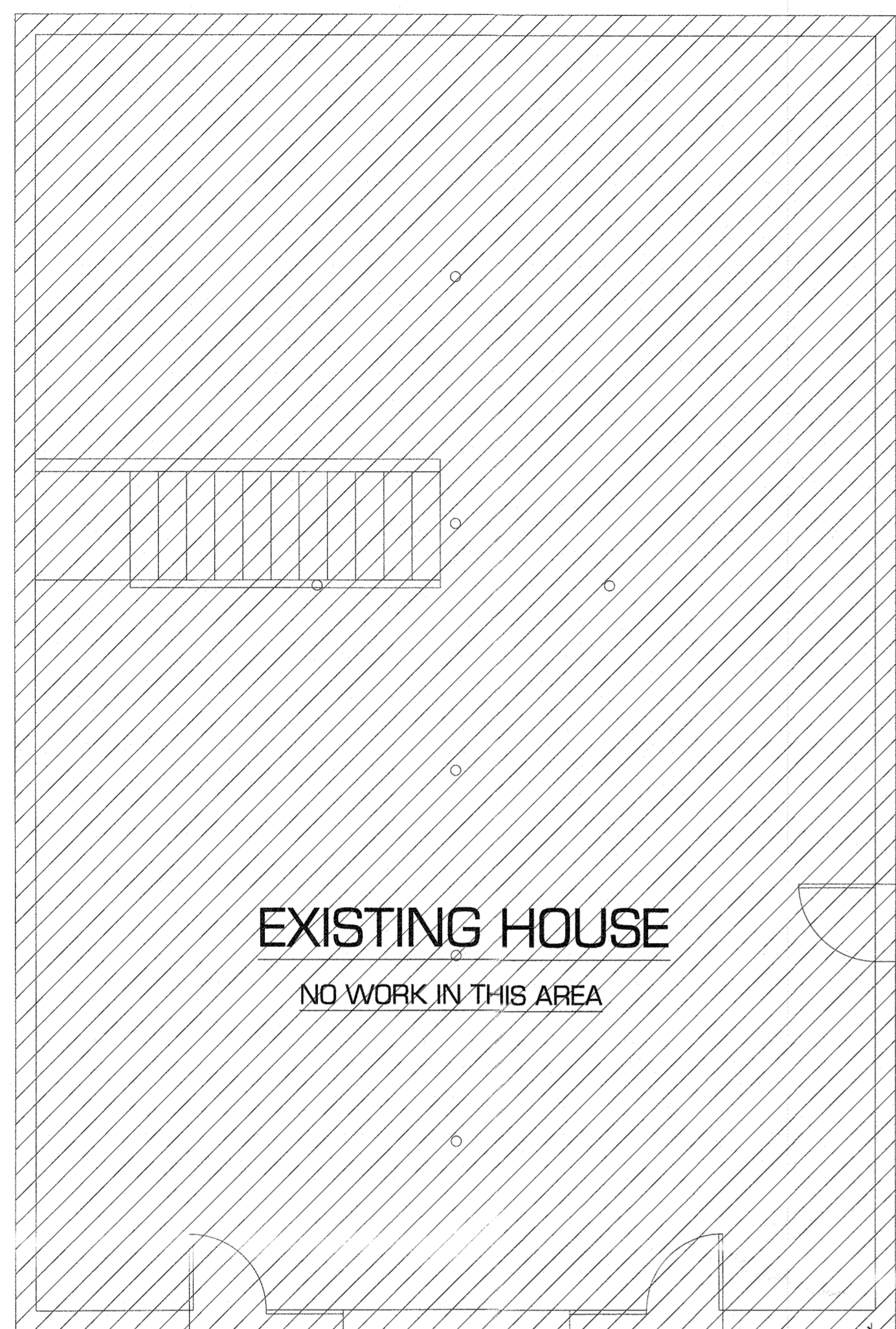
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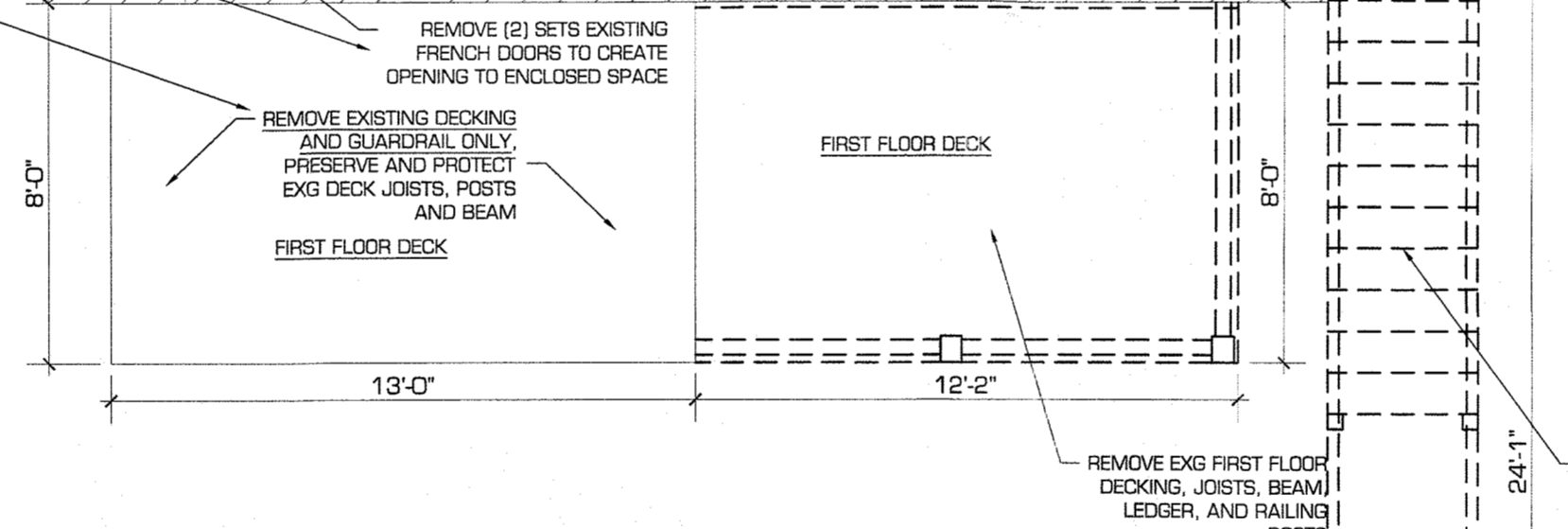
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DEMO PLANS  
 DATE: JULY 6, 2023  
 JOB NO.:  
 DRAWN BY:  
 DRAWING NO.: 3 OF 7

DM-100.04

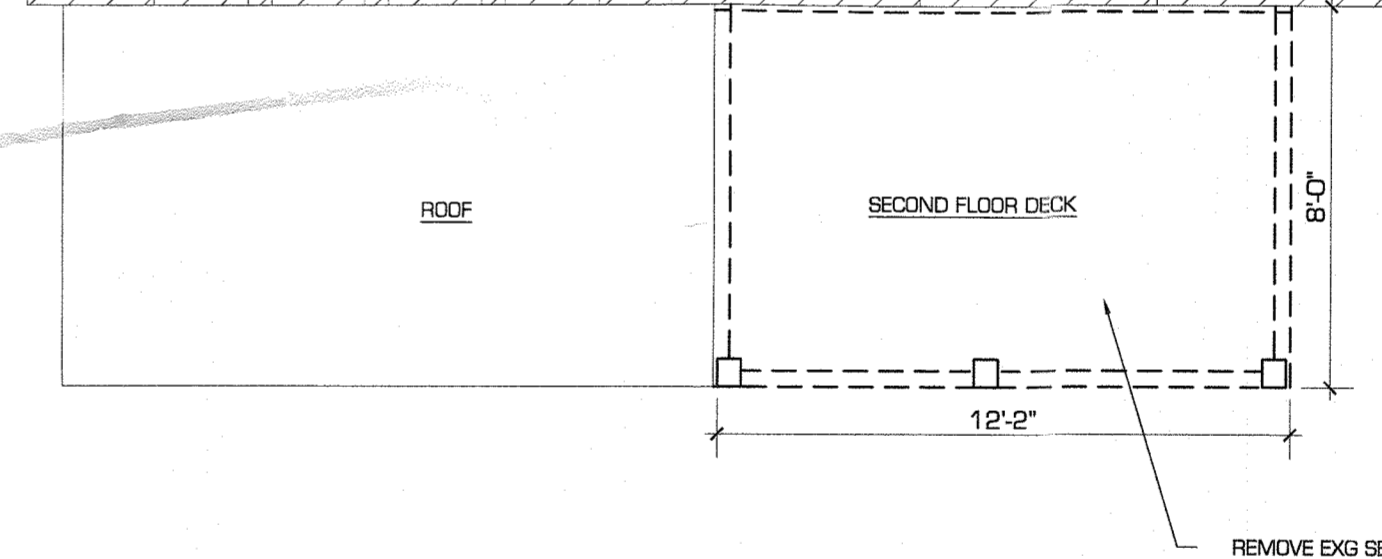


DEMO NOTES REFERENCE ASSUMED DEMO OF APPROVED CONDITIONS FOR UNAPPROVED 1 STORY ADDITION



PRESERVE EXG CANTILEVERED WOOD WALKWAY STRUCTURE. REMOVE EXG DECKING AND GUARDRAIL

REMOVE EXG UNAPPROVED STAIR, RAILING POSTS, AND CONCRETE BOTTOM STEP



01 DEMO PLAN BASEMENT LEVEL  
 1/4"=1'-0"

02 DEMO PLAN FIRST FLOOR  
 1/4"=1'-0"

03 DEMO PLAN SECOND FLOOR  
 1/4"=1'-0"



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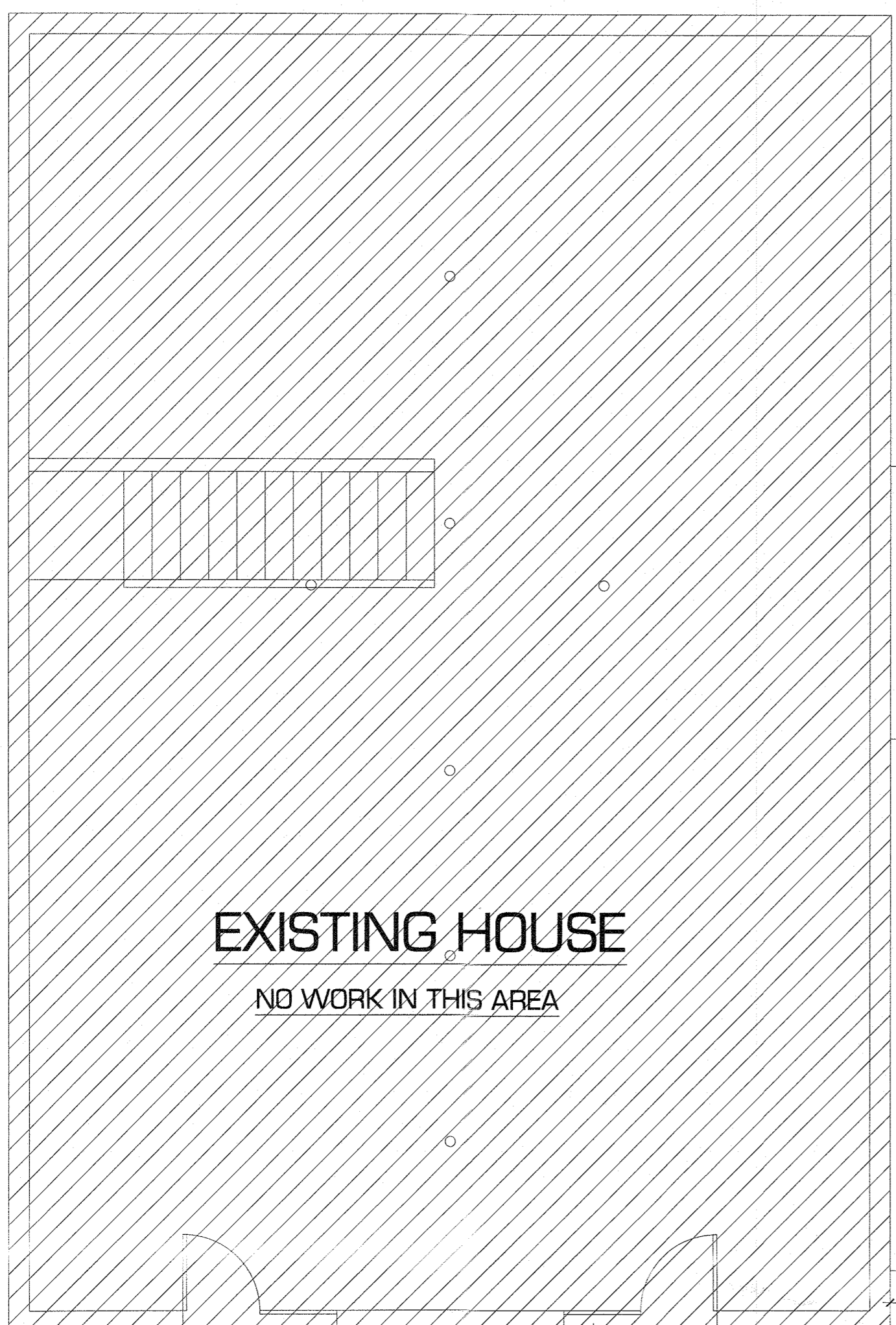
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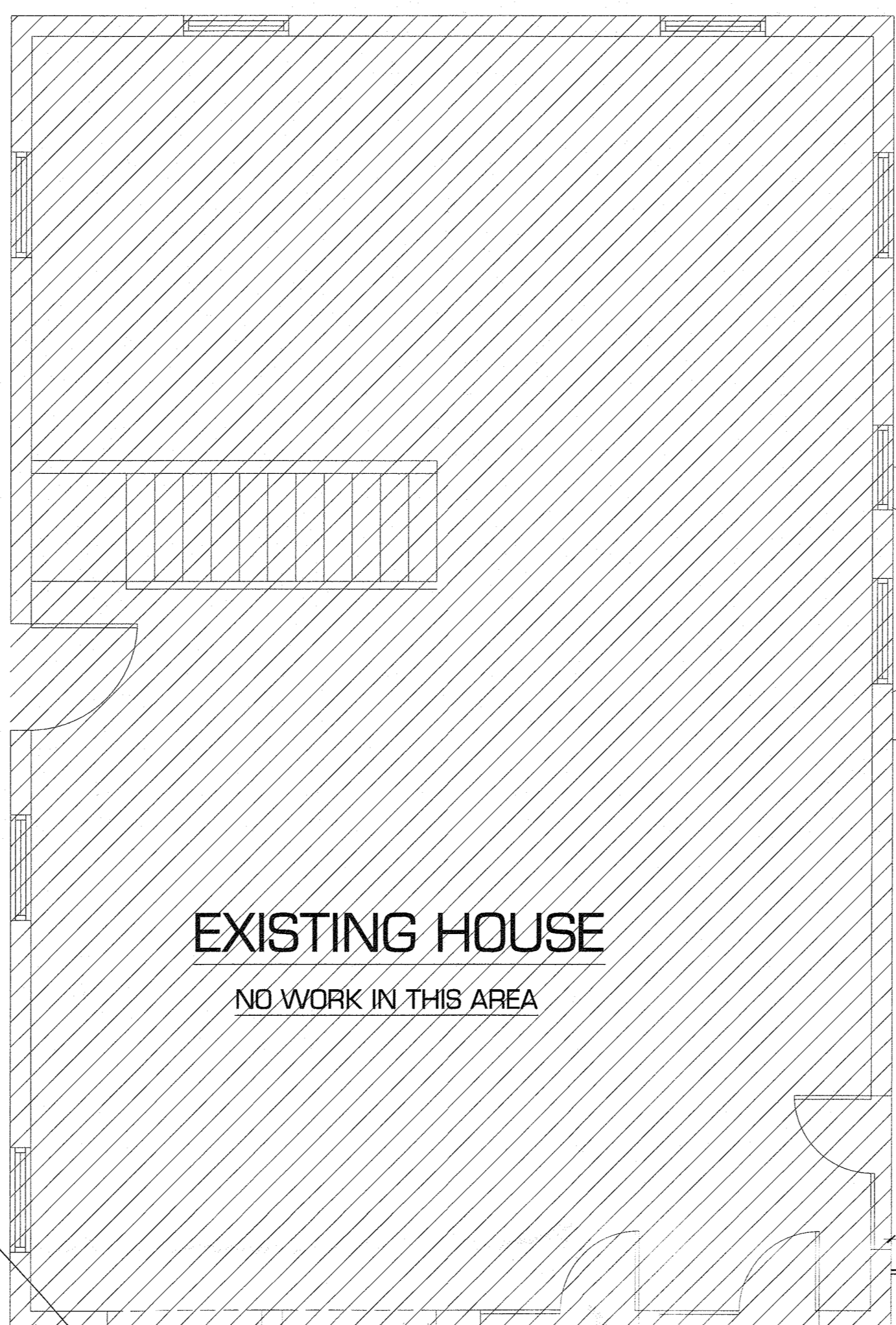
DRAWING TITLE:

PROPOSED PLANS  
 DATE: JULY 6, 2023  
 JOB NO.:  
 DRAWN BY:  
 DRAWING NO.: 4 OF 7

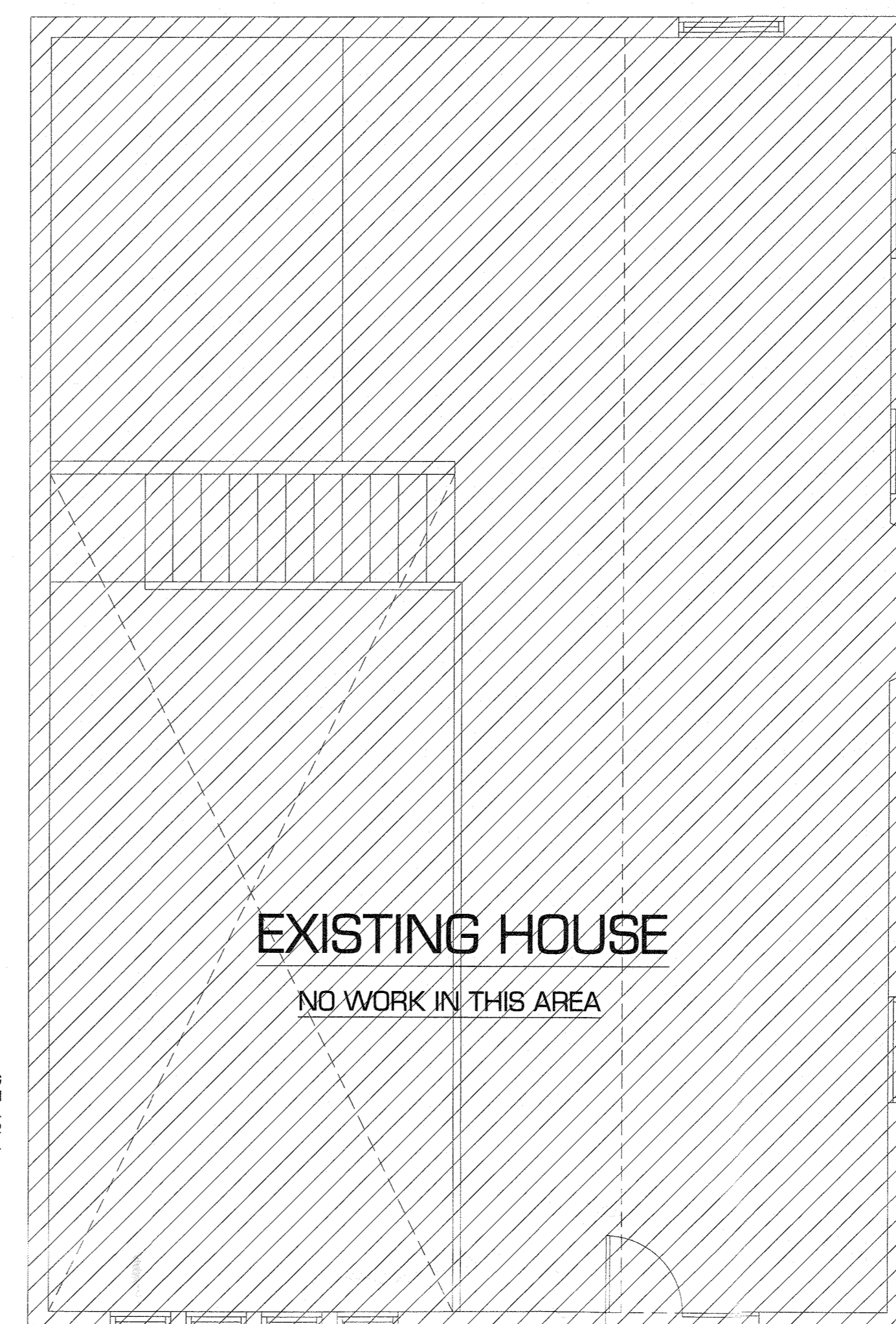
A-100.04



EXISTING HOUSE  
 NO WORK IN THIS AREA



EXISTING HOUSE  
 NO WORK IN THIS AREA



EXISTING HOUSE  
 NO WORK IN THIS AREA

01 PROPOSED PLAN BASEMENT LEVEL  
 1/4"=1'-0"

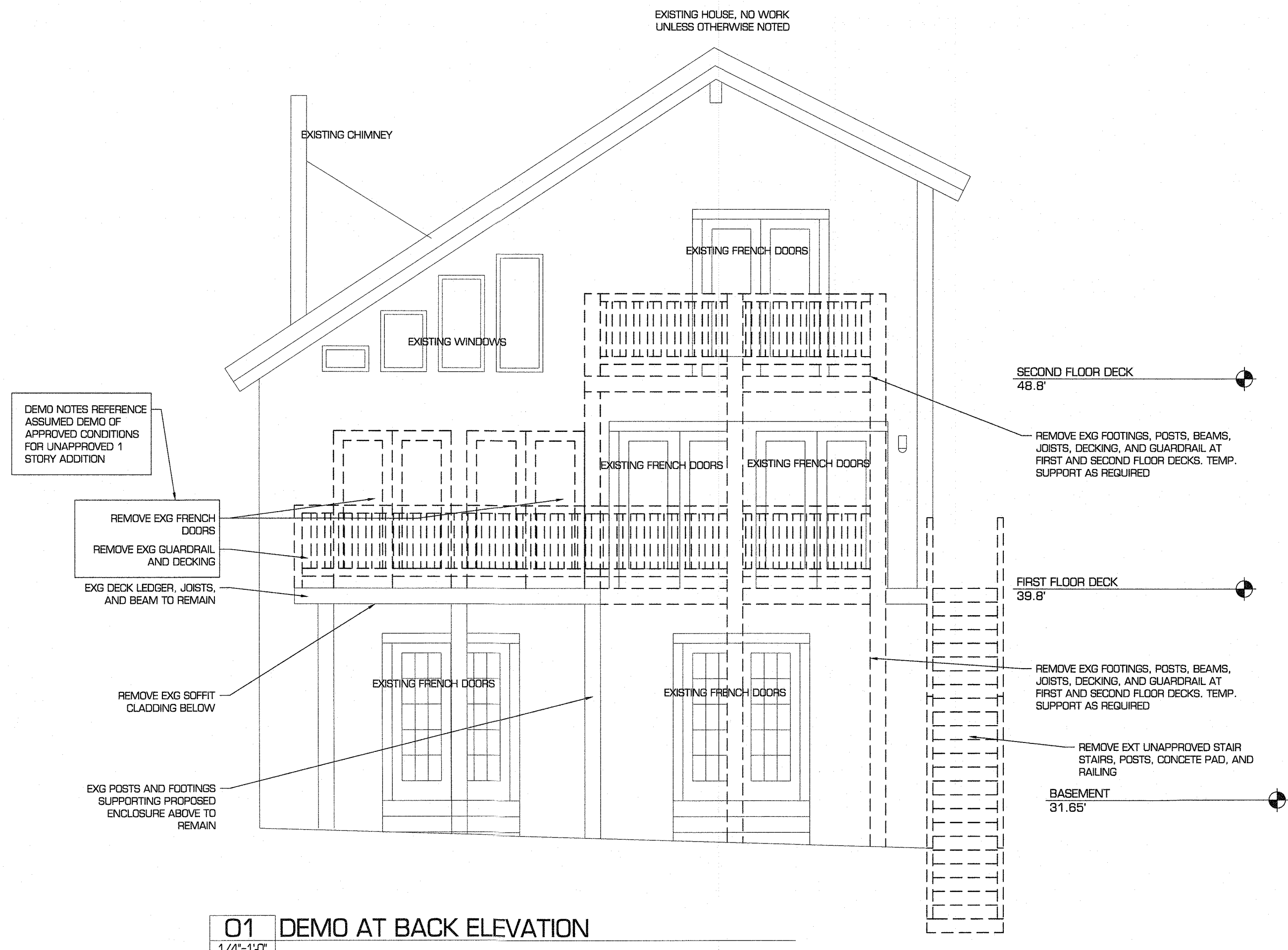
02 FRAMING PLAN FIRST FLOOR  
 1/4"=1'-0"

03 SECOND FLOOR BALCONY PLAN  
 1/4"=1'-0"

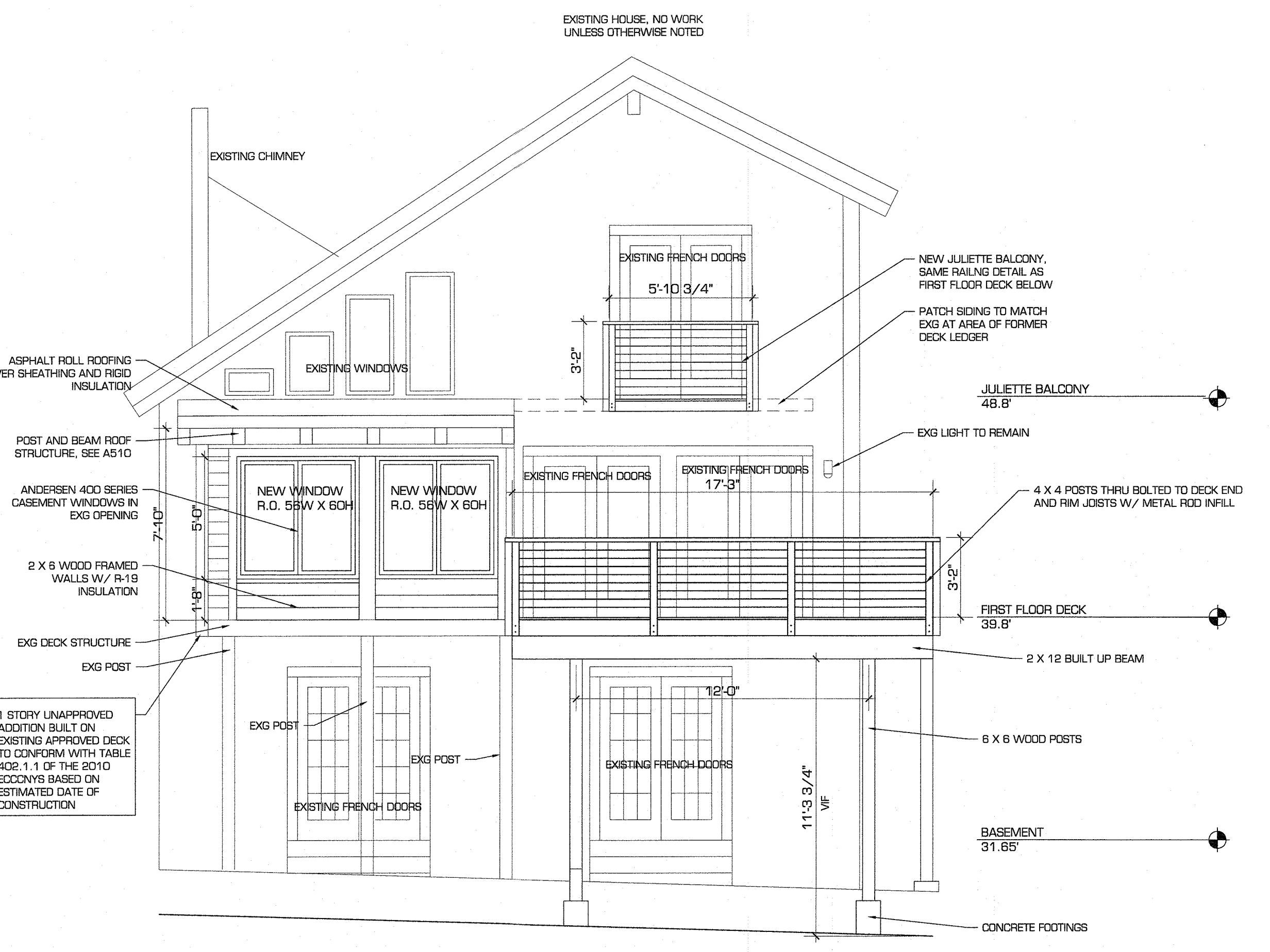
**WALL KEY**

NEW 2 X 6 FRAMED WALL.  
 SEE DETAILS A500

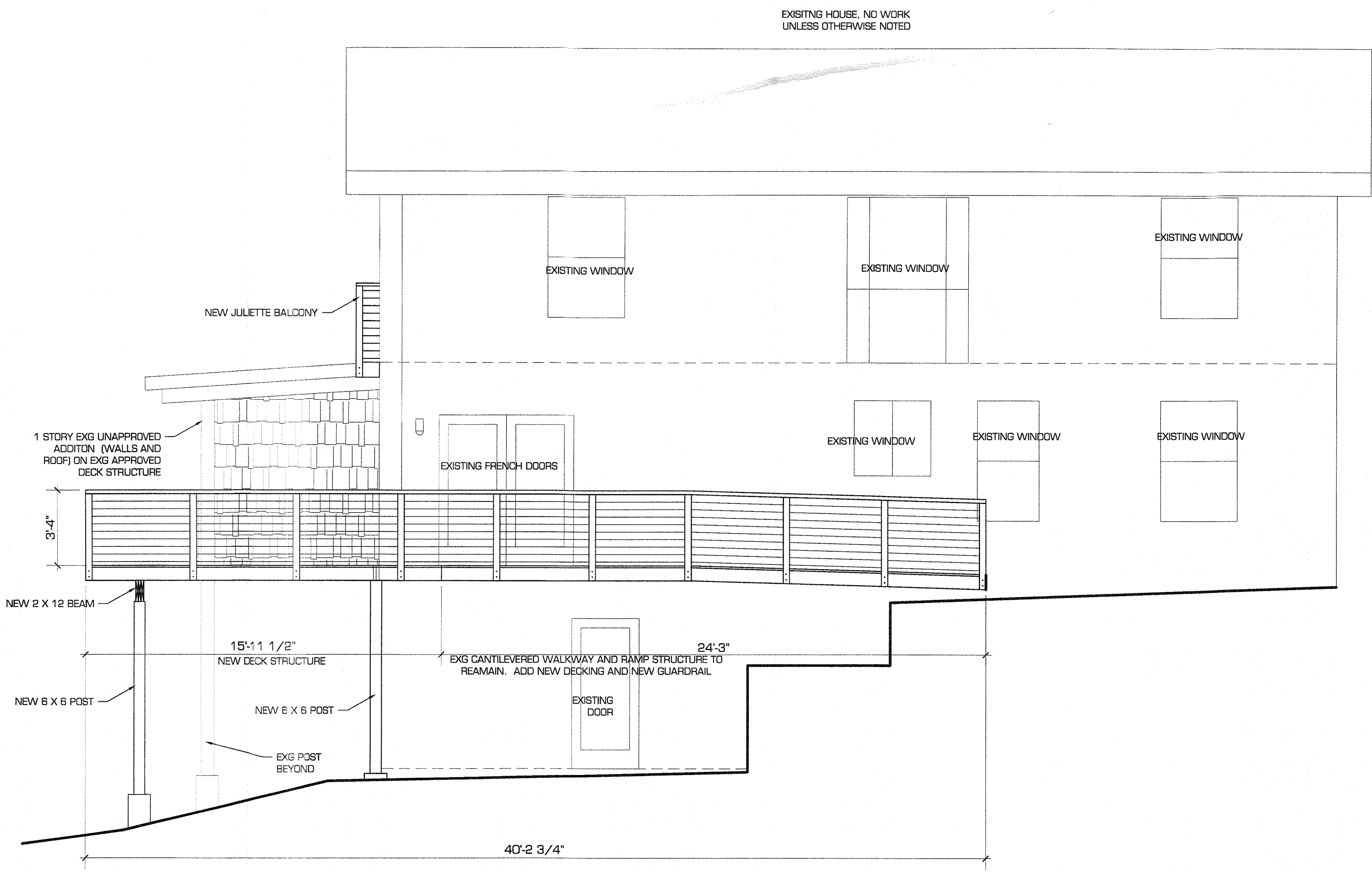




**01 DEMO AT BACK ELEVATION**  
1/4"=1'-0"



**02 PROPOSED BACK ELEVATION**  
1/4"=1'-0"



**03 PROPOSED SIDE ELEVATION**  
1/4"=1'-0"

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DRAWING TITLE: EXTERIOR ELEVATIONS

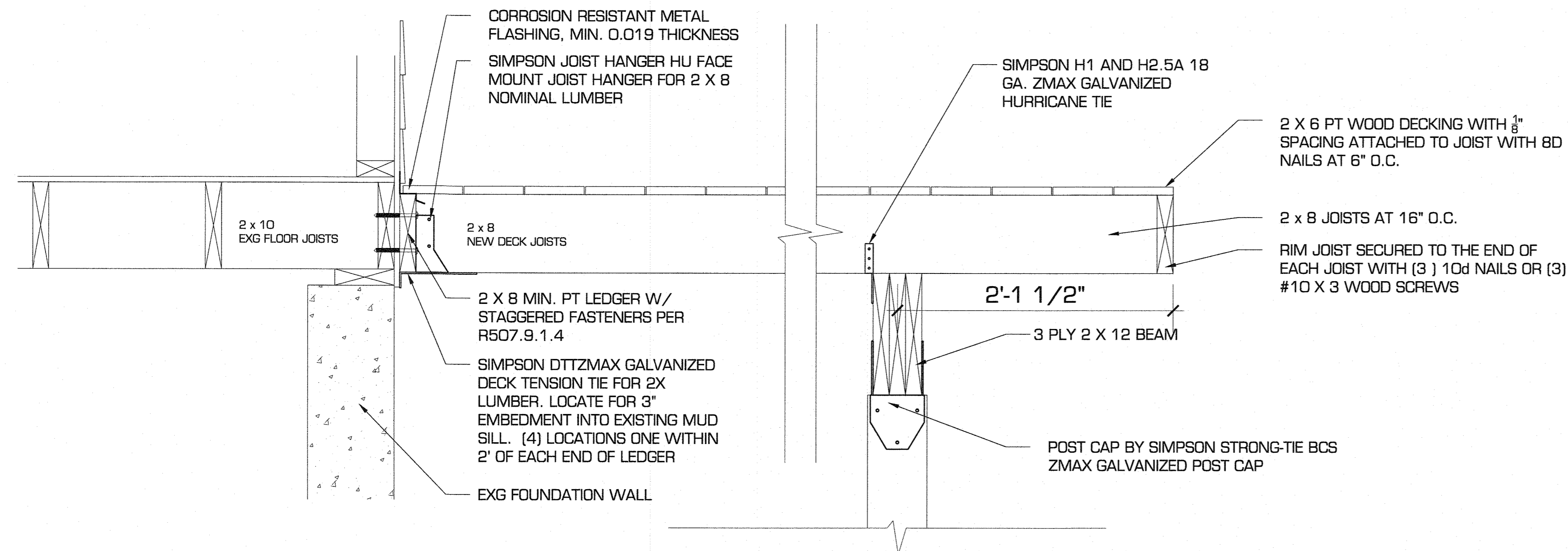
DATE: JULY 6, 2023

JOB NO.:

DRAWN BY:

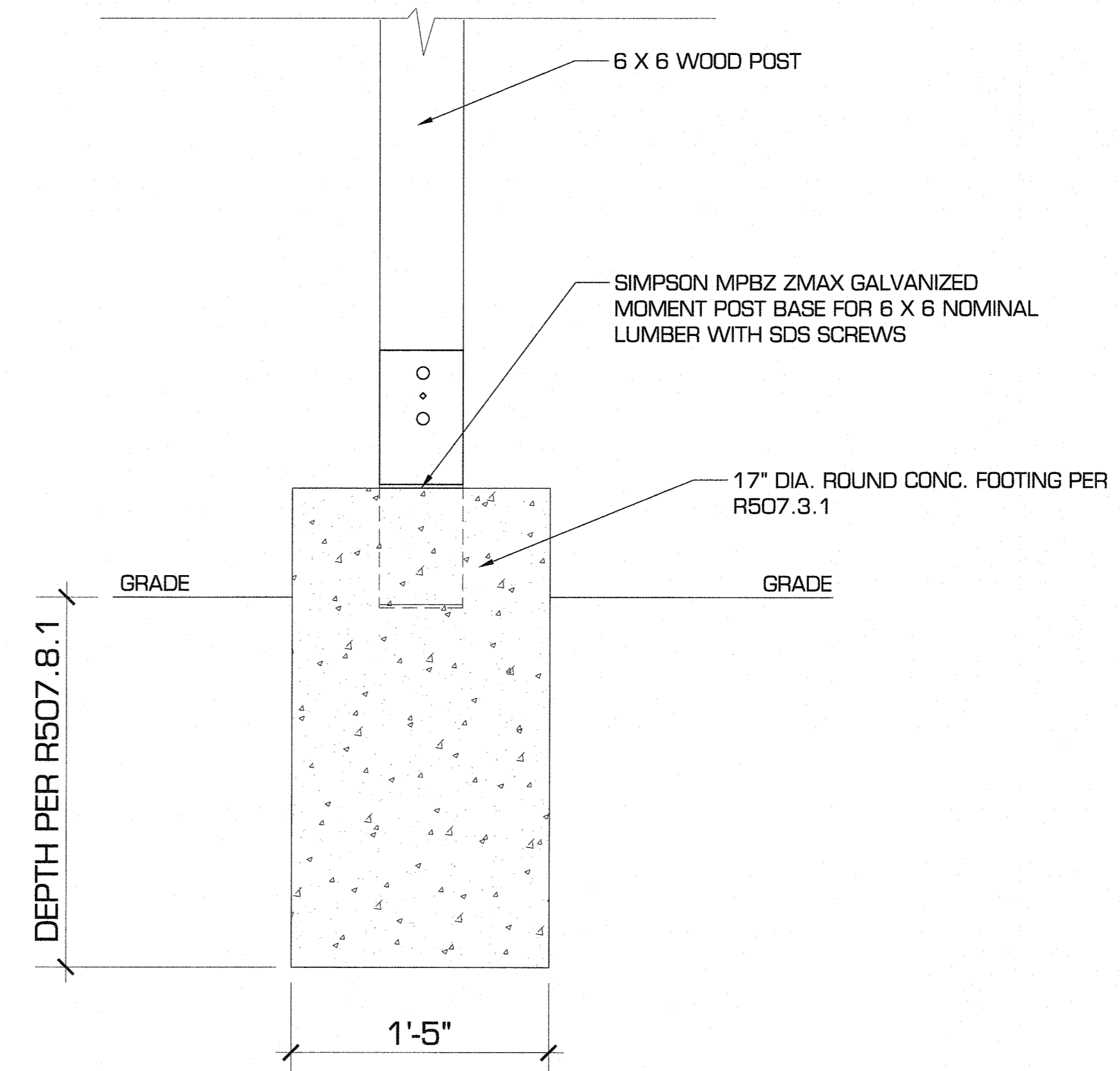
DRAWING NO.: 5 OF 7

**A-200.04**

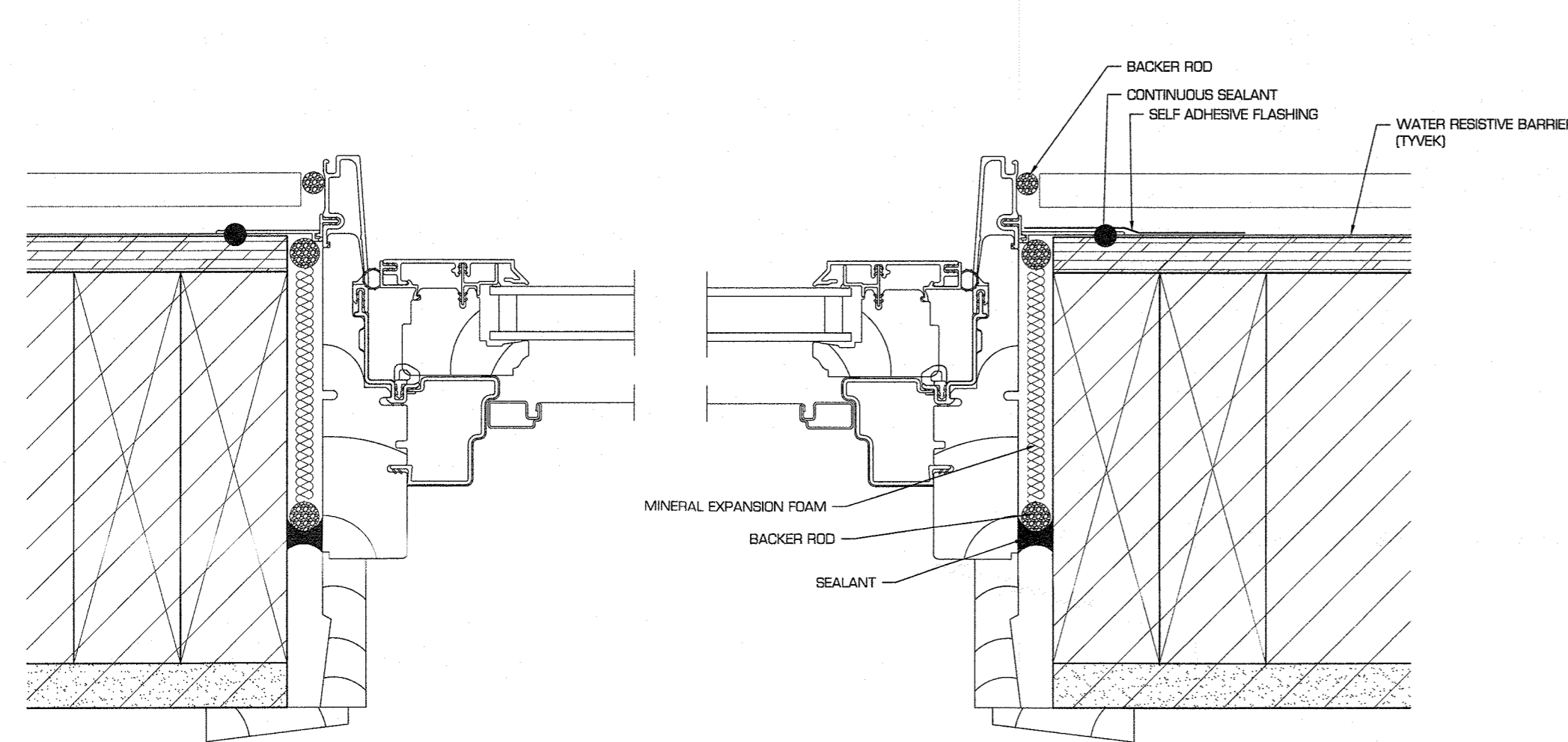


**32** POST TO BEAM AND BEAM TO JOIST DETAIL  
1-1/2" x 1'-0"

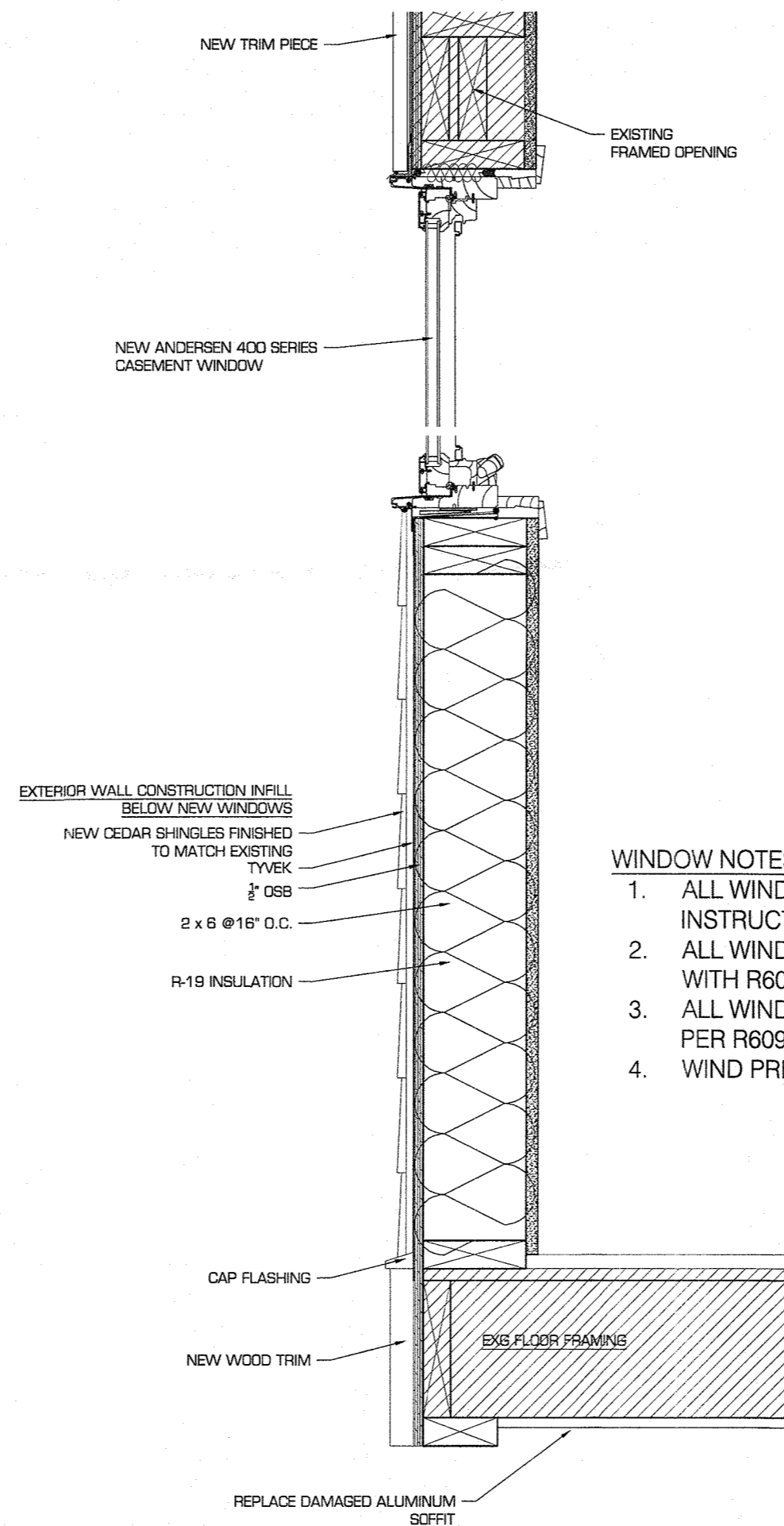
**31** POST TO BEAM AND BEAM TO JOIST DETAIL  
1-1/2" x 1'-0"



**30** WOOD POST TO FOOTING DETAIL  
1-1/2" x 1'-0"



**20** JAMB SECTION AT NEW WINDOWS  
3'-1'-0"



**11** WALL SECTION AT NEW WINDOWS  
1-1/2" x 1'-0"

**WINDOW NOTES:**

1. ALL WINDOWS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS FOR ANCHORAGE PER R609.7
2. ALL WINDOWS LABELED FROM MANUFACTURER TO COMPLY WITH R609.3
3. ALL WINDOW INSTALLATION AND FLASHING TO BE COMPLIANT PER R609
4. WIND PRESSURE FOR WINDOWS PER TABLE R301.2(2)

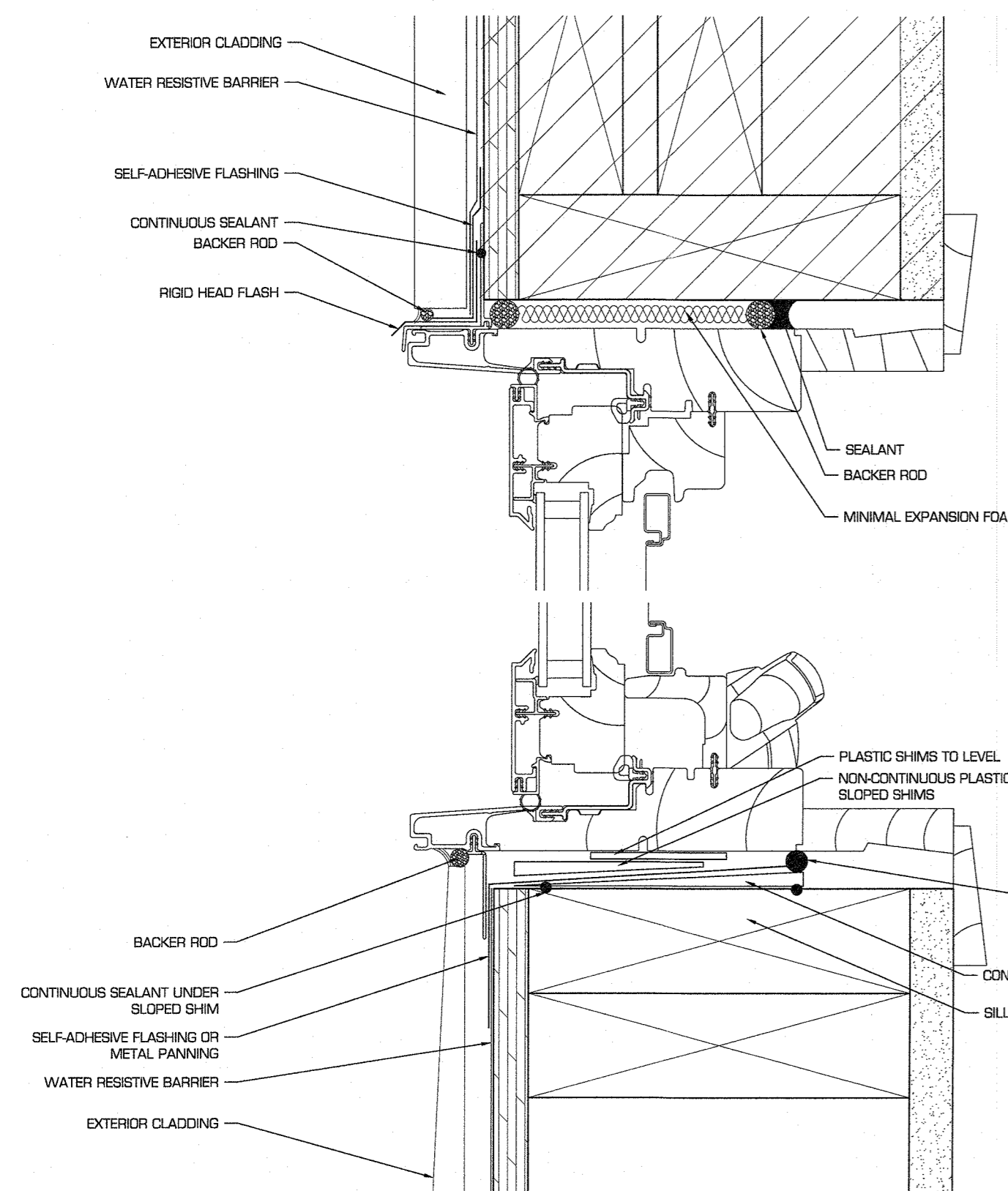
TABLE R402.1.2  
INSULATION AND FENESTRATION  
CLIMATE ZONE:5

CEILING = R-49  
WOOD WALL = R-20  
FLOOR = R-30  
SLAB = R-10, 2FT DEPTH  
CRAWL SPACE = R-15/19

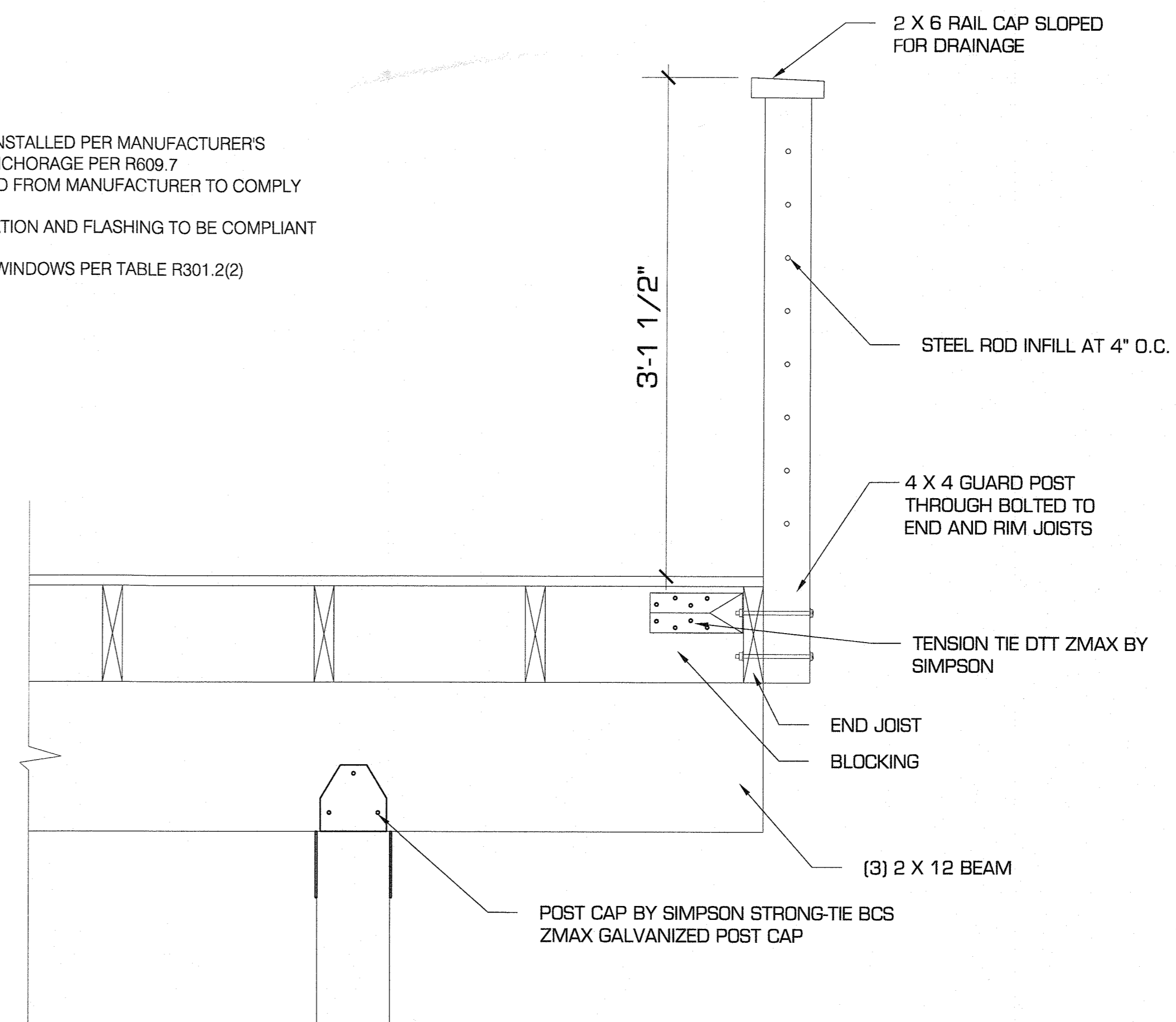
WINDOW U FACTOR = .30  
SKYLIGHT U FACTOR = .55

**WINDOW SPECS**  
MANUFACTURER: ANDERSEN  
MAKE: 400 SERIES CW25  
PROFILE: TRADITIONAL  
EXTERIOR: CLAD VINYL  
INTERIOR: PRIMED WOOD  
GLASS: INSULATED GLASS  
ALUMINUM SCREEN  
ROUGH OPENING: 46W X 60H  
JAMB SIZE: 4 1/2" W/JAMB EXTENSION FOR 6" WALL

**ENERGY DATA**  
Insulated Glass Low E4 U-FACTOR 0.28 SHGC 0.32 VT 0.54 AI <0.2 ENERGY STAR NORTH-CENTRAL



**12** WALL SECTION AT NEW WINDOWS  
3'-1'-0"



**10** RAILING POST TO END JOIST  
1-1/2" x 1'-0"

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DATE: JULY 6, 2023

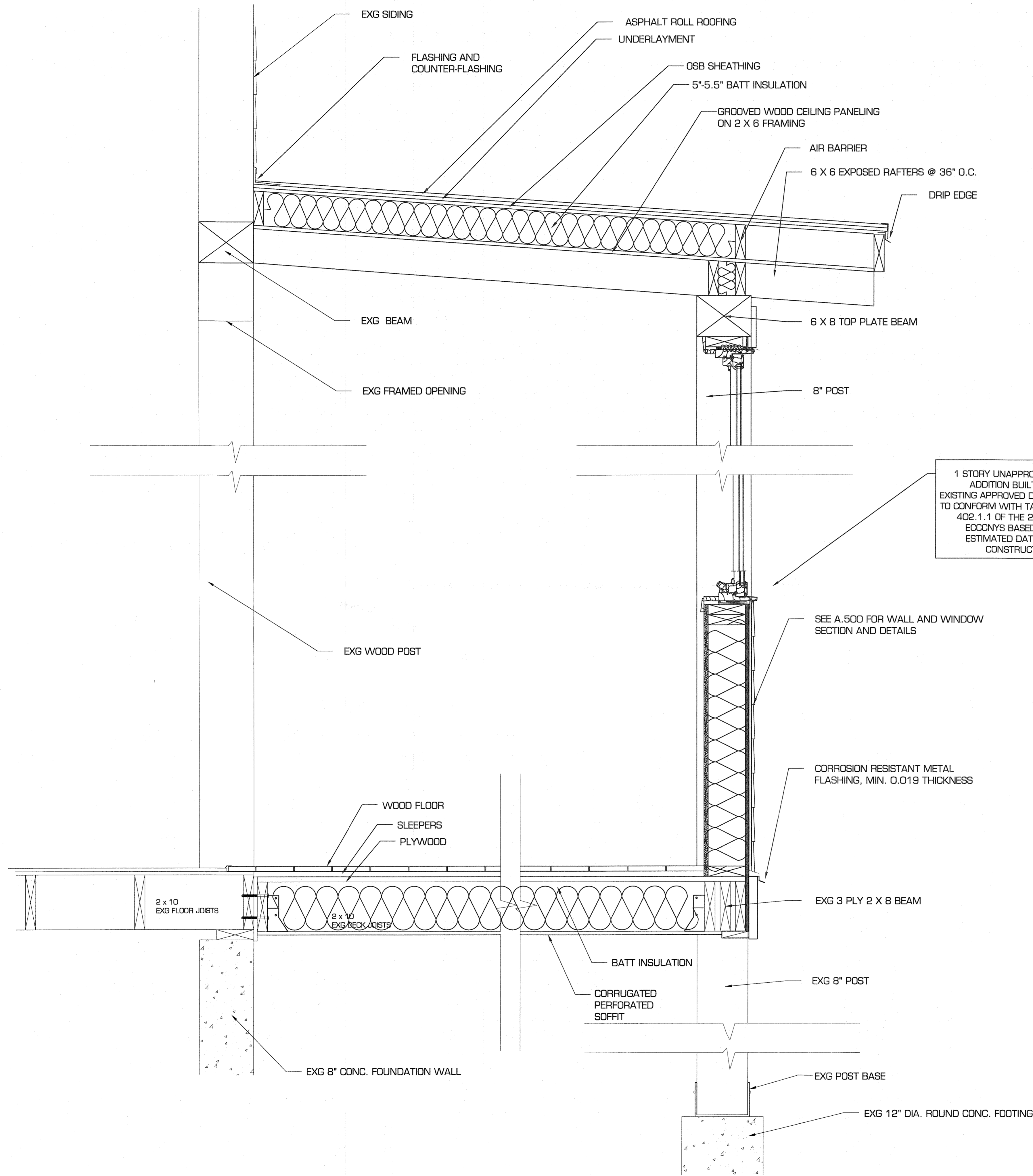
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DRAWN BY:

DRAWING NO.: 6 OF 7

**A-500.04**





1 STORY UNAPPROVED ADDITION BUILT ON EXISTING APPROVED DECK TO CONFORM WITH TABLE 402.1.1 OF THE 2010 ECCCNY'S BASED ON ESTIMATED DATE OF CONSTRUCTION

12 SECTION AT PROPOSED 1 STORY ENCLOSURE  
1/4"=1'-0"

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DRAWING TITLE:

SECTION DETAIL

DATE: JULY 6, 2023

JOB NO.:

DRAWN BY:

DRAWING NO.: 7 OF 7

A-510.04