

ZONING BOARD OF APPEALS

Town of Orangetown  
20 Greenbush Road  
Orangeburg, New York 10962  
(914) 359-8410 (ex. 4331)  
Date: November 13, 2023  
TO: OBAPAE

- Environmental Management and Engineering
- ✓ Rockland County Sewer District #1
- New York State Dept. of Transportation
- Palisades Interstate Park Commission
- Orange and Rockland Utilities
- Orangetown Highway

- Rockland County Drainage ✓
- Rockland County Health ✓
- Rockland County Planning ✓
- Rockland County Highway ✓

Review of Plans: South Orangetown Ambulance Corp. Site Plan 70 Independence Avenue, Tappan, NY

Section 74.18 Block 3 Lots 39 & 40; R-15 zone

This matter is scheduled for: *January 3, 2024*

Chapter 43, R-15 District, Section 3.12, Group O, Column 3 (all other uses), Columns 4, (Floor Area Ratio: .20 permitted, .49 existing and .304 proposed) (added to the lot), 8 (Front Yard: 100' required, 4.3' existing & proposed), 9 (Side Yard: 75' required, 18.9' proposed), 10 (Total Side Yard: 200' required, 57' existing, 93.9' proposed), 11 (Rear Yard: 100' required, 14.4' previously approved, 4.2' proposed) and 12 (Building Height: 3" per foot permitted, 20'7" existing, 26' 5" proposed) for an addition to the existing building with merging lots. The premises are located at 70 Independence Avenue, Tappan, New York and identified on the Orangetown Tax Map as Section 74.18, Block 3, Lot 39 & 40 in the R-15 zoning district.

**Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Zoning Board Office.**

**If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.**

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: [darbolino@orangetown.com](mailto:darbolino@orangetown.com) or
- Fax to the Town of Orangetown ZBA @845 359 8526

**Zoning Board Meeting Date: January 3, 2024**

- ( ) Comments attached
  - ( ) No Comments at this time. Please send future correspondence for review.
  - ( ) No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
  - ( ) This project is out of the jurisdiction of this agency and has no further comments.
- This project is before the Zoning Board on Wednesday January 3, 2024. Kindly forward your completed review to this office by January 3, 2024**

Reviewing Agency \_\_\_\_\_

Name \_\_\_\_\_ date: \_\_\_\_\_

Signature: \_\_\_\_\_

Thank you, Deborah Arbolino

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: \_\_\_\_\_

*Please check all that apply:*

<input checked="" type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: \_\_\_\_\_  
ASSIGNED \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_

Referred from Planning Board: YES / NO  
If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: South Orangetown Ambulance Corp. - Site Plan

Street Address: 70 Independence Avenue, Tappan, New York 10983

**Tax Map Designation:**

Section: 74.18 Block: 3 Lot(s): 39  
Section: 74.18 Block: 3 Lot(s): 40

**Directional Location:**

On the North side of Independence Avenue, approximately  
0 feet of the intersection of Amy Court, in the  
Town of Orangetown in the hamlet/village of Tappan.

Acreage of Parcel <u>0.85</u>	Zoning District <u>R-15</u>
School District <u>South Orangetown</u>	Postal District <u>Tappan</u>
Ambulance District <u>South Orangetown</u>	Fire District <u>Tappan</u>
Water District <u>Veolia</u>	Sewer District <u>Orangetown</u>

**Project Description: (If additional space required, please attach a narrative summary.)**

Site Plan and Expansion of Existing Building

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 05/26/23 Applicant's Signature: [Signature]

**APPLICATION REVIEW FORM**

**FILL IN WHERE APPLICABLE.**

**( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )**

**If subdivision:**

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

**If site plan:**

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

**If special permit,** list special permit use and what the property will be used for.

\_\_\_\_\_  
\_\_\_\_\_

**Environmental Constraints:**

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_

Are there streams on the site? If yes, please provide the names. \_\_\_\_\_

Are there wetlands on the site? If yes, please provide the names and type:

\_\_\_\_\_

**Project History:**

Has this project ever been reviewed before? \_\_\_\_\_

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

\_\_\_\_\_  
\_\_\_\_\_

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

\_\_\_\_\_  
\_\_\_\_\_

SOAC 70 Independence Ave, Tappan 74,18-3-39+40; R-15 \*GML\* 36 Letters

11 Posters

✓ 392489 74.18-2-7  
Joseph W Zayac III  
87 Independence Ave  
Tappan, NY 10983

✓ 392489 74.18-2-8  
Aram Gozubuyukian  
81 Independence Ave  
Tappan, NY 10983

✓ 392489 74.18-2-9  
Marilyn Weinstein  
73 Independence Av  
Tappan, NY 10983

✓ 392489 74.18-2-10  
Charmiya Nonato  
8 Amy Ct  
Tappan, NY 10983

✓ 392489 74.18-2-11  
Djina Blaskovic  
20 Amy Ct  
Tappan, NY 10983

✓ 392489 74.18-2-12  
Trajan J Muncan  
26 Amy Ct  
Tappan, NY 10983

✓ 392489 74.18-2-13  
John A Loch  
27 Amy Ct  
Tappan, NY 10983

✓ 392489 74.18-2-14  
Laurie Miller-Deangelo  
21 Amy Ct  
Tappan, NY 10983

✓ 392489 74.18-2-15  
Teppei Iharada  
7 Amy Ct  
Tappan, NY 10983

✓ 392489 74.18-2-16  
Sherman Ng  
49 Independence Av  
Tappan, NY 10983

✓ 392489 74.18-2-17  
Chan Wah Yung  
39 Independence Av  
Tappan, NY 10983

✓ 392489 74.18-2-19  
Michele Migge  
14 Berry Ct  
Tappan, NY 10983

✓ 392489 74.18-2-20  
Matthew M Duffy  
24 Berry Ct  
Tappan, NY 10983

✓ 392489 74.18-2-21  
Stefan Mihaeli  
32 Berry Ct  
Tappan, NY 10983

✓ 392489 74.18-2-61  
Zoya S Khan  
89 Lester Dr  
Tappan, NY 10983

✓ 392489 74.18-2-62  
Vincent E Matthew  
87 Lester Dr  
Tappan, NY 10983

✓ 392489 74.18-2-63  
Gin-Lan Wong  
85 Lester Dr  
Tappan, NY 10983

✓ 392489 74.18-2-64  
Chun Yung  
83 Lester Dr  
Tappan, NY 10983

✓ 392489 74.18-3-9  
Christopher Bonondona  
44 So Mary Francis St  
Tappan, NY 10983

✓ 392489 74.18-3-10  
Carmine J Romano  
60 So Mary Francis St  
Tappan, NY 10983

✓ 392489 74.18-3-16  
Kwi San Chi  
69 So Mary Francis St  
Tappan, NY 10983

✓ 392489 74.18-3-17  
Steven Kelly  
61 So Mary Francis St  
Tappan, NY 10983

✓ 392489 74.18-3-18  
Michael Sherman  
6 Thomas Cir  
Tappan, NY 10983

✓ 392489 74.18-3-19  
Ari Saposh  
16 Thomas Cir  
Tappan, NY 10983

✓ 392489 74.18-3-20  
Alex Tencic  
19 Thomas Cir  
Tappan, NY 10983

✓ 392489 74.18-3-21  
Adrienne Dicembri  
7 Thomas Cir  
Tappan, NY 10983

✓ 392489 74.18-3-22  
David M Schlossberg  
47 S Mary Francis St  
Tappan, NY 10983

✓ 392489 74.18-3-23  
Gladys Velez-Arcos  
220 Manhattan Ave Apt 8T  
New York, NY 10025

✓ 392489 74.18-3-33  
Western Plaza Assoc LP  
P.O. Box 513  
Mahwah, NJ 07430

✓ 392489 74.18-3-34  
Vickie Eve Cooper  
8 Bryson Rd  
Fairlawn, NJ 07410

✓ 392489 74.18-3-36  
Independence Western Realty  
4 Independence Av  
Tappan, NY 10983

✓ 392489 74.18-3-37  
Jose Ortiz  
38 Independence Ave  
Tappan, NY 10983

✓ 392489 74.18-3-38  
Louis Fermainti  
48 Independence Av  
Tappan, NY 10983

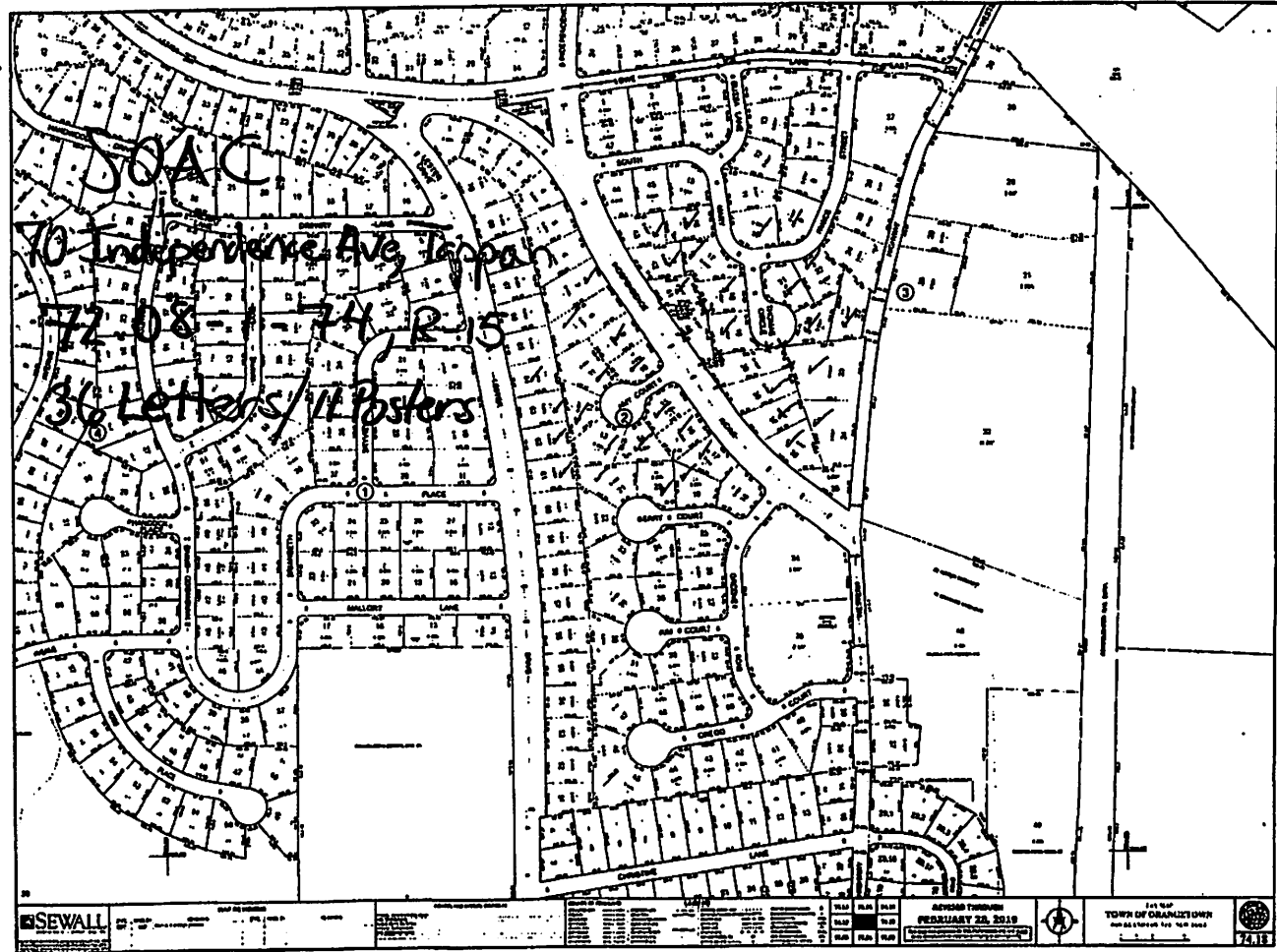
\* ~~392489 74.18-3-39~~  
~~South Orangetown Ambulance~~  
~~70 Independence Ave~~  
~~Tappan, NY 10983~~

\* ~~392489 74.18-3-40~~  
~~So Orangetown Ambulance Corp~~  
~~70 Independence Ave~~  
~~Tappan, NY 10983~~

✓ 392489 74.18-3-41  
John H Lukens  
76 Independence Av  
Tappan, NY 10983

✓ 392489 74.18-3-42  
Ned Koch Mathew  
84 Independence Av  
Tappan, NY 10983

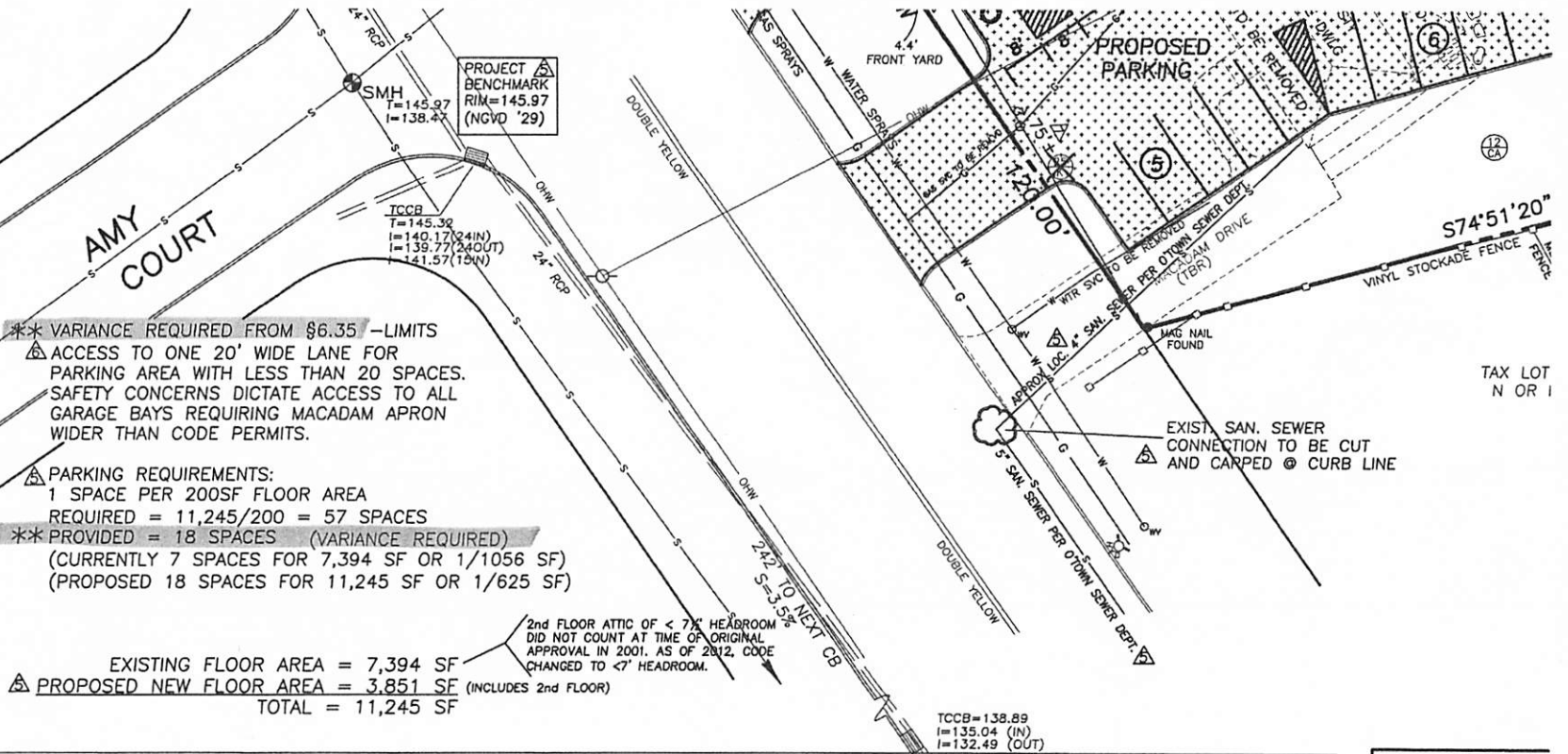
✓ 392489 74.18-3-43  
Renjith Y Koshy  
92 Independence Ave  
Tappan, NY 10983



- 2=TWIN,3=TRIPLE,ETC.
- E = ELM
- CH = CHERRY
- P = POPLAR
- CA = CRABAPPLE
- CT = CATALPA

**REFERENCE**  
 N TITLED "PREL PARK, SEC. X-B"  
 ROCKLAND COUNTY CLERK'S  
 MAP #3165.  
 MODIFICATIONS TO SOUTH  
 AMBULANCE CORPS BY ROBERT  
 ASLA; LAST REV. 5/12/03

- LEGEND**
- - - CONTOUR
  - SPOT GRADE
  - 1/1 CATCH BASIN/FIELD INLET
  - == DRAIN LINE
  - S- SANITARY MANHOLE / PIPE
  - EDGE OF PAVEMENT
  - CONCRETE CURB
  - G GAS LINE/ VALVE
  - W WATER LINE / VALVE
  - UTILITY POLE
  - LIGHT POLE
  - OVERHEAD WIRES
  - E UNDERGROUND ELECTRIC



\*\* VARIANCE REQUIRED FROM §6.35 -LIMITS  
 ACCESS TO ONE 20' WIDE LANE FOR PARKING AREA WITH LESS THAN 20 SPACES. SAFETY CONCERNS DICTATE ACCESS TO ALL GARAGE BAYS REQUIRING MACADAM APRON WIDER THAN CODE PERMITS.

PARKING REQUIREMENTS:  
 1 SPACE PER 200SF FLOOR AREA  
 REQUIRED = 11,245/200 = 57 SPACES  
 \*\* PROVIDED = 18 SPACES (VARIANCE REQUIRED)  
 (CURRENTLY 7 SPACES FOR 7,394 SF OR 1/1056 SF)  
 (PROPOSED 18 SPACES FOR 11,245 SF OR 1/625 SF)

BULK REGULATIONS									
ZONE R-15 USE GROUP "O"	MAX F.A.R.	MIN LOT AREA	MIN. LOT WIDTH	STREET FRONTAGE	FRONT YARD	SIDE YARD	TOTAL SIDE YARD	REAR YARD	MAX BLDG HT
REQUIRED	0.20	30,000 SF	250 FT	100 Ft	100 Ft	75 Ft	200 Ft	100 Ft	3"/FT
* EXISTING	0.49	14,994 SF	191.12'	191.12'	SEE NOTE #1 4.3'	SEE NOTE #2 18.9'	57'	14.4'	20'-7"
PROPOSED	0.304 **	36,997 SF	300 Ft	311.15 Ft	4.3' **	18.9' **	93.9' ± **	4.2' **	26'-5" **

\*\* NOTE: EXISTING BULK AS SHOWN ON APPROVED SITE PLAN FOR "SOUTH ORANGETOWN AMBULANCE CORPS" LAST DATED 5/12/03 AND APPROVED ON 5/22/13. NOTE: PLAN WAS PREPARED FOR ONLY TAX LOT 40. OFFSETS SHOWN ARE ONLY TO THAT LOT.

⊕ VARIANCES GRANTED: 01-22 & 01-22 (PART 2) ON 5/16/01 AND 6/10/01 (SITE PLAN SHOWED F.A.R. AS 0.34) BECAUSE 2nd FLOOR OF < 7' HEADROOM DID NOT COUNT @ TIME OF APPROVAL BUT NOW IT DOES

NOTE #1: APPROVED SITE PLAN SHOWED 10' FRONT YARD

NOTE #2: APPROVED SITE PLAN SHOWED 19.1' SIDE YARD

> VARIANCES REQUIRED TO FORMALIZE CONDITIONS

\*\* VARIANCES REQUIRED

ORANGETOWN PLAN

APPROVED FOR 1

OWNER



OFFICE OF BUILDING, ZONING, PLANNING  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN  
20 GREENBUSH ROAD  
ORANGEBURG, N.Y. 10962

Jane Slavin, RA  
Director

(845) 359-8410

Fax: (845) 359-8526

Date: October 19, 2023

To: Cheryl Coopersmith, Chief Clerk  
Planning Board

From: Jane Slavin, RA.,  
Director O.B.Z.P.A.E.



Subject: **South Orangetown Ambulance Corp  
Resubdivision Plan PB#23-48 and  
Site Plan PB#19-67  
Prepreliminary/ Preliminary/ Final  
Resubdivision Plan, Site Plan and SEQRA Review  
70 Independence Avenue, Tappan; 74.18/3/39 & 40; R-15 zoning district**

Submission Reviewed:

Site plan Package as prepared by Jay A Greenwell, P.E., last revised 8/9/2023 and  
Architectural drawings as prepared by Kier Levesque, RA last revised May 4, 2023.

1. Applicant must obtain the following variances from the ZBA:

Maximum FAR; required is 20% with 30% proposed.  
Front Yard; required is 100', previously approved is 10', 4.3' existing.  
Side Yard; required is 75', previously approved is 19.1', 18.9' existing.  
Rear Yard required is 100', previously approved is 14.4', proposed 4.2'  
Maximum building height required is 3'/ft, with 20'-7" existing and 26'-5"  
proposed.

2. ACABOR review and approval is required.

3. The SEAF must be revised as follows;  
Item number 12b shall be checked YES  
Item number 20 shall be checked YES

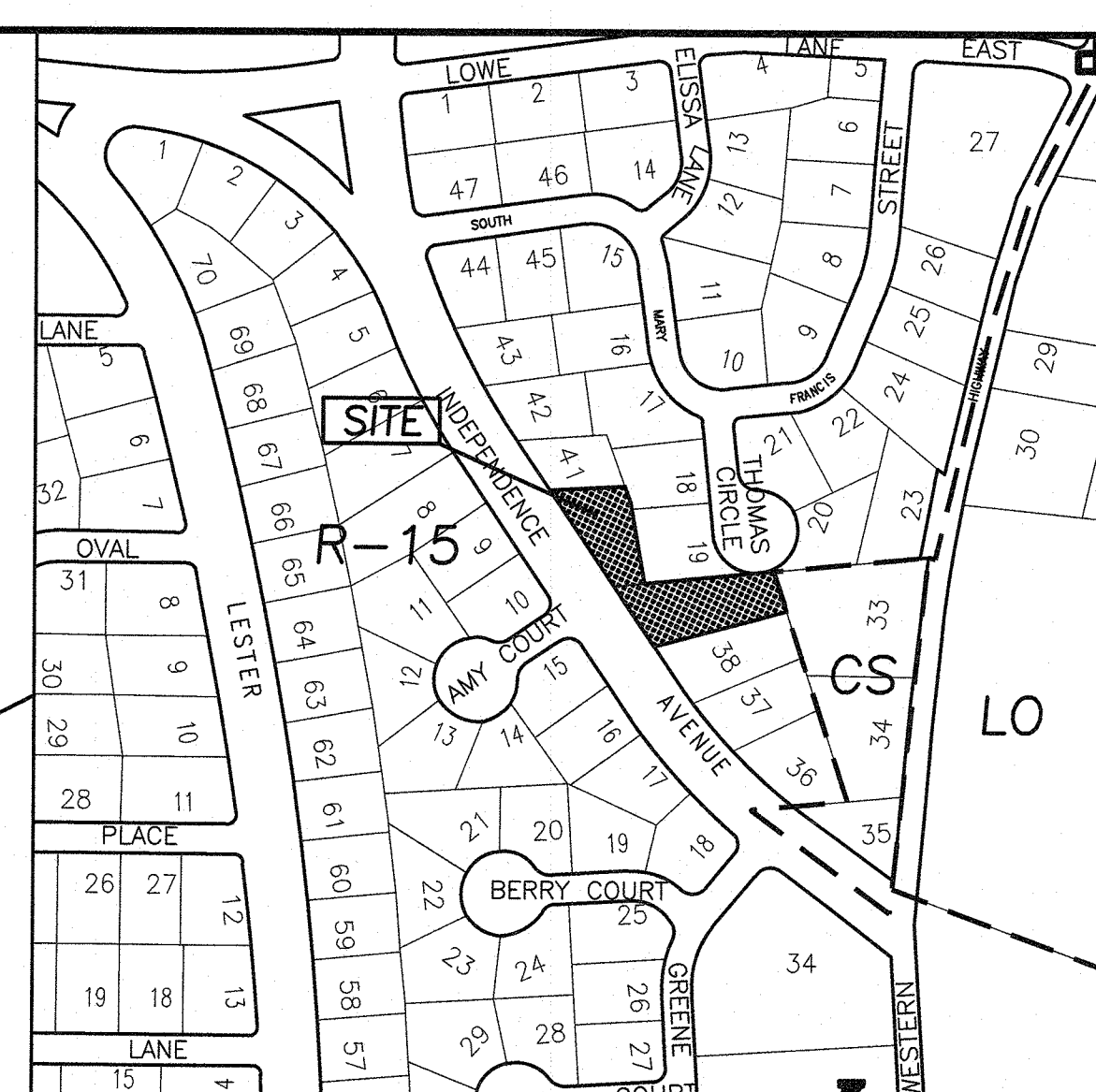
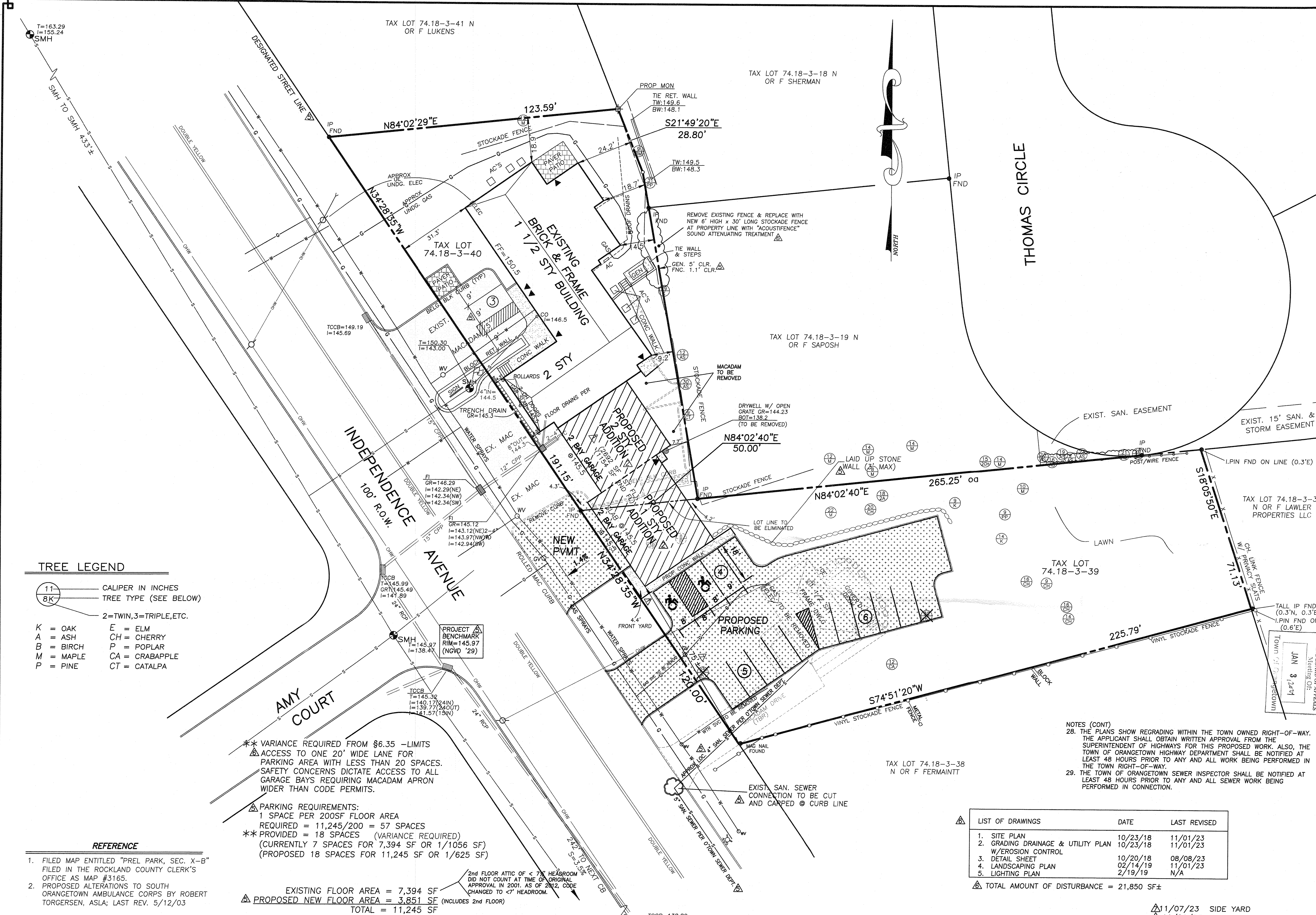
4. The applicant is reminded that no work can begin and no permit will be issued  
until all comments are met from the various agencies, all approvals are obtained,  
the Final Site Plan is stamped and the construction plans are reviewed and  
approved by the inspector.

JS  
10-19-2023



## PROJECT NARRATIVE FOR SITE PLAN

This application was before the Planning Board October 25, 2023. The applicant has existing vehicles and accessories as well as a new ambulance exposed to the elements. The proposed expansion will house these facilities. The applicant needs additional areas to hold the required classes.



- NOTES:**
- THIS IS A SITE PLAN OF TAX LOT 74.18-3-39 & 40 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
  - RECORD OWNER & APPLICANT: SOUTH ORANGETOWN AMBULANCE CORP. 70 INDEPENDENCE AVE, TAPPAN, NY 10983
  - LOT AREA: 36,997 SF TOTAL
  - ALL NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
  - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239-L & M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
  - THIS PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION PLANS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK.
  - LOT DRAINAGE SHOWN ON SUCH PLANS SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND SHALL NOT BE DISTURBED.
  - ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
  - MONUMENTS TO BE SET AT ALL CORNERS OF THE ORIGINAL PARCEL WHERE NOT OTHERWISE MARKED (SHOWN THUS:  $\oplus$ ).
  - CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE TOWN.
  - ALL AREAS DISTURBED BY ON-SITE GRADING WILL BE LIMED AND FERTILIZED PRIOR TO SEEDING.
  - SIDEWALKS AND CURBS, WHERE REQUIRED, SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPT.
  - NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPT.
  - NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE PLANS HAVE BEEN APPROVED BY ACOROR.
  - WATER SUPPLY: VEOLIA NORTH AMERICA
  - DATUM: NGVD 29
  - ALL SEWER CONNECTIONS SHALL BE APPROVED BY THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING.
  - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEM. SUPT. OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING & PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
  - ALL LANDSCAPING SHOWN ON THE SITE PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
  - PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION & SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN DEM. SUPT. OF HIGHWAYS SHALL INSPECT THE ALL REQUIRED SOIL EROSION & SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEME AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
  - THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.
  - IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORSEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO DEME. THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE PERMANENT SATISFACTORY CONSTRUCTION. DEME SHALL INVESTIGATE THE CONDITION(S), AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITION(S) OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF DEME, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SITE PLAN ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA, THE MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA (i.e. WETLANDS-US ARMY CORPS OF ENGINEERS).
  - PERMANENT VEGETATIVE COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
  - PRIOR (AT LEAST 14 DAYS) TO THE PLACING OF ANY ROAD SUB-BASE, THE APPLICANT SHALL PROVIDE THE TOWN OF ORANGETOWN SUPT. OF HIGHWAYS & DEME WITH A PLAN & PROFILE OF THE GRADED ROAD TO BE PAVED IN ORDER THAT THESE DEPARTMENTS MAY REVIEW THE DRAWINGS CONFORMANCE TO APPROVED CONSTRUCTION PLANS & TOWN STREET SPECIFICATIONS.
  - THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING SIGNS, AND REFUSE CONTROL.
  - NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY DEPT. OF HEALTH, AND/OR THE TOWN OF ORANGETOWN.
  - A TREE PROTECTION PROGRAM WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIES TREES AND BUFFER ZONES WITH MANY TREES. STEPS THAT WILL BE TAKEN TO SPECIFIC AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
    - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
    - THERE WILL BE NO EXCAVATION OR STOCKING OF EARTH UNDERNEATH TREES.
    - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
    - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
      - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
      - DROP LINE OF THE TREE CANOPY. THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
        - LIGHT TO HEAVY IMPACTS- MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
        - LIGHT IMPACTS ONLY- INSTALLATION OF 3/4" INCH OF PLYWOOD OR BOARD, OR EQUAL OVER THE AREA TO BE PROTECTED.
  - THE BUILDER OF ITS AGENT MAY CHOOSE TO CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.

- TREE LEGEND**
- 11" CALIPER IN INCHES  
8K TREE TYPE (SEE BELOW)
- 2=TWIN, 3=TRIPLE, ETC.
- K = OAK  
A = ASH  
B = BIRCH  
M = MAPLE  
P = PINE
- E = ELM  
CH = CHERRY  
P = POPLAR  
CA = CRABAPPLE  
CT = CATALPA

**REFERENCE**

- FILED MAP ENTITLED "PREL PARK, SEC. X-B" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #3165.
- PROPOSED ALTERATIONS TO SOUTH ORANGETOWN AMBULANCE CORP'S BY ROBERT TORGENSEN, ASLA; LAST REV. 5/12/03

**LEGEND**

---142--- CONTOUR  
+141.5 SPOT GRADE  
CB CATCH BASIN/FIELD INLET  
FI DRAIN LINE  
---S--- SANITARY MANHOLE / PIPE  
---SMH--- EDGE OF PAVEMENT  
---G--- CONCRETE CURB  
---G--- GAS LINE/ VALVE  
---W--- WATER LINE / VALVE  
---O--- UTILITY POLE  
---\*--- LIGHT POLE  
---OH--- OVERHEAD WIRES  
---UE--- UNDERGROUND ELECTRIC

**BULK REGULATIONS**

ZONE	MAX F.A.R.	MIN LOT AREA	MIN. LOT WIDTH	STREET FRONTAGE	FRONT YARD	SIDE YARD	TOTAL SIDE YARD	REAR YARD	MAX BLDG HT
GROUP "O"	0.20	30,000 SF	250 FT	100 FT	100 FT	75 FT	200 FT	100 FT	3"/FT
REQUIRED	0.20	30,000 SF	250 FT	100 FT	100 FT	75 FT	200 FT	100 FT	3"/FT
* EXISTING	0.49	14,994 SF	191.12'	191.12'	SEE NOTE #1 4.3'	SEE NOTE #2 18.9'	57'	14.4'	20'-7" (1)
PROPOSED	0.304**	36,997 SF	300 FT	311.15 Ft	4.3' **	18.9' **	93.9' ± **	4.2' **	26'-5" **

**NOTE:** EXISTING BULK AS SHOWN ON APPROVED SITE PLAN FOR "SOUTH ORANGETOWN AMBULANCE CORP'S" LAST DATED 5/12/03 AND APPROVED ON 5/22/13. NOTE: PLAN WAS PREPARED FOR ONLY TAX LOT 40. OFFSETS SHOWN ARE ONLY TO THAT LOT.

**VARIANCES GRANTED:** 01-22 & 01-22 (PART 2) ON 5/16/01 AND 6/10/01 (SITE PLAN SHOWED F.A.R. AS 0.34) BECAUSE 2ND FLOOR OF <7' HEADROOM DID NOT COUNT @ TIME OF ORIGINAL APPROVAL IN 2001. AS OF 2012, CODE CHANGED TO <7' HEADROOM.

**NOTE #1:** APPROVED SITE PLAN SHOWED 10' FRONT YARD VARIANCES REQUIRED TO FORMALIZE CONDITIONS

**NOTE #2:** APPROVED SITE PLAN SHOWED 19.1' SIDE YARD.

**\*\* VARIANCES REQUIRED**

**LIST OF DRAWINGS**

NO.	DESCRIPTION	DATE	LAST REVISED
1.	SITE PLAN	10/23/18	11/01/23
2.	GRADING DRAINAGE & UTILITY PLAN	10/23/18	11/01/23
3.	DETAIL SHEET	10/20/18	08/08/23
4.	LANDSCAPING PLAN	02/14/19	11/01/23
5.	LIGHTING PLAN	2/19/19	N/A

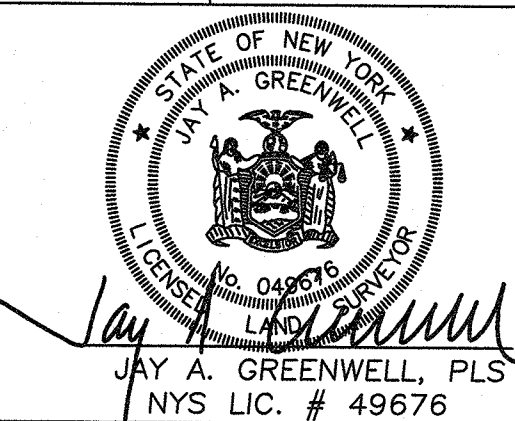
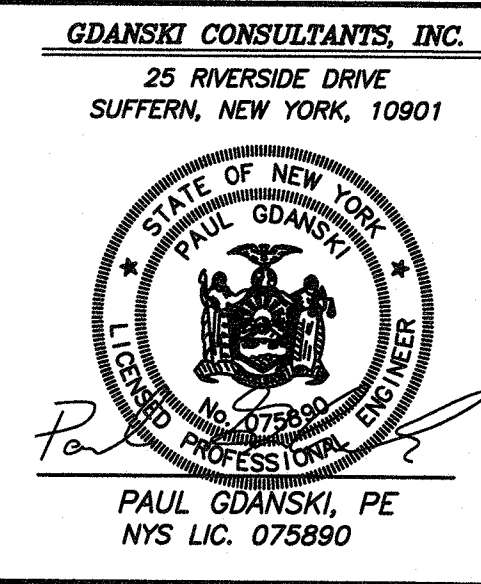
**TOTAL AMOUNT OF DISTURBANCE = 21,850 SF ±**

- NOTES (CONT)**
- THE PLANS SHOW REGRADING WITHIN THE TOWN OWNED RIGHT-OF-WAY. THE APPLICANT SHALL OBTAIN WRITTEN APPROVAL FROM THE SUPERINTENDENT OF HIGHWAYS FOR THIS PROPOSED WORK. ALSO, THE TOWN OF ORANGETOWN HIGHWAY DEPARTMENT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY AND ALL WORK BEING PERFORMED IN THE TOWN RIGHT-OF-WAY.
  - THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY AND ALL SEWER WORK BEING PERFORMED IN CONNECTION.

ORANGETOWN PLANNING BOARD APPROVAL:

APPROVED FOR FILING BY OWNER

OWNER: JAY A. GREENWELL, PLS DATE:



TAX LOT 74.18-3-40 AREA=14,994 SF  
TAX LOT 74.18-3-39 AREA=22,003 SF  
TOTAL = 36,997 SF

**SITE PLAN FOR PROPOSED ADDITION**

**SO. ORANGETOWN AMBULANCE CORP'S**

TOWN OF ORANGETOWN  
ROCKLAND COUNTY, NEW YORK

**JAY A. GREENWELL, PLS, LLC**

LAND SURVEYING - LAND PLANNING  
34 WAYNE AVENUE, SUFFERN, NEW YORK, 10901  
PHONE 845-357-0830 GREENWELLPLS@AOL.COM

TAX LOT #S  
74.18-3-40  
74.18-3-39

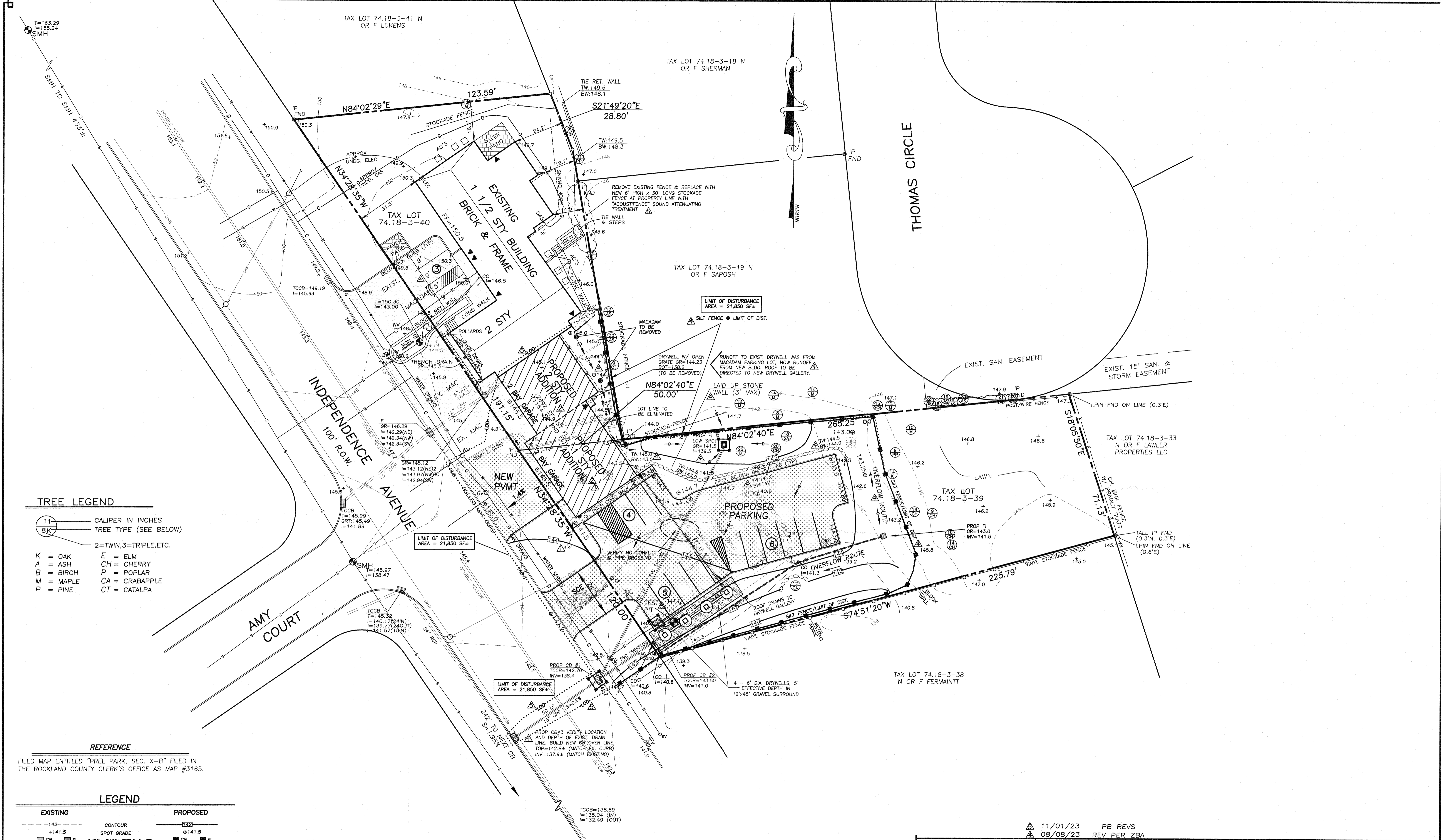
AREA  
SEE ABOVE

FILE  
21838SITE

SCALE  
1"=20'

DATE  
10/23/18

JOB NO.  
21838



**TREE LEGEND**

11	—	CALIPER IN INCHES
8K	—	TREE TYPE (SEE BELOW)
	2=	TWIN, 3=TRIPLE, ETC.

K = OAK	E = ELM
A = ASH	CH = CHERRY
B = BIRCH	P = POPLAR
M = MAPLE	CA = CRABAPPLE
P = PINE	CT = CATALPA

**REFERENCE**

FILED MAP ENTITLED "PREL PARK, SEC. X-B" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #3165.

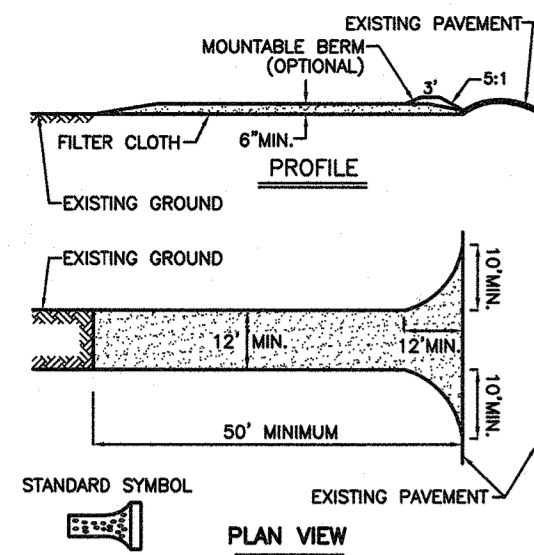
**LEGEND**

EXISTING	PROPOSED
---142---	---142---
+141.5	○141.5
CB	CB
FI	FI
SMH	SMH
CONCRETE CURB	CONCRETE CURB
GAS LINE	GAS LINE
WATER LINE	WATER LINE
UTILITY POLE	UTILITY POLE
LIGHT POLE	LIGHT POLE
GAS/ELEC/TEL/CABLE	GAS/ELEC/TEL/CABLE
SILT FENCE	SILT FENCE
OVERHEAD WIRES	OVERHEAD WIRES
HYDRANT	HYDRANT
TO BE REMOVED	TO BE REMOVED
INLET PROTECTION	INLET PROTECTION

**IMPERVIOUS SURFACE**

EXISTING = 14,680 SF±  
 PROPOSED = 20,485 SF±  
 TO BE MITIGATED = 5,805 SF±

<b>GDANSKI CONSULTANTS, INC.</b> 25 RIVERSIDE DRIVE SUFFERN, NEW YORK, 10901  PAUL GDANSKI, PE NYS LIC. 075890	11/01/23 PB REVS 08/08/23 REV PER ZBA	<b>GRADING, DRAINAGE &amp; UTILITY PLAN</b> <b>WITH EROSION CONTROL</b> <b>SO. ORANGETOWN</b> <b>AMBULANCE CORPS</b> TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK <b>JAY A. GREENWELL, PLS, LLC</b> LAND SURVEYING - LAND PLANNING 34 WAYNE AVENUE, SUFFERN, NEW YORK, 10901 PHONE 845-357-0830 GREENWELLPLS@AOL.COM	TAX LOT #S 74.18-3-40 74.18-3-39 AREA SEE ABOVE FILE 21838GDU SCALE 1"=20' DATE 10/23/18 JOB NO. 21838
	06/06/23 FF ELEV 04/25/23 REV PER KL 01/09/19 REV PER KL 12/12/18 DRYWELL GALLERY DATE REVISIONS		 JAY A. GREENWELL, PLS NYS LIC. # 49676

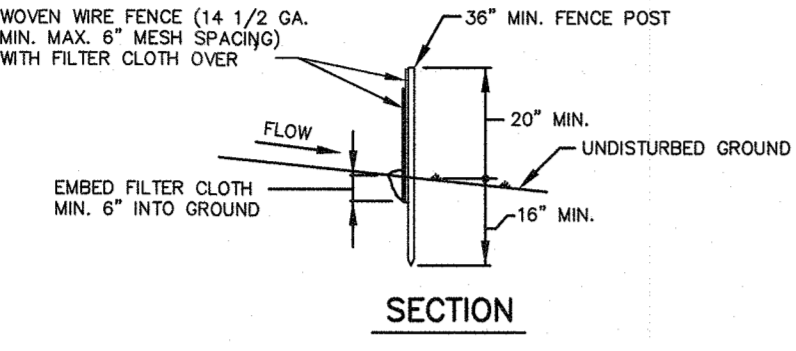
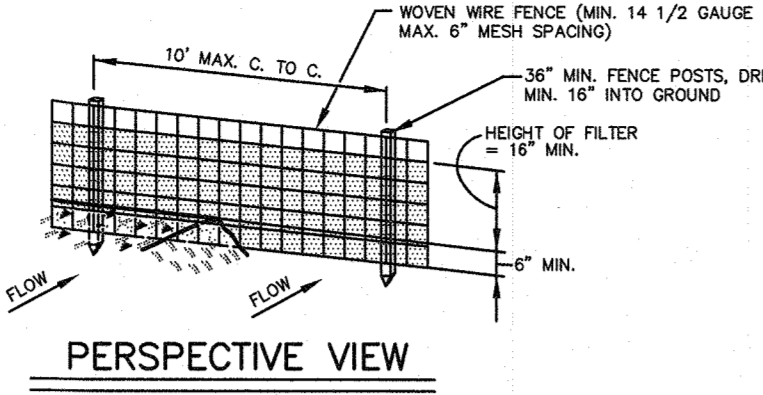


**CONSTRUCTION SPECIFICATIONS**

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
- THICKNESS - NOT LESS THAN (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTING BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE**

NTS

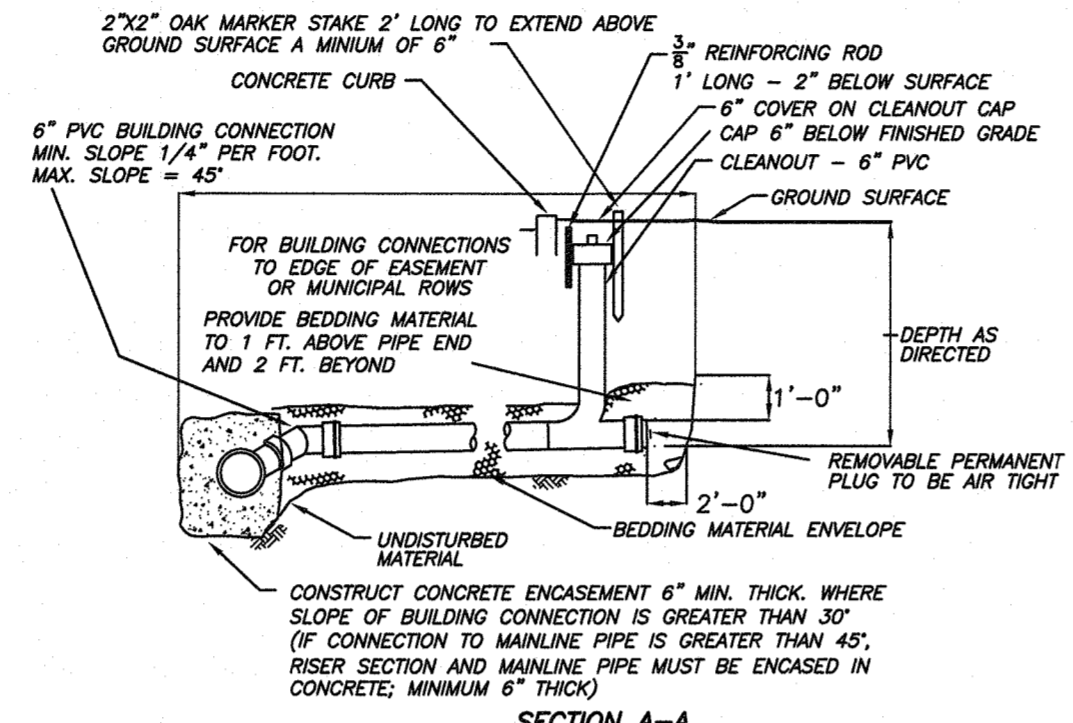
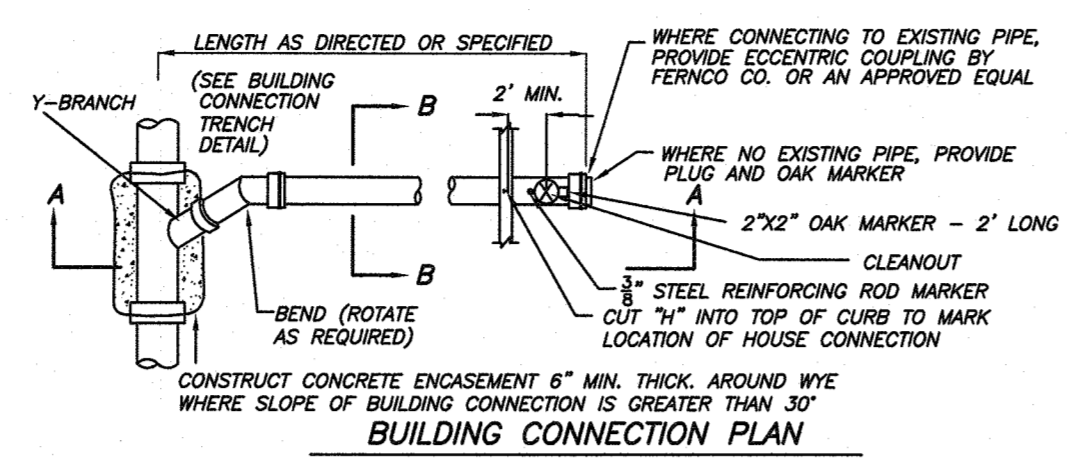


**CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
  - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
  - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
  - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER "T" OR "U" TYPE OR 2" HARDWOOD.  
FENCE: WOVEN WIRE 14 1/2 GA. 6" MAX. MESH OPENING.  
FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL.  
PREFABRICATED: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.

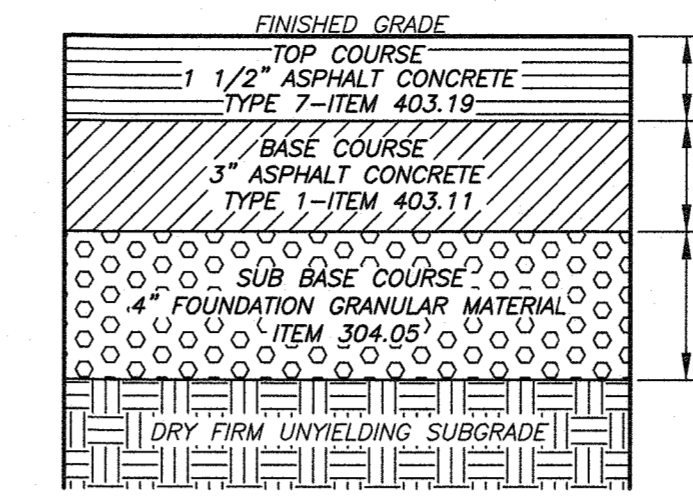
**WIRE REINFORCED SILT FENCE**

NTS



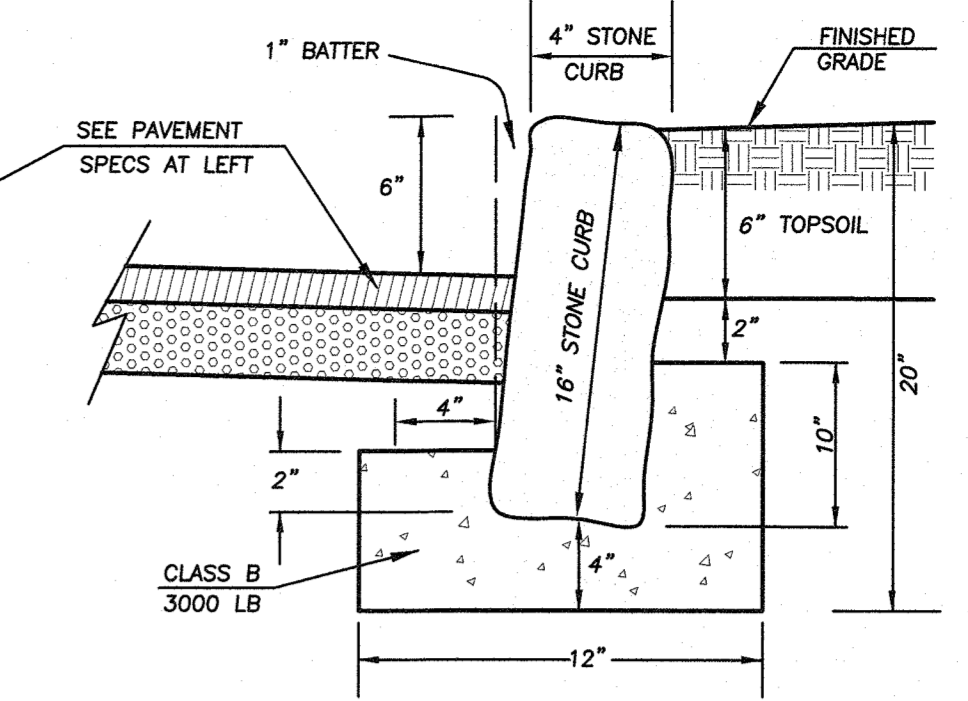
**TOWN OF ORANGETOWN BUILDING CONNECTION DETAIL**

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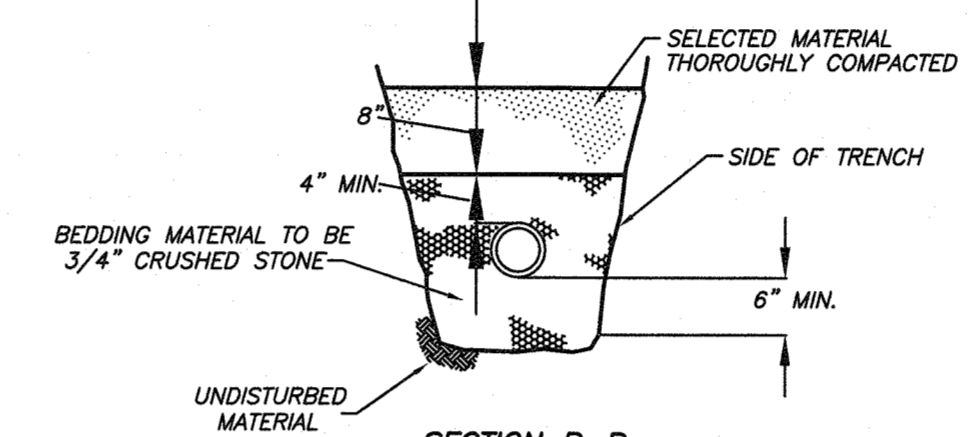
**PAVEMENT DETAIL**

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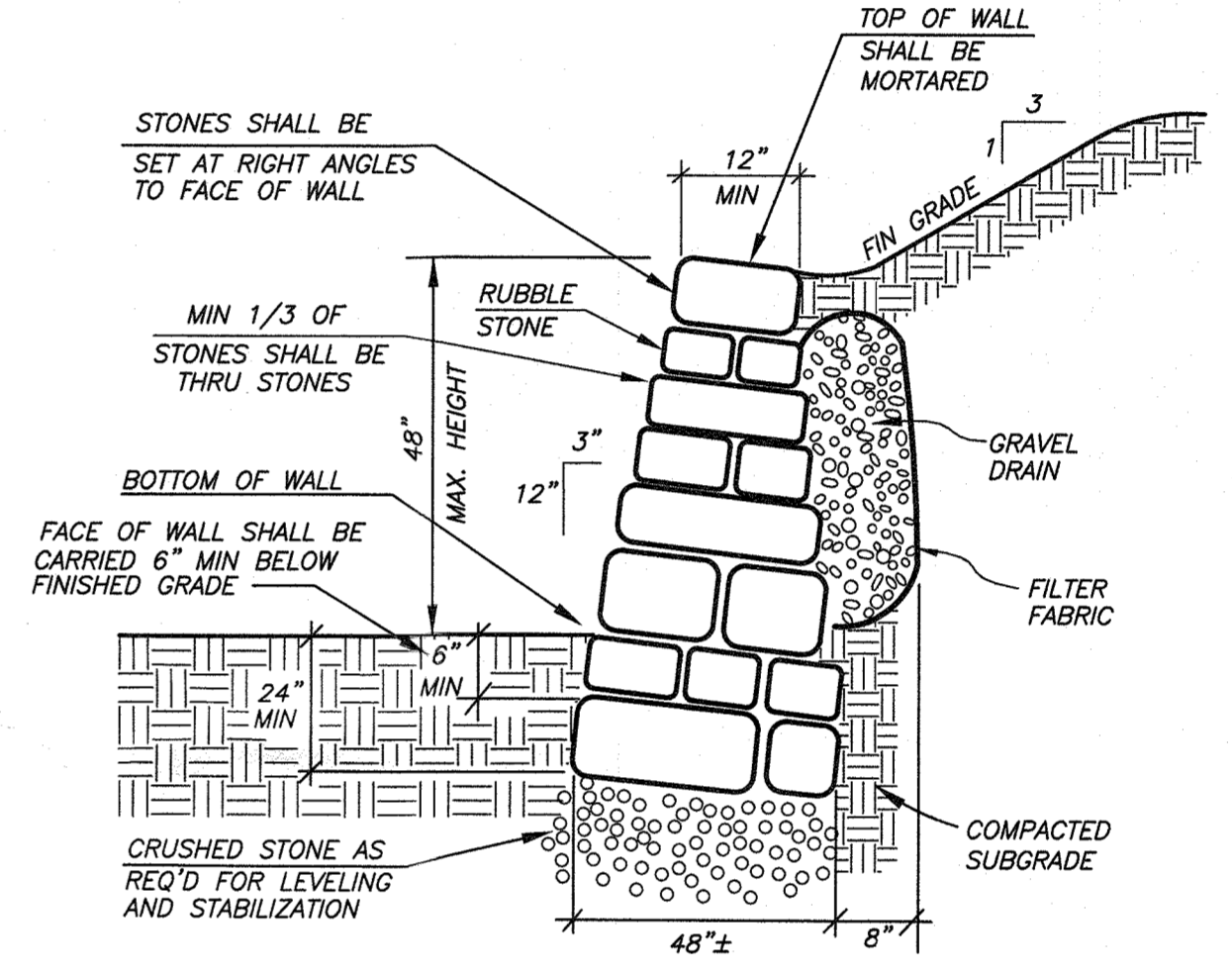
**STONE CURB & DRIVEWAY DETAIL**

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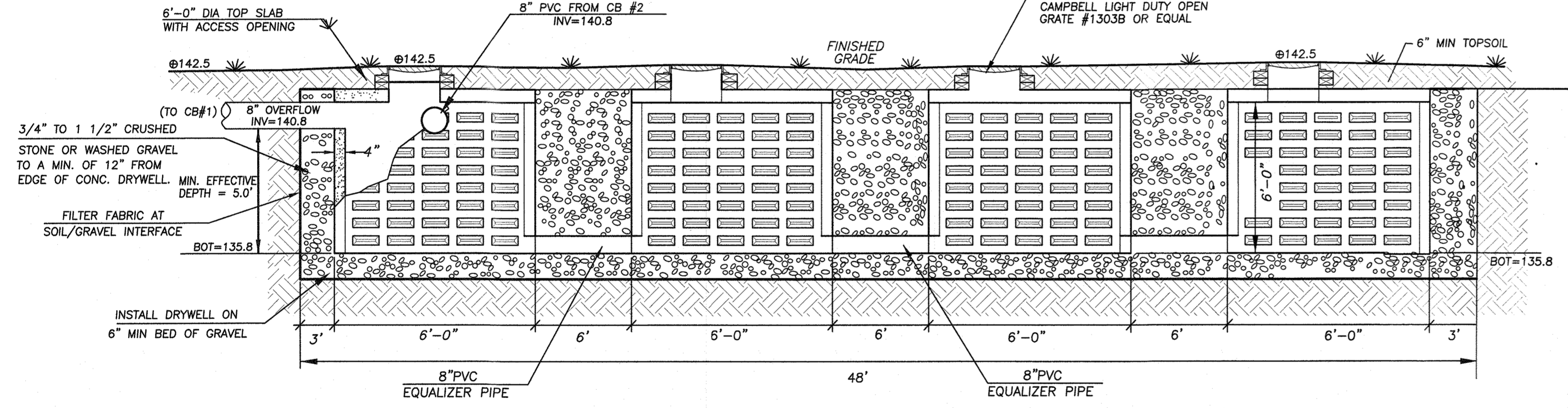
**TOWN OF ORANGETOWN BUILDING CONNECTION TRENCH DETAIL**

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**DRY STONE WALL DETAIL**

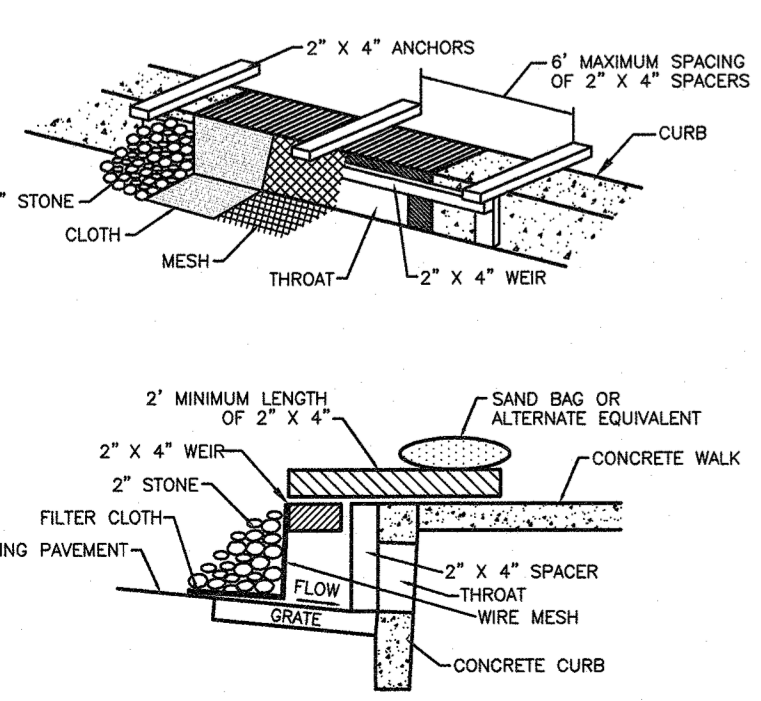
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DRYWELLS TO BE 6' x 6' "PRECAST" LEACHING RING OR APPROVED EQUAL PLACED IN A 12' x 48' GRAVEL TRENCH (SEE CONFIGURATION BELOW)

**6' PRECAST DRYWELLS DETAIL**

NTS

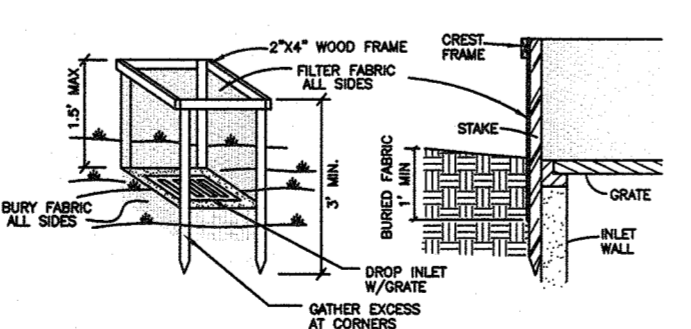


**CONSTRUCTION SPECIFICATIONS**

- FILTER FABRIC SHALL HAVE AN EDS OF 40-85.
- WOODEN FRAME SHALL BE CONSTRUCTED OF 2" x 4" CONSTRUCTION GRADE LUMBER.
- WIRE MESH ACROSS THROAT SHALL BE A CONTINUOUS PIECE 30 INCH MINIMUM WIDTH WITH A LENGTH 4 FEET LONGER THAN THE THROAT. IT SHALL BE SHAPED AND SECURELY NAILED TO A 2" x 4" WEIR.
- THE WEIR SHALL BE SECURELY NAILED TO 2" x 4" SPACERS 9 INCHES LONG SPACED NO MORE THAN 6 FEET APART.
- THE ASSEMBLY SHALL BE PLACED AGAINST THE INLET AND SECURED BY 2" x 4" ANCHORS 2 FEET LONG EXTENDING ACROSS THE TOP OF THE INLET AND HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHTS.

**CURB INLET PROTECTION**

NTS

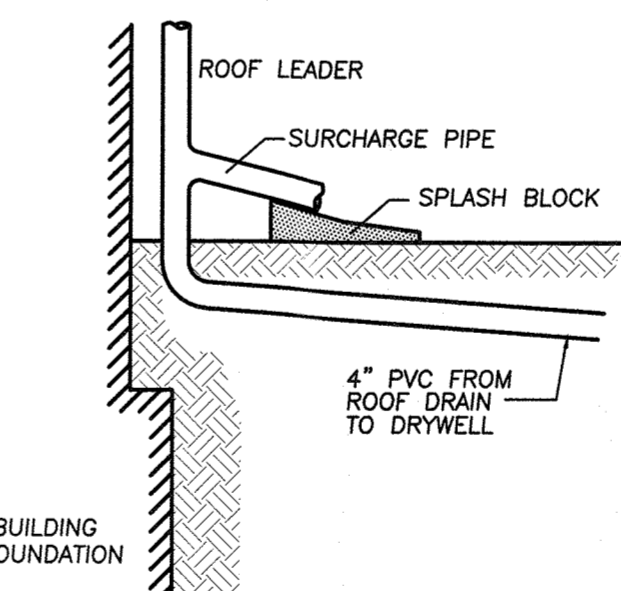


**CONSTRUCTION SPECIFICATIONS**

- FILTER FABRIC SHALL HAVE AN EDS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPACES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW THE GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2"x4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

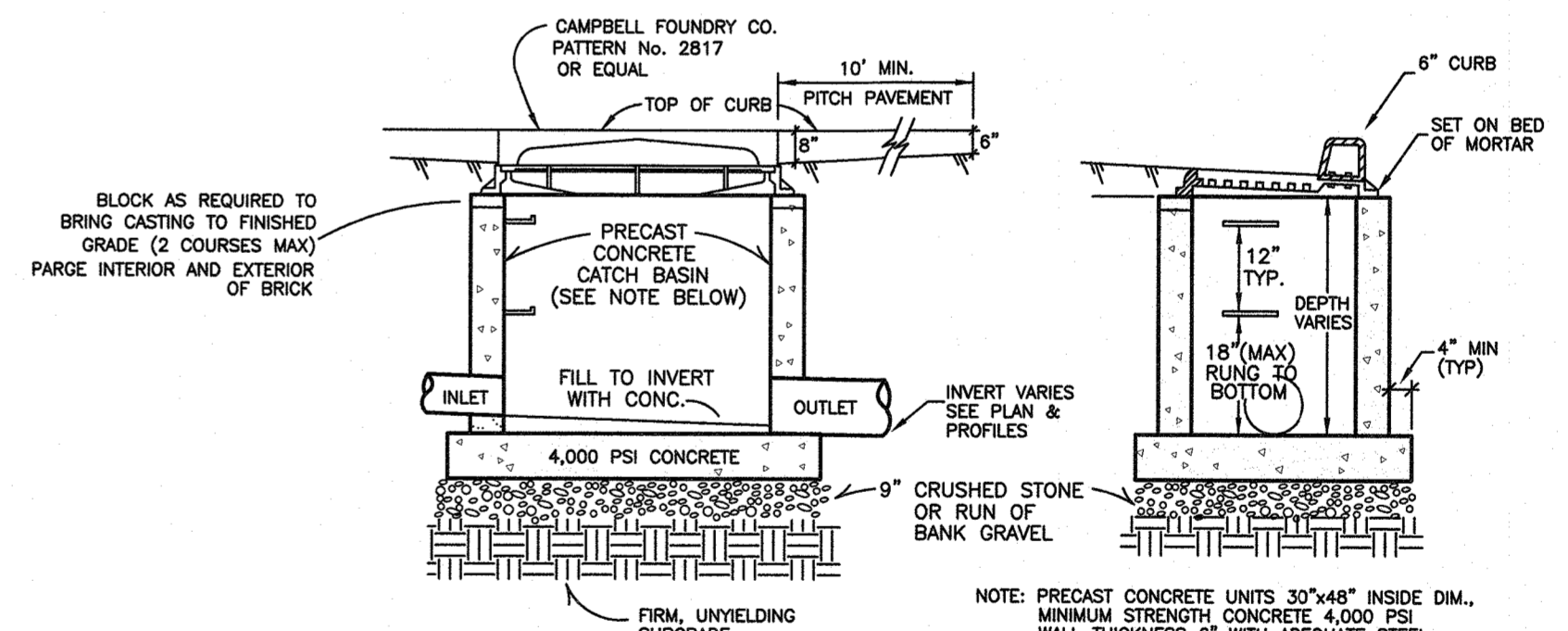
**DROP INLET PROTECTION**

NTS



**ROOF LEADER WITH SURCHARGE PIPE FOR OVERFLOW**

N.T.S.



**CATCH BASIN DETAIL**

NTS

8/08/23		REV-DETAILS		DETAILS	
12/12/18		DRYWELL GALLERY		SO. ORANGETOWN AMBULANCE CORPS	
DATE		REVISIONS		TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK	
				<b>JAY A. GREENWELL, PLS, LLC</b> LAND SURVEYING - LAND PLANNING 34 WAYNE AVENUE, SUFFERN, NEW YORK, 10901 PHONE 845-357-0830 GREENWELLS@aol.com	
GDANSKI CONSULTANTS, INC. PAUL GDANSKI NYS LIC. 075890		JAY A. GREENWELL, PLS NYS LIC. # 49676		FILE 21838DETAIL SCALE 1"=20' DATE 11/20/18 JOB NO. 21838	

SURVEYOR:

**SO ORANGETOWN AMBULANCE CORPS.**  
70 INDEPENDENCE AVENUE  
TAPPAN, NEW YORK 10983

DATE: February 14, 2019  
DRAWN BY: EB  
JOB NO: 2018.1217  
SCALE: 1"=10'-0"  
FILENAME: 2023\_0814\_LANDSCAPE PLAN\_SOAC

REVISIONS:  
08/14/2023  
11/1/2023

By the M Yost ASLA | Registered Landscape Architect

**LANDSCAPE PLAN**

SHEET NO.

**L-101**

SHEET: 4 of 5

**GENERAL LANDSCAPE NOTES**

1. AVOID DISRUPTION TO ROOT AREAS OF EXISTING TREES TO REMAIN. FOLLOW GUIDELINES ON DETAIL PAGE FOR SPECIFIC TREE PROTECTION INSTRUCTIONS.
2. WHERE EXISTING TOPSOIL IS INSUFFICIENT, PROVIDE CLEAN TOPSOIL FREE OF SOD, ROCKS OR OTHER FOREIGN MATERIAL TO DEPTHS AS STATED ABOVE.
3. ALL AREAS NOT REQUIRING GRADING AND/OR OTHER SITE WORK SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL STAY OUT OF THESE AREAS AND PRESERVE THE EXISTING PLANTINGS.
4. CONTRACTOR SHALL PROTECT EXISTING TREES DURING CONSTRUCTION. UNDER NO CIRCUMSTANCES SHALL SUPPLIES OR MATERIALS BE STORED OR STOCKPILED AGAINST THE TRUNK OF EXISTING TREES OR AGAINST SHRUBS OR HEDGES.
5. BLEND SMOOTHLY ALL TRANSITIONS FROM EXISTING TO PROPOSED CONTOURS.
6. ALL PLANTING BEDS SHALL BE MULCHED TO A 4" DEPTH OR AS OTHERWISE NOTED ON PLAN.
7. CONTRACTOR IS RESPONSIBLE TO CARRY OUT WORK IN AN EFFICIENT AND WORKMANLIKE MANNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

**GENERAL NOTES**

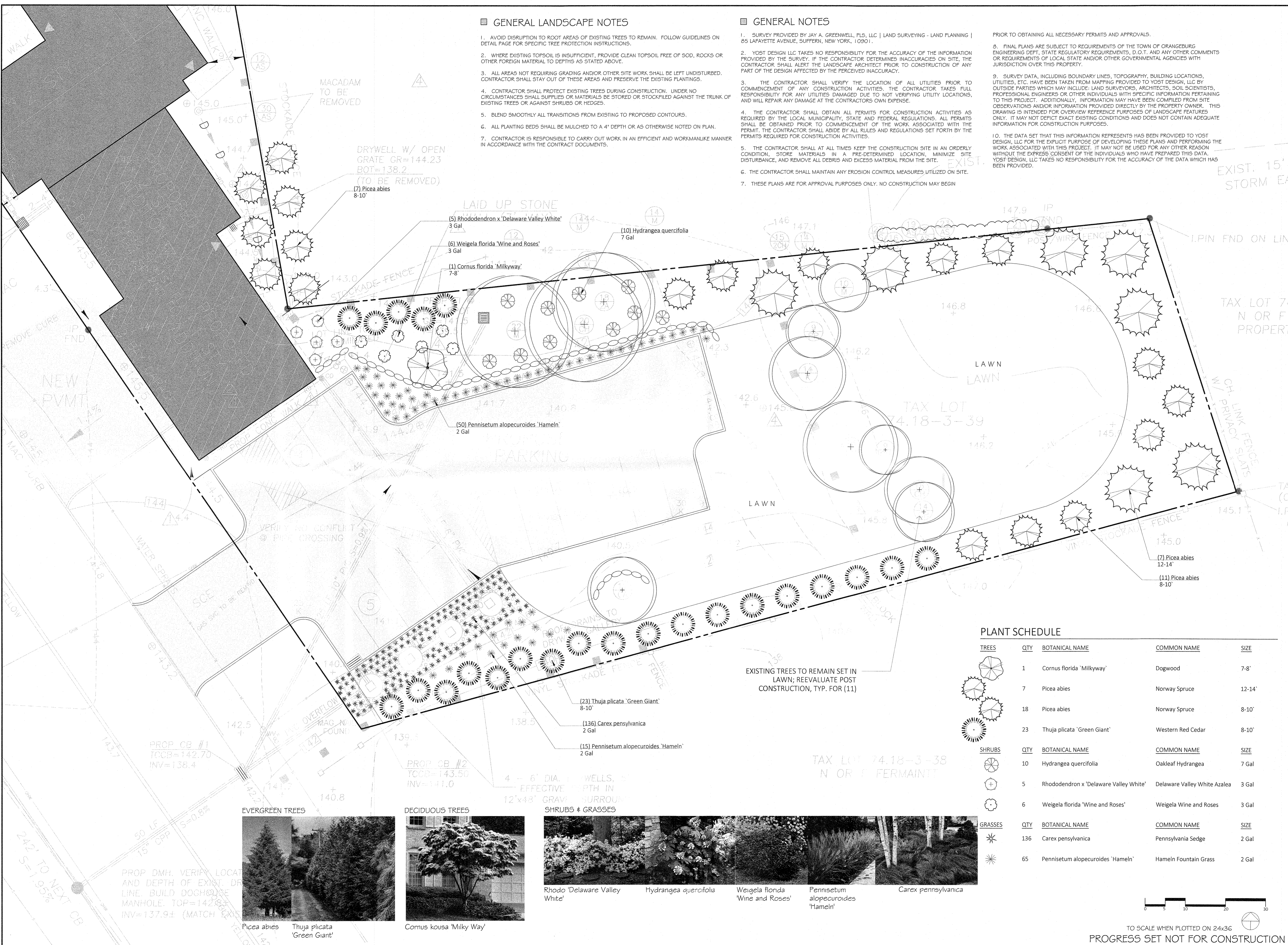
1. SURVEY PROVIDED BY JAY A. GREENWELL, PLS, LLC | LAND SURVEYING - LAND PLANNING | 85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901.
2. YOST DESIGN LLC TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE SURVEY. IF THE CONTRACTOR DETERMINES INACCURACIES ON SITE, THE CONTRACTOR SHALL ALERT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF ANY PART OF THE DESIGN AFFECTED BY THE PERCEIVED INACCURACY.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR TAKES FULL RESPONSIBILITY FOR ANY UTILITIES DAMAGED DUE TO NOT VERIFYING UTILITY LOCATIONS, AND WILL REPAIR ANY DAMAGE AT THE CONTRACTORS OWN EXPENSE.
4. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR CONSTRUCTION ACTIVITIES AS REQUIRED BY THE LOCAL MUNICIPALITY, STATE AND FEDERAL REGULATIONS. ALL PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF THE WORK ASSOCIATED WITH THE PERMIT. THE CONTRACTOR SHALL ABIDE BY ALL RULES AND REGULATIONS SET FORTH BY THE PERMITS REQUIRED FOR CONSTRUCTION ACTIVITIES.
5. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE CONSTRUCTION SITE IN AN ORDERLY CONDITION, STORE MATERIALS IN A PRE-DETERMINED LOCATION, MINIMIZE SITE DISTURBANCE, AND REMOVE ALL DEBRIS AND EXCESS MATERIAL FROM THE SITE.
6. THE CONTRACTOR SHALL MAINTAIN ANY EROSION CONTROL MEASURES UTILIZED ON SITE.
7. THESE PLANS ARE FOR APPROVAL PURPOSES ONLY. NO CONSTRUCTION MAY BEGIN

PRIOR TO OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

8. FINAL PLANS ARE SUBJECT TO REQUIREMENTS OF THE TOWN OF ORANEBURG ENGINEERING DEPT, STATE REGULATORY REQUIREMENTS, D.O.T. AND ANY OTHER COMMENTS OR REQUIREMENTS OF LOCAL STATE AND/OR OTHER GOVERNMENTAL AGENCIES WITH JURISDICTION OVER THIS PROPERTY.

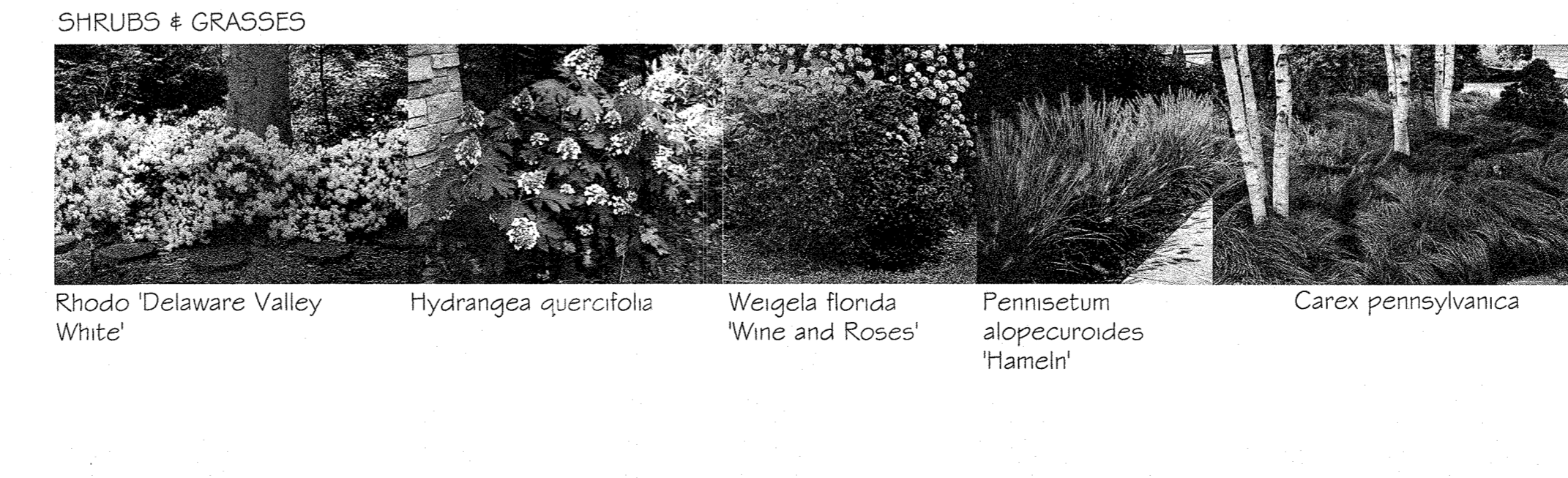
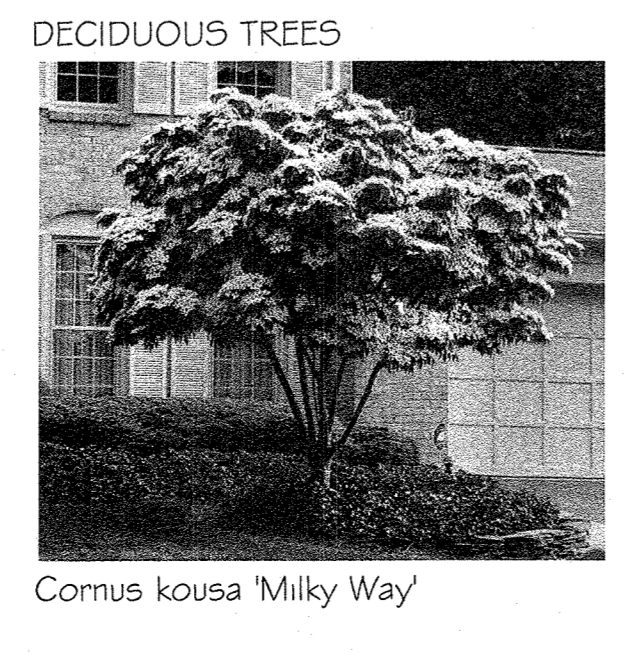
9. SURVEY DATA, INCLUDING BOUNDARY LINES, TOPOGRAPHY, BUILDING LOCATIONS, UTILITIES, ETC. HAVE BEEN TAKEN FROM MAPPING PROVIDED TO YOST DESIGN, LLC BY OUTSIDE PARTIES WHICH MAY INCLUDE: LAND SURVEYORS, ARCHITECTS, SOIL SCIENTISTS, PROFESSIONAL ENGINEERS OR OTHER INDIVIDUALS WITH SPECIFIC INFORMATION PERTAINING TO THIS PROJECT. ADDITIONALLY, INFORMATION MAY HAVE BEEN COMPILED FROM SITE OBSERVATIONS AND/OR INFORMATION PROVIDED DIRECTLY BY THE PROPERTY OWNER. THIS DRAWING IS INTENDED FOR OVERVIEW REFERENCE PURPOSES OF LANDSCAPE FEATURES ONLY. IT MAY NOT DEPICT EXACT EXISTING CONDITIONS AND DOES NOT CONTAIN ADEQUATE INFORMATION FOR CONSTRUCTION PURPOSES.

10. THE DATA SET THAT THIS INFORMATION REPRESENTS HAS BEEN PROVIDED TO YOST DESIGN, LLC FOR THE EXPLICIT PURPOSE OF DEVELOPING THESE PLANS AND PERFORMING THE WORK ASSOCIATED WITH THIS PROJECT. IT MAY NOT BE USED FOR ANY OTHER REASON WITHOUT THE EXPRESS CONSENT OF THE INDIVIDUALS WHO HAVE PREPARED THIS DATA. YOST DESIGN, LLC TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE DATA WHICH HAS BEEN PROVIDED.



**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	1	Cornus florida 'Milkyway'	Dogwood	7-8'
	7	Picea abies	Norway Spruce	12-14'
	18	Picea abies	Norway Spruce	8-10'
	23	Thuja plicata 'Green Giant'	Western Red Cedar	8-10'
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	10	Hydrangea quercifolia	Oakleaf Hydrangea	7 Gal
	5	Rhododendron x 'Delaware Valley White'	Delaware Valley White Azalea	3 Gal
	6	Weigela florida 'Wine and Roses'	Weigela Wine and Roses	3 Gal
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	136	Carex pensylvanica	Pennsylvania Sedge	2 Gal
	65	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	2 Gal

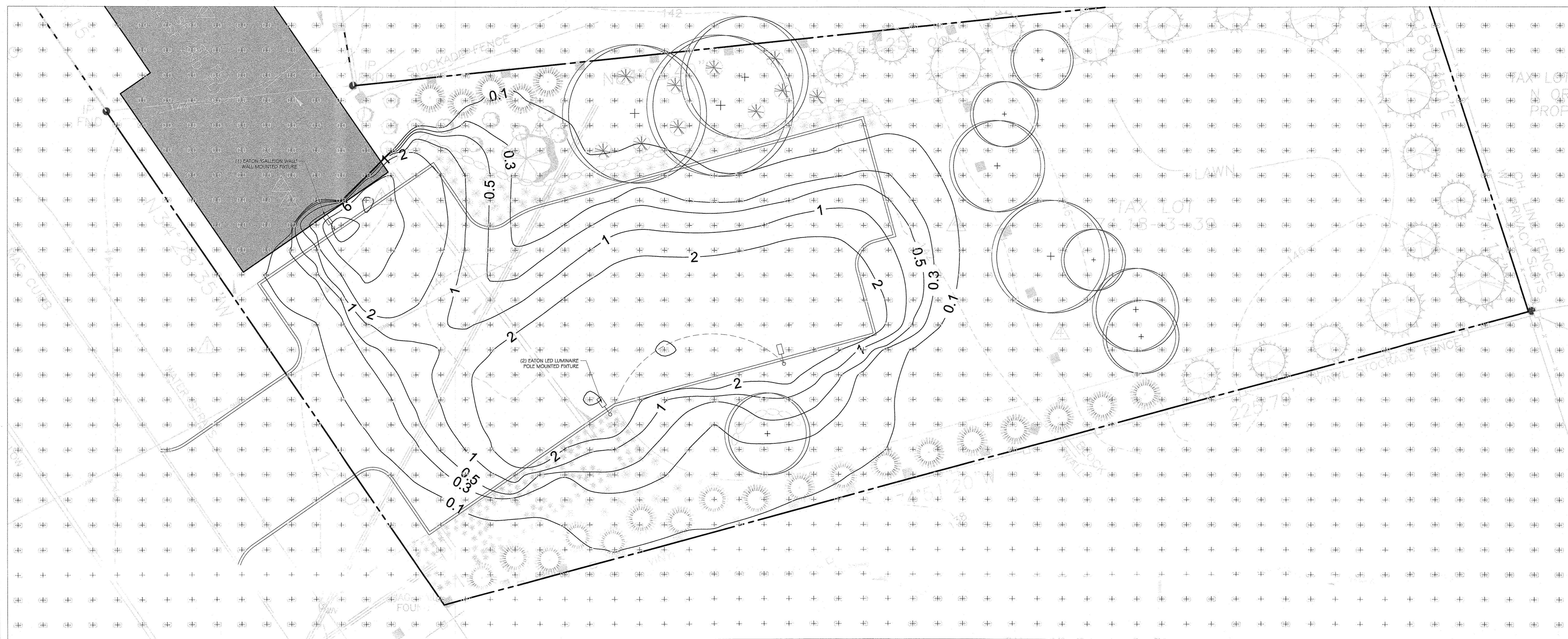


TO SCALE WHEN PLOTTED ON 24x36  
PROGRESS SET NOT FOR CONSTRUCTION

SURVEYOR:

**50 ORANGETOWN AMBULANCE CORPS.**

70 INDEPENDENCE AVENUE  
TAPPAN, NEW YORK 10983



**SPECIFICATION FEATURES**

**Construction**  
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum and caps enclosure housing and die-cast aluminum heat sink. A unique, patent pending, interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested and rated. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

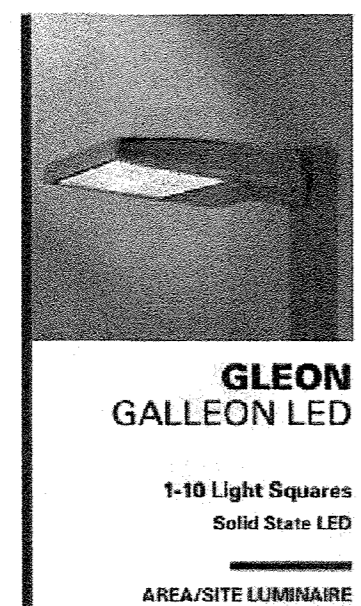
**Optics**  
Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 3000K, 5000K and 6000K CCT.

**Electrical**  
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 60/50Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton's proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 600mA, 800mA and 1200mA drive currents (nominal).

**Mounting**  
**STANDARD ARM MOUNT:**  
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during mounting. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table. Round pole adapter included. For wall mounting, specify wall mount bracket option: **QUICK MOUNT ARM:** Adapter is bolted directly to the pole. Quick mount arm slide into place on the adapter and is secured via two screws, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

**Finish**  
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard housing colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

**Warranty**  
Five-year warranty.



**DIMENSIONS**

**1-10 Light Squares**

Number of Light Squares	Width	Standard Arm Length	Optional Arm Length	Weight with Arm (lbs.)	Wt. with Arm (kg.)	Wt. with Arm (lbs.)
1-4	16-1/2" (417mm)	7" (178mm)	10" (254mm)	32 (15.0 kgs.)	0.96	
5-8	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00	
9-10	23-5/8" (597mm)	7" (178mm)	10" (254mm)	54 (24.5 kgs.)	1.07	

**DRILLING PATTERN**

**TYPE "N"**

Notes: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA labeled with actual arm length.

**1** EATON GALLEON LED: 10' HEIGHT  
NOT TO SCALE

**SPECIFICATION FEATURES**

**Construction**  
Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sink to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity. **LIGHTING:** Specify with the LPL option for covered mount upright housing with additional protections to maintain IP rating.

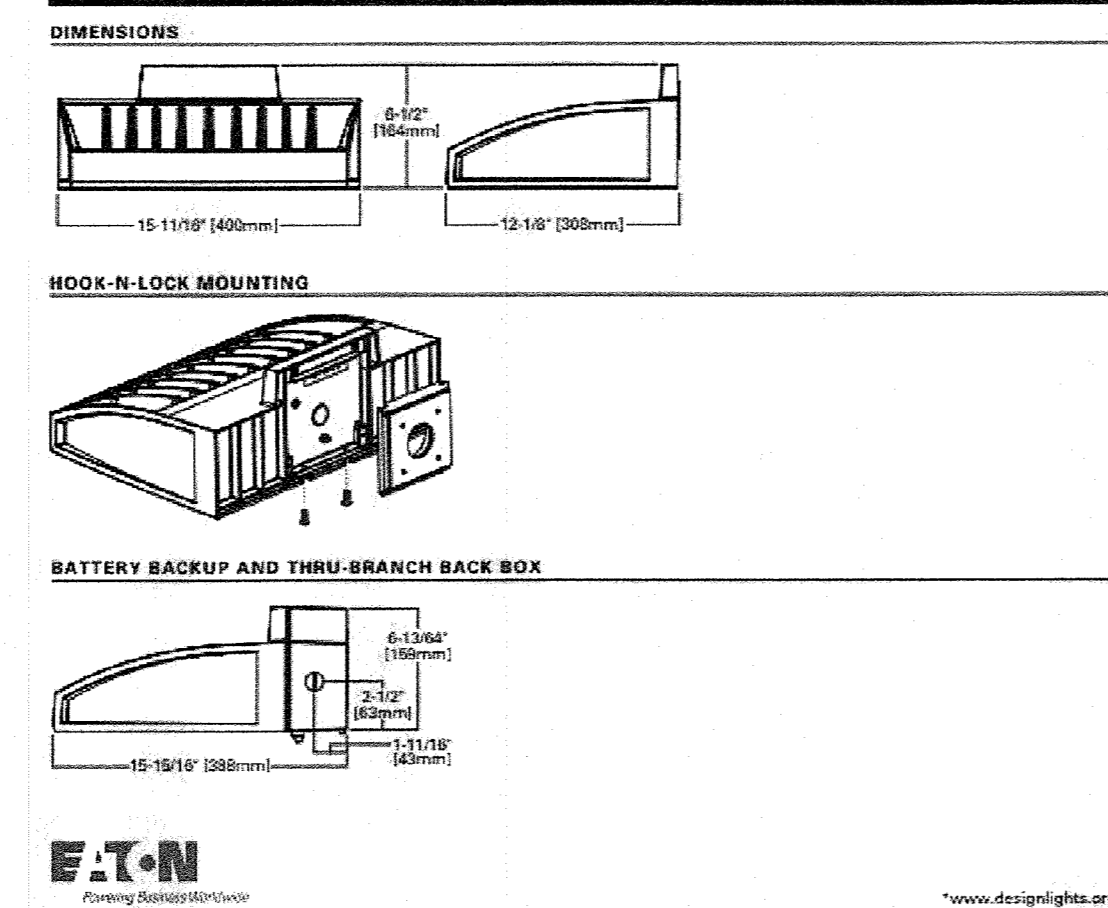
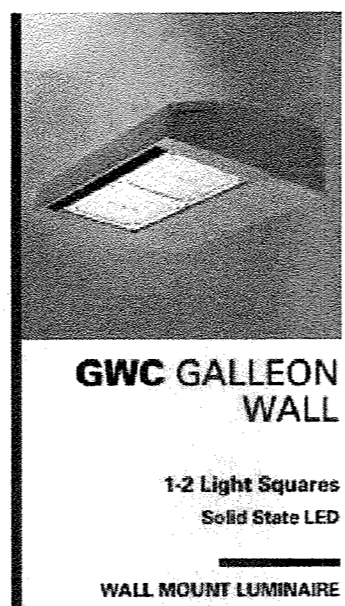
**Optics**  
Choice of three patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

**Electrical**  
LED drivers are mounted for ease of maintenance. 120-277V 60/50Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Wall LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Emergency egress options for 20°C ambient environments and occupancy sensor available.

**Mounting**  
Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" J-box or wall with the Galleon Wall "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws which are concealed but accessible from bottom of fixture.

**Finish**  
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

**Warranty**  
Five-year warranty.



**2** GWC GALLEON WALL  
NOT TO SCALE

**Steel Poles**

Product #	Type
Project	Date
Comments	
Prepared by	

**FEATURES**

- ASTM Grade steel base plate with ASTM A366 base cover
- Hand hole assembly 3' x 5' on 5" and 6" pole; and 2' x 4' on 4" pole
- 10' 3/8" mounting heights
- Drilled or tenon (specify)

**DESIGN CONSIDERATIONS**

Wind induced vibrations resulting from steady, unidirectional winds and other aerodynamic forces, as well as vibration and coefficient of height factors for non-grounded mounted installations (i.e., cross-arms, bridges or railings) are considered in this document. The information contained herein is for general guidance only and is not a replacement for professional judgment. Consult with a professional, local and national standards, codes or design to ensure or products is appropriate for the intended purpose and installation location. Also, please review Eaton's Light Pole White Paper for risk factors and design considerations. [888.828.8888](#)

See drawings and dimensions subject to change without notice. Consult your lighting representative at Eaton or visit [www.eaton.com/lighting](http://www.eaton.com/lighting) for available options, accessories and ordering information.

**1-2 Light Squares**  
Solid State LED  
WALL MOUNT LUMINAIRE

**STEEL POST**  
NOT TO SCALE

**LIGHTING SCHEDULE**

SYMBOL	DETAIL	QTY	DESCRIPTION	CATALOG NUMBER	MOUNTING HEIGHT	LAMP	LUMENS
□	1/L-601	2	EATON GALLEON LED™ LED LUMINAIRE POLE MOUNTED FIXTURE TYPE T4W DISTRIBUTION	GLEON-AF-O1-LED-E1-T4W	10'	LED ARRAY	18,045+
□	2/L-601	1	EATON GALLEON WALL MOUNTED LED LUMINAIRE WALL MOUNTED FIXTURE TYPE T4W DISTRIBUTION	GWC-AF-O1-LED-E1-T4W	10'	LED ARRAY	18,045+

**1** EATON GALLEON LED: 10' HEIGHT  
NOT TO SCALE

**LIGHTING NOTES**

- PROVIDE SWITCHING, TRANSFORMER LAYOUT AND WIRE SIZE FOR REVIEW BY LANDSCAPE ARCHITECT.
- SIZE LOW VOLTAGE WIRE BASED ON A MAX. ALLOWABLE VOLTAGE DROP BY 50%
- TRANSFORMERS SIZED TO MAXIMUM CAPACITY OF LIGHT FIXTURE.
- DESIGN LOAD IS NOT TO EXCEED 80% OF TRANSFORMER CAPACITY.
- THE WORK IS TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND MEET ALL TESTING REQUIREMENTS.
- FIXTURE LOCATIONS AND WIRE LAYOUTS ARE DIAGRAMMATIC AND APPROXIMATE: BEFORE INSTALLATION, REVIEW ADJACENT CONTROLLERS IN AN ORDERLY FASHION TO ALLOW ACCESS AS NECESSARY.
- REFER TO THE PLAN FOR LIGHT FIXTURE LOCATION. UTILIZE CONDUIT (E) TIRE TO THE (E) SWITCHING WHERE POSSIBLE.
- BALANCE LOADS TO THE TRANSFORMERS. IDENTIFY CENTER OF LOAD, CONNECT WIRE FROM TRANSFORMER TO CENTER OF LOAD.
- PROVIDE 120 VOLT POWER TO EACH REMOTE TRANSFORMER CONNECT TO SWITCH IN HOUSE PER DIRECTION AND ACCEPTANCE OF CLIENT.
- INSTALL FIXTURES PER MANUFACTURER'S INSTRUCTIONS.

DATE: FEBRUARY 19, 2019  
DRAWN BY: JJS  
JOB NO: 2018\_1217  
SCALE: 1"=10'-0"  
FILENAME: 2023\_0814\_LANDSCAPE PLAN\_SOAC

REVISIONS:  
08/14/2023

By the M Yost ASLA | Registered Landscape Architect

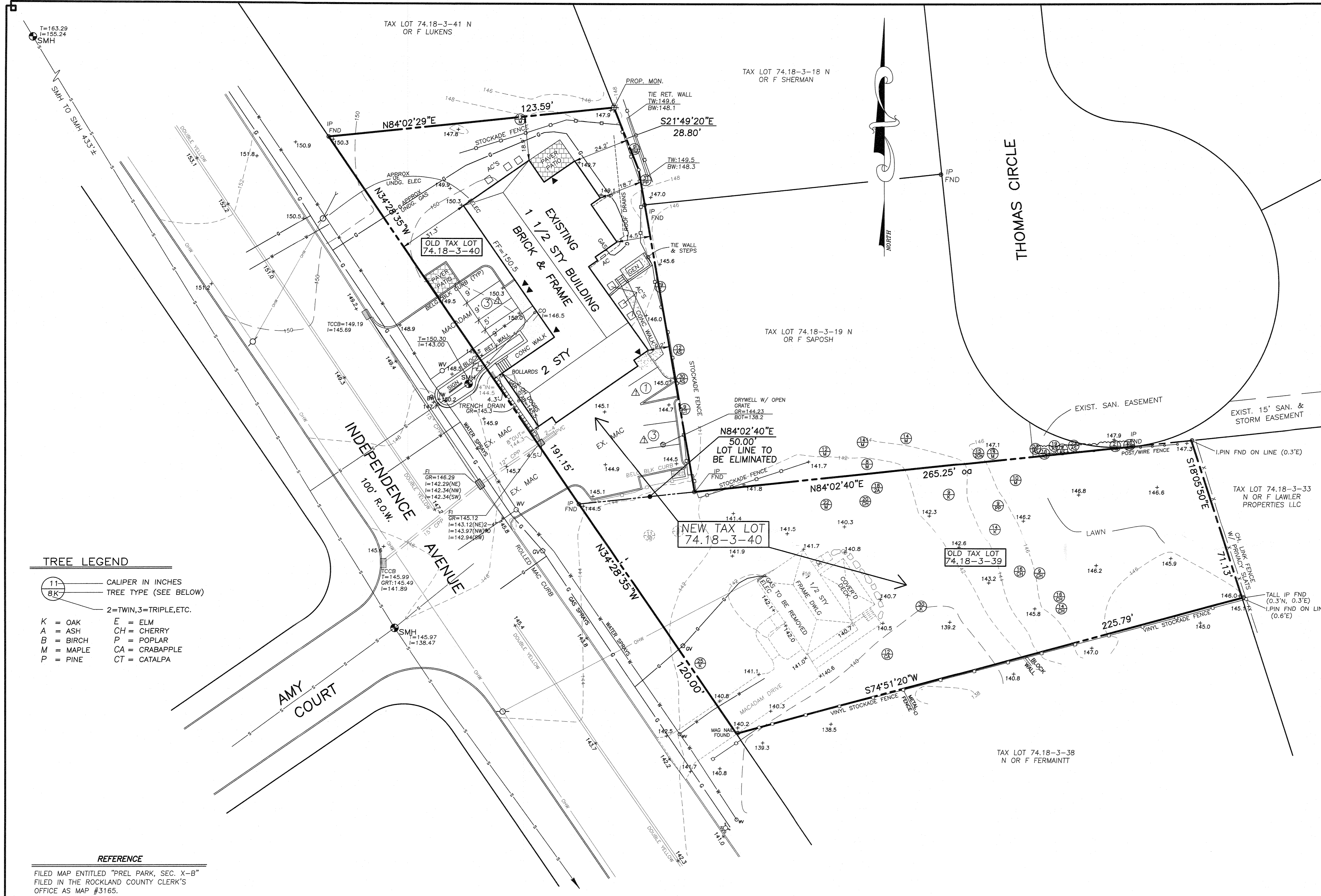
**LIGHTING PLAN**

SHEET NO.

**L-601**

TO SCALE WHEN PLOTTED ON 24x36  
PROGRESS SET NOT FOR CONSTRUCTION

SHEET: 5 of 5



VICINITY MAP SCALE 1"=300'

- NOTES:**
- THIS IS A SUBDIVISION (COMBINING) OF TAX LOTS 74.18-3-39 AND 40 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
  - RECORD OWNER: SOUTH ORANGETOWN AMBULANCE CORPS. 70 INDEPENDENCE AVE., TAPPAN NEW YORK 10983
  - APPLICANT: SAME
  - NUMBER OF LOTS: 2 EXISTING, 1 PROPOSED
  - AREA = 36,997 SF TOTAL
  - ZONE: R-15
  - ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
  - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L&N OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
  - THIS PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION PLANS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK. LOT DRAINAGE SHOWN ON SUCH PLANS SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND & SHALL NOT BE DISTURBED.
  - ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
  - NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE PLANS HAVE BEEN APPROVED BY ACABOR.
  - NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPT.
  - MONUMENTS ARE TO BE SET AT ALL CORNERS OF ORIGINAL PARCEL WHERE NOT OTHERWISE MARKED. (SHOWN THUS: ⊕)
  - WATER SUPPLY: VEOLIA NORTH AMERICA
  - DATUM: NGVD 29
  - NEW TAX LOT NUMBERS SHOWN THUS: [ ]
  - THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER & AT LEAST 30" IN LENGTH, TO BE INSTALLED AFTER FINAL GRADING.
  - PLANS COMPLY WITH STORMWATER MANAGEMENT PHASE II REGULATIONS. (LOT LINE CHANGE ONLY)

- TREE LEGEND**
- 11 - CALIPER IN INCHES  
 BK - TREE TYPE (SEE BELOW)
- 2=TWIN, 3=TRIPLE, ETC.
- K = OAK      E = ELM  
 A = ASH      CH = CHERRY  
 B = BIRCH    P = POPLAR  
 M = MAPLE    CA = CRABAPPLE  
 P = PINE      CT = CATALPA

**REFERENCE**

FILED MAP ENTITLED "PREL PARK, SEC. X-B"  
 FILED IN THE ROCKLAND COUNTY CLERK'S  
 OFFICE AS MAP #3165.

- LEGEND**
- - - 142 - - - CONTOUR
  - +141.5 SPOT GRADE
  - CB FI CATCH BASIN/FIELD INLET
  - DRAIN LINE
  - SMH SANITARY MANHOLE / PIPE
  - EDGE OF PAVEMENT
  - CONCRETE CURB
  - G-GV GAS LINE / VALVE
  - W-WW WATER LINE / VALVE
  - UTILITY POLE
  - ☆ LIGHT POLE
  - OHW OVERHEAD WIRES
  - UE UNDERGROUND ELECTRIC

**DISTRICTS**

SCHOOL - SOUTH ORANGETOWN  
 FIRE - TAPPAN  
 LIBRARY - TAPPAN  
 AMBULANCE - SOUTH ORANGETOWN  
 SEWER - ORANGETOWN  
 WATER - ORANGETOWN

TAX LOT 74.18-3-40 AREA=14,994 SF  
 TAX LOT 74.18-3-39 AREA=22,003 SF  
 TOTAL : 36,997 SF

8/09/23 REV

06/19/23	NOTE #1
06/06/23	FF ELEV
12/10/19	TAX LOT NUMBERS
DATE	REVISIONS

JAY A. GREENWELL, PLS  
 NYS LIC. # 49676

SUBDIVISION FOR  
**SO. ORANGETOWN  
 AMBULANCE CORPS**

TOWN OF ORANGETOWN  
 ROCKLAND COUNTY, NEW YORK

**JAY A. GREENWELL, PLS, LLC**

LAND SURVEYING - LAND PLANNING  
 34 WAYNE AVENUE, SUFFERN, NEW YORK, 10901  
 PHONE 845-357-0830 GREENWELLPLS@AOL.COM

TAX LOT #S  
 74.18-3-40  
 74.18-3-39

AREA  
 SEE ABOVE

FILE  
 21838SITE

SCALE  
 1"=20'

DATE  
 10/23/18

JOB NO.  
 21838