

ZONING BOARD OF APPEALS Town of Orangetown 20 Greenbush Road
Orangeburg, New York 10962
(914) 359-8410 (ex. 4331)

Date: November 13, 2023

TO: OBAPAE

- | | |
|--|----------------------------|
| Environmental Management and Engineering | Rockland County Drainage ✓ |
| ✓Rockland County Sewer District #1 | Rockland County Health ✓ |
| New York State Dept. of Transportation | Rockland County Planning ✓ |
| Palisades Interstate Park Commission | Rockland County Highway |
| Orange and Rockland Utilities | NYS DEC ✓ |
| Orangetown Highway | ARMY CORR ✓ |

Review of Plans: Fisher Site Plan, 7 Berachah Avenue, South Nyack, NY

Section 66.61 Block 1 Lot 19-2 R-12HC zone

This matter is scheduled for: *January 3, 2024*

Chapter 43, Section R-12HC District, however Article XVIII.. Attachment 19.3. Table 3.13 “ If any conflict shall arise between the applicability of the SN-R-12H regulations and those identified on the filed plan, those on the filed plan shall prevail” The approved subdivision indicated RG-8 zoning .Per the approved subdivision plan RG-8 Zoning district chart on page 7 of 8 the following variances are required: Maximum lot coverage permitted is 45% with 59% proposed; Side Yard required is 15’ with 12.8’ proposed; Total Side Yard required is 30’, 27’ proposed; Front Yard set-back to accessory structures is 55’ , 0’ proposed to carport; proposed carport is 753 square feet which results in a lot coverage od 15.9% with 7% permitted for accessory structures. Also per Chapter 43, Article XVIII(18), Section 18.33, number2, Relation of Accessory buildings to streets. No accessory building shall project nearer to the street on which the principle building fronts than such principle building. Should topographic conditions be such that practical difficulties would be caused by this requirements with respect to the location of a garage, the Planning Board may authorize the erection of such garage within not less than 10 feet of the street line where the natural slope of the ground within 25 feet of such line is between 12% and 20% and within not less than five feet of the street line where such slope within 25 feet of such line exceeds 20%: Variance required; Per Chapter 43, Article XVIII (18), section 18.35, “Maximum building height applicability. In considering maximum height per Hamlet of South Nyack General Use Bulk and Parking Regulations, per Figure 1, when considering a front yard setback variance for any structure, allowable roof height to the topmost extremity shall not extend above a line drawn from 5 ½ feet above he nearest point on the front line to a point 30 feet above the required front yard setback. An exception to this limit may be granted only if there is no other feasible alternative and if the balancing of benefits to the applicant if granted, versus benefits to the community if not granted, weigh strongly in favor of the applicant. “Variance required as a portion of the carport roof is outside the envelope, see sketch. The applicant also requires an exception pursuant to New York State Town Law, Section 280-a (Relation of structure to streets or highways) for the proposed new residence and carport. Please review the information enclosed and provide comments.

These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: darbolino@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: January 3, 2024

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, January 3, 2024** . **Kindly forward your completed review to this office by January 3, 2024.**

Reviewing Agency _____

Name _____ date: _____



OFFICE OF BUILDING, ZONING, PLANNING,
 ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
 20 Greenbush Road
 Orangeburg, N.Y. 10962

Jane Slavin, R.A.
 Director

(845)359-8410

Fax: (845) 359-8526

ZONING BOARD OF APPEALS

Date: November 6, 20

Applicant: Fisher Site Plan

Address: 7 Berachah Avenue, South Nyack

Section: 66.61

Block: 1

Lot: 19.2

Permit# _____

Plans Submitted: Planimetric plan for Fisher signed and sealed by Steven Michael Sparaco dated May 2, 20
final Cluster Subdivision Plat dated 11-14-03 ; landscape plan dated March 15, 2023 revised May 9, 2023
and Architectural plans dated August 1, 2022 signed sealed by Kier B. Levesque

Project Name: Fisher

Date of Submittal to Land Use Board: _____

Date of Board Meeting: TBD

Sincerely,

Debbie Arbolino
 Administrative Aide

RECEIVED

NOV 6 2023

TOWN OF ORANGETOWN
 BUILDING DEPARTMENT

RECEIVED

NOV 6 2023

TOWN OF ORANGETOWN
 BUILDING DEPARTMENT

Date/Initial of OBZPAE Review Completed: [Signature] 11/9/23

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE
 TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.
 APPLICATION FOR BUILDING / DEMOLITION PERMIT

TOWN OF ORANGETOWN

20 Greenbush Road, Orangetown, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

OFFICIAL USE ONLY

Inspector: KM Date App Received: 8/4/22 Received By: GM

Permit No. BDP184-20 Date Issued: _____

CO No. _____ Date Issued: _____

Permit Fee: 9232 Ck# 1952 Paid By ROBERT FISHER

GIS Fee: 20 Ck# _____ Paid By _____

Stream Maintenance Fee Ck# _____ Paid By _____

Additional Fee: _____ Ck# _____ Date Paid _____ Paid By _____

1st 6 mo. Ext.: _____ Ck# _____ Exp. Date: _____ Paid By _____

2nd 6 mo. Ext.: _____ Ck# _____ Exp. Date: _____ Paid By AUG - 4 2022

APPLICANT COMPLETES: TOWN OF ORANGETOWN BUILDING DEPARTMENT

Note: See inside for instructions for completing this application, PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

AUG - 5 2022

SCANNED

Property Location: 7 Bernchah Ave. South Nyack, NY 10960

Section: 66.61 Block: 1 Lot: 192

Property Owner: Robert Marc Fisher

Mailing Address: 501 East 47th St Apt 6 New York, NY 10017

Email: robmfisher@yahoo.com Phone #: 917-704-3355

Lessee (Business Name): _____

Mailing Address: _____

Email: _____ Phone #: _____

Type of Business / Use: _____

Contact Person: Kier Levesque Relation to Project: Architect

Email: kblevesque@opsonline.net Phone#: 845-358-2359

Architect/Engineer: Kier B. Levesque Architect NYS Lic # 15,938

Address: 49 Third Ave. Nyack, NY 10961 Phone#: 845-358-2359

Builder/General Contractor: _____ RC Lic # _____

Address: _____ Phone#: _____

Plumber: _____ RC Lic # _____

Address: _____ Phone#: _____

Electrician: _____ RC Lic #: _____

Address: _____ Phone#: _____

Heat/Cooling: _____ RC Lic#: _____

Address: _____ Phone#: _____

Existing use of structure or land: vacant land

Proposed Project Description: construction a 2 story single family residence with carport

Proposed Square Footage: 1,392 house 616 carport Estimated Construction Value (\$): \$450,000.00

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____

PERMIT REFERRED / DENIED FOR: _____

Chapter 330, Article 330.34 Accessory Structures allowed in side and rear yards w/ front yard proposed.

Final Cluster Subdivision Plat, hands of someone w/c built table on Subdivision Map... Maximum Coverage 30% w/ 61% proposed page side yard 15' minimum w/ 8:7' proposed, Total Side Yd Minimum 30' w/ 27' proposed. 4 Variances proposed. Section 330.10 Critical environmental area requires Planning Board approval.

Crist Ehrer *Dep 8/17/22* *RM*

FOR OFFICE USE ONLY SECTION BLOCK LOT NAME PERMIT#

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use <input type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input type="checkbox"/> Residential <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
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PERMIT#: BLDR-1784-22
ASSIGNED
INSPECTOR: _____
 Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: 10.25.23

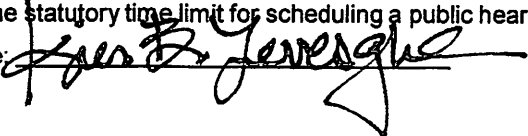
Project Name: Fisher Residence

Street Address: 7 Berachah Ave. South Nyack, NY 10960

Tax Map Designation:
 Section: 66.61 Block: 1 Lot(s): 19.2
 Section: _____ Block: _____ Lot(s): _____

Directional Location:
 On the east side of Chase Ave, approximately
0 feet at _____ of the intersection of College Ave, in the
 Town of Orangetown in the hamlet/village of South Nyack
 Acreage of Parcel .34 Zoning District SN RG-8H
 School District Nyack Union Free Postal District Nyack
 Ambulance District Nyack Fire District Joint Nyack Fire District
 Water District Nyack Sewer District O-town

Project Description: *(If additional space required, please attach a narrative summary.)*
New residence and carport. Narrative is attached

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
 Date: 11.6.23 Applicant's Signature: 

APPLICATION REVIEW FORM

Applicant: Kier B. Levesque Architect Phone # 845-358-2359

Address: 49 Third Ave, Nyack, NY 10960
Street Name & Number (Post Office) City State Zip Code

Property Owner: Robert Marc Fisher Phone # 917-704-3355

Address: 301 East 47Th St. Apt. 18e New York, NY 10017
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Sparaco & Youngblood, PLLC Phone # 845-782-8543

Address: 18 North Main St. P.O.Box 818 Harriman, NY 10926
Street Name & Number (Post Office) City State Zip Code

Attorney: _____ Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

Contact Person: Kier B. Levesque Architect Phone # 845-358-2359

Address: 49 Third Ave, Nyack, NY 10960
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:

Referral Agencies:

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality _____ | |
| <input type="checkbox"/> Other _____ | |

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area gross area 14,640sf net area 4,720 sf see plot plan

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

no

Project History:

Has this project ever been reviewed before? no

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGEBURG, N.Y. 10962

Jane Slavin, RA
Director

(845) 359-8410

Fax: (845) 359-8526

Date: November 9, 2023

To: Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E. 

Subject: **Fisher Site Plan**
7 Berachah Avenue, South Nyack
Section 66.61, Block 1, Lot 19.2, R-12HC zoning district

- 1) This parcel is part of a cluster sub-division approval. The parcel is located in the R-12HC Zoning District, however per Chapter 43, Article XVIII, Attachment 19.3, Table 3.13, *"If any conflict shall arise between the applicability of the SN-R-12H regulations and those identified on the filed plan, those on the filed plan shall prevail."* The approved subdivision plan indicates RG-8 Zoning.
- 2) Per the approved subdivision plan RG-8 Zoning district chart on page 7 of 8 the following variances are required;
 - Maximum lot coverage permitted is 45% with 59% proposed.
 - Side yard required is 15 feet with 12.8 feet proposed.
 - Total side yard required is 30 feet with 27 feet proposed.
 - front yard setback to accessory structures is 55 feet with 0 feet proposed to the carport
 - proposed carport is 753 square feet which results in a lot coverage of 15.9% with 7% required for accessory structures.
- 3) Per Chapter 43, Article XVIII (18), section 18.33, number 2, *"Relation of accessory buildings to streets. No accessory building shall project nearer to the street on which the principal building fronts than such principal building. Should topographic conditions be such that practical difficulties would be caused by this requirement with respect to the location of a garage, the Planning Board may authorize the erection of such garage within not less than 10 feet of the street line where the natural slope of the ground within 25 feet of such line is between 12% and 20% and within not less than five feet of the street line where such slope within 25 feet of such line exceeds 20%."* Variance required.
- 4) Per Chapter 43, Article XVIII (18), section 18.35, *"Maximum building height applicability. In considering maximum height per Hamlet of South Nyack General*

Use, Bulk and Parking Regulations, per Figure 1, when considering a front yard setback variance for any structure, allowable roof height to the topmost extremity shall not extend above a line drawn from 5 1/2 feet above the nearest point on the front lot line to a point 30 feet above the required front yard setback. An exception to this limit may be granted only if there is no other feasible alternative and if the balancing of benefits to the applicant if granted, versus benefits to the community if not granted, weigh strongly in favor of the applicant.” Variance required as a portion of the carport roof is outside of the envelope, see sketch.

- 5) Address is Berachah Avenue, however the driveway entrance is on College Avenue which is a private road, a 280-A Variance is required.



**OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT**
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

Jane Slavin, RA
Director

(845) 359-8410

Fax: (845) 359-8526

Date: October 19, 2023

To: Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.



Subject: **Fisher Site Plan**
Prepreliminary/ Preliminary/ Final Site Plan
and SEQRA Review
7 Berachah Avenue, South Nyack
Section 66.61, Block 1, Lot 19.2, R-12HC zoning district

PB #23-04

Submission Reviewed:

Plot Plan as prepared by Sparaco & Youngblood, PLLC, last revised 9-19-23, and
Architectural Plans as prepared by Kier B. Levesque, RA, last revised May 3, 2023.

- 1) Comments 1 through 8 of my July 6, 2023 letter still apply.
- 2) The applicant is reminded that no work can begin and no permit will be issued until all comments are met from the various agencies, all approvals are obtained, the Final Site Plan is stamped and the construction plans are reviewed and approved by the inspector.



OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

Jane Slavin, RA
Director

(845) 359-8410

Fax: (845) 359-8526

Date: January 26, 2023

To: Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.



Subject: **Fisher Site Plan**
Prepreliminary/ Preliminary/ Final Site Plan
and SEQRA Review
7 Berachah Avenue, South Nyack
Section 66.61, Block 1, Lot 19.2, R-12HC zoning district

PB #23-04

Submission Reviewed:

Final Subdivision Plan as prepared by Lawler, Matusky & Skelly Engineers, LLP, signed by South Nyack Planning Board Chair, 6-22-2005, Plot Plan as prepared by Sparaco & Youngblood, PLLC, last revised 9/22/2022, and Architectural Plans as prepared by Kier B. Levesque, RA, dated August 1, 2022.

- 1) This parcel is part of a cluster sub-division approval. The parcel is located in the R-12HC Zoning District, however per Chapter 43, Attachment 19.3, Table 3.13, *"If any conflict shall arise between the applicability of the SN-R-12H regulations and those identified on the filed plan, those on the filed plan shall prevail."* The approved subdivision plan indicates RG-8 Zoning.
- 2) Per RG-8 Zoning district chart on page 7 of the subdivision plan the following variances are required;
 - a) front yard setback to carport is 0 feet, with 55 feet required to accessory structures.
 - b) proposed carport is 753 square feet which results in a lot coverage of 15.9% with 7% required for accessory structures.
 - c) Maximum lot coverage permitted is 30% with 50% proposed.
 - d) Side yard required is 15 feet with 8.7 feet proposed.
 - e) Total side yard required is 30 feet with 27 feet proposed.
- 3) Per Chapter 43, Article XVIII (18), section 18.33, number 2, *"Relation of accessory buildings to streets. No accessory building shall project nearer to the street on which the principal building fronts than such principal building. Should topographic conditions be such that practical difficulties would be caused by this*

requirement with respect to the location of a garage, the Planning Board may authorize the erection of such garage within not less than 10 feet of the street line where the natural slope of the ground within 25 feet of such line is between 12% and 20% and within not less than five feet of the street line where such slope within 25 feet of such line exceeds 20%." Variance required.

- 4) Per Chapter 43, Article XVIII (18), section 18.35, "*Maximum building height applicability. In considering maximum height per Hamlet of South Nyack General Use, Bulk and Parking Regulations, per Figure 1, when considering a front yard setback variance for any structure, allowable roof height to the topmost extremity shall not extend above a line drawn from 5 1/2 feet above the nearest point on the front lot line to a point 30 feet above the required front yard setback. An exception to this limit may be granted only if there is no other feasible alternative and if the balancing of benefits to the applicant if granted, versus benefits to the community if not granted, weigh strongly in favor of the applicant.*" Variance required as a portion of the carport roof is outside of the envelope, see sketch.
- 5) Address is Berachah Avenue, however the driveway entrance is on College Avenue and it appears that College Avenue is a private road. If College Avenue is in fact a private road, a 280-A Variance is required.
- 6) The architectural plans indicate new front concrete steps and landing; however, the plot plan shows all existing, which is correct?
- 7) Per 21A-13, the following must be shown on the site plan;
 - a) Vicinity map.
 - b) Existing structures on abutting lots within 200 feet of the lot lines.
 - c) Erosion control measures.
- 8) ACABOR review and approval is required.
- 9) The SEAF appears to be in order.

KIER B. LEVESQUE ARCHITECT

49 Third Avenue Nyack, New York 10960 845-358-2359

Town of Orangetown
Zoning Board of Appeals
20 Greenbush Road
Orangeburg, NY 10962

October 30, 2023

Re: Fisher residence
7 Berachah Ave.
South Nyack, NY 10960

SBL: 66.61-1-19.2

Job # 2021113



NARRATIVE

This application for area variances is for a new residence with carport to be located on a property that was part of the Major Subdivision of Lands of Dansome LLC. The final subdivision plan is dated 11-14-03 and last revised #8 03/04/05 final. The lot is shown as Lot 20 on the subdivision map #7769 in the RG-8 zoning district. The new dwelling will front on Chase Ave and there will be a carport to the South on College Ave. Because of the sewer easement to the Town of Orangetown the project requires separation of the dwelling and the carport. Due to the site slope conditions the new dwelling must be placed upland near College Ave. which is the high side of the site while having an address on Berachah Ave.

The new house and carport location will require area variances as noted in the plot plan bulk table by Sparaco & Youngblood PLLC dated May 02, 2023 last revised 09/19/2023. The location of the carport in the front yard requires a variance from Section 330.24 for an accessory structure in the front yard, accessory structure coverage, and height. The other area variances required are for lot coverage where 30% is permissible and 59% is requested. The 59% represents the net lot area after the steep slope reductions. The gross lot area is 14,640 of which the net lot area only equals 4,720 sf. A side setback variance of 12' is requested where 15' is required for a deck which is on the North side and will not impact the neighboring house as it is down slope of the deck. Total side yard setback variance for 27' where 30' is required. We also require a variance from Town Law 280-A to permit access from this property to a private improved road.

The character of the neighborhood will not be altered in any detrimental way with the granting of the requested variances. This neighborhood has many similar conditions as those presented in this application including accessory structures located in the front yard.

The planning board has given preliminary conditioned approval. Please let me know if there is any additional information required prior to the hearing.

Submitted by:


Kier B. Levesque Architect
Lic# 15938

email kblevesque@optonline.net

August 22, 2022

Robert Marc Fisher
301 East 47th Street. Apt. 18E
New York, NY 10017

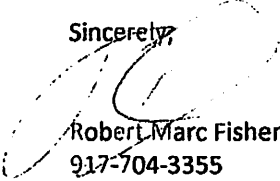
Town of Orangetown – Building Department
20 Greenbush Rd.
Orangeburg, NY 10962

Re: Written authorization for agent to appear on owner behalf
7 Berachah Ave.
South Nyack, NY 10960

Dear Zoning Board members,

I hereby authorize Kier B. Levesque Architect to appear on my behalf before the Town of Orangetown Zoning Board of Appeals as agent for the above referenced property.

Sincerely,



Robert Marc Fisher
917-704-3355

SWIS	PRINT KEY	NAME	ADDRESS
192489	66.61-1-7	Bonnie R Christian	2 Berachah Av, So Nyack, NY 10960
192489	66.61-1-11	Suzanne B Porter	4 Berachah Ave, South Nyack, NY 10960
192489	66.61-1-15	Patricia A Burchell	26 College Ave, Nyack, NY 10960
192489	66.61-1-16	Dolly A Stewart	15 College Ave, South Nyack, NY 10960
192489	66.61-1-17	Yeshivath Viznitz Dkhal	15 Elyon Rd, Monsey, NY 10952
192489	66.61-1-18	Vernon Hamilton	22 College Ave, So Nyack, NY 10960
192489	66.61-1-19.1	Allisa Schurr	9 Berachah Av, South Nyack, NY 10960
192489	66.61-1-19.2	Robert M Fisher	7 Berachah Ave, South Nyack, NY 10960
192489	66.61-1-20	Roger Seiler	5 Berachah Av, S Nyack, NY 10960
192489	66.61-1-21	Fred P Joachim	P.O. Box 894, Nyack, NY 10960

TOWN LAW SECTION 280-A: REQUIREMENTS AND REMEDIES

Section 280-a is an important—yet frequently misunderstood—section within Article 16 [Zoning and Planning] of the Town Law of the State of New York. The section attempts to tie together, insofar as roadways are concerned, the jurisdiction of the building inspector (no building permits may be issued unless the requirements of the section are satisfied), the town board (possessed of the authority to establish town road and private road specifications) and the planning board (charged⁸ with ensuring that roads within subdivisions are adequate to accommodate prospective traffic).

Unfortunately, Section 280-a is a cumbersome and difficult section of law. Its restrictive terms address only the issuance of building permits, yet the section has great importance in the context of subdivision and site plan review as well. Section 280-a announces that its requirements must be met before a building permit may be issued. However, it also provides two potential forms of relief—a 280-a *variance* [subdivision “3”] and creation of an *open development area* [subdivision “4”]—when those requirements are not, or cannot be, met. The variance relief provision pulls in the zoning board of appeals and the open development area provision pulls in both the planning board and town board.

Some planning boards routinely send every applicant proposing a private road in his subdivision to the zoning board of appeals in order to obtain a “280-a variance” due to the private road nature of the application. Is this what Section 280-a requires? If not, when is such a variance required? To answer this question—indeed, to understand Section 280-a at all—it makes sense to begin with the spectrum-like concepts of public roads, private roads, easements and rights-of-way.

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PUBLIC V. PRIVATE ROADWAY

There is no requirement in the Town Law of the State of New York that roadways in subdivisions be town highways. The phrase, *town highway* means a roadway offered for dedication to the town and, after acceptance, controlled and maintained by the town as a town road. Section 277 (2)(a) of the Town Law does, however, direct that a planning board must ensure that “the streets and highways [in a subdivision] be of sufficient width and suitable grade and [that such roadways shall be suitably located to accommodate the prospective traffic, to afford adequate light and air, to facilitate fire protection, and to provide access of fire fighting equipment to buildings.”

Most local zoning codes echo the approach taken by Section 277, providing that roads *may* be offered for dedication as town roads but not requiring such dedication. A zoning law *requiring* dedication of roadways is not authorized by Section 277 and likely accomplishes a taking of property under the Fifth Amendment to the United States Constitution.⁹ Consistent with this approach, many towns promulgate a hierarchy of road specifications, often providing a less onerous specification for (presumptively less used) private roads. As an example, the zoning chapter in the Town of Monroe (Orange County) code provides, “[i]n the event that any roads are not offered for dedication or are not accepted by the town, [that] suitable legal agreements satisfactory to the Town Board shall be required....” and further provides two tiers for right-of-way widths: 30 feet “for any street not dedicated to the Town of Monroe,” and 50 feet for “[a]ny street dedicated to the Town of Monroe.”

What then is a private road? The term is not defined (or even mentioned) in Section 280-a. A private road is, however, generally understood to be a roadway shown as a road or street on a filed map providing access to lots within a subdivision, which road or street will not be owned or controlled by a municipality. Typically, the owners of properties abutting a private road own to

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the centerline of that road. A defined strip of that privately owned land at a width sufficient to provide a travelled-way then straddles that line. Within this strip, the roadway itself is constructed. Each owner of property fronting the private road has the right to use the road to access his property. As more fully explained below, utilization of a private road as just described does not itself require relief under Section 280-a of the Town Law of the State of New York; either under the variance provisions of subdivision "3" or under the open development area provisions of subdivision "4."

EASEMENTS AND RIGHTS-OF-WAY

Easements, in the most generic sense, are rights granted to someone to use land that they do not own. A common easement is an access easement, often called a right-of-way.¹⁰ The important concept here is that one having rights under an easement is permitted to use someone else's land for his own purpose. This is, of course, also true of a private road. However, there is an important distinction between a private road and a generic access easement of which a private road is a subclass. While the easement rights are generally recorded in either case, private easements are not shown as streets or roads on subdivision maps filed with the county clerk. Private roads are. Thus, a right-of-way is quite different from a private road, one of the essential characteristics of which is depiction as a roadway on a filed map.

TOWN LAW 280-A ACCESS

Enough background. Now to the issues. What is a 280-a variance? What is an open development area? When is a 280-a variance required? When can one be granted? When is 280-a variance relief unavailable? Under what circumstances must an open development area be created before a lot may receive a building permit?

Status of Roadway

Town Law §280-a is, as noted already, a cumbersome and difficult section of law. The section prohibits issuance of a permit for the erection of a building on any lot in a town unless two requirements are met. First, the street or highway giving access to such proposed building must possess a certain formal status. This first requirement can be satisfied in one of two ways (with the second way having several variations). The first method is direct and simple. If the roadway giving access to the proposed building is a street duly placed on the official map or plan of the town, the requirement of formal status is fully satisfied [§280-a (1)]. If, however, the town has no official plan or map, then the requirement of formal status can only be satisfied under the second method.

Under this method, acceptable roadway status will exist only if:

- such street or highway is an existing state, county or town highway [§280-a (1)(a)], or if
- such street is one shown upon a plat approved by the planning board as provided in sections two hundred seventy-six and two hundred seventy-seven of [the Town Law], as in effect at the time such plat was approved [§280-a (1)(b)], or if
- such street is one shown on a plat duly filed and recorded in the office of the county clerk or register prior to the appointment of such planning board and the grant to such board of the power to approve plats [§280-a (1)(c)].

Note that we look to the bullets above only if the town has no official map. For modern subdivision approvals, this *only-if* rule matters little, for Town Law Section 279 [Subdivision review; record of plats] says, in subparagraph “3” [Effect of filing], that “[a]fter such plat is approved and filed, the streets, highways and parks shown on such plat shall be and become a part of the official map or plan of the town.” While some read “such plat” more broadly as including ancient plats (ones that predate planning boards), such a reading is of doubtful validity. Thus, in a town that has an official plan and map, a roadway shown on an ancient plat but not on that official map, does not satisfy the

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formality requirement of Section 280-a. This may mandate creation of an open development under 280-a (4) before a building permit may be issued for a structure on such roadway.

Suitably Improved

Section 280-a ties issuance of a building permit to satisfaction of a second requirement as well. Subdivision “2” directs that, before a building permit may be issued, the road providing access shall be *suitably* improved. This requirement is satisfied in one of two ways: either by improving the road to a specification set by the town board [§280-a (2)] or, at the permit-seeker’s election, by appealing to the zoning board of appeals [§280-a (3)] for an area variance allowing access from a roadway not satisfying the town road specification. The extent of roadway improvement required is the level of improvement sufficient—in the judgment of the zoning board of appeals— “to allow the ingress and egress of fire trucks, ambulances, police cars and other emergency vehicles.” [§280-a (5)]. An application for such relief to the zoning board of appeals constitutes an application for an area variance. While it is difficult to fit the review of an application for a §280-a (3) variance into the five-factor area variance analysis of Town Law Section 267-b (3), it is clear that a §280-a (3) variance is an area variance subject to that section¹¹ and, presumably, to the mandate that the zoning board articulates an appropriate five-factor balancing analysis supporting its decision.

Requirements Applied Together

What does all that mean? As noted, before a building permit may be issued, two requirements must be satisfied: (1) it must be demonstrated that the road providing access to the lot upon which construction is proposed is possessed of a certain formal status, and (2) the roadway must be *suitably* improved.¹² Both requirements must be satisfied before a building permit may be issued. It

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is irrelevant whether the street providing access has been dedicated or whether any such offer has been accepted by the town.¹³ Nor is it necessary that the applicant own¹⁴ the roadbed in question. Indeed, this will rarely be the case, for the intent of Section 280-a is to grant the town the authority to command improvements on property not owned¹⁵ by the applicant.

This is not to say that demonstration of a right of access across the roadbed is not an issue. Clearly it is. However, where a property owner takes title to property by reference to a lot shown on a filed map and that that lot abuts a street shown on that map, the law gives to that lot owner (indeed, to each such lot owner) the right to utilize that street for the purpose of ingress and egress to his property.¹⁶

Thus, if the roadway providing access satisfies the formal status requirement and is also improved to the appropriate road specification (i.e., the town road specification for a town road and the private road specification for a private road), then both requirements of Section 280-a are satisfied and a building permit may be issued. If the roadway, although satisfying the status requirement, does not meet the appropriate road specification requirement, a 280-a variance will then be required. As noted, the suitability of improvement determination to be made by the zoning board is governed by a test of adequacy of emergency vehicle access as defined in §280-a (5).

Roadway Providing Actual Access: Frontage Not Sufficient

It is important to note that the "roadway providing access" in both requirements outlined above must be the roadway that will actually provide access; Section 280-a focuses on the status and adequacy of the access proposed to actually be used, not merely on the roadway onto which the property fronts. Therefore, a property that has frontage on a fully improved, well-maintained town road must still satisfy the requirements of Section 280-a (or obtain a variance modifying the suitability of improvement requirement) if the access the

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owner of that property intends to use is through another roadway of qualifying status but unsuitable condition.¹⁷

Failure to Satisfy the Formal Roadway Status Requirement

As noted already, a zoning board of appeals may give relief from the second requirement (by fixing the suitable level of improvement of the roadway). Does the zoning board also have the authority to vary the first requirement of qualifying roadway status? Section 280-a (3)(a) suggests, although the language is not at all clear, that it *might* have that authority. Section 280-a (3) reads, in pertinent part, as follows:

3. The applicant for such a permit may appeal from the decision of the administrative officer having charge of the issue of permits to the board of appeals or other similar board... having the power to make variances or exceptions in zoning regulations for: (a) an exception if the circumstances of the case do not require the structure to be related to existing or proposed streets or highways, and/or (b) an area variance pursuant to section two hundred sixty-seven-b of this chapter, and the same provisions are hereby applied to such appeals and to such board as are provided in cases of appeals on zoning regulations. The board may in passing on such appeal make any reasonable exception and issue the permit subject to conditions that will protect any future street or highway layout...

Does the grant of authority to the zoning board to “make... an *exception* if the circumstances of the case do not require the structure to be *related to* existing proposed streets or highways” [280-a (3), emphasis added] give the zoning board the authority to relieve an applicant from the requirement that the roadway providing access to a proposed structure be possessed of the required formality? Or is this phrase intended instead to provide additional criteria by which a zoning board should decide whether the level of improvement of a proposed access is *suitable under the circumstances*? There is little law on this

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issue but, based upon what law there is, it appears that the courts view this language as providing criteria for suitable access determinations, and not as a separate grant of authority to forgive the roadway status requirement.¹⁸ It is thus the rule that when the roadway in question does not satisfy the status requirement of Section 280-a, no building permit may be issued for any structure on that property. Is any relief available to the property owner in such circumstances?

OPEN DEVELOPMENT AREAS

The creation of an open development area¹⁹ under Section 280-a (4) allows issuance of building permits for homes on lots that obtain their access by an easement or right-of-way not shown on a filed map rather than by means of a road of the status required by Section 280-a (1). Absent creation of an open development area, the owner of a lot obtaining access by means of a non-qualifying access-way could not (as noted already) obtain a building permit because the first requirement of Section 280-a is not satisfied. It is important to understand this essential difference between 280-a (3) relief [issuance of a variance on condition that a roadway be suitability improved] and 280-a (4) relief [open development area authorization]. The focus is not on whether the access-way is public versus private.²⁰ Instead, the focus is on whether the proposed access-way is a roadway of the requisite status versus an easement or right-of-way that fails to satisfy that roadway status requirement.

What then are the procedural requirements for creation of an open development area? Town Law Section 280-a (4) [which allows the creation of open development areas] requires that the town board seek the *advice* of the planning board before establishing an open development area. The section sets no time period for the planning board to give such advice other than "a reasonable time to report." Here is the full subparagraph:

4. The town board may, by resolution, establish an open

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development area or areas within the town, wherein permits may be issued for the erection of structures to which access is given by right of way or easement, upon such conditions and subject to such limitations as may be prescribed by general or special rule of the planning board, if one exists, or of the town board if a planning board does not exist. If a planning board exists in such town, the town board, before establishing any such open development area or areas, shall refer the matter to such planning board for its advice and shall allow such planning board a reasonable time to report.

What should be the content of the planning board's advisory report? The statute provides no particulars. However, because the purpose of Section 280-a is to insure that provision is made for suitable access to land before a building permit is issued, suitability of access will often be the primary focus of the planning board's report. How many lots will be served? Is the easement access proposed of sufficient width and suitable grade? Can it accommodate the traffic anticipated to use it? Can emergency services personnel obtain access to the building or buildings to be constructed? How many lots can the roadway serve? The planning board may also look to the town's comprehensive development plan to see if it offers any guidance.

The planning board is additionally given the authority, under authority of Section 280-a (4), to promulgate "general or special rule[s]" setting "conditions" and "limitations" on the creation and design of open development areas within the town. These rules may presumably, be promulgated in advance in the generic sense ("general" rules) or upon the specific application referred to the planning board ("special" rules) for that particular open development area.

The planning board is bound by Town Law Section 280-a (4) to provide the town board with its advice upon referral; deliver of its "advice" is not optional. Because some of the issues the planning board will likely face will touch upon an examination of the land in question and the nature of the easement itself, the planning board may wish to have the assistance of an engineer or planner in

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July 31, 2023

Planning Board
Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962

Re: 7 Berachah Avenue, South Nyack, NY
College Avenue adjacent to Tax Map Section 66.61-1-19.2
Formerly part of Tax Map Section 125 Block 1209 lot 6.1
Owner: Robert M. Fisher
Our Title No. 37713 JAD

To Whom It May Concern

Please be advised we have performed a search for ownership of "College Avenue", formerly known as Chase Avenue, portions also known as Central Avenue, as same lies adjacent to the referenced Tax Lot.

College Avenue is shown on several old filed maps, in particular, Map entitled "J. Eckerson Demarest, Property of Nyack Heights Incorporated" filed in the Rockland County Clerk's Office on January 26, 1906, as Map No. 21C and Map entitled "Map of Nyack Heights, South Nyack, New York" filed in the Rockland County Clerk's Office on July 14, 1915 as Map No. 947 A.

College Avenue is also shown on Map entitled "Minor Subdivision for Christian Missionary Alliance" filed in the Rockland County Clerk's Office on January 13, 1985 as Map No. 5843; Map entitled "Subdivision for Owen Bangs" filed in the Rockland County Clerk's Office on October 22, 2009 as Map No. 7469 and Map entitled "Major Subdivision Lands of Dansome, L.L.C. filed in the Rockland County Clerk's Office on June 22, 2005 as Map No. 7769. Copies of referenced Maps are attached.

Map No. 7769 (Dansome) delineates a small portion of College Avenue/Central Avenue, which is adjacent to Mr. Fisher's property, as "to be gratuitously dedicated to the Village of South Nyack". An Irrevocable Offer of Dedication to the Village of South Nyack, which included same, was recorded in the Rockland County Clerk's Office on under Instrument No. 2005-34858. We were unable to locate a subsequent recorded Deed to the former Village for same. However, the 'to be dedicated' parcel is *excluded* from discussion below.

- continued -

Page 2

Continued...

We have found no conveyance of the remaining portion of College Avenue adjacent to Mr. Fisher's premises, to the Village of South Nyack, the Town of Orangetown or any other municipality, from the late 1800's to date.

Accordingly, we conclude that the bed of said portion of College Avenue is *privately* owned.

In addition, we find no specific conveyance of said portion of College Avenue to any individual or entity from any owner in the chain of title from the filing of earliest maps referenced above, to date.

Accordingly, we conclude, that said portion of the bed of College Avenue, is owned by the adjacent owners, on either side of the private road, to the centerline thereof. The ownership of same is subject to easement rights of other adjacent owners, and *possible* easement rights of the public over same. Any rights of the public would be based on prior use or maintenance, if any.

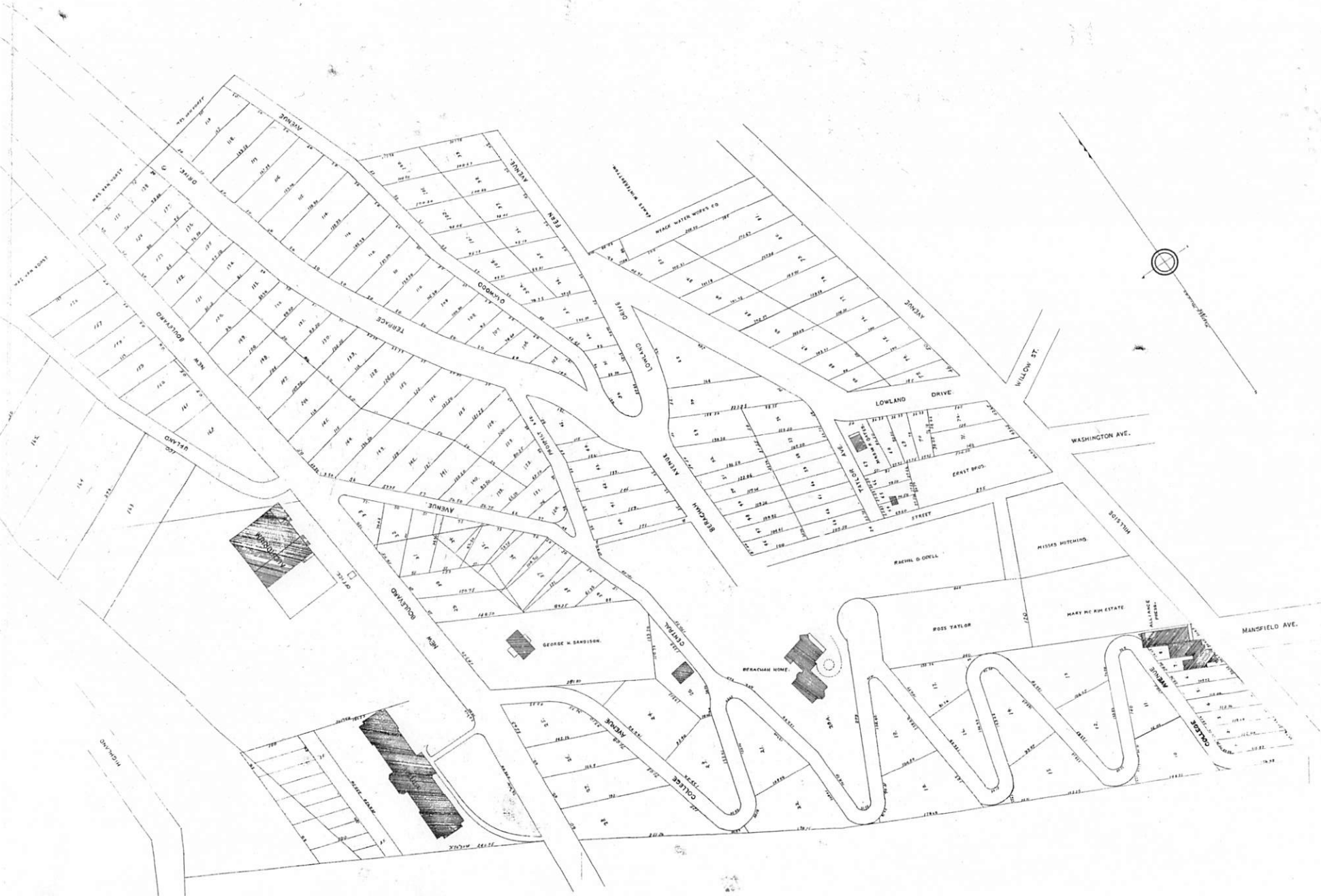
If you have any questions, please do not hesitate to contact

Very truly yours,

Bridget M. Casey

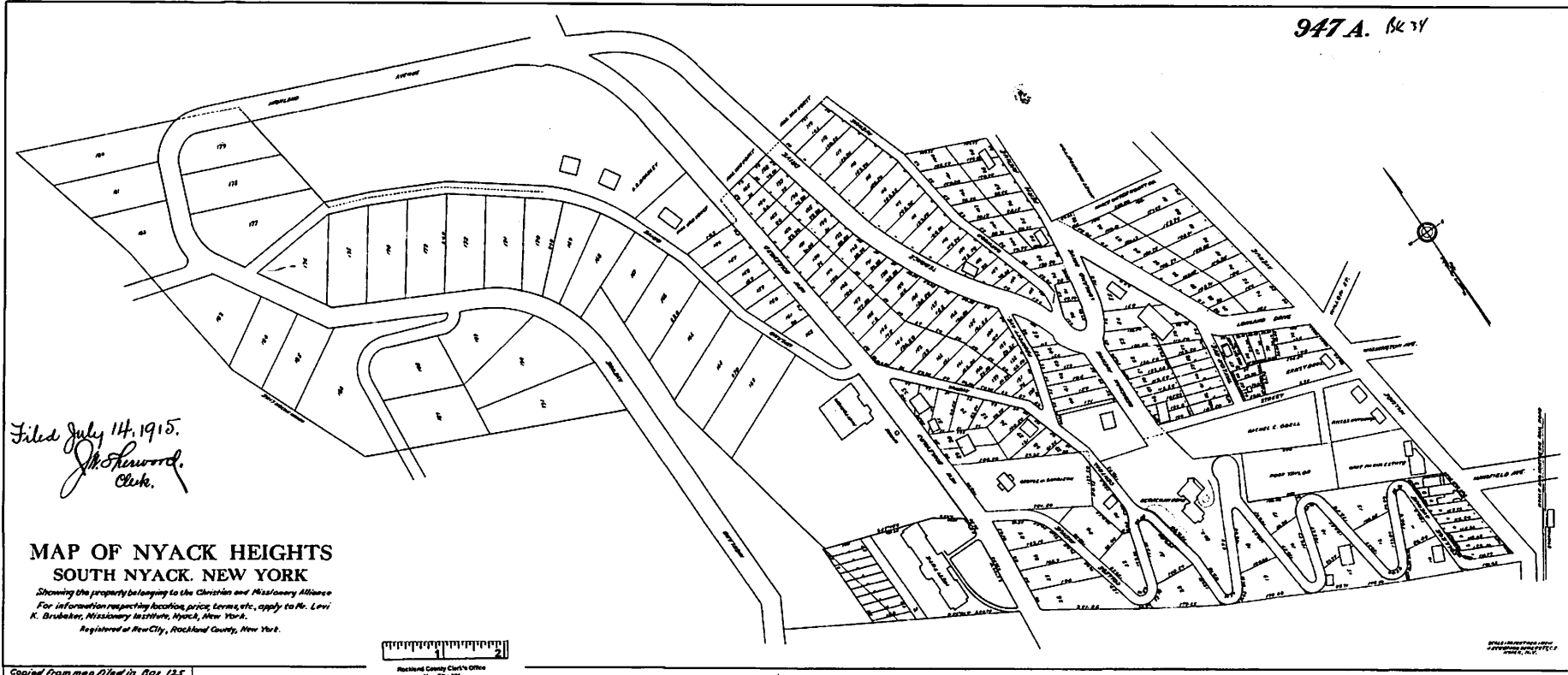
BMC/nlf

cc: Robert M. Fisher
Attachments



1914 AND 1915
STATION
COAST STREET

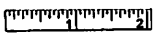
947 A. BK 34



Filed July 14, 1915.
J. H. Sherwood.
 Clerk.

**MAP OF NYACK HEIGHTS
 SOUTH NYACK, NEW YORK**

Showing the property belonging to the Christian and Missionary Alliance
 For information respecting location, price, terms, etc., apply to Mr. Levi
 K. Brubaker, Missionary Institute, Nyack, New York.
 Registered at New City, Rockland County, New York.



Rockland County Clerk's Office
 New City, NY

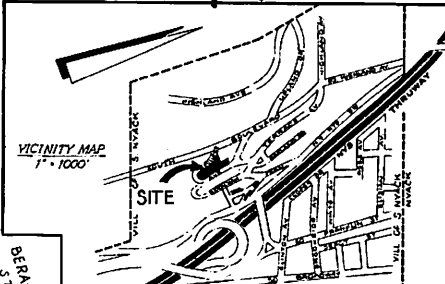
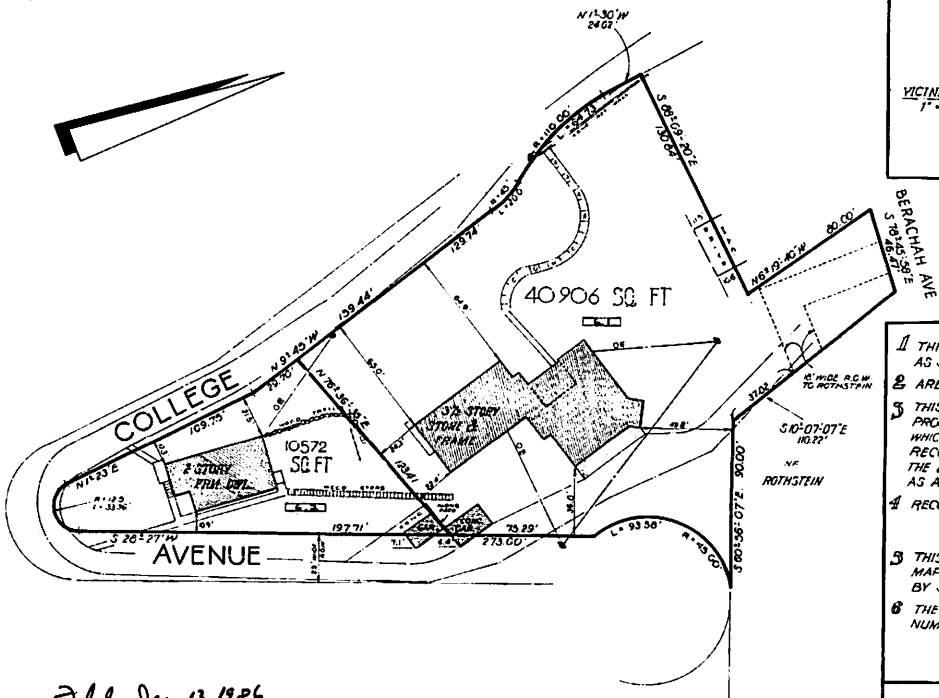
Copied from map filed in Box 125
 by J. H. Enters, Dec. 26, 1940.

WILLIAMSON & CO.
 ENGINEERS & ARCHITECTS
 NEW YORK, N.Y.

REFERENCE

MAP OF A PORTION OF NYACK HEIGHTS
LAND AND IMPROVEMENT COMPANY,
SOUTH NYACK, NY

MAP 5843 BK 104 P 75



NOTES

- 1 THIS IS A SUBDIVISION OF LOT 6, BLOCK 1209, SECTION 125 AS SHOWN ON THE TOWN OF GRANGETOWN TAX MAP
- 2 AREA OF TRACT: 51,476 SQ. FT. - 1.1819 ACRES
- 3 THIS SUBDIVISION IS BASED ON A SURVEY BY FRED D. HAY, PE PROFESSIONAL ENGINEER AND SURVEYOR DATED 12-1859/11-1980 WHICH IS PART OF THE VILLAGE OF SOUTH NYACK OFFICIAL RECORD WHICH SHOWS THE SAME DIVISION LINE BETWEEN THE 2 STORY FRAME DWELLING AND BERACHAH HALL, AS APPLICANT SHOWS ON THIS SUBDIVISION MAP
- 4 RECORD OWNER: CHRISTIAN MISSIONARY ALLIANCE NYACK, NEW YORK 10960
- 5 THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 K OF THE GENERAL MUNICIPAL LAW
- 6 THE INDIVIDUAL LOTS ARE DESIGNATED WITH THE TAX LOT NUMBER SHOWN THUS: [Symbol]

MINOR SUBDIVISION FOR
THE CHRISTIAN MISSIONARY ALLIANCE

VILL OF S. NYACK, TOWN OF GRANGETOWN, ROCK CO. NY

William Youngblood Associates 1653
Engineers, Surveyors and Land Planners
244 Route 99, Monsey, N.Y. 10952

FILE NO.	1653
DATE	DEC 19, 83
SCALE	1" = 40'
SHEET NO.	1

Filed Jan 13, 1984
Rockland Court Clerk's Office
Joseph R. Hilland, Clerk
By: J. James Small, Deputy

DATE	
DATE	
DATE	

APPROVED FOR FILING
1/12/84
by *Richard C. [Signature]* Jan 7, 84
OWNER DATE
Richard C. [Signature] Jan 7, 84
PLANNING BOARD CHAIRMAN DATE

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 2809(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID.

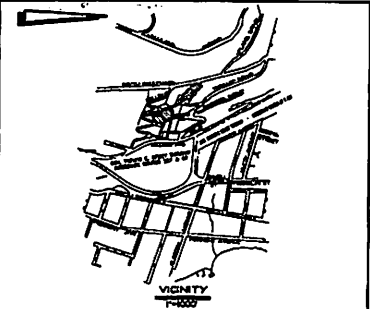
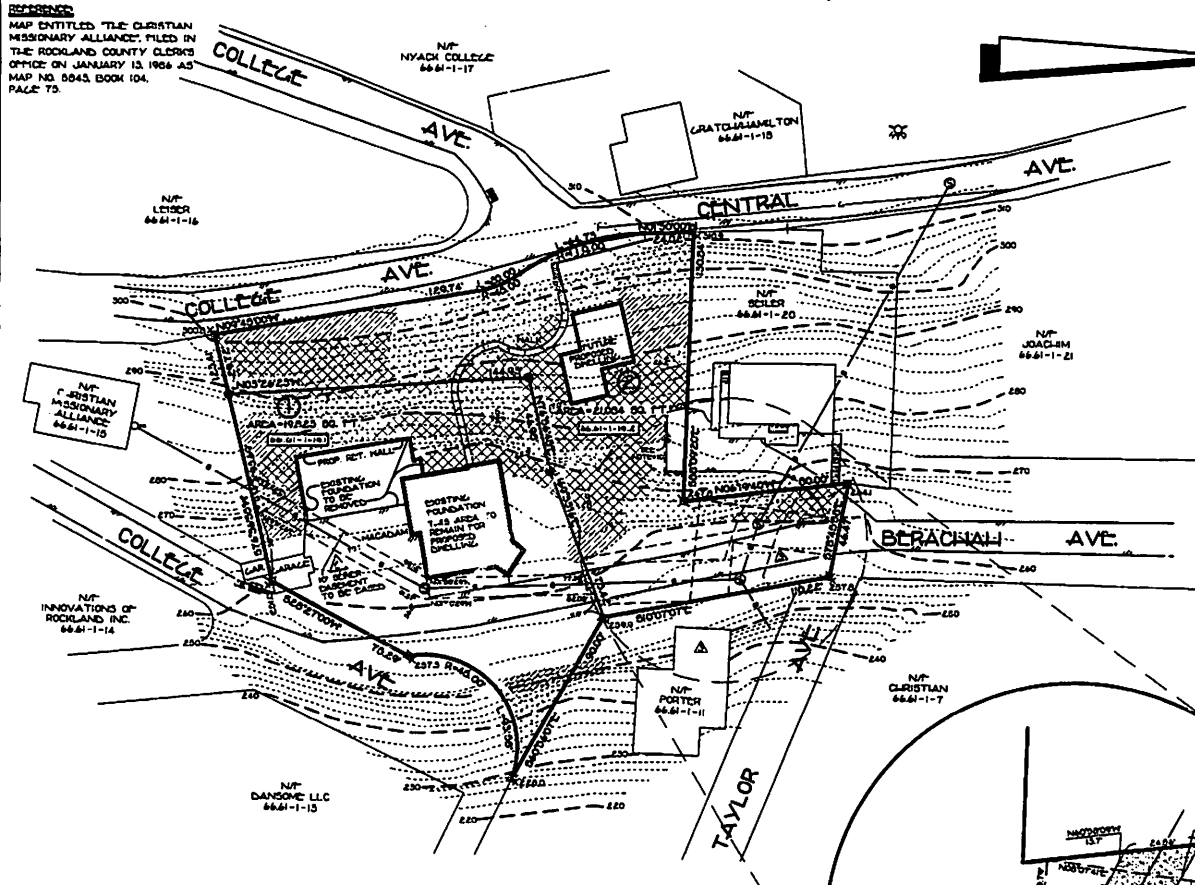
William Youngblood
WILLIAM YOUNGBLOOD P.E.S. #40178

ROCKLAND COUNTY RECORDS CENTER 34581
12/12/2003
SUBMAP 5843/BK104/P75
12416
1410
01-03-02-00

MAP # 7469 BK 122 PG 1

REFERENCE
 MAP ENTITLED "THE CHRISTIAN
 RESERVATORY ALLIANCE" FILED IN
 THE ROCKLAND COUNTY CLERK'S
 OFFICE ON JANUARY 13, 1998 AS
 MAP NO. 6043 BOOK 104,
 PAGE 75.

NOTES CONTINUED
 20. OTHER LINE SPECIFICATIONS NOT AVAILABLE.
 21. ET. LOT #2 MUST ACHIEVE 25% NET RUNOFF WHEN A
 BUILDING PERMIT IS GRANTED FOR THE ADDITIONAL
 RUNOFF FROM PROPOSED ROOF & PAVEMENT AREAS.
 22. SEE SEPARATE PLAN FOR TREES ON LOTS.



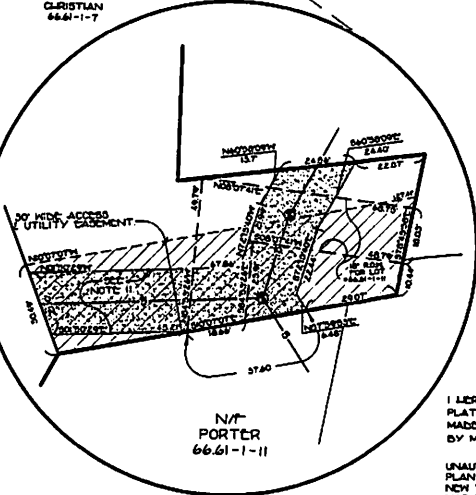
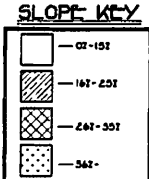
- NOTES:**
- THIS IS A SUBDIVISION OF LOT 19, SECTION 66&M, BLOCK 1 & 2 SHOWN ON THE TOWN OF ORANGETOWN TAX MAP.
 - AREA OF TRACT = 40977 S.F.
 - ZONE = RG-5
 - DATUM = USGS - 1983 BENCH MARK ORANGETOWN CENTER
 - NAME OF LOTS 1 & 2
 - LOT DRAINAGE SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
 - NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY DEPARTMENT OF HEALTH AND THE VILLAGE OF SOUTH NYACK.
 - NO BUILDING PERMIT WILL BE ISSUED FOR ANY LOT UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPARTMENT.
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 2306 OF THE GENERAL MINERAL LAW OF THE STATE OF NEW YORK.
 - EASEMENT TO BE PROVIDED TO TAX LOT #66&M-11-20.
 - EASEMENT ADDRESS PROPOSED LOT 2 FOR SANITARY SEWER, GARBAGE AND OTHER UTILITIES AND ACCESS TO BENEFIT LOT #1 AND FOR VILLAGE OF SOUTH NYACK FOR MAINTENANCE & REPAIR OF SANITARY SEWERS.
 - NO PERCOLATION TEST PERFORMED AS OTHERS ARE AVAILABLE.
 - MINORMENTS TO BE SET AT LOCATIONS MARKED WITH THE SYMBOL III.
 - THE INDIVIDUAL LOTS ARE DESIGNATED WITH THE TAX LOT DESIGNATION [SYMBOL].
 - ALL PROPERTY CORNERS ARE TO BE MARKED WITH 3/4" IRON PIPES.
 - LOT #2 TO HAVE UNDERGROUND ELECTRIC IN 2" CONDUIT.
 - HOUSE SEWER TO HAVE A 2% MINIMUM SLOPE.
 - HOUSE WATER & OTHER LINES TO HAVE 10' MINIMUM SEPARATIONS.
 - SOIL EROSION PLAN TO BE PROVIDED PRIOR TO SITE CLEARING.

LEGEND

EXISTING	PROPOSED	ITEMS
---	---	SANITARY SEWER LINE
---	---	WATER MAIN
---	---	OVERHEAD ELECTRIC
---	---	CONDUIT LINE
---	---	BANK SEWER MANHOLE
---	---	CATCH BASIN
---	---	UTILITY POLE
---	---	CLEAN OUT
---	---	EDGE OF PAVEMENT
---	---	SPOT ELEVATIONS
---	---	LYDRIANT
---	---	IRON PIPE

BULK TABLE

RG-5	MINIMUM AREA	STREET FRONT	MAX LOT COV.	BULK LIT.	FRONT YARD	SIDE/REAR TOTAL	REAR YARD
REQD.	10000	100	50%	30	30	15/30	22
LOT 1	14,992	168.59	30%	30	36.5	22.5/93	59
LOT 2	13,977	230.49	30%	30	30	17/45	105



AREA ANALYSIS

CHGSS LOT AREA	LOT AREA	LOT AREA SLOPE 0-15%	LOT AREA SLOPE 16-25%	LOT AREA SLOPE 26-35%	LOT AREA SLOPE 36%+	TOTAL ZONING SQ. FEET
LOT 1	14,925	12,821	1,062	2,539	3,561	14,992
LOT 2	21,084	9,029	2,378	2,210	713	13,977
TOTAL	40,907	21,850	3,407	9,264	813	28,969

MAP FILED 10-22-2001
 ROCKLAND COUNTY CLERK'S OFFICE
 EDWARD GORMAN, County Clerk

By Deputy: *[Signature]*

I HEREBY CERTIFY THAT THIS SUBDIVISION
 PLAN WAS PREPARED BY ME AND HAS
 BEEN MADE FROM AN ACTUAL SURVEY COMPLETED
 BY ME ON JANUARY 13, 1998.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS
 PLAN IS A VIOLATION OF SECTION 7208(2) OF THE
 NEW YORK STATE EDUCATION LAW. COPIES OF THIS
 MAP NOT HAVING THE SEAL OF THE SURVEYOR
 OR ENGINEER SHALL BE INVALID.

WILLIAM H. YOUNGBLOOD, INC. P.C. #40178 Q

REVISIONS

- REVISED 2/20/01 - BULK TABLE
- REVISED 2/20/01 - W/ RIGHT
- REVISED 2/20/01 - BULK TABLE
- REVISED 2/20/01 - BULK TABLE
- REVISED 2/20/01 - BULK TABLE
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- REVISED 2/20/01 - BULK TABLE
- REVISED 2/20/01 - BULK TABLE
- REVISED 2/20/01 - BULK TABLE

APPROVED
 Date: 9/19/01
[Signature]
 VILLAGE OF SOUTH NYACK

SECTION 66&M, BLOCK 1, LOT 19

SUBDIVISION
OWEN BANKS
 LOCATED IN VILLAGE OF SOUTH NYACK
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

GRAPHIC SCALE

William Youngblood Associates
 Engineers, Surveyors and Land Planners
 304 Route 58, Monsey, New York 10952

Metes & Bounds Checked

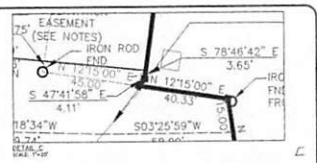
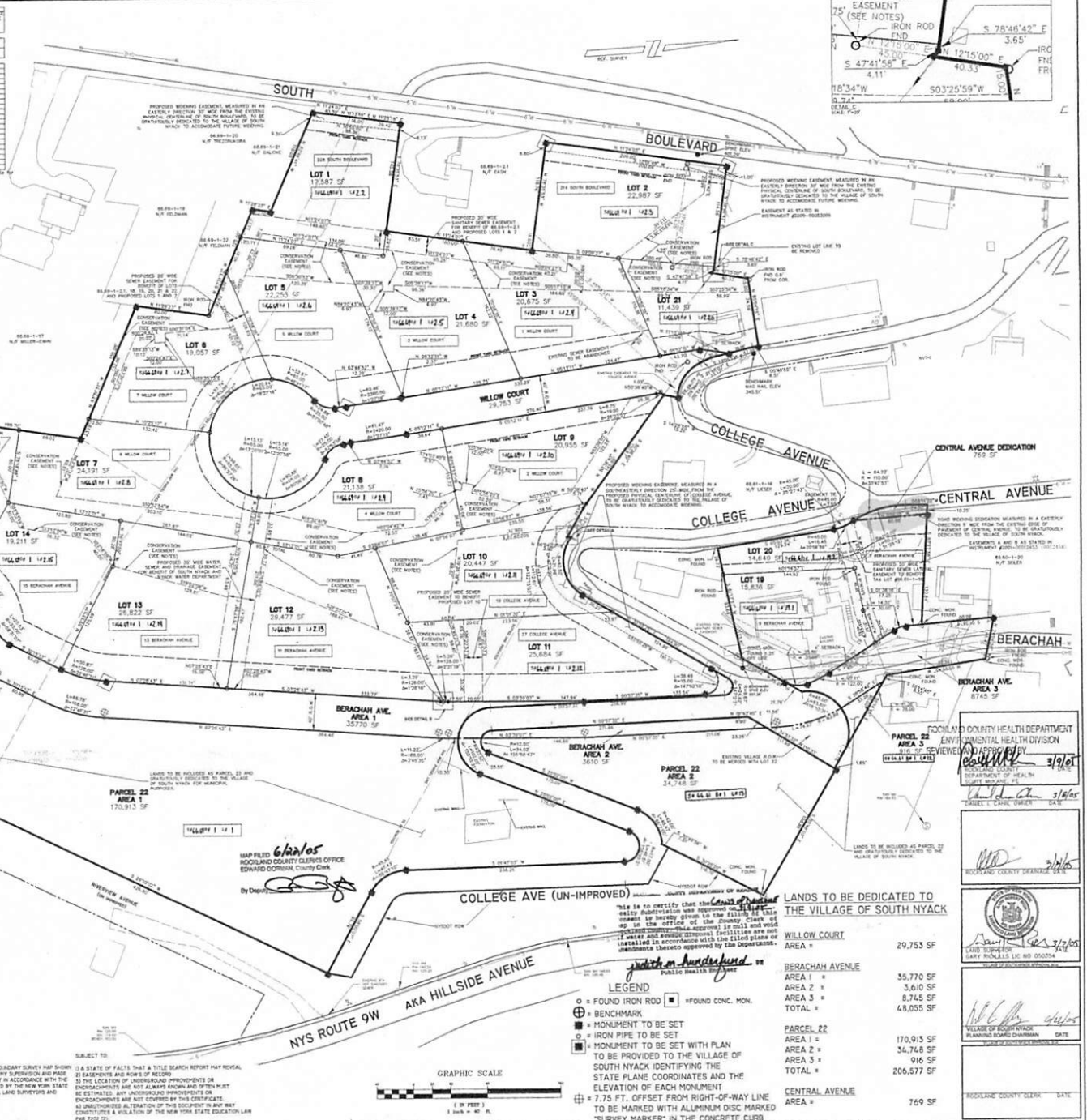
DATE: 9/19/01

SCALE: 1"=50'

M 7769 B 125 P 8

PLOT NO.	AREA 1				AREA 2				AREA 3			
	AREA	SQ. FT.	PERCENT	ACRES	AREA	SQ. FT.	PERCENT	ACRES	AREA	SQ. FT.	PERCENT	ACRES
1	17,567	0.40	9.16	17	17,567	0.40	9.16	17	17,567	0.40	9.16	
2	22,387	0.51	11.63	22	22,387	0.51	11.63	22	22,387	0.51	11.63	
3	20,675	0.47	10.64	23	20,675	0.47	10.64	23	20,675	0.47	10.64	
4	21,630	0.49	11.12	24	21,630	0.49	11.12	24	21,630	0.49	11.12	
5	22,253	0.50	11.38	25	22,253	0.50	11.38	25	22,253	0.50	11.38	
6	19,057	0.43	10.15	26	19,057	0.43	10.15	26	19,057	0.43	10.15	
7	24,131	0.55	12.40	27	24,131	0.55	12.40	27	24,131	0.55	12.40	
8	21,139	0.48	10.76	28	21,139	0.48	10.76	28	21,139	0.48	10.76	
9	29,753	0.68	15.42	29	29,753	0.68	15.42	29	29,753	0.68	15.42	
10	20,447	0.46	10.43	30	20,447	0.46	10.43	30	20,447	0.46	10.43	
11	25,638	0.58	12.93	31	25,638	0.58	12.93	31	25,638	0.58	12.93	
12	24,877	0.56	12.63	32	24,877	0.56	12.63	32	24,877	0.56	12.63	
13	26,822	0.61	13.91	33	26,822	0.61	13.91	33	26,822	0.61	13.91	
14	24,131	0.55	12.40	34	24,131	0.55	12.40	34	24,131	0.55	12.40	
15	24,131	0.55	12.40	35	24,131	0.55	12.40	35	24,131	0.55	12.40	
16	24,131	0.55	12.40	36	24,131	0.55	12.40	36	24,131	0.55	12.40	
17	24,131	0.55	12.40	37	24,131	0.55	12.40	37	24,131	0.55	12.40	
18	18,221	0.41	9.27	38	18,221	0.41	9.27	38	18,221	0.41	9.27	
19	12,836	0.29	6.53	39	12,836	0.29	6.53	39	12,836	0.29	6.53	
20	14,843	0.33	7.42	40	14,843	0.33	7.42	40	14,843	0.33	7.42	
21	11,433	0.26	5.90	41	11,433	0.26	5.90	41	11,433	0.26	5.90	
22	17,013	0.38	8.50	42	17,013	0.38	8.50	42	17,013	0.38	8.50	

THE PROPOSED MONUMENTS SHOWN ON THIS PLAN ARE TO BE PLACED AT THE INTERSECTION OF THE PROPOSED MONUMENTS SHOWN ON THIS PLAN WITH THE EXISTING MONUMENTS SHOWN ON THIS PLAN.



DESCRIPTION OF CONSERVATION EASEMENTS TO BE GRANTED TO THE VILLAGE OF SOUTH NYACK

- TO PRESERVE THE WILSON WOODS CONSERVATION EASEMENT.
- TO PRESERVE THE TURTLE CREEK CONSERVATION EASEMENT.
- TO PRESERVE THE SUNNYVALE CONSERVATION EASEMENT.

NOTES:

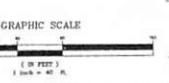
- SHEETS 1 AND 2 ARE FILED AT THE ROCKLAND COUNTY CLERK'S OFFICE AND ARE PART OF THE ENTIRE PLAN SET FOR THE SUBDIVISION.
- THE ENTIRE PLAN SET IS ON FILE AT THE SOUTH NYACK VILLAGE HALL, 230 SOUTH BRISWANG WAY, SOUTH NYACK, NY 10986.
- THIS SUBDIVISION IS SUBJECT TO ALL NOTICES AND REQUIREMENTS IDENTIFIED WITHIN THE INITIAL PLAN SET ON FILE AT THE SOUTH NYACK VILLAGE HALL.

SUBSCRIBER CERTIFICATION:

I HEREBY CERTIFY THAT THE BOUNDARY SURVEY MAP SHOWN HEREON WAS PREPARED UNDER MY SUPERVISION AND MADE FROM AN ACTUAL FIELD SURVEY IN ACCORDANCE WITH THE CODE OF PRACTICE ESTABLISHED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS AND COMPLETED FEBRUARY 2, 2023.

STATE OF FACTS THAT A TITLE SEARCH REVEAL:

- A STATE OF FACTS THAT A TITLE SEARCH REVEAL...
- ENCUMBRANCES AND BOUNDS OF RECORD...
- THE LOCATION OF UNDERGROUND ENCUMBRANCES OR ENCUMBRANCES ARE NOT ALWAYS KNOWN AND OPEN MUST BE ESTABLISHED...
- ENCUMBRANCES ARE NOT COVERED BY THIS CERTIFICATE...



- LEGEND**
- FOUND IRON ROD
 - FOUND CONC. MON.
 - BENCHMARK
 - MONUMENT TO BE SET
 - ⊕ IRON PIPE TO BE SET
 - ⊖ MONUMENT TO BE SET WITH PLAN TO BE PROVIDED TO THE VILLAGE OF SOUTH NYACK IDENTIFYING THE STATE PLANE COORDINATES AND ELEVATION OF EACH MONUMENT
 - ⊕ 7.75 FT. OFFSET FROM RIGHT-OF-WAY LINE TO BE MARKED WITH ALUMINUM DISC MARKED 'SURVEY MARKER' IN THE CONCRETE CURB

LANDS TO BE DEDICATED TO THE VILLAGE OF SOUTH NYACK

WILLOW COURT AREA =	29,753 SF
BERACHAH AVENUE AREA 1 =	35,770 SF
AREA 2 =	3,610 SF
AREA 3 =	8,745 SF
TOTAL =	48,085 SF
PARCEL 22 AREA 1 =	170,913 SF
AREA 2 =	34,748 SF
AREA 3 =	916 SF
TOTAL =	206,577 SF
CENTRAL AVENUE AREA =	769 SF

ROCKLAND COUNTY HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH DIVISION
3/9/23

3/16/23

ROCKLAND COUNTY CLERK

NO.	DATE	DESCRIPTION	DATE	NO.	DATE	DESCRIPTION
1	02-03-23	REVISOR TO COMPLY WITH CONDITIONS		11	02-03-23	REVISOR TO COMPLY WITH CONDITIONS
2	02-03-23	REVISOR TO COMPLY WITH CONDITIONS		12	02-03-23	REVISOR TO COMPLY WITH CONDITIONS
3	02-03-23	REVISOR TO COMPLY WITH CONDITIONS		13	02-03-23	REVISOR TO COMPLY WITH CONDITIONS
4	02-03-23	REVISOR TO COMPLY WITH CONDITIONS		14	02-03-23	REVISOR TO COMPLY WITH CONDITIONS
5	02-03-23	REVISOR TO COMPLY WITH CONDITIONS		15	02-03-23	REVISOR TO COMPLY WITH CONDITIONS
6	02-03-23	REVISOR TO COMPLY WITH CONDITIONS		16	02-03-23	REVISOR TO COMPLY WITH CONDITIONS
7	02-03-23	REVISOR TO COMPLY WITH CONDITIONS		17	02-03-23	REVISOR TO COMPLY WITH CONDITIONS
8	02-03-23	REVISOR TO COMPLY WITH CONDITIONS		18	02-03-23	REVISOR TO COMPLY WITH CONDITIONS
9	02-03-23	REVISOR TO COMPLY WITH CONDITIONS		19	02-03-23	REVISOR TO COMPLY WITH CONDITIONS
10	02-03-23	REVISOR TO COMPLY WITH CONDITIONS		20	02-03-23	REVISOR TO COMPLY WITH CONDITIONS

NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	02-03-23	FOR FINAL APPROVAL	11	02-03-23	FOR FINAL APPROVAL
2	02-03-23	FOR FINAL APPROVAL	12	02-03-23	FOR FINAL APPROVAL
3	02-03-23	FOR FINAL APPROVAL	13	02-03-23	FOR FINAL APPROVAL
4	02-03-23	FOR FINAL APPROVAL	14	02-03-23	FOR FINAL APPROVAL
5	02-03-23	FOR FINAL APPROVAL	15	02-03-23	FOR FINAL APPROVAL
6	02-03-23	FOR FINAL APPROVAL	16	02-03-23	FOR FINAL APPROVAL
7	02-03-23	FOR FINAL APPROVAL	17	02-03-23	FOR FINAL APPROVAL
8	02-03-23	FOR FINAL APPROVAL	18	02-03-23	FOR FINAL APPROVAL
9	02-03-23	FOR FINAL APPROVAL	19	02-03-23	FOR FINAL APPROVAL
10	02-03-23	FOR FINAL APPROVAL	20	02-03-23	FOR FINAL APPROVAL

Lawler, Matusky & Skelly Engineers LLP
Environmental Science & Engineering Consultants
One Blue Hill Place, PO Box 1599
Paul Smith, NY 14859 Phone: 863-753-2868
Fax: 863-753-2868
WWW.LMSINC.COM

**MAJOR SUBDIVISION
LANDS OF DANSOME, L.L.C.
FINAL SUBDIVISION PLAN
VILLAGE OF SOUTH NYACK
ROCKLAND COUNTY, NEW YORK**

FINAL CLUSTER SUBDIVISION PLAT

Designed by: M.M.M., L.A.R.	DATE: 11-14-21	Sheet: 7	Rev: 8
Drawn by: S.G.B.	801-002	7	8
Approved by: M.M.M.			

South Nyack, Residential Parking In Vicinity of 7 Berachah Ave



2 Berachah Ave



4 Berachah Ave



9 Chase Ave



8 College Ave



15 College Ave



22 College Ave



1 Prospect Ave



22 Terrace Dr



24 Terrace Dr



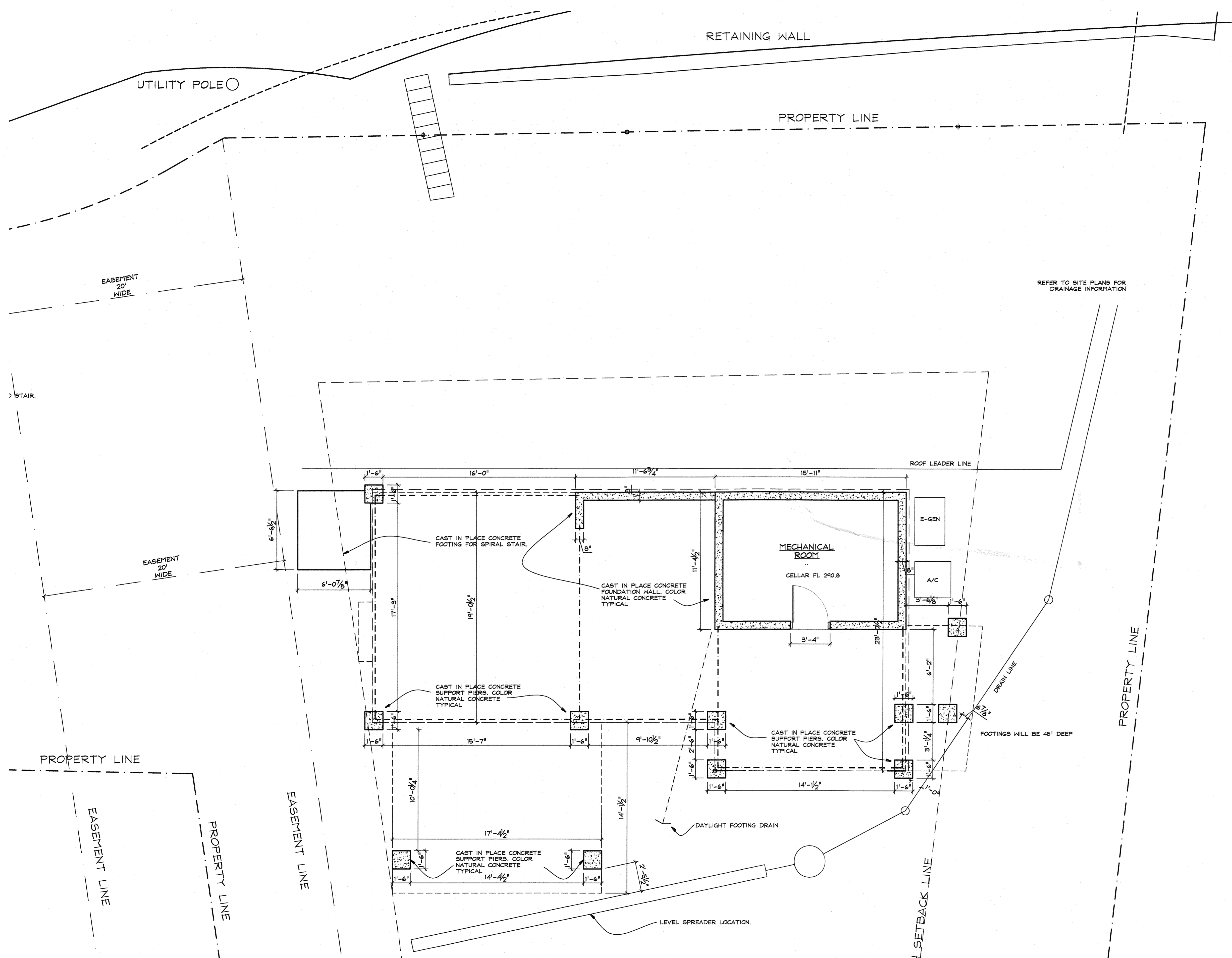
28 Terrace Dr



32 Terrace Dr



37 Terrace Dr



CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING MASONRY WALL
	EXISTING STUD WALL TO REMAIN
	SHEET NOTES CALL: SEE NOTES THIS SHEET
	HARDWIRED CARBON MONOXIDE DET.
	HARDWIRED SMOKE DETECTOR

DESIGN IN COLLABORATION WITH

MARY ORTMAN ARCHITECT

719 TRENTON AVENUE
POINT PLEASANT BEACH, NJ 08742
PH/FAX: 732.892.3304
EMAIL: MORTMAN@COMCAST.NET

FISHER RESIDENCE
7 BERACHAH AVE.
S. NYACK, N.Y. 10960

KIER B. LEVESQUE, R.A.
ARCHITECT
49 THIRD AVENUE
NYACK, NEW YORK 10960
845-358-2359

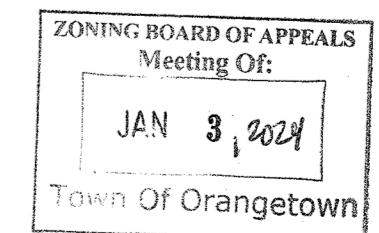
CELLAR FLOOR PLAN

SCALE AS SHOWN
DATE AUGUST 1, 2022
JOB NO. 2021113
REVISIONS:



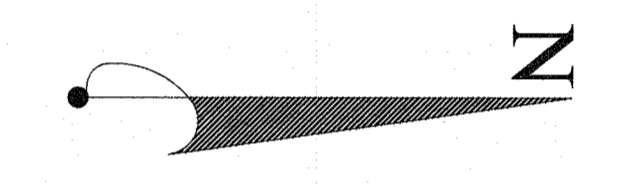
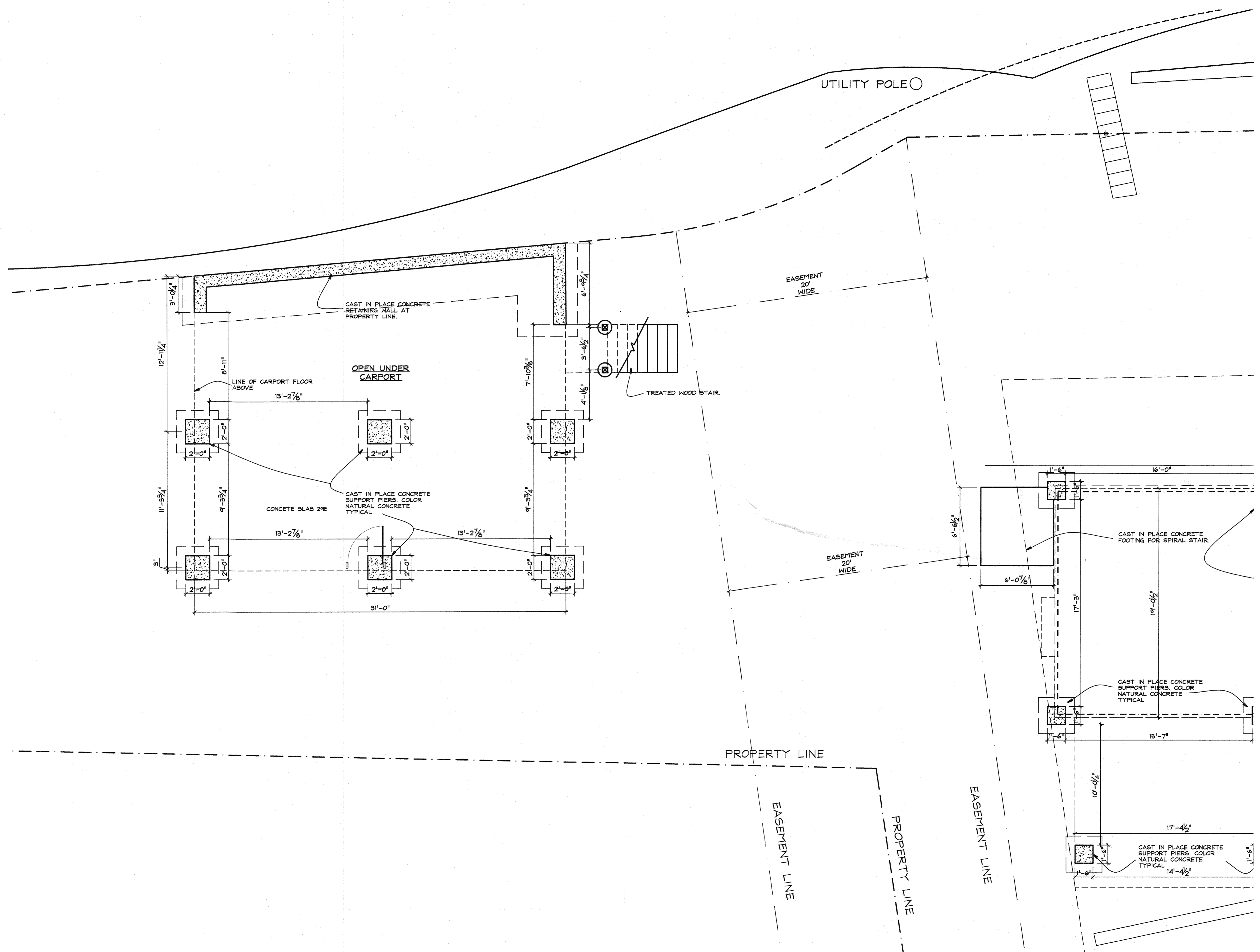
SHEET NO.

MAY 3, 2023



CELLAR LEVEL FLOOR PLAN
1/4" = 1 FOOT

A-1



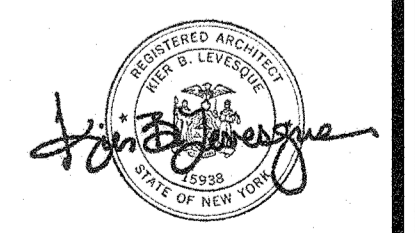
CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING MASONRY WALL
	EXISTING STUD WALL TO REMAIN
	SHEET NOTES CALL: SEE NOTES THIS SHEET
	HARDWIRED CARBON MONOXIDE DET.
	HARDWIRED SMOKE DETECTOR

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 NYACK, NEW YORK 10960
 845-358-2359

PARKING PLATFORM PLAN

SCALE AS SHOWN
 DATE AUGUST 1, 2022
 JOB NO. 2021113
 REVISIONS: SHEET NO.

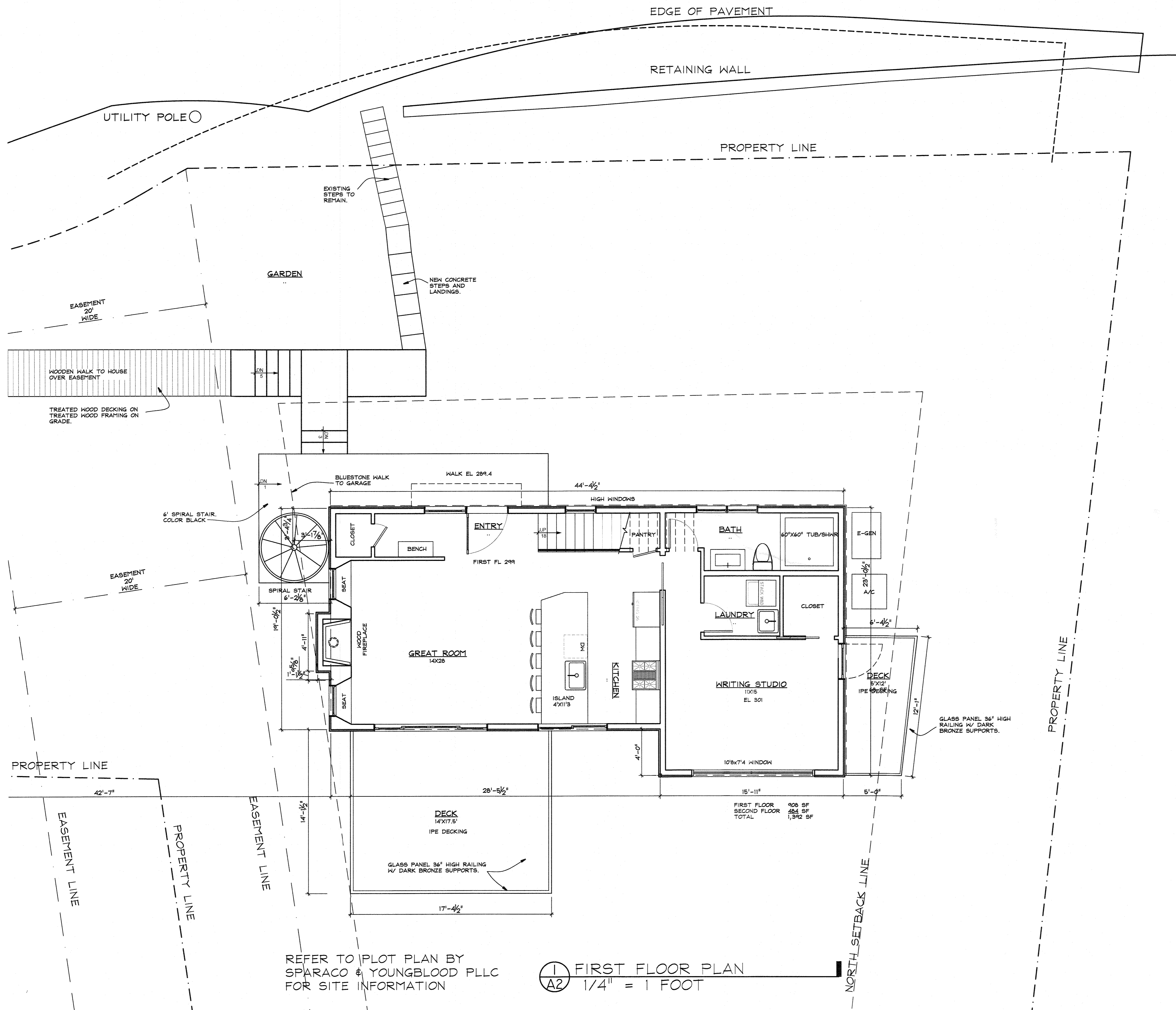


MAY 3, 2023

A-1a

① PARKING PLATFORM FDN.PLAN
 AIA 1/4" = 1 FOOT

NY LICENSE # 15938



CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING MASONRY WALL
	EXISTING STUD WALL TO REMAIN
	SHEET NOTES CALL: SEE NOTES THIS SHEET
	HARDWIRED CARBON MONOXIDE DET.
	HARDWIRED SMOKE DETECTOR

DESIGN IN COLLABORATION WITH

MARY ORTMAN ARCHITECT

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POINT PLEASANT BEACH, NJ 08742
PH/FAK: 732.892.3304
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49 THIRD AVENUE
NYACK, NEW YORK 10960
845-358-2359

FIRST FLOOR PLAN

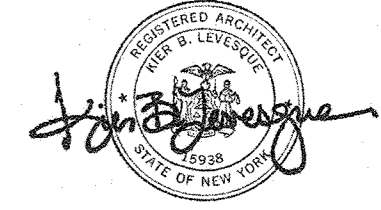
SCALE AS SHOWN
DATE AUGUST 1, 2022
JOB NO. 2021113
REVISIONS: SHEET NO.
MAY 3, 2023

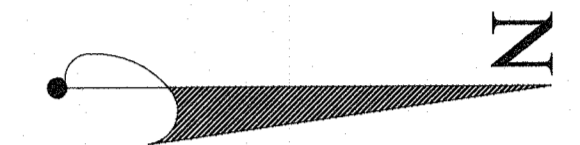
A-2

REFER TO PLOT PLAN BY SPARACO & YOUNGBLOOD PLLC FOR SITE INFORMATION

① FIRST FLOOR PLAN
A2 1/4" = 1 FOOT

NY LICENSE # 15938





CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING MASONRY WALL
	EXISTING STUD WALL TO REMAIN
	SHEET NOTES CALL: SEE NOTES THIS SHEET
	HARDWIRED CARBON MONOXIDE DET.
	HARDWIRED SMOKE DETECTOR

DESIGN IN
COLLABORATION WITH

**MARY ORTMAN
ARCHITECT**



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NY LICENSE # 15938

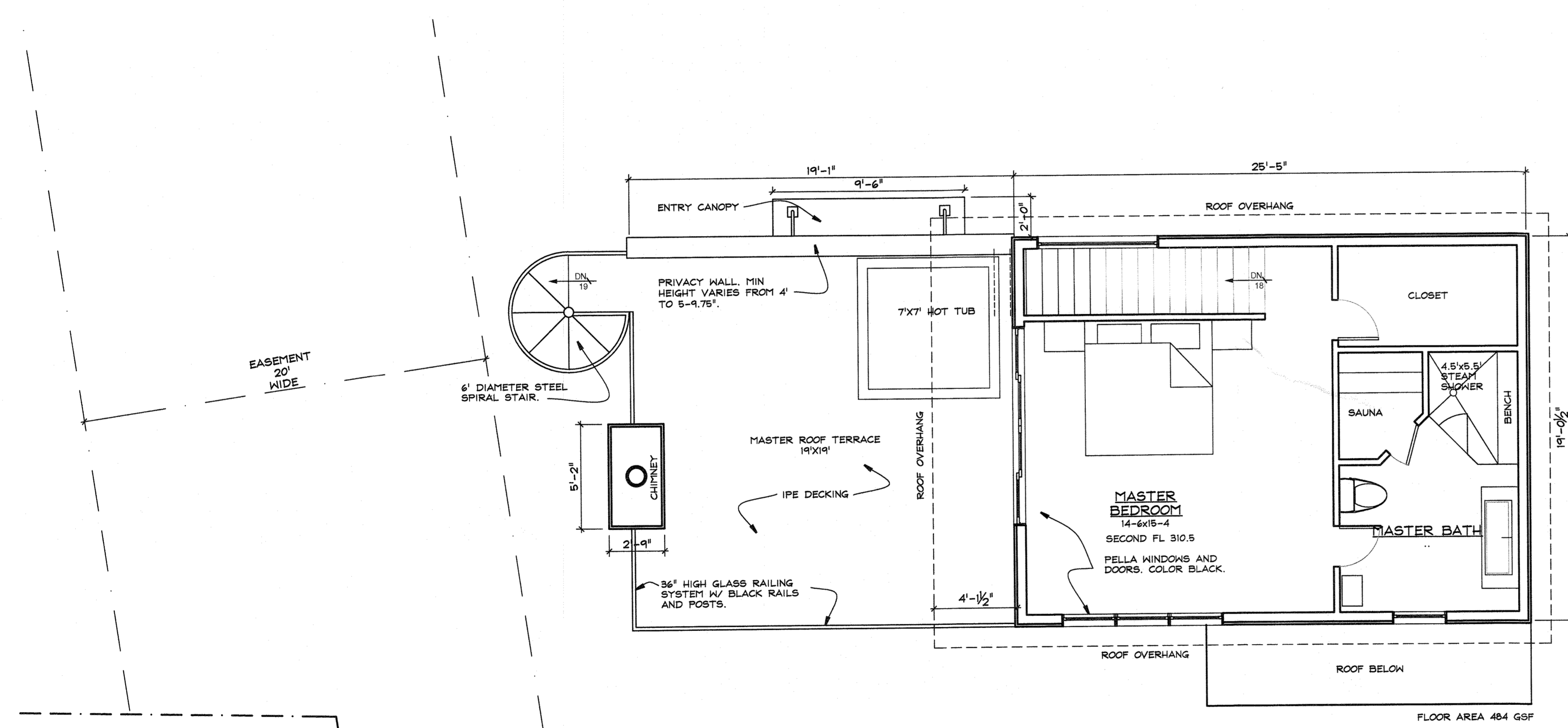
**UPPER LEVEL FLOOR
PLAN**

SCALE AS SHOWN
DATE AUGUST 1, 2022
JOB NO. 2021113
REVISIONS:

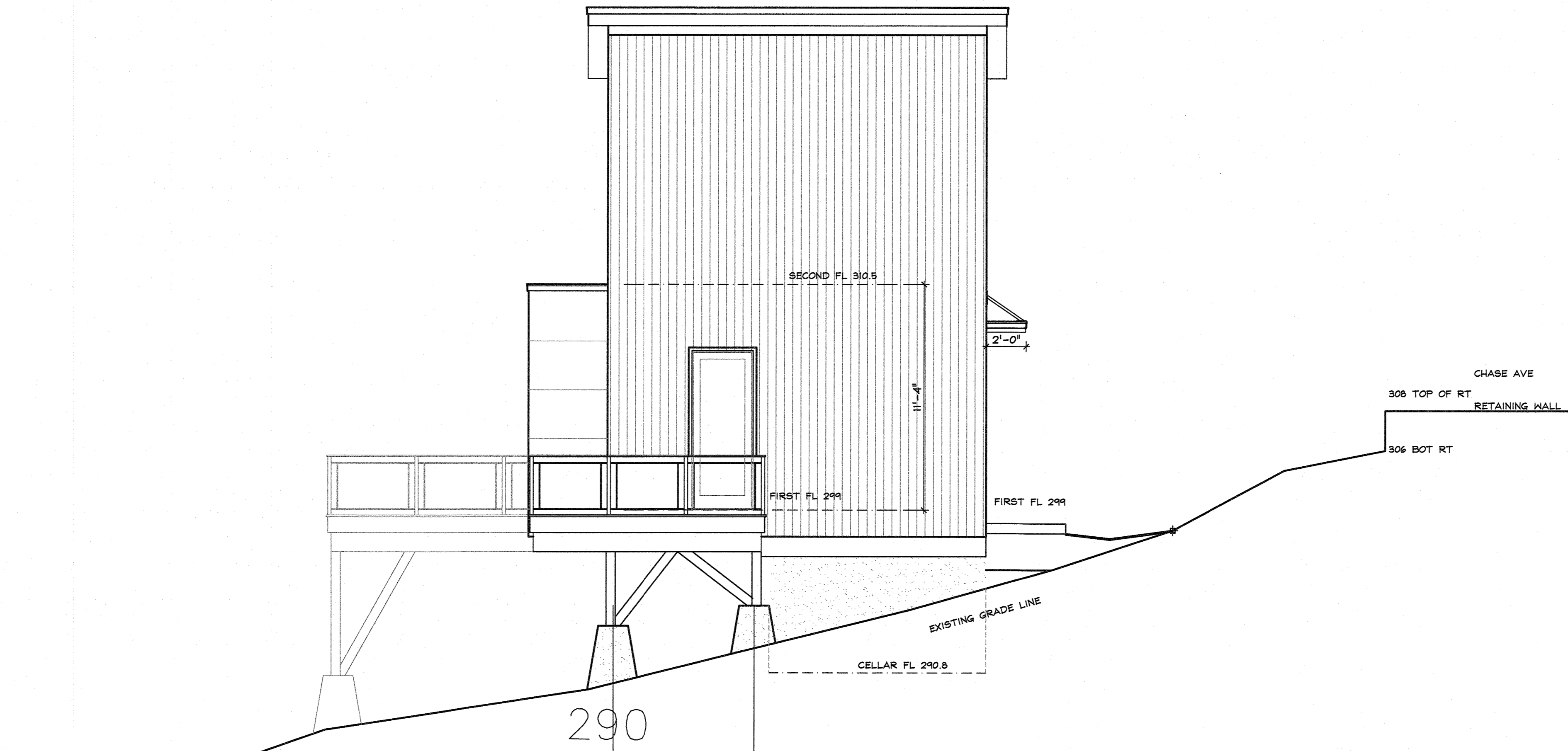


SHEET NO.
MAY 3, 2023

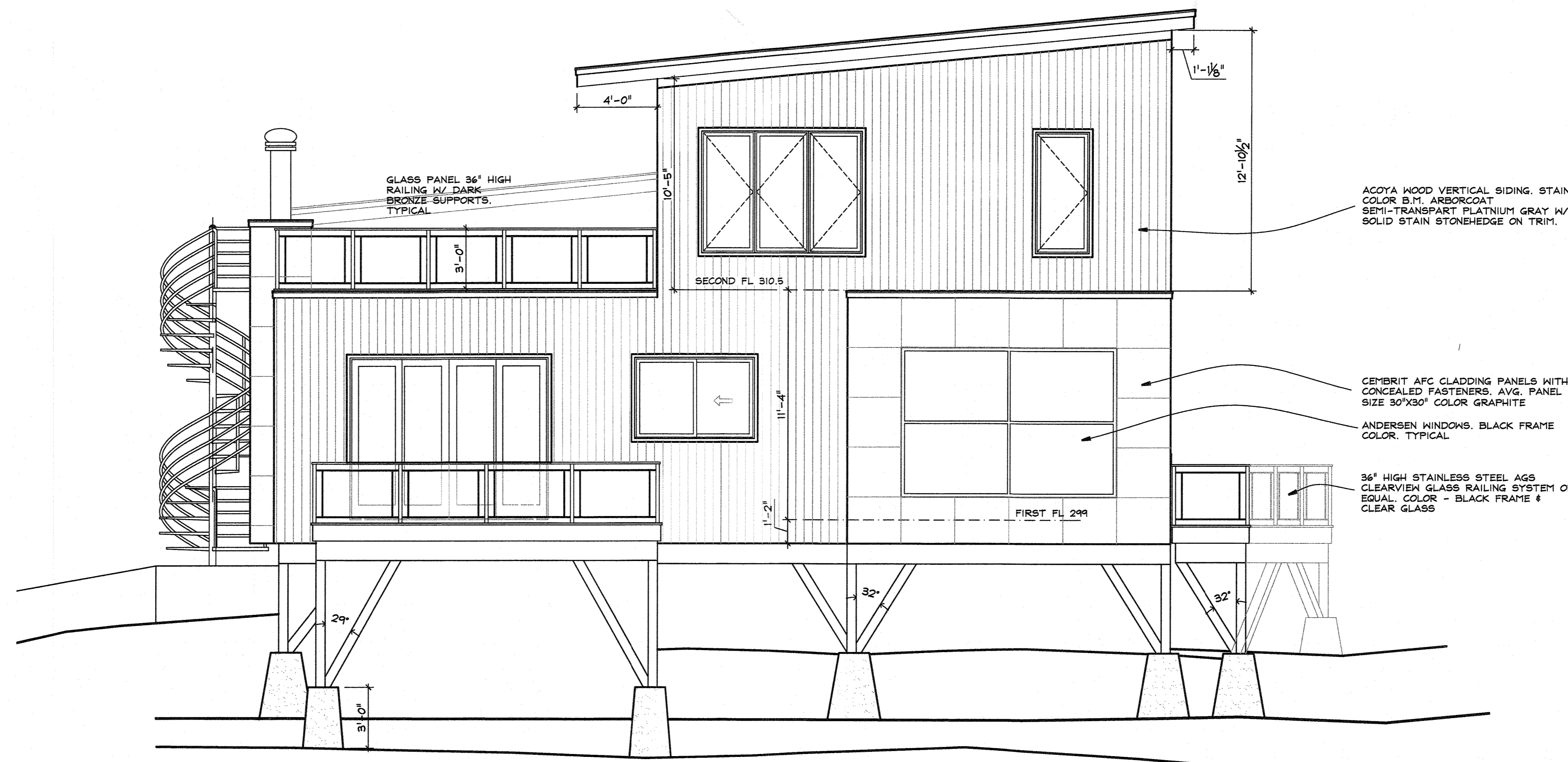
A-3



1 UPPER LEVEL FLOOR PLAN
A3 1/4" = 1 FOOT



1 (A) NORTH ELEVATION
A4 1/4" = 1 FOOT



1 (B) EAST ELEVATION
A4 1/4" = 1 FOOT

DESIGN IN
COLLABORATION WITH

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ARCHITECT

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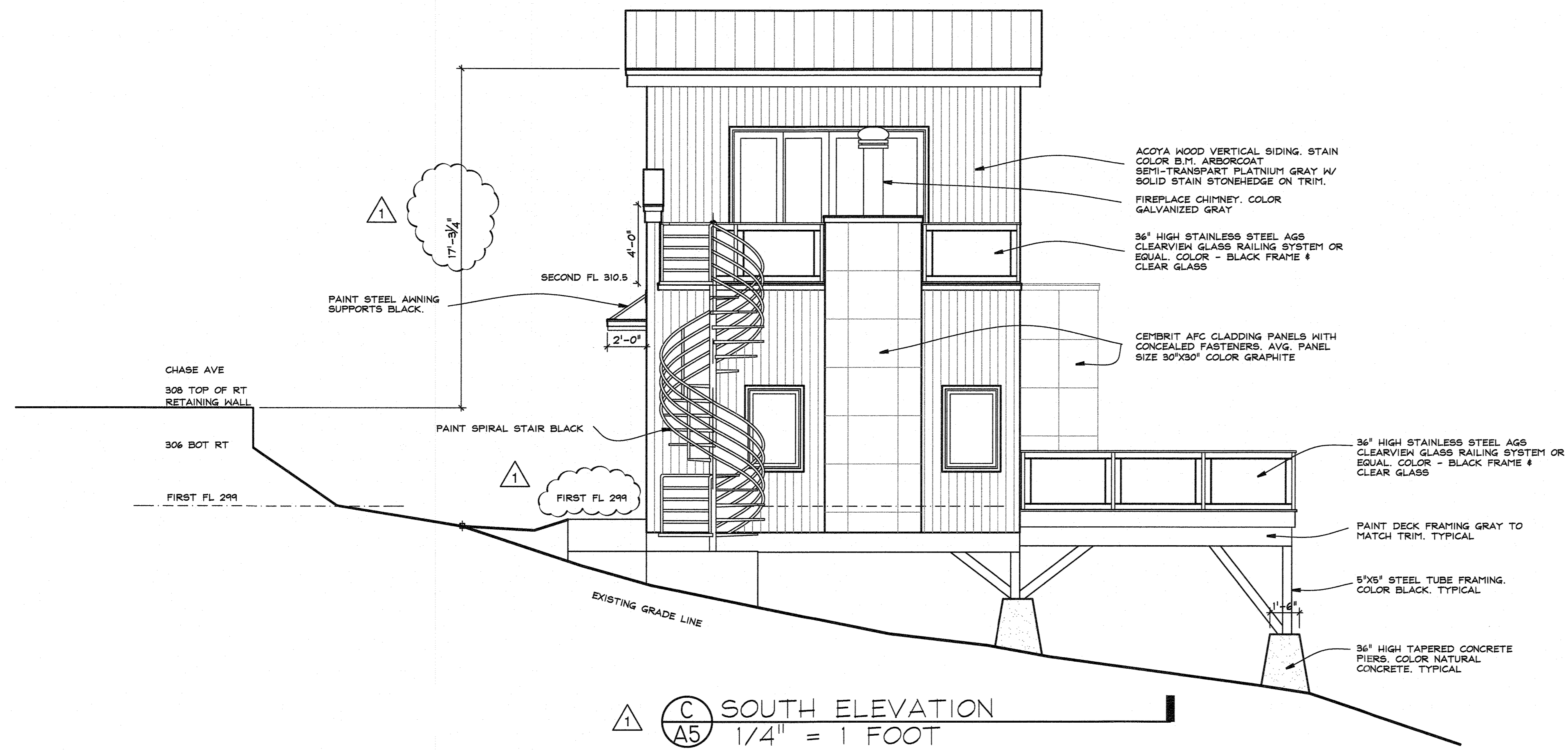
NY LICENSE # 15938
KIER B. LEVESQUE, R.A.
ARCHITECT
49 THIRD AVENUE
NYACK, NEW YORK 10960
845-358-2359

NORTH & EAST
ELEVATIONS

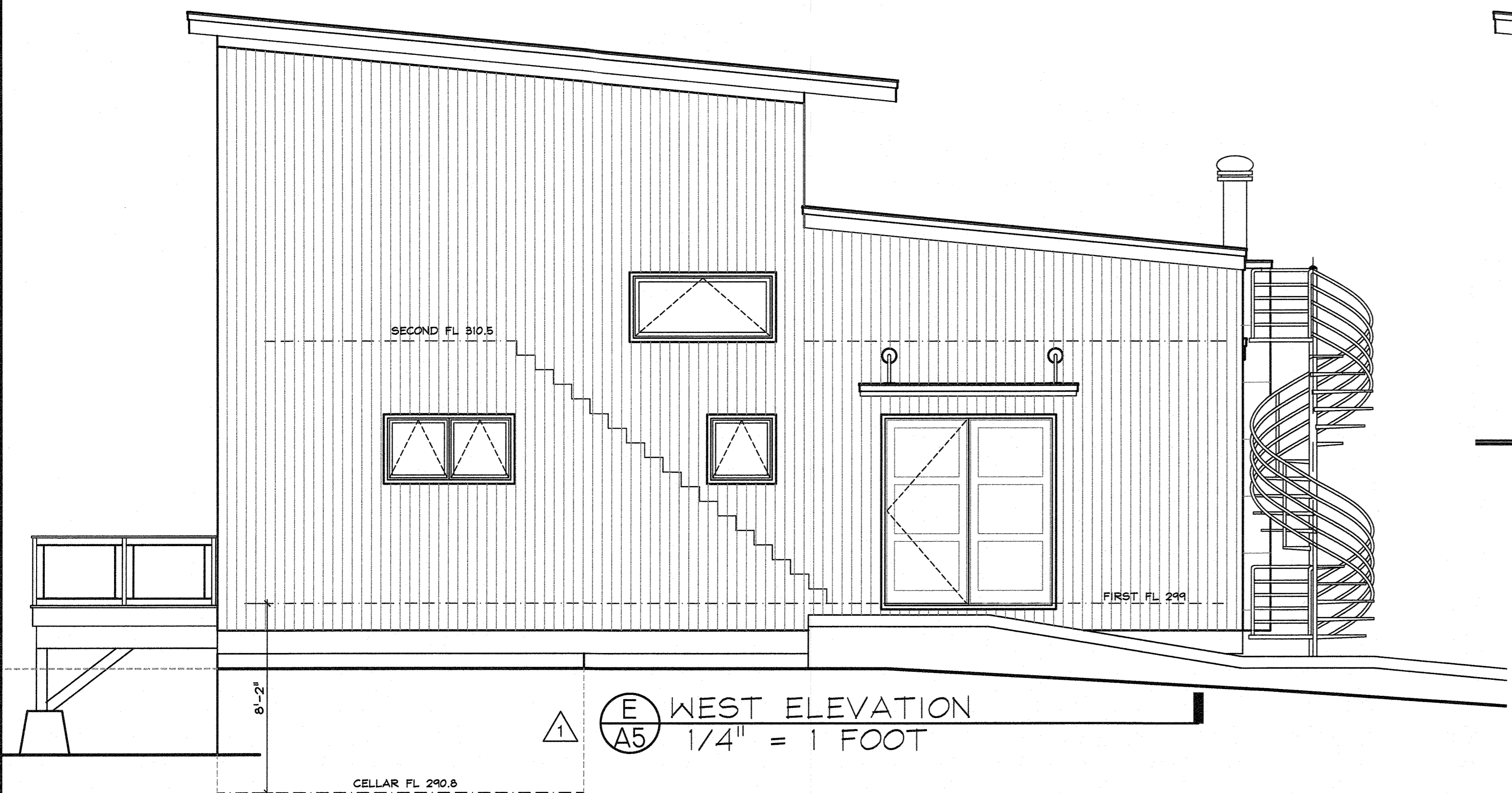
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DATE AUGUST 1, 2022
JOB NO. 2021113
REVISIONS: SHEET NO.

1 MAY 3, 2023

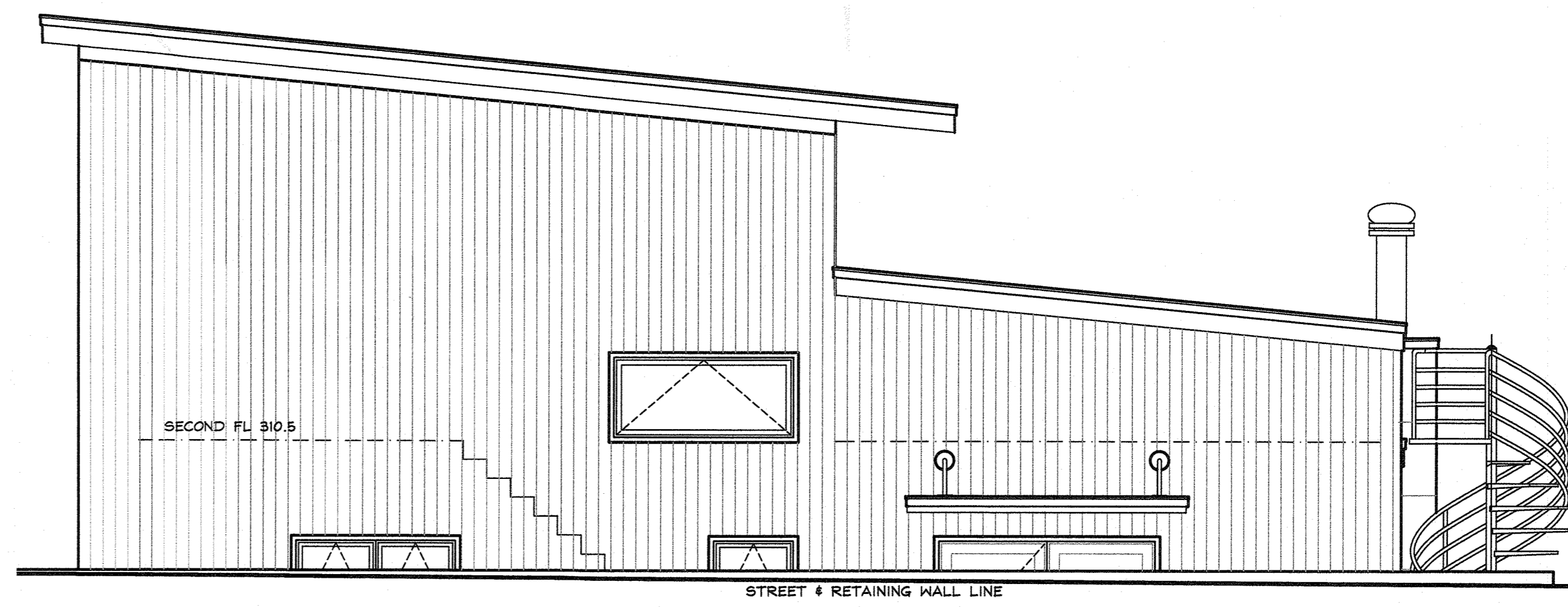
A-4



△ (C) SOUTH ELEVATION
A5 1/4" = 1 FOOT



△ (E) WEST ELEVATION
A5 1/4" = 1 FOOT



△ (D) WEST ELEVATION STREET VIEW
A5 1/4" = 1 FOOT

DESIGN IN
COLLABORATION WITH

MARY ORTMAN
ARCHITECT

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NY LICENSE # 15938

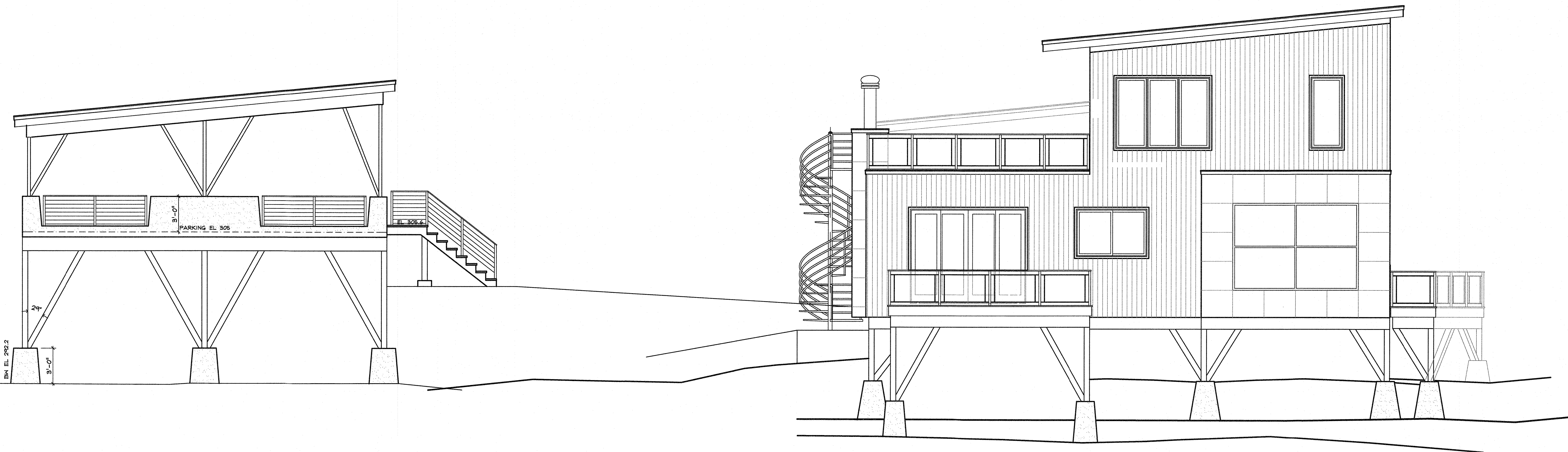
KIER B. LEVESQUE, R.A.
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49 THIRD AVENUE
NYACK, NEW YORK 10960
845-358-2359

SOUTH & WEST
ELEVATIONS

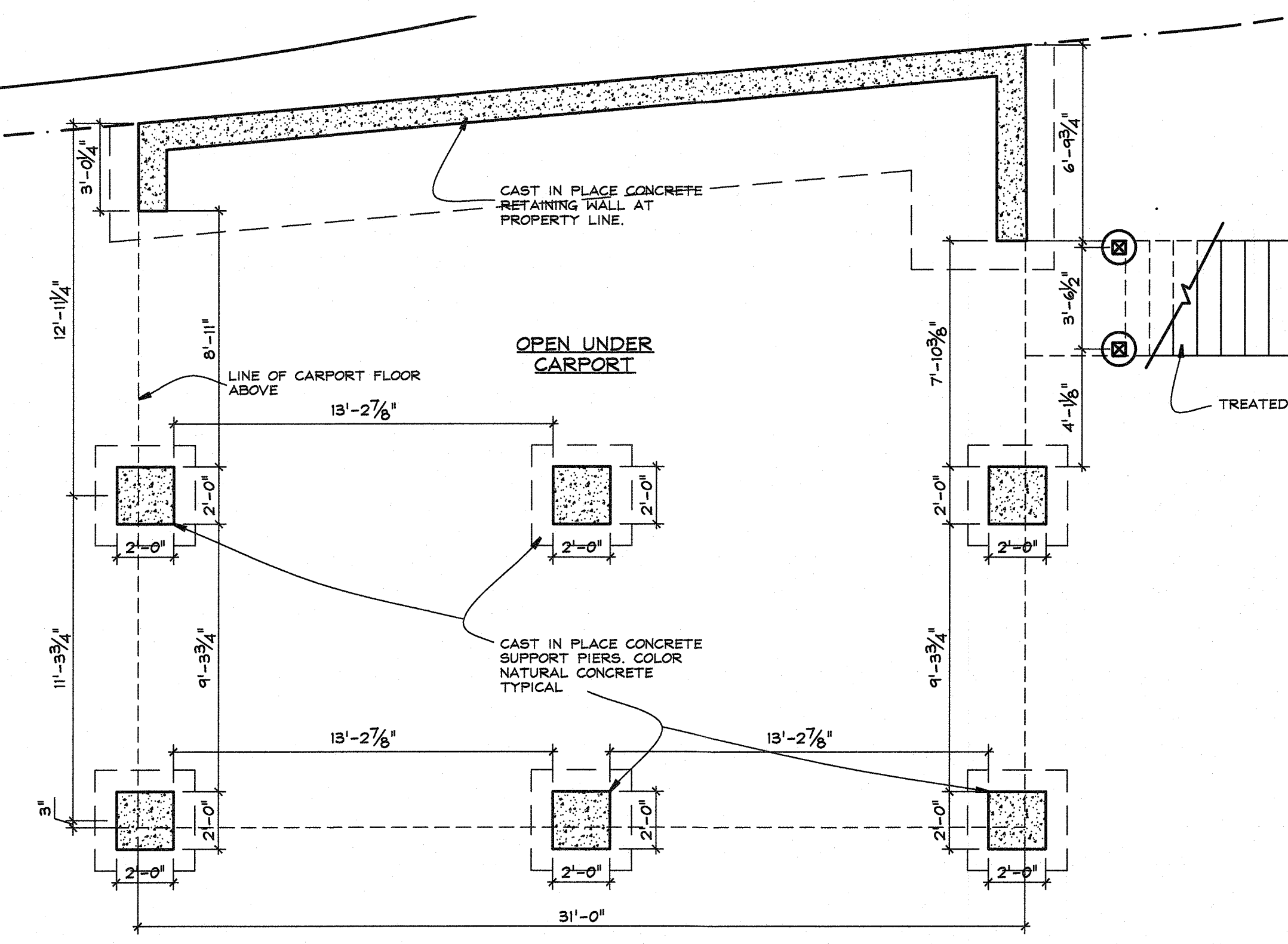
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DATE AUGUST 1, 2022
JOB NO. 2021113
REVISIONS: SHEET NO.

△ MAY 3, 2023

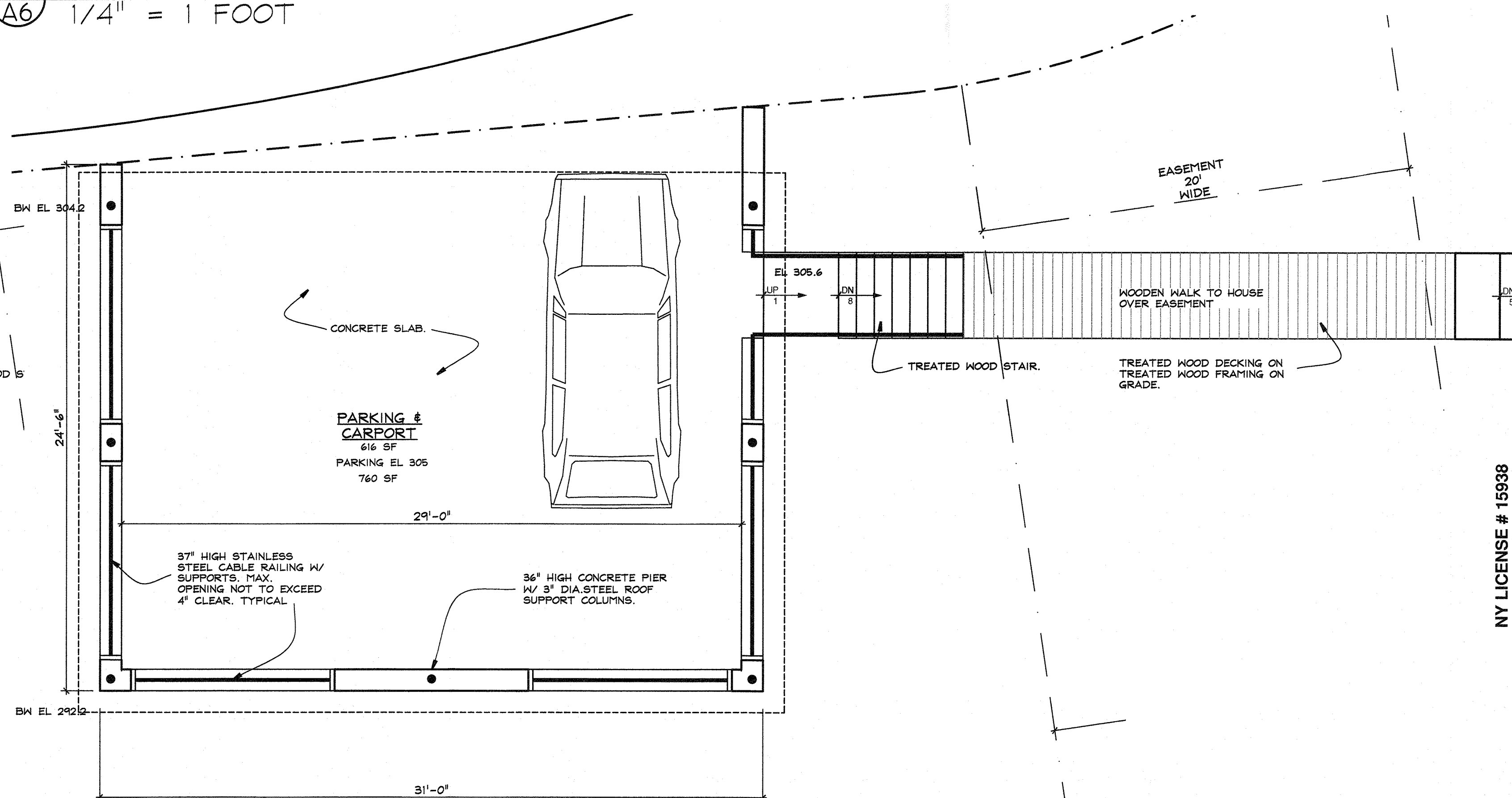
A-5



3 EAST ELEVATION
 A6 1/4" = 1 FOOT



2 CARPORT FOUNDATION PLAN
 A6 1/4" = 1 FOOT



1 CARPORT PLAN
 A6 1/4" = 1 FOOT

DESIGN IN
 COLLABORATION WITH

MARY ORTMAN
 ARCHITECT

719 TRENTON AVENUE
 POINT PLEASANT BEACH, NJ 08742
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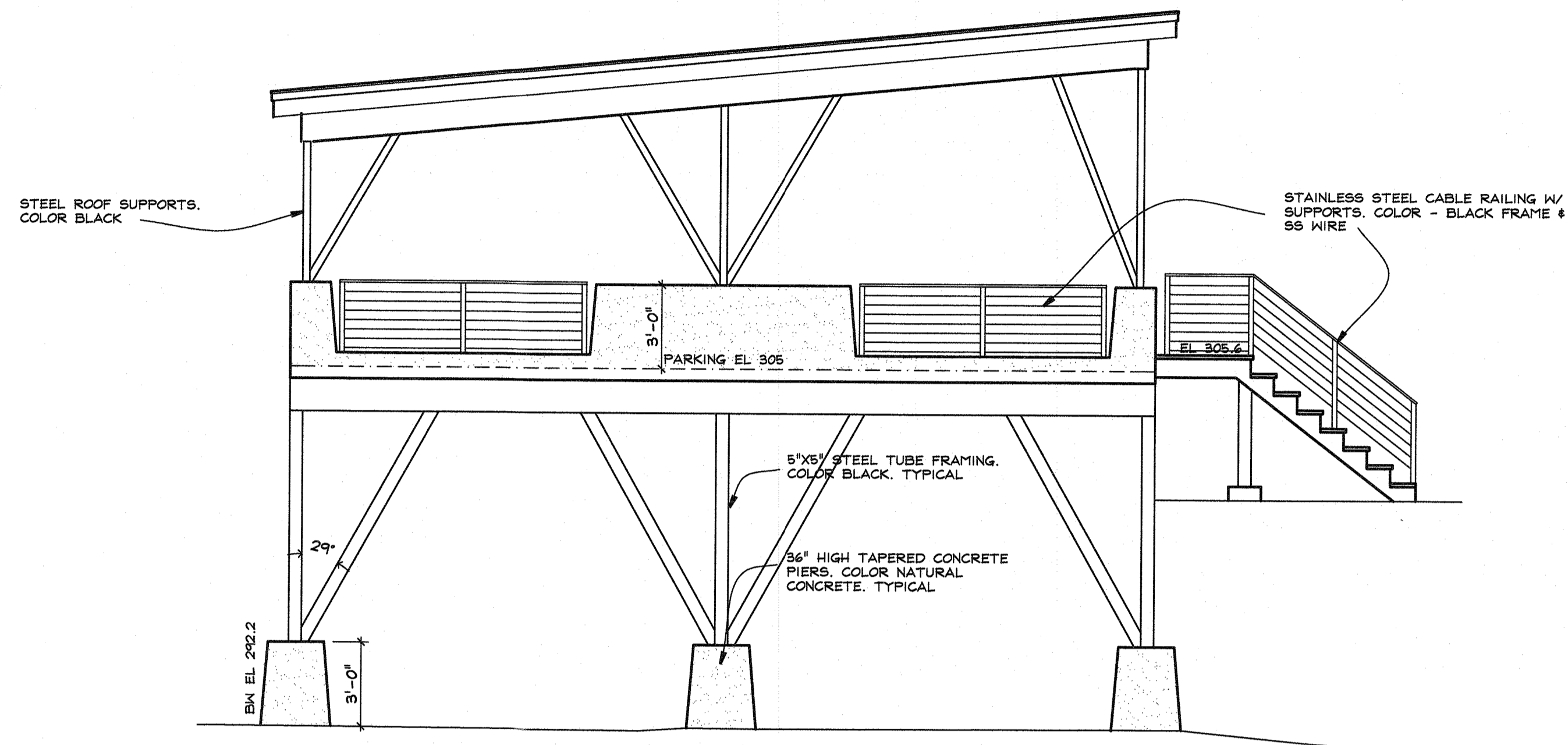
KIER B. LEVESQUE, R.A.
 ARCHITECT
 49 THIRD AVENUE
 NYACK, NEW YORK 10960
 845-358-2359

CARPORT PLANS &
 ELEVATION

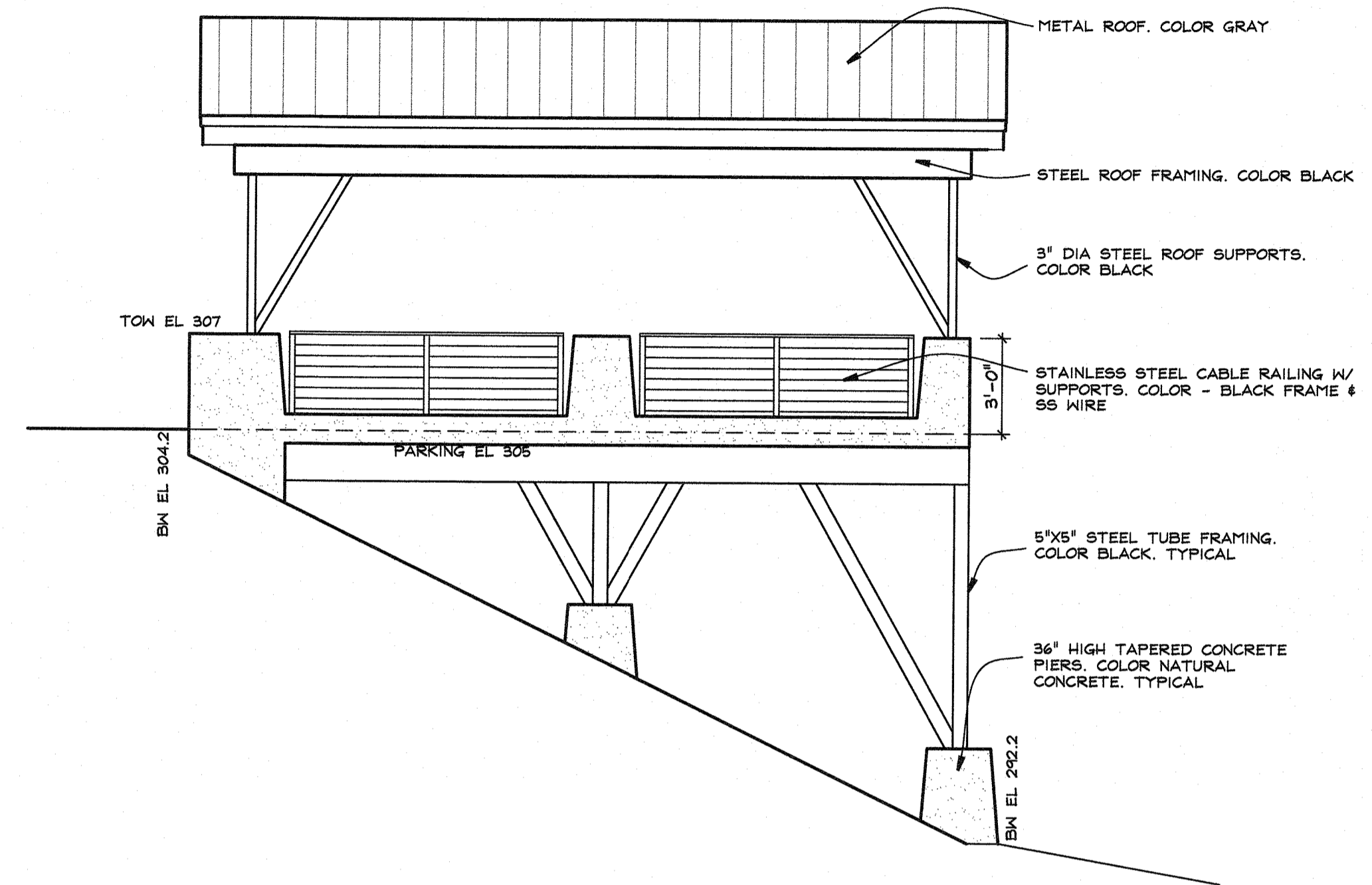
SCALE AS SHOWN
 DATE AUGUST 1, 2022
 JOB NO. 2021113
 REVISIONS: SHEET NO.

MAY 3, 2023

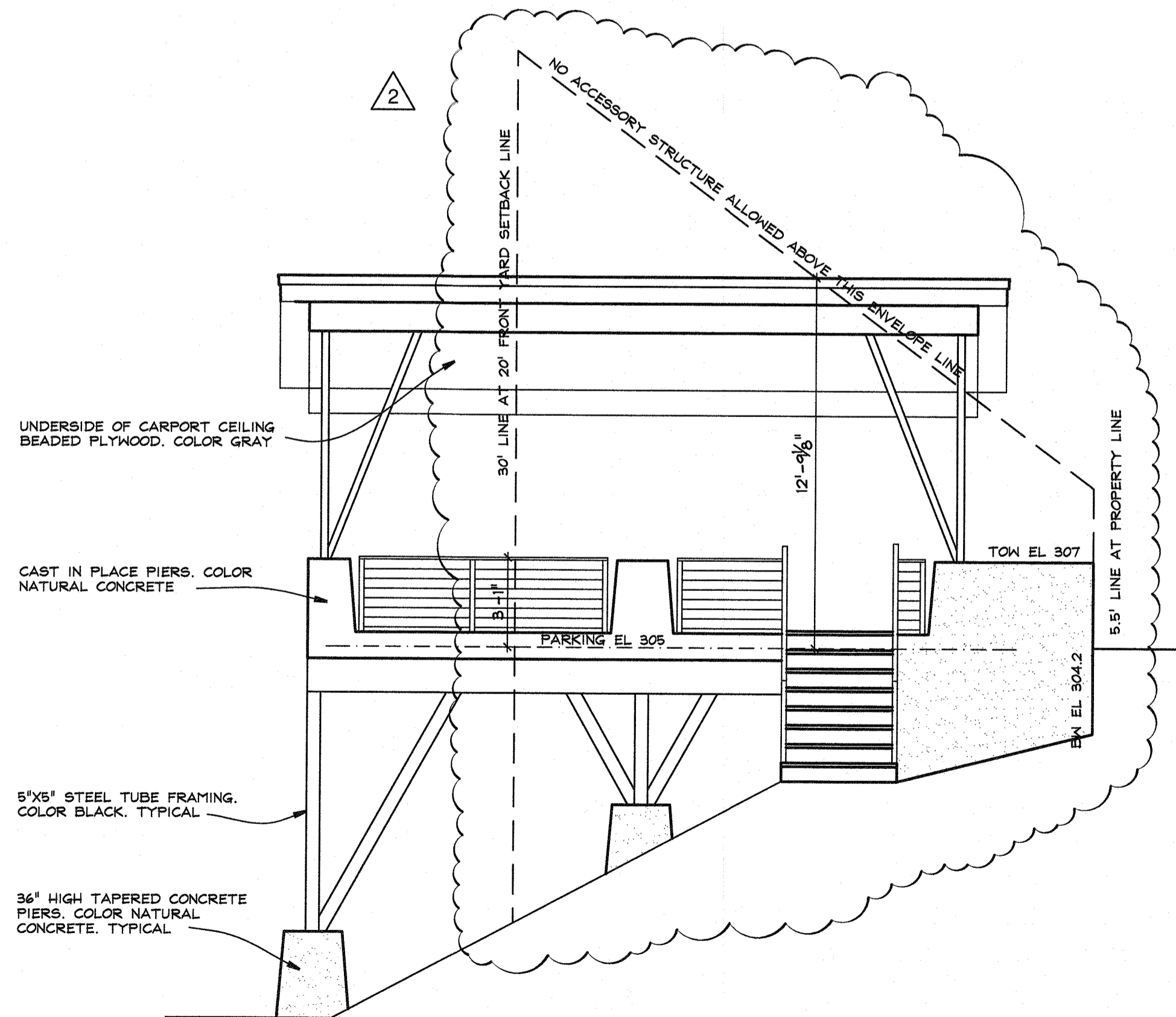
A-6



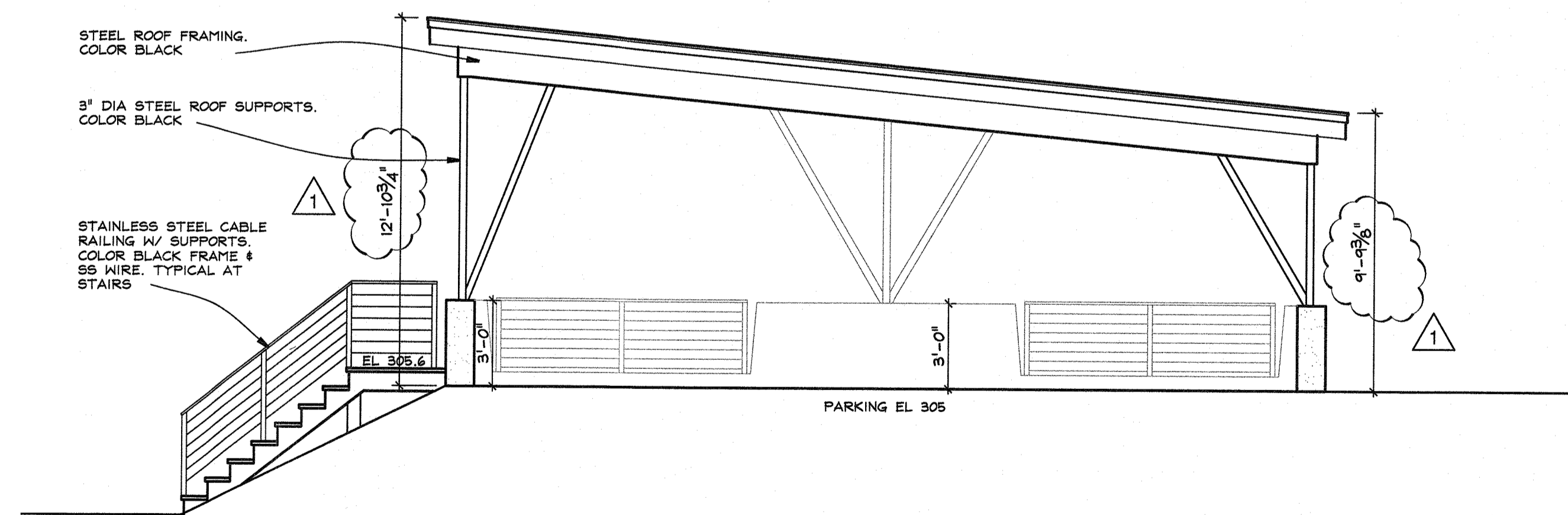
3 EAST ELEVATION
A7 1/4" = 1 FOOT



4 SOUTH ELEVATION
A7 1/4" = 1 FOOT



2 NORTH ELEVATION
A7 1/4" = 1 FOOT



1 WEST ELEVATION STREET VIEW
A7 1/4" = 1 FOOT

DESIGN IN
COLLABORATION WITH

MARY ORTMAN
ARCHITECT

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NYACK, NEW YORK 10960
845-358-2359

CARPORT PLANS

SCALE AS SHOWN
DATE AUGUST 1, 2022
JOB NO. 2021113
REVISIONS: SHEET NO.

1 MAY 3, 2023
2 OCTOBER 26, 2023

A-7

NY LICENSE # 15938



COLLEGE AVE.
 (A PRIVATE ROAD AS DEFINED BY LETTER OF
 JULY 31, 2023 BY JADE ABSTRACT COMPANY INC.)

CHASE AVE.
 (FORMERLY KNOWN AS CENTRAL AVE.)



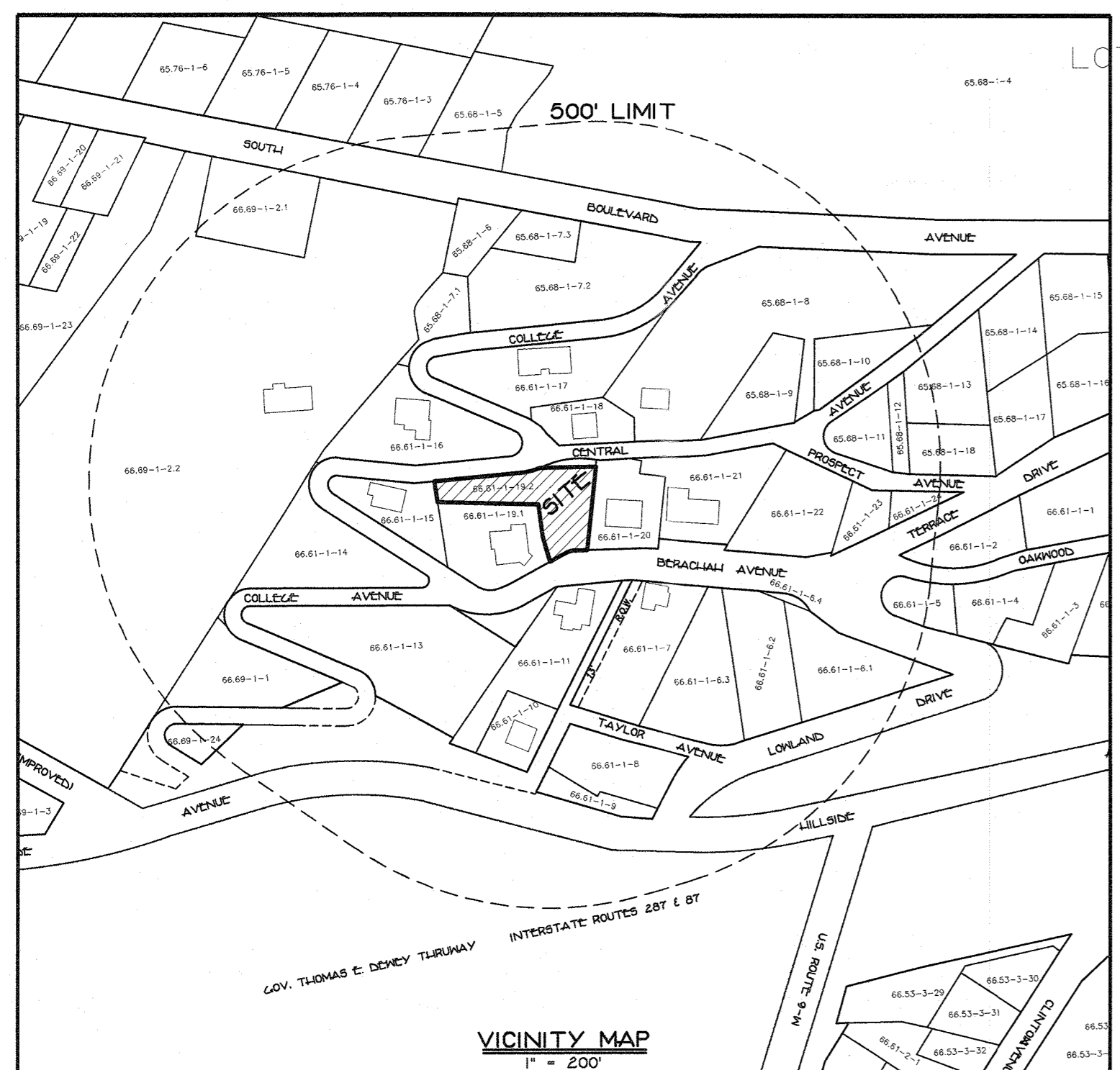
EASEMENT PER L. 153 / P. 2065
 IN FAVOR OF THE CHRISTIAN
 MISSIONARY ALLIANCE FOR
 INGRESS, EGRESS AND UTILITIES
 RELEASED PER INSTR. #2022-18089

EASEMENT "A"
 PER INSTR.
 #2001-12458
 ABANDONED PER
 INST. #2022-18090
 N/F
 SEILER
 66.61-1-20

EASEMENT FOR THE
 LIMITED USE OF
 RECREATION,
 GARDENING AND
 PARKING
 AREA=1,268 SF.
 PER INSTR. #2022-18090

EASEMENT "B"
 PER INSTR.
 #2001-12458
 ABANDONED PER
 INST. #2022-18090

LEGEND		ITEMS
---	---	PROPERTY LINE
---	---	BUILDING SETBACK LINE
⊙	⊙	SAN SEWER MANHOLE
○	○	CLEAN-OUT
⊕	⊕	WATER VALVE
⊗	⊗	GAS VALVE
⊖	⊖	DRAINAGE MANHOLE
⊕	⊕	CATCH BASIN
⊕	⊕	UTILITY POLE
---	---	OVERHEAD ELECTRIC



20' WIDE SANITARY
 SEWER EASEMENT
 PER F.M. #7769 &
 INSTR. 2005-34858
 OWNER DANSOME LLC

BULK TABLE
 (PER MAP #7769 FILED 06/22/2005)

ZONE	MINIMUM LOT AREA	STREET FRONTAGE (FEET)	MAXIMUM LOT COVERAGE RATIO	MAXIMUM BUILDING HEIGHT (STORIES/FT)	FRONT YARD (FEET)	REAR YARD (FEET)	SIDE YARD (FEET)	TOTAL SIDE YARD (FEET)
REQUIRED	8,000	80	30%	3/30	20	3.2	15	30
FILED MAP	14,640	56.38	30%	3/30	20	3.2	15	30
PROPOSED	4,720	2.5513	59%	2/25	58	12	27	
VARIANCE	YES		YES	YES	YES	YES	YES	

*280-A REQUIRED FOR LACK OF FRONTAGE ON A PUBLIC STREET.

ZONING AREA CALCULATIONS:
 LOT AREA - SLOPE DEDUCTIONS = ZONING LOT AREA
 14,640 SF. - 9,920 SF. = 4,720 SF.

MAXIMUM LOT COVERAGE CALCULATIONS:
 IMPERVIOUS SURFACE / LOT AREA = LOT COVERAGE
 2,799 SF. / 4,720 SF. = 0.585 (0.59)

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



REV: PER COMMENTS - 09/19/2023

SPARACO & YOUNGBLOOD, PLLC
 CIVIL ENGINEERING & LAND SURVEYING
 SITE PLANNING
 18 NORTH MAIN STREET
 P.O. BOX 818
 LLIARRIMAN, N.Y. 10926
 TEL: (845) 782-8543
 FAX: (845) 782-5901
 SPARACO.STEVE@SELSNY.COM WDWLS1@GMAIL.COM

PLANNING FILE # YB-6549
 DATE MAY 02, 2023
 SCALE 1" = 10'

PLANIMETRIC PLAN (SHEET 1 OF 5)
 FOR
FISHER
 LOCATED IN
 VILLAGE OF SOUTH NYACK
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

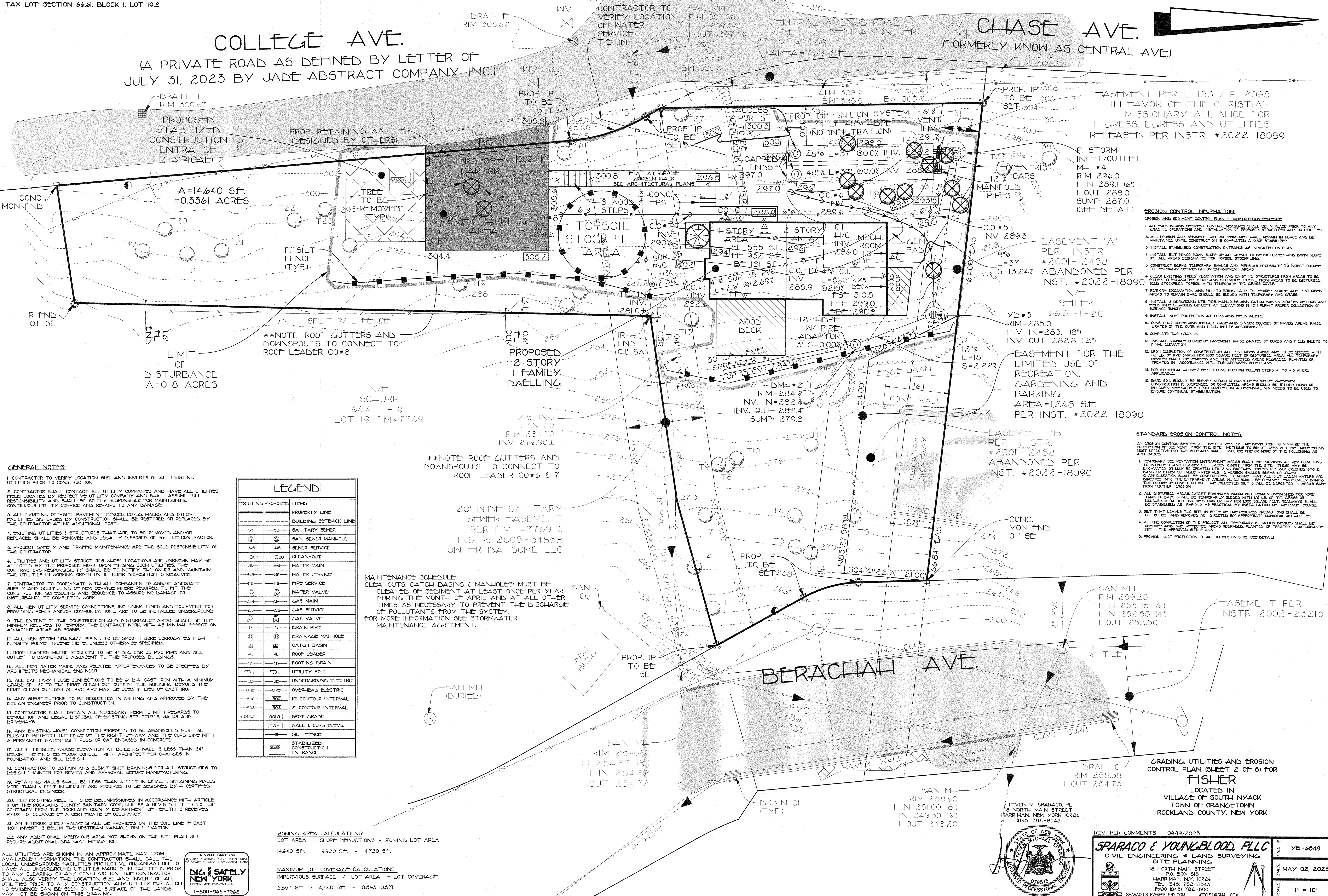
ZONING BOARD OF APPEALS
 Meeting Of:
 JAN 9, 2024
 Town Of Orangetown

COLLEGE AVE.

(A PRIVATE ROAD AS DEFINED BY LETTER OF JULY 31, 2023 BY JADE ABSTRACT COMPANY INC.)

CHASE AVE.

(FORMERLY KNOWN AS CENTRAL AVE.)



EASEMENT PER L. 153 / P. 2065 IN FAVOR OF THE CHRISTIAN MISSIONARY ALLIANCE FOR INGRESS, EGRESS AND UTILITIES RELEASED PER INSTR. #2022-18089

R. STORM INLET/OUTLET MI #4 RIM 296.0 1 IN 289.1 (6") 1 OUT 288.0 SUMP: 287.0 (SEE DETAIL)

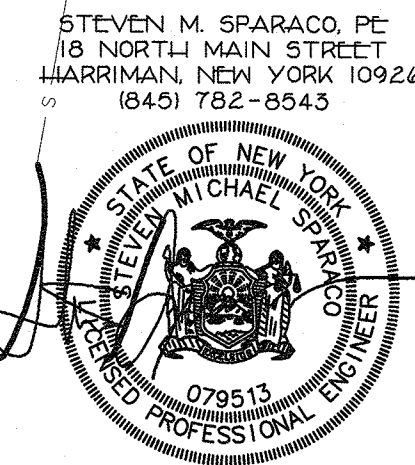
EASEMENT "A" PER INSTR. #2001-12458 ABANDONED PER INSTR. #2022-18090 N/F SEILER 66.61-1-20

EASEMENT FOR THE LIMITED USE OF RECREATION, GARDENING AND PARKING AREA=1,268 SF. PER INSTR. #2022-18090

EASEMENT "B" PER INSTR. #2001-12458 ABANDONED PER INSTR. #2022-18090

EASEMENT PER INSTR. 2002-23213

GRADING, UTILITIES AND EROSION CONTROL PLAN (SHEET 2 OF 5) FOR FISHER LOCATED IN VILLAGE OF SOUTH NYACK TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK



REV: PER COMMENTS - 09/19/2023

SPARACO & YOUNGBLOOD, PLLC
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 TEL: (845) 782-8543
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 SPARACO.STEVE@SELSNY.COM WYLS1@GMAIL.COM

DATE: MAY 02, 2023
 SCALE: 1" = 10'

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY LOCATION, SIZE AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
 - ALL EXISTING OFF-SITE PAVEMENT, FENCES, CURBS, WALKS AND OTHER FACILITIES DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 - EXISTING UTILITIES & STRUCTURES THAT ARE TO BE REMOVED AND/OR REPLACED SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
 - PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - UTILITIES AND UTILITY STRUCTURES WHOSE LOCATIONS ARE UNKNOWN MAY BE AFFECTED BY THE PROPOSED WORK UPON FINDING SUCH UTILITIES. THE CONTRACTOR'S RESPONSIBILITY SHALL BE TO NOTIFY THE OWNER AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
 - CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO COMPLETED WORK.
 - ALL NEW UTILITY SERVICE CONNECTIONS, INCLUDING LINES AND EQUIPMENT FOR PROVIDING POWER AND/OR COMMUNICATIONS, ARE TO BE INSTALLED UNDERGROUND.
 - THE EXTENT OF THE CONSTRUCTION AND DISTURBANCE AREAS SHALL BE THE MINIMUM REQUIRED TO PERFORM THE CONTRACT WORK WITH AS MINIMAL EFFECT ON ADJACENT AREAS AS POSSIBLE.
 - ALL NEW STORM DRAINAGE PIPING TO BE SMOOTH BORE CORRUGATED HIGH DENSITY POLYETHYLENE UNLESS OTHERWISE SPECIFIED.
 - ROOF LEADERS (WHERE REQUIRED) TO BE 4" DIA. SDR 35 PVC PIPE AND WILL OUTLET TO DOWNSPOUTS ADJACENT TO THE PROPOSED BUILDINGS.
 - ALL NEW WATER MAINS AND RELATED APPURTENANCES TO BE SPECIFIED BY ARCHITECT'S MECHANICAL ENGINEER.
 - ALL SANITARY HOUSE CONNECTIONS TO BE 6" DIA. CAST IRON WITH A MINIMUM GRADE OF 2" TO THE FIRST CLEAN OUT OUTSIDE THE BUILDING. BEYOND THE FIRST CLEAN OUT, SDR 35 PVC PIPE MAY BE USED IN LIEU OF CAST IRON.
 - ANY SUBSTITUTIONS TO BE REQUESTED IN WRITING AND APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS WITH REGARDS TO DEMOLITION AND LEGAL DISPOSAL OF EXISTING STRUCTURES, WALKS AND DRIVEWAYS.
 - ANY EXISTING HOUSE CONNECTION PROPOSED TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE RIGHT-OF-WAY AND THE CURB LINE WITH A PERMANENT WATER-TIGHT PLUG OR CAP ENCASED IN CONCRETE.
 - WHERE FINISHED GRADE ELEVATION AT BUILDING WALL IS LESS THAN 24" BELOW THE FINISHED FLOOR CONSULT WITH ARCHITECT FOR CHANGES IN FOUNDATION AND SILL DESIGN.
 - CONTRACTOR TO OBTAIN AND SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL BEFORE MANUFACTURING.
 - RETAINING WALLS SHALL BE LESS THAN 4 FEET IN HEIGHT. RETAINING WALLS MORE THAN 4 FEET IN HEIGHT ARE REQUIRED TO BE DESIGNED BY A CERTIFIED STRUCTURAL ENGINEER.
 - THE EXISTING WELL IS TO BE DECOMMISSIONED IN ACCORDANCE WITH ARTICLE 11 OF THE ROCKLAND COUNTY SANITARY CODE UNLESS A REVISED LETTER TO THE CONTRARY FROM THE ROCKLAND COUNTY DEPARTMENT OF HEALTH IS RECEIVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - AN INTERIOR CHECK VALVE SHALL BE PROVIDED ON THE SOIL LINE IF CAST IRON INVERT IS BELOW THE UPSTREAM MANHOLE RIM ELEVATION.
 - ANY ADDITIONAL IMPROVISED AREA NOT SHOWN ON THE SITE PLAN WILL REQUIRE ADDITIONAL DRAINAGE MITIGATION.

LEGEND

EXISTING	PROPOSED	ITEMS
---	---	PROPERTY LINE
---	---	BUILDING SETBACK LINE
SS	SS	SANITARY SEWER
SM	SM	SAN. SEWER MANHOLE
LS	LS	SEWER SERVICE
CO	CO	CLEAN-OUT
WM	WM	WATER MAIN
WS	WS	WATER SERVICE
FS	FS	FIRE SERVICE
WV	WV	WATER VALVE
GM	GM	GAS MAIN
GS	GS	GAS SERVICE
GV	GV	GAS VALVE
D	D	DRAIN PIPE
DM	DM	DRAINAGE MANHOLE
CB	CB	CATCH BASIN
RL	RL	ROOF LEADER
FD	FD	FOOTING DRAIN
UP	UP	UTILITY POLE
UE	UE	UNDERGROUND ELECTRIC
OE	OE	OVERHEAD ELECTRIC
100	100	10' CONTOUR INTERVAL
200	200	2' CONTOUR INTERVAL
100.5	100.5	SPOT GRADE
TR	TR	WALL & CURB ELEV.
---	---	SILT FENCE
---	---	STABILIZED CONSTRUCTION ENTRANCE

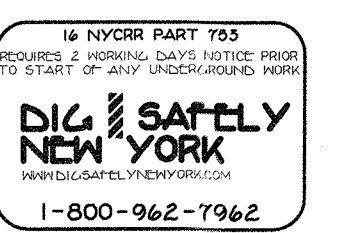
MAINTENANCE SCHEDULE:
 CLEANOUTS, CATCH BASINS & MANHOLES MUST BE CLEANED OF SEDIMENT AT LEAST ONCE PER YEAR DURING THE MONTH OF APRIL AND AT ALL OTHER TIMES AS NECESSARY TO PREVENT THE DISCHARGE OF POLLUTANTS FROM THE SYSTEM. FOR MORE INFORMATION SEE STORMWATER MAINTENANCE AGREEMENT.

****NOTE: ROOF GUTTERS AND DOWNSPOUTS TO CONNECT TO ROOF LEADER C#6 & 7**

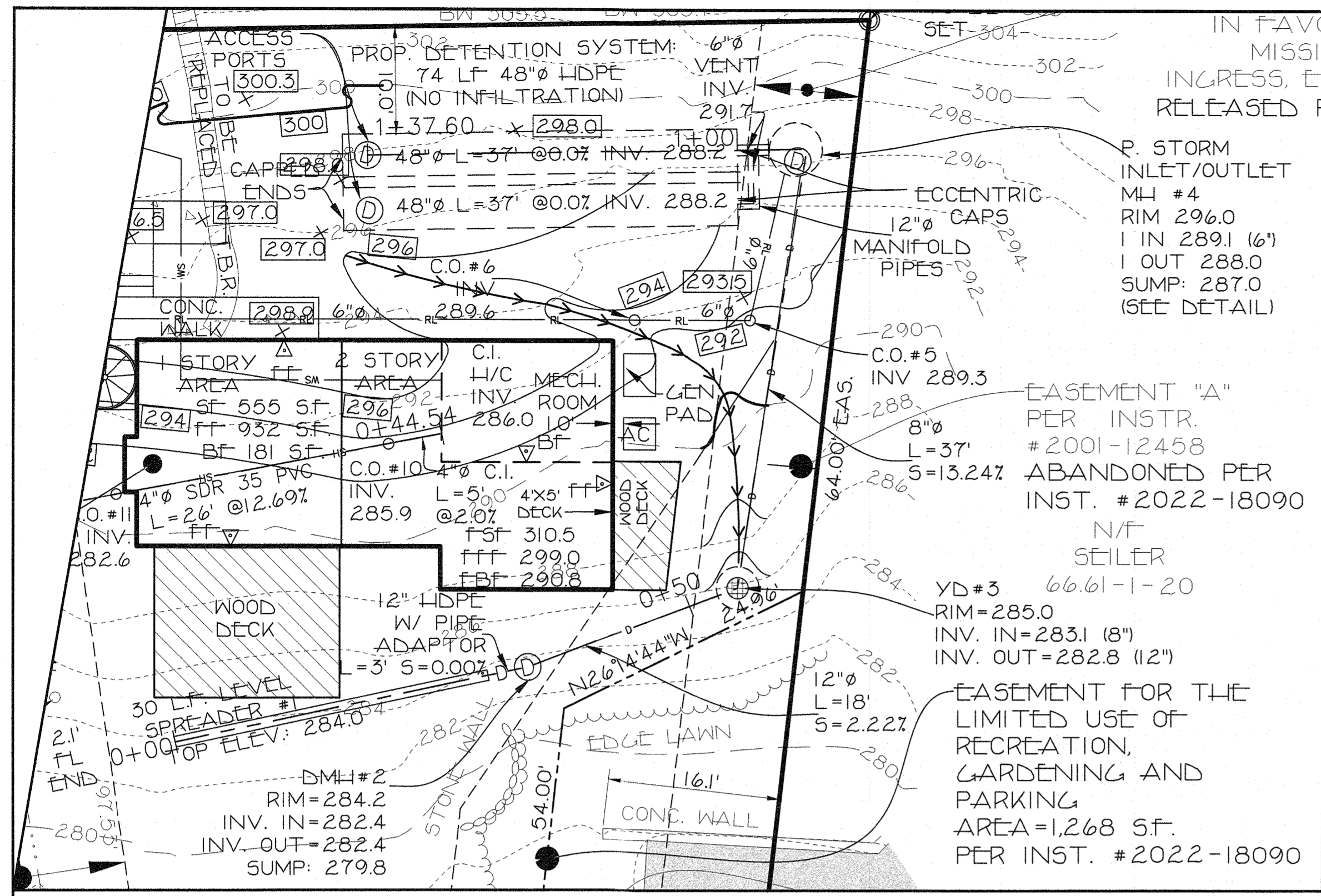
20' WIDE SANITARY SEWER EASEMENT PER F.M. #7769 & INSTR. 2005-34858 OWNER: DANSOM LLC

ZONING AREA CALCULATIONS:
 LOT AREA - SLOPE DEDUCTIONS = ZONING LOT AREA
 14,640 SF. - 9,920 SF. = 4,720 SF.

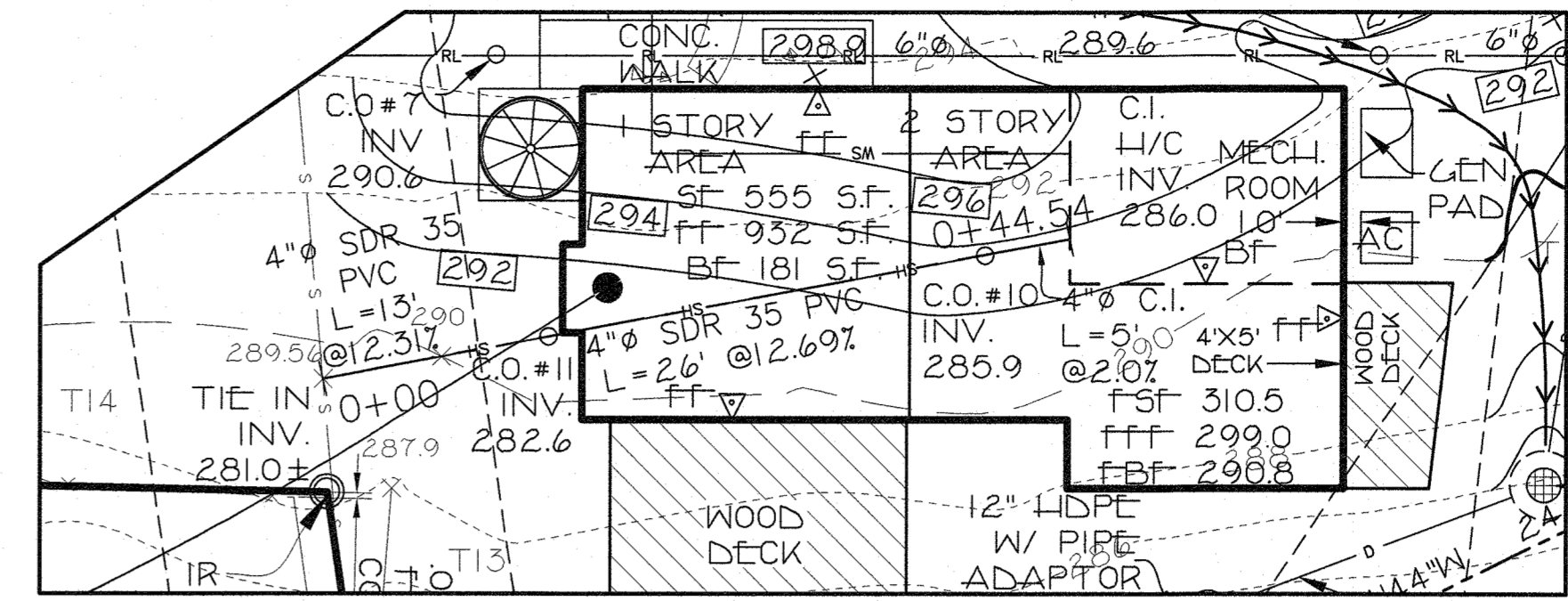
MAXIMUM LOT COVERAGE CALCULATIONS:
 IMPERVIOUS SURFACE / LOT AREA = LOT COVERAGE
 2,657 SF. / 4,720 SF. = 0.563 (56.3%)



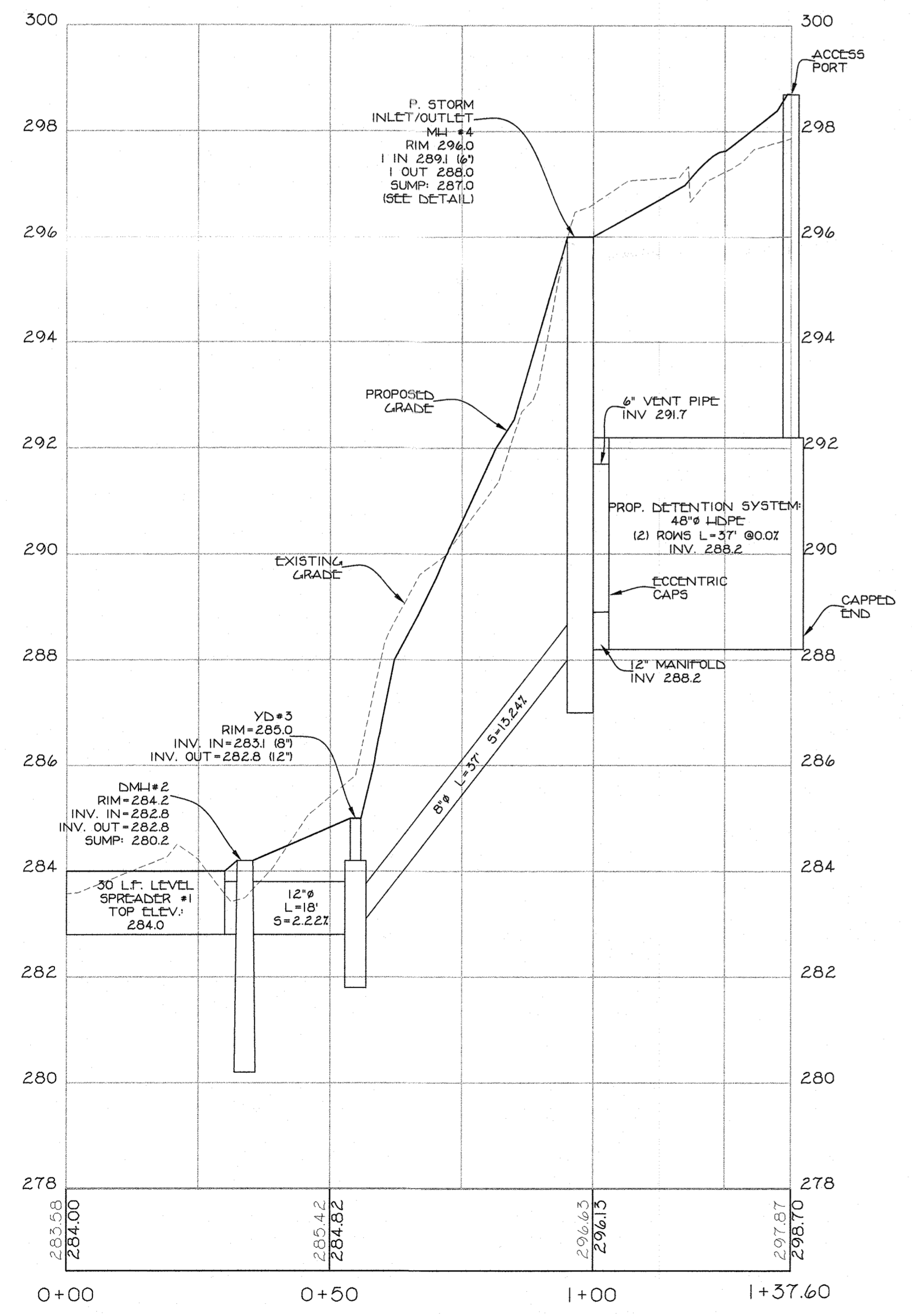
SALETY & SALETY, PLLC
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 SALETY.D@SELSNY.COM WYLS1@GMAIL.COM



SCALE: 1" = 10'

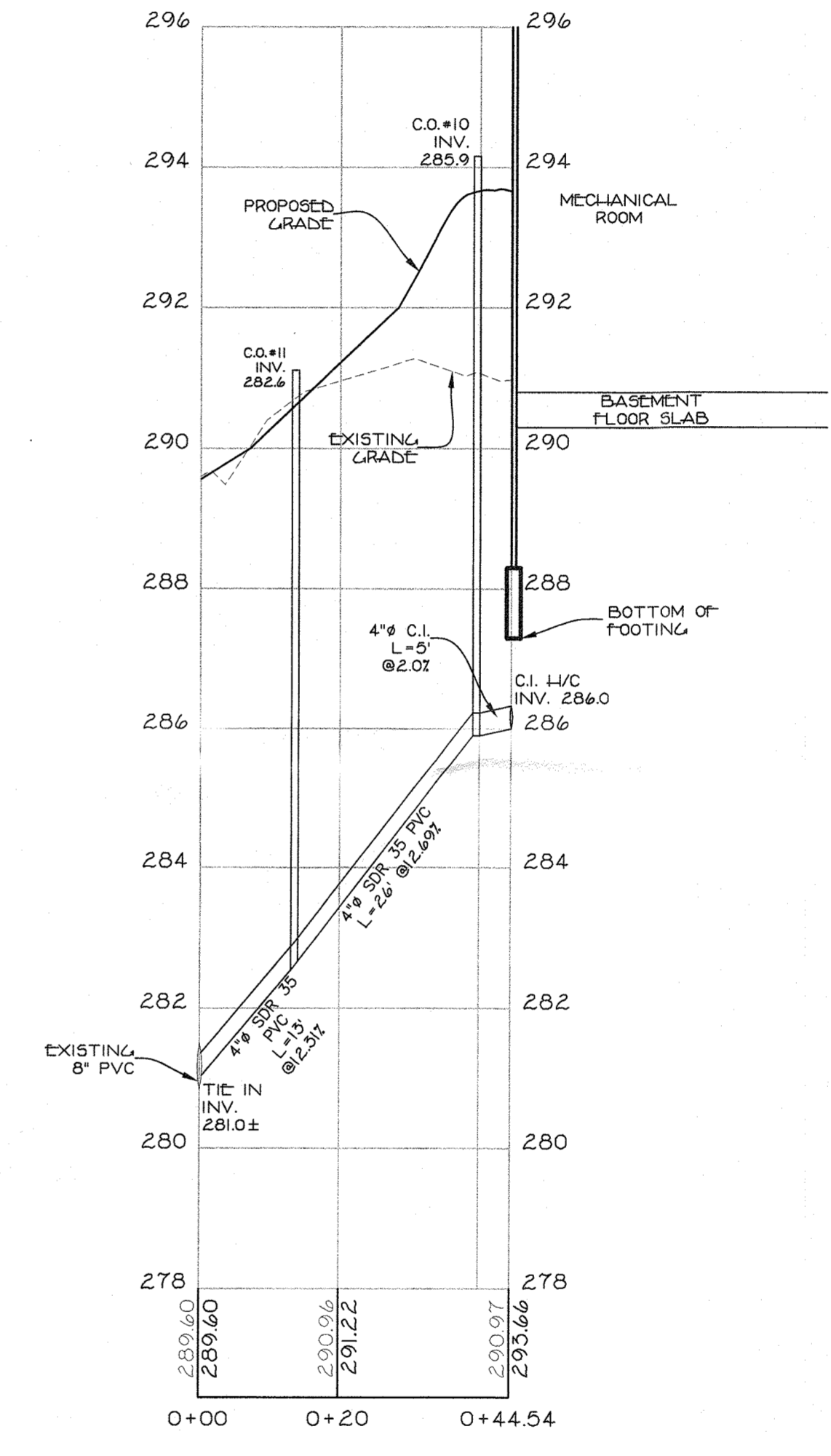


SCALE: 1" = 10'



DRAINAGE PROFILE STA: 0+00 TO 1+37.60

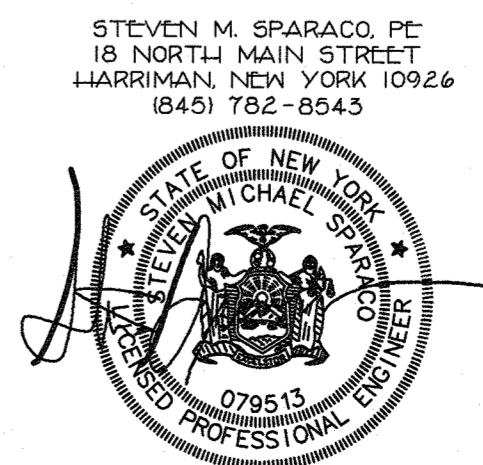
SCALE: H-1"=20', V-1"=2'



SANITARY PROFILE STA: 0+00 TO 0+44.54

SCALE: H-1"=20', V-1"=2'

DRAINAGE & SANITARY PROFILE
(SHEET 3 OF 5) FOR
FISHER
LOCATED IN
VILLAGE OF SOUTH NYACK
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK



REV: PER COMMENTS - 09/19/2023

SPARACO & YOUNGBLOOD, PLLC
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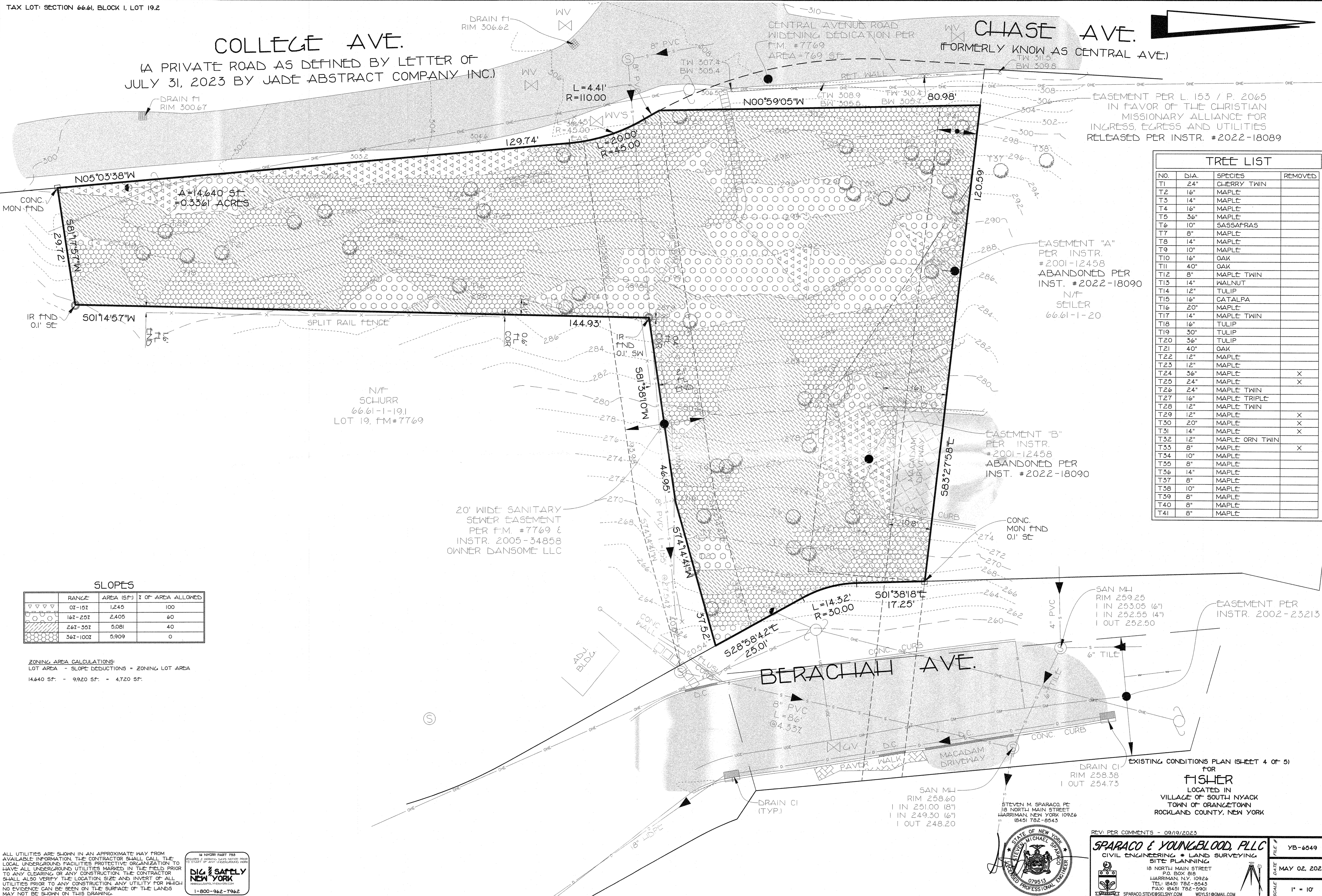
FILE #	YB-6549
DATE	MAY 02, 2023
SCALE	1" = 10'

COLLEGE AVE.

(A PRIVATE ROAD AS DEFINED BY LETTER OF JULY 31, 2023 BY JADE ABSTRACT COMPANY INC.)

CHASE AVE.

(FORMERLY KNOWN AS CENTRAL AVE.)



EASEMENT PER L. 153 / P. 2065 IN FAVOR OF THE CHRISTIAN MISSIONARY ALLIANCE FOR INGRESS, EGRESS AND UTILITIES RELEASED PER INSTR. #2022-18089

EASEMENT "A" PER INSTR. #2001-12458 ABANDONED PER INSTR. #2022-18090 N/F SEILER 66.61-1-20

EASEMENT "B" PER INSTR. #2001-12458 ABANDONED PER INSTR. #2022-18090

TREE LIST

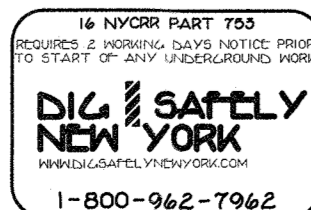
NO.	DIA.	SPECIES	REMOVED
T1	24"	CHERRY TWIN	
T2	16"	MAPLE	
T3	14"	MAPLE	
T4	16"	MAPLE	
T5	36"	MAPLE	
T6	10"	SASSAFRAS	
T7	8"	MAPLE	
T8	14"	MAPLE	
T9	10"	MAPLE	
T10	16"	OAK	
T11	40"	OAK	
T12	8"	MAPLE TWIN	
T13	14"	WALNUT	
T14	12"	TULIP	
T15	16"	CATALPA	
T16	20"	MAPLE	
T17	14"	MAPLE TWIN	
T18	16"	TULIP	
T19	30"	TULIP	
T20	36"	TULIP	
T21	40"	OAK	
T22	12"	MAPLE	
T23	12"	MAPLE	
T24	36"	MAPLE	X
T25	24"	MAPLE	X
T26	24"	MAPLE TWIN	
T27	16"	MAPLE TRIPLE	
T28	12"	MAPLE TWIN	
T29	12"	MAPLE	X
T30	20"	MAPLE	X
T31	14"	MAPLE	X
T32	12"	MAPLE ORN TWIN	
T33	8"	MAPLE	X
T34	10"	MAPLE	
T35	8"	MAPLE	
T36	14"	MAPLE	
T37	8"	MAPLE	
T38	10"	MAPLE	
T39	8"	MAPLE	
T40	8"	MAPLE	
T41	8"	MAPLE	

SLOPES

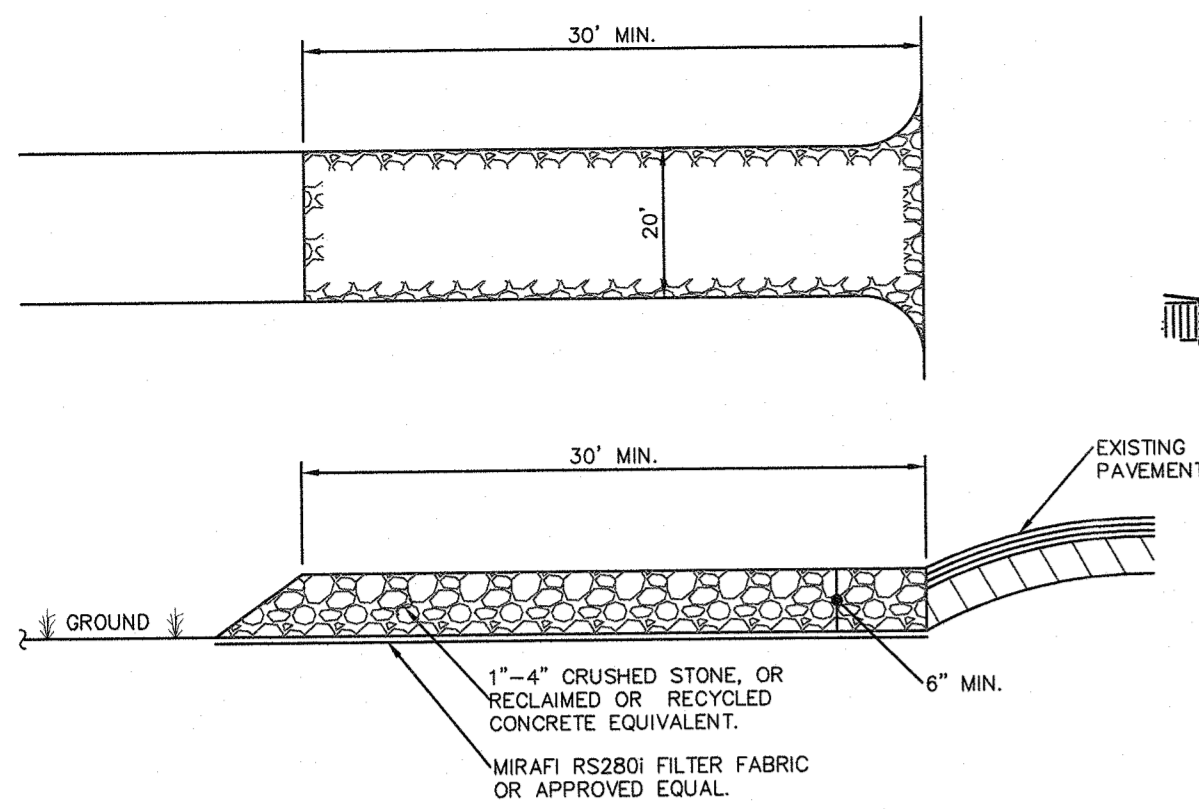
RANGE	AREA (SF)	% OF AREA ALLOWED
0% - 15%	1,245	100
16% - 25%	2,405	60
26% - 35%	5,081	40
36% - 100%	5,909	0

ZONING AREA CALCULATIONS:
 LOT AREA - SLOPE DEDUCTIONS = ZONING LOT AREA
 14,640 SF. - 9,920 SF. = 4,720 SF.

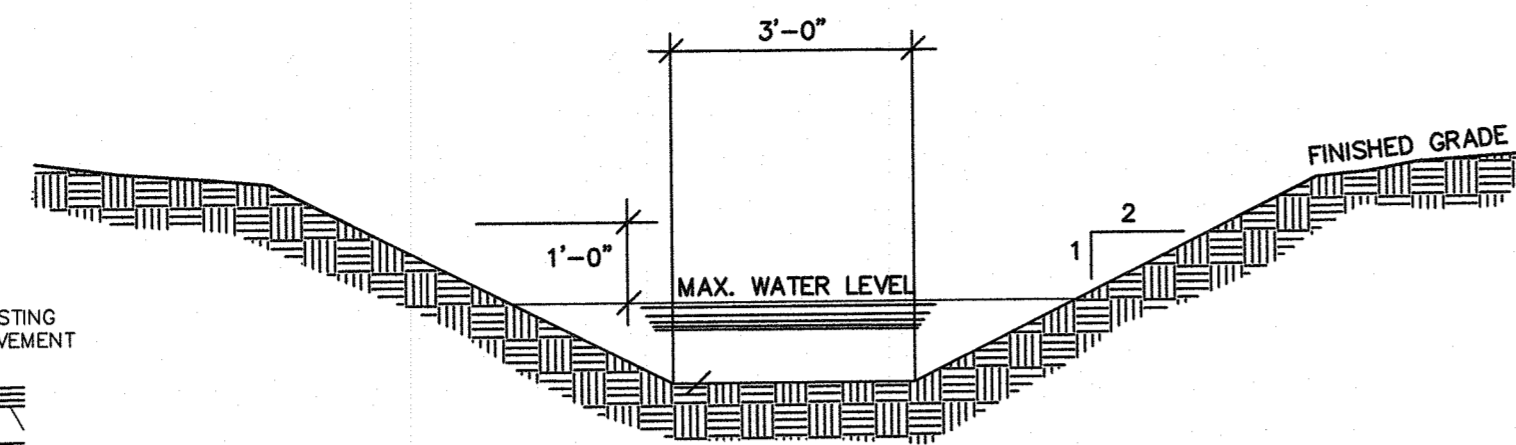
ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



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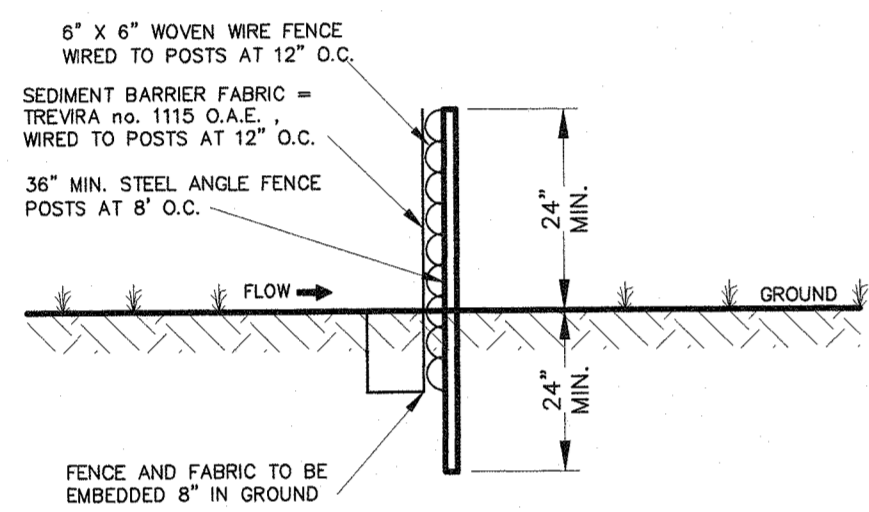
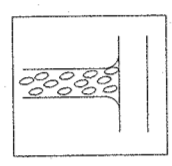


SWALE DETAIL



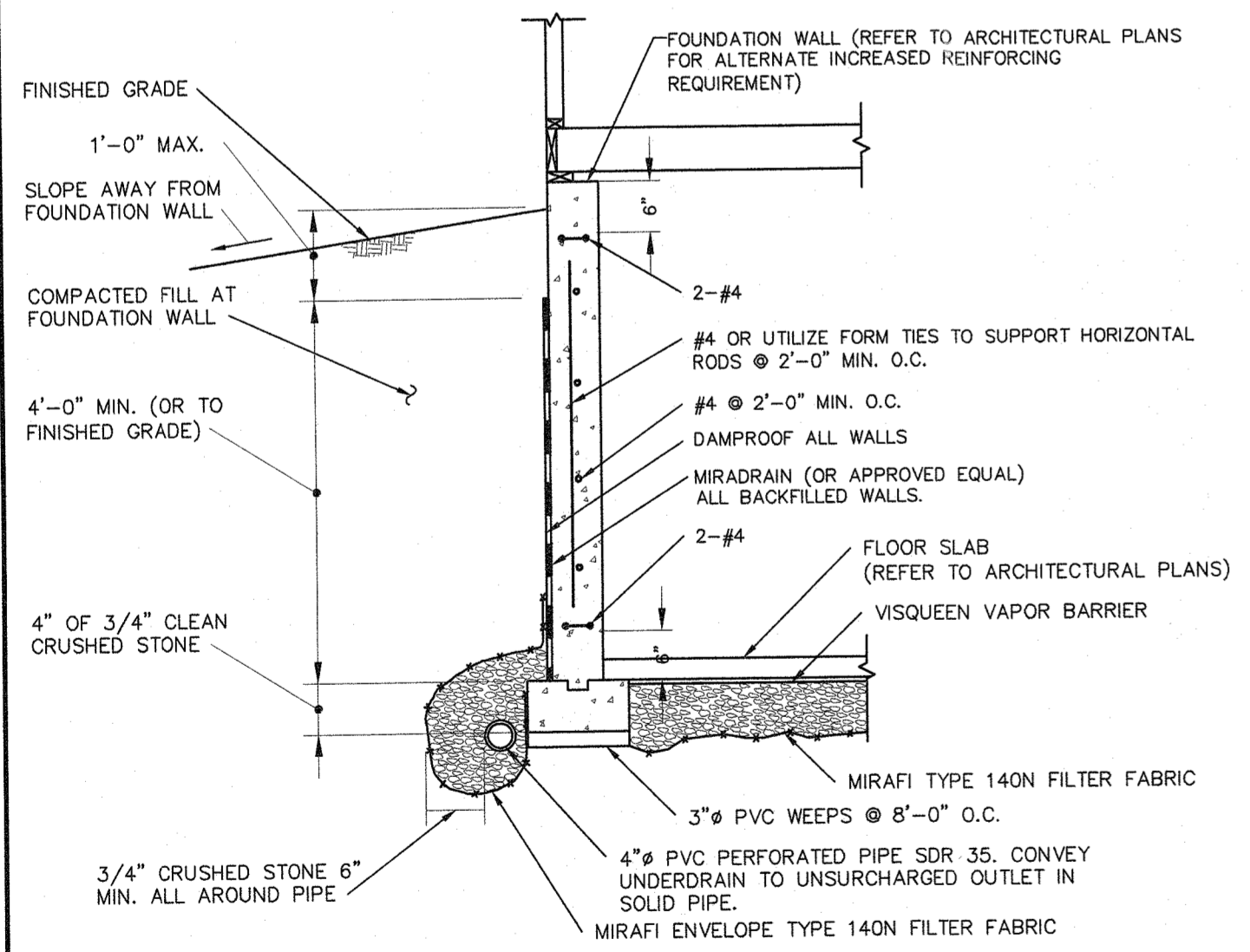
- NOTES:**
- ENTRANCE SHALL BE MAINTAINED AS CONDITIONS DEMAND TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC ROADS.
 - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE RESIDENTIAL



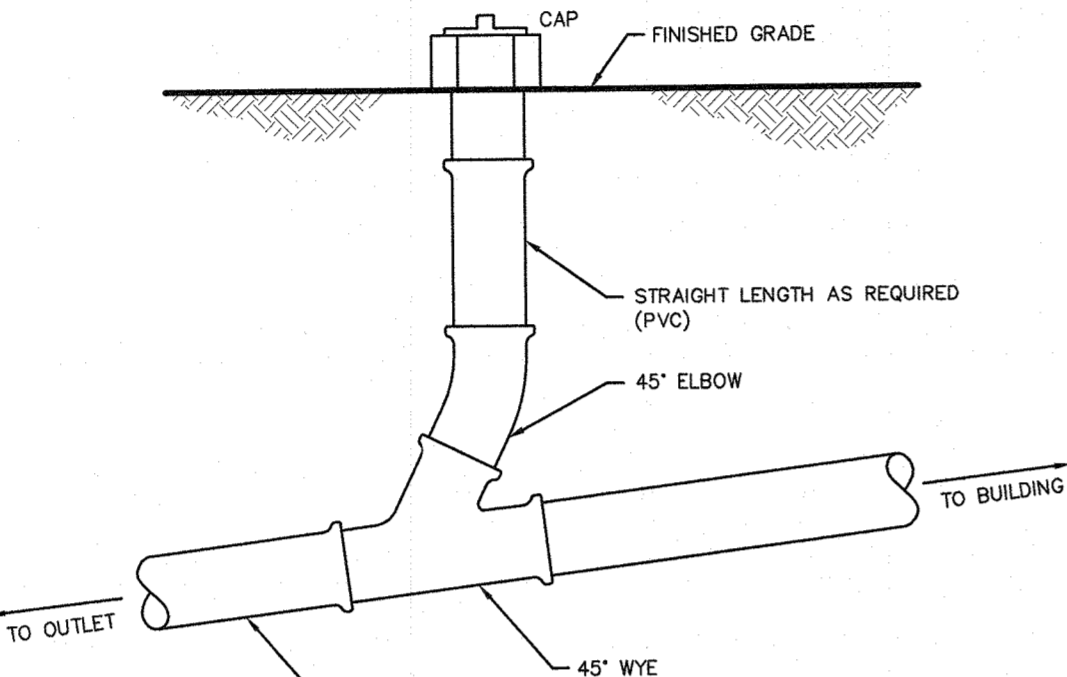
- NOTES:**
- THIS FENCE IS AN ALTERNATE TO HAY BALE SEDIMENT BARRIER
 - MAINTAIN FENCE TO INSURE SEDIMENT ENTRAPMENT QUALITIES DURING CONSTRUCTION.
 - REMOVE EXCESS SILT PERIODICALLY AND WHEN BULGES DEVELOPE.
 - FENCE SYMBOL ON PLAN =

SEDIMENT BARRIER FENCE



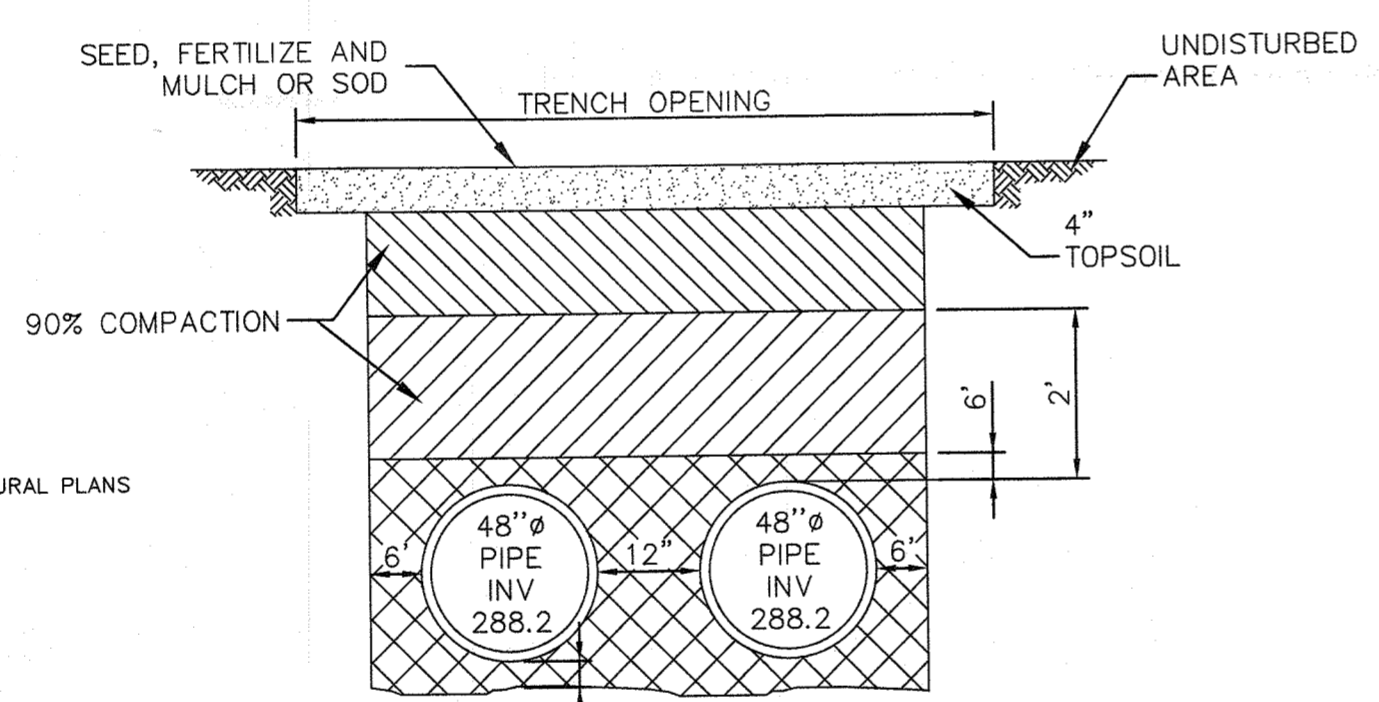
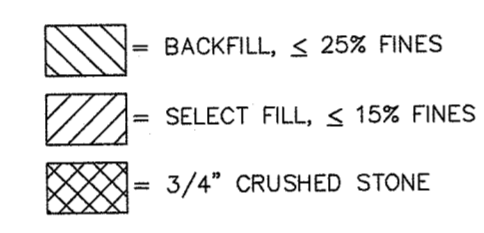
- NOTES:**
- CONVEY ALL ROOF LEADERS AWAY FROM DWELLING IN SEPARATE AND INDEPENDENT 4-INCH (MINIMUM) SDR 35 PVC PIPE.
 - NO CONNECTIONS TO UNDERDRAIN SYSTEM FROM OTHER SOURCES ARE PERMITTED.
 - BACKFILLING OF WALL IS NOT PERMITTED UNTIL FRAMING IS COMPLETED OR WALL IS SUPPORTED INSIDE.
 - STEEL REINFORCEMENT SHOWN IS MINIMUM REQUIREMENT. SEE ARCHITECTURAL PLANS FOR ALTERNATE INCREASED REINFORCING REQUIREMENT.

FOUNDATION UNDERDRAIN DETAIL



- NOTES:**
- FOR USE AT GRASS AREAS ONLY
 - ALL PIPE SIZES

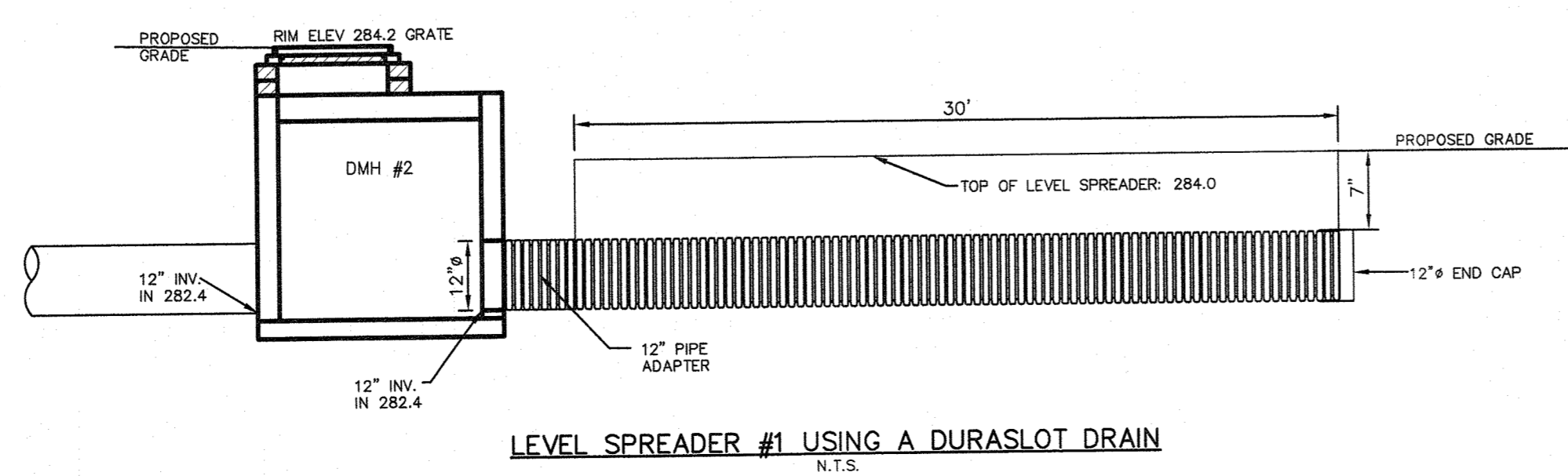
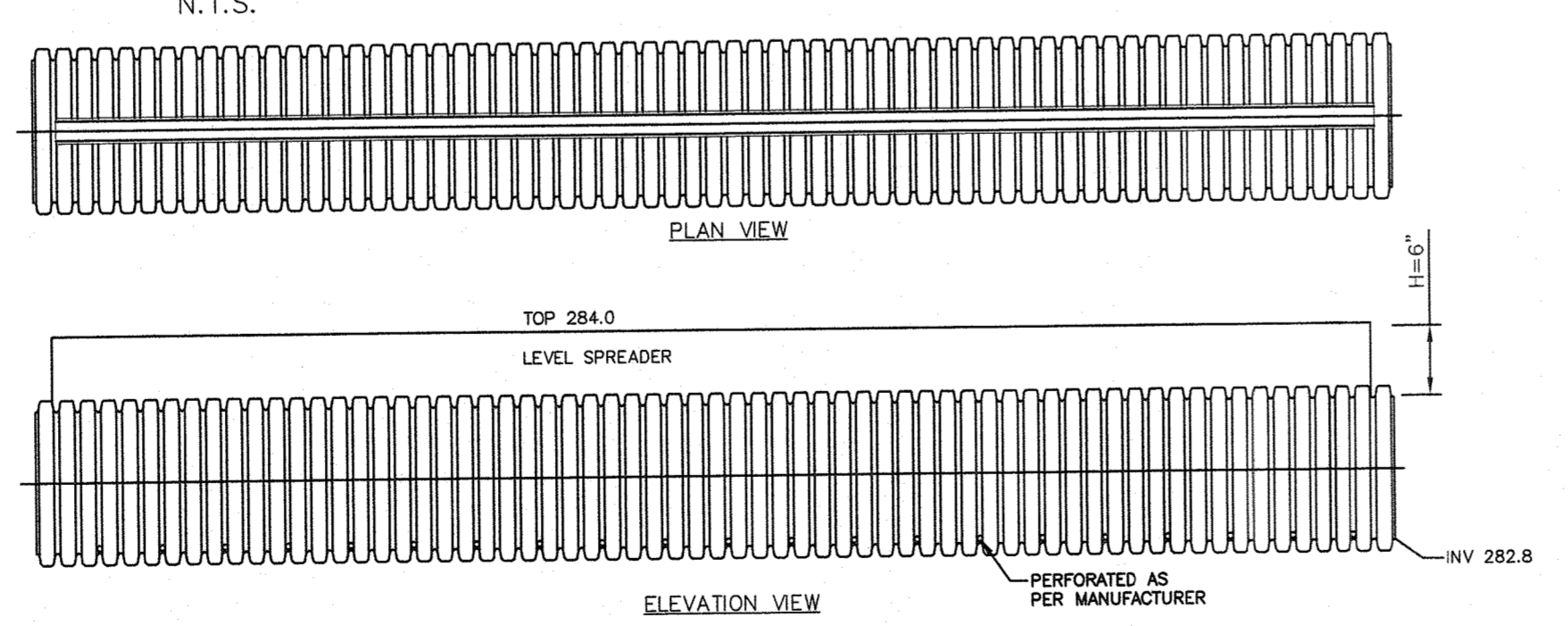
DRAINAGE CLEANOUT DETAIL: NON TRAFFIC



- NOTES:**
- BROOM FINISH EACH SQUARE AT 90° TO PRECEDING SQUARE.
 - PLACE JOINTS EQUAL TO WALK WIDTH OR AS SHOWN ON PLAN.
 - INSTALL 1/2" PRE-MOLDED EXPANSION JOINT FILLER AT 24" O.C. MAX. AND AGAINST CONCRETE CURBS, BUILDINGS AND OTHER STRUCTURES

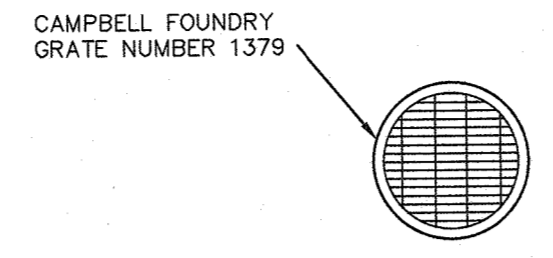
CONCRETE SIDEWALK DETAIL

DETENTION SYSTEM SECTION DETAIL

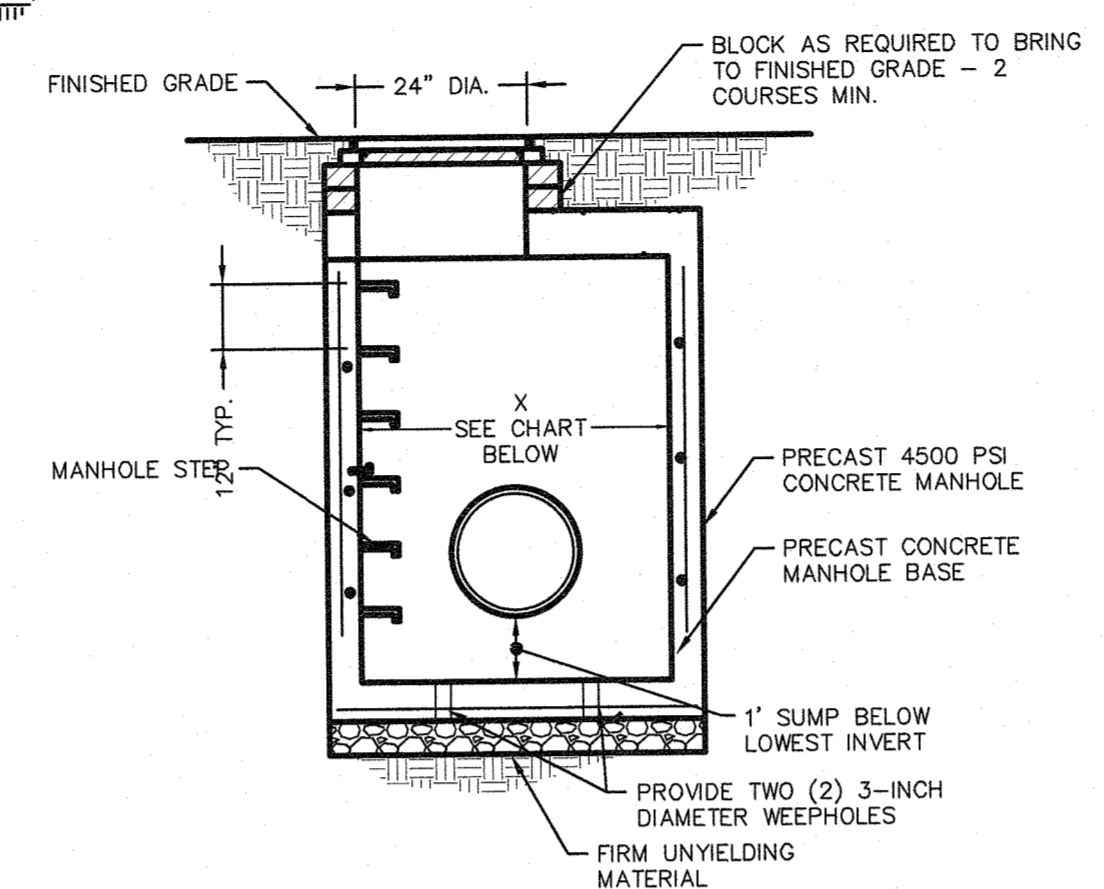


LEVEL SPREADER #1 USING A DURASLOT DRAIN

N.T.S.



GRATE - PLAN VIEW

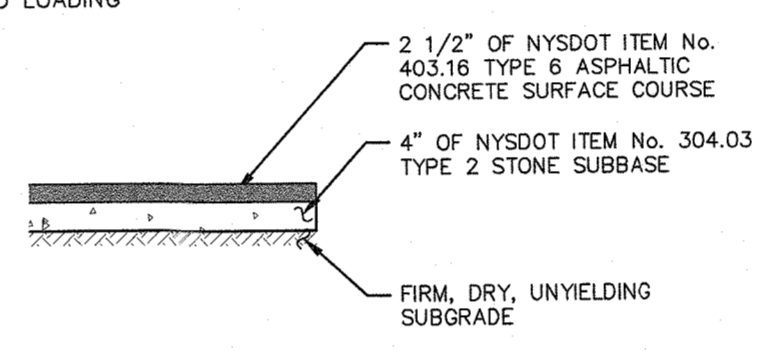


X DIMENSION	INCOMING/OUTGOING PIPE SIZES
48 INCH DIAMETER	EQUAL OR LESS THAN 36 INCH DIAMETER PIPES
60 INCH DIAMETER	42 TO 48 INCH DIAMETER PIPES

- NOTES:**
- MANHOLE TO CONFORM TO A.S.T.M. C478 (LATEST REVISION).
 - PRECAST CONCRETE MANHOLES WITH RESILIENT SEALS AT JOINTS.
 - MANUFACTURER SHALL CERTIFY ALL COMPONENTS MANHOLE FOR HS20 LOADING
 - RISER SECTION JOINTS SHALL BE FIELD-MORTARED

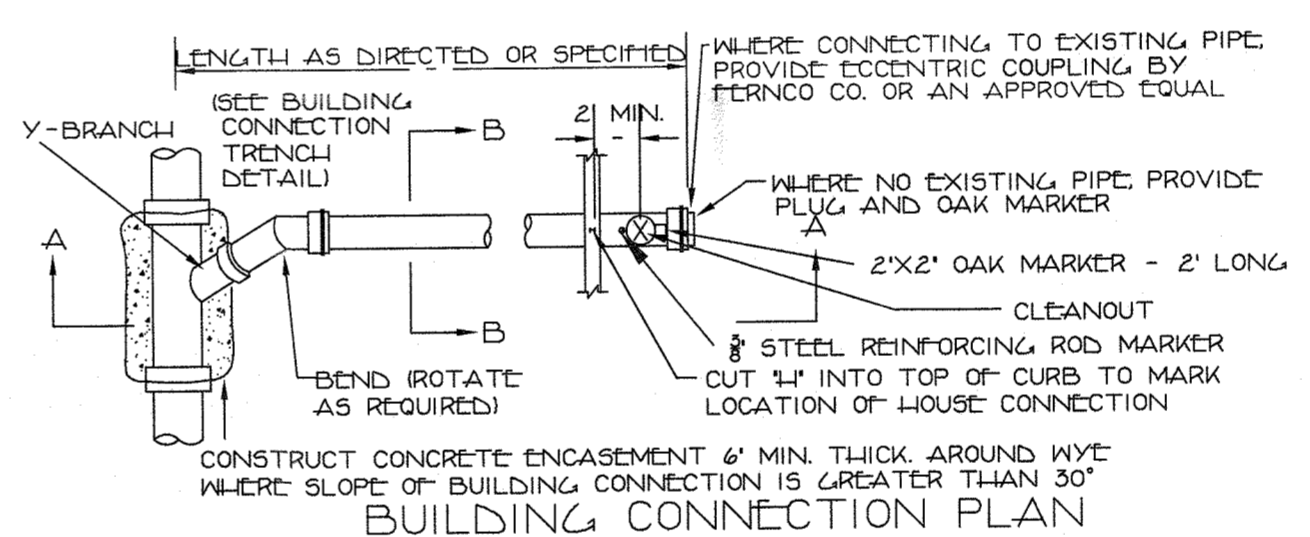
YARD DRAIN (MH)

N.T.S.



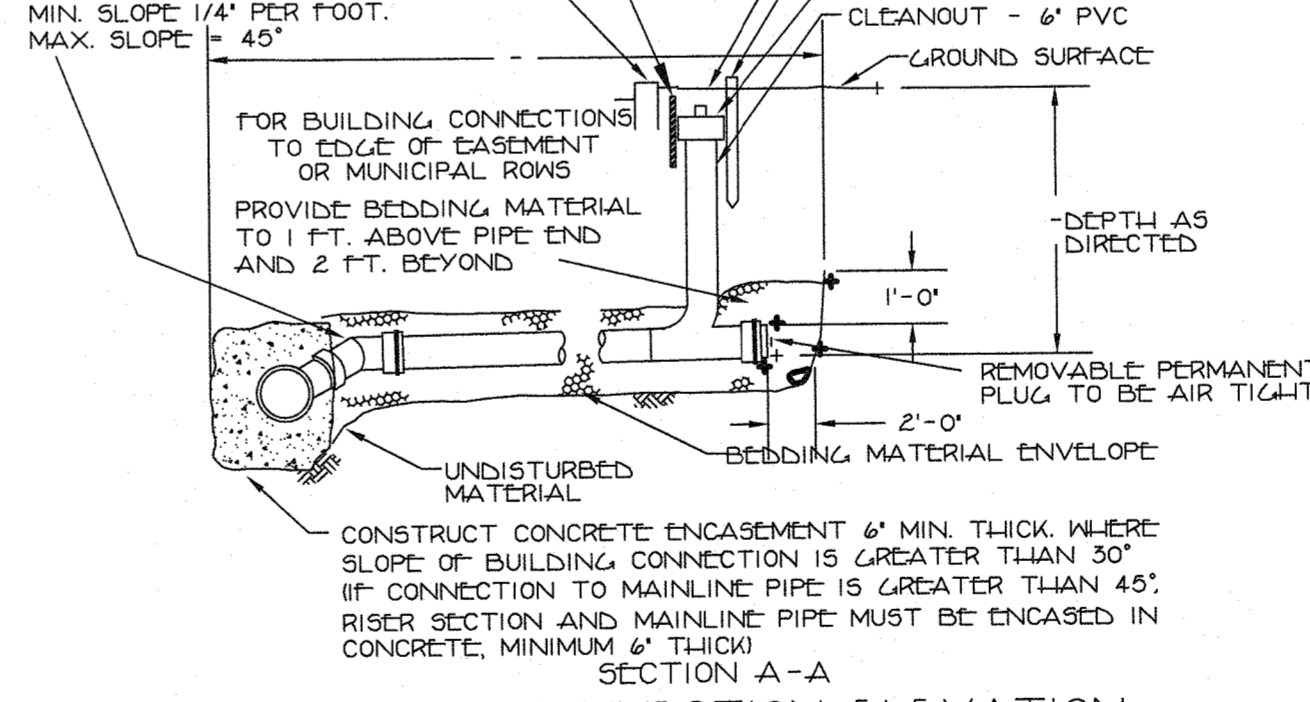
PRIVATE DRIVEWAY PAVEMENT

N.T.S.



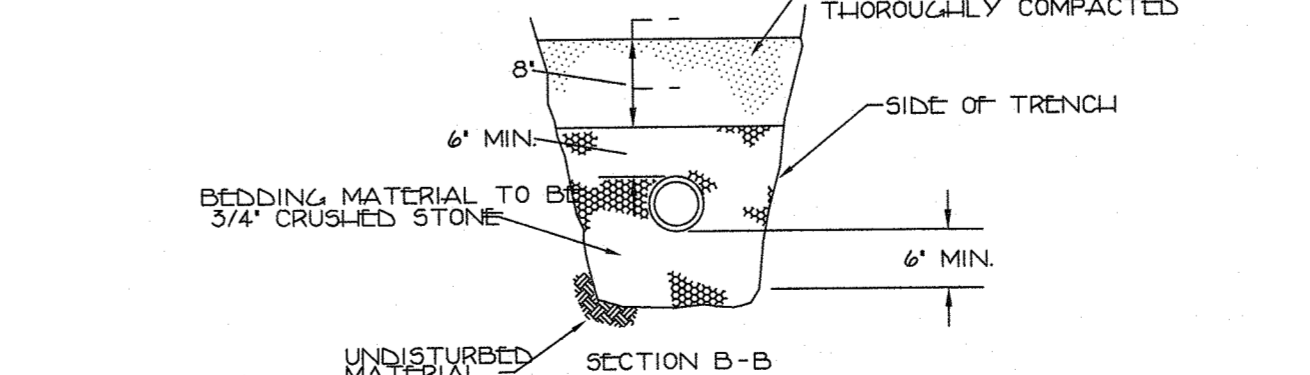
BUILDING CONNECTION PLAN

N.T.S.



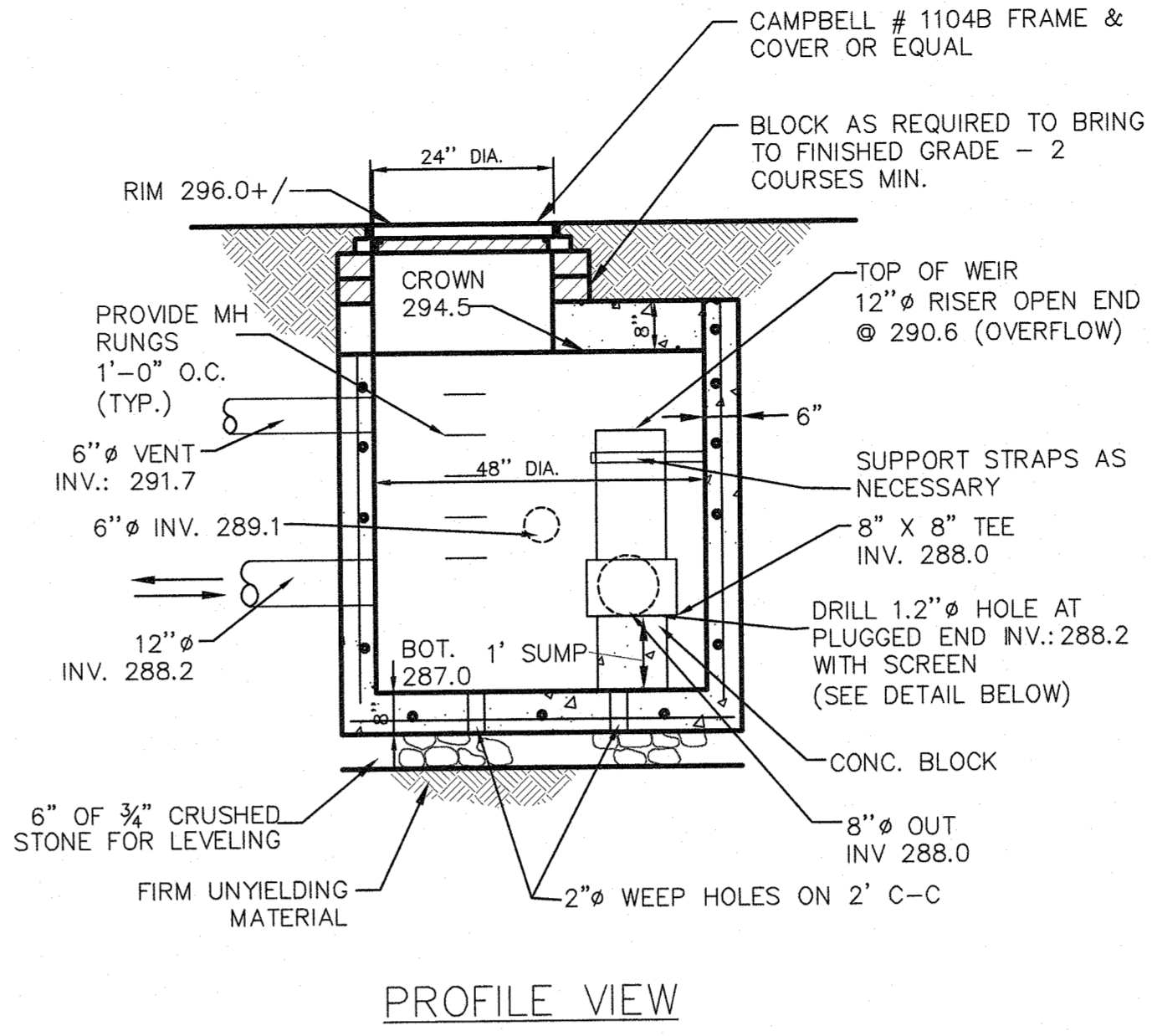
BUILDING CONNECTION ELEVATION DETAIL

N.T.S.



BUILDING CONNECTION TRENCH DETAIL

N.T.S.

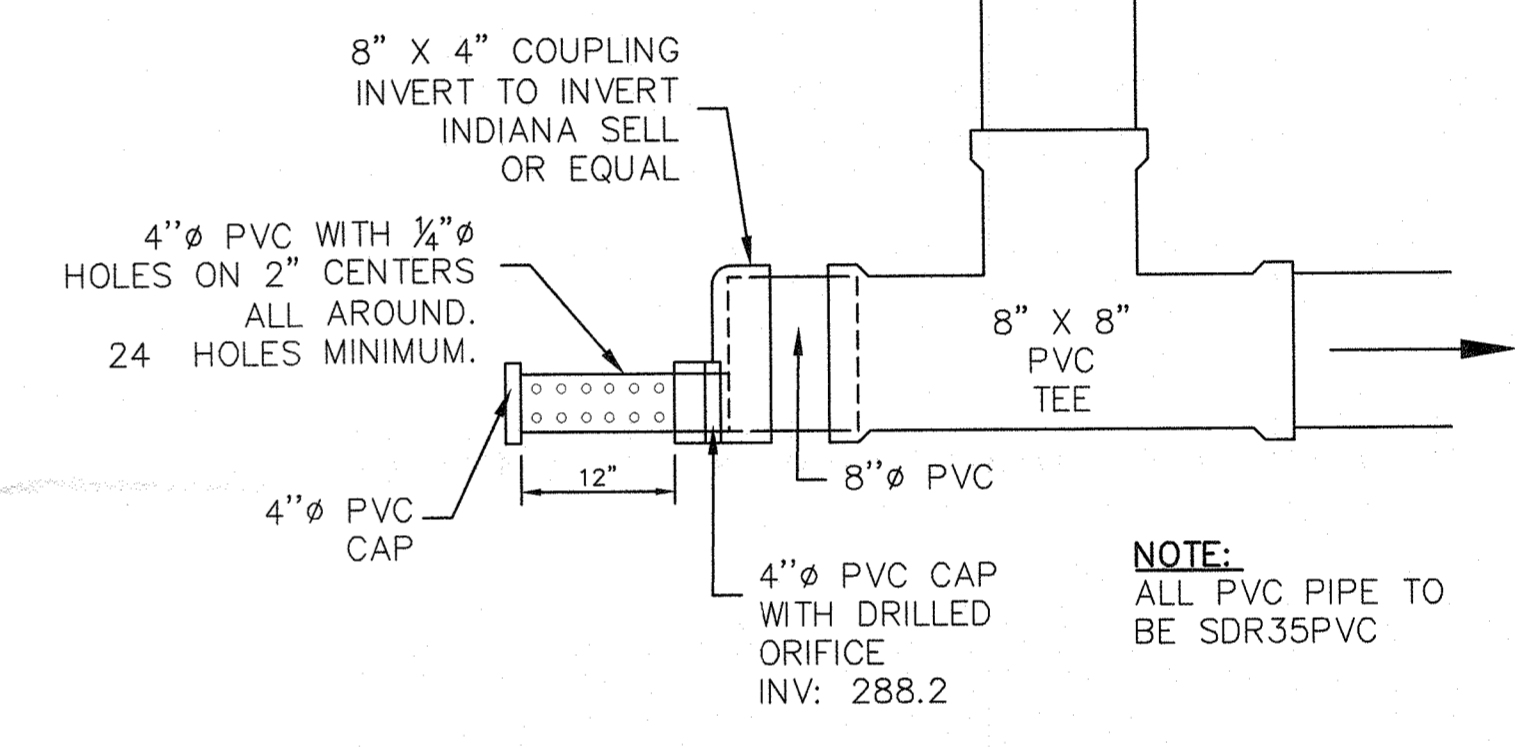


PROFILE VIEW

- MANHOLE TO CONFORM TO A.S.T.M. C478 (LATEST REVISION).
- PRECAST CONCRETE MANHOLES WITH RESILIENT SEALS AT JOINTS.
- MANUFACTURER SHALL CERTIFY ALL COMPONENTS MANHOLE FOR HS20 LOADING
- RISER SECTION JOINTS SHALL BE FIELD-MORTARED
- SHOP DRAWING TO BE APPROVED BY DESIGN ENGINEER PRIOR TO CASTING.

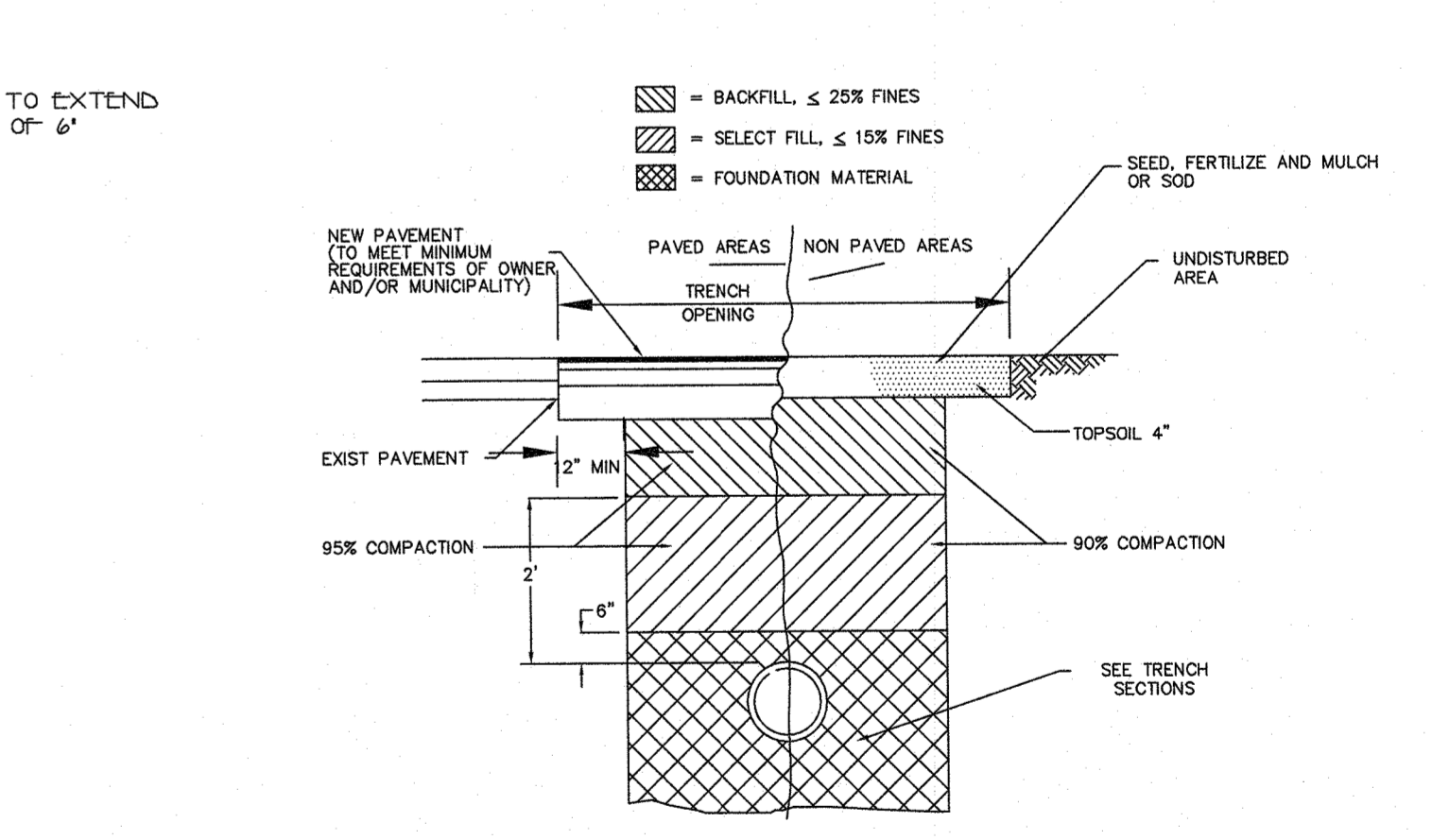
INLET/OUTLET MANHOLE #2

N.T.S.



SCREENING DETAIL

N.T.S.



PIPE TRENCH BACKFILL DETAIL

N.T.S.

DETAILS (SHEET 5 OF 5) FOR FISHER

LOCATED IN VILLAGE OF SOUTH NYACK TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK

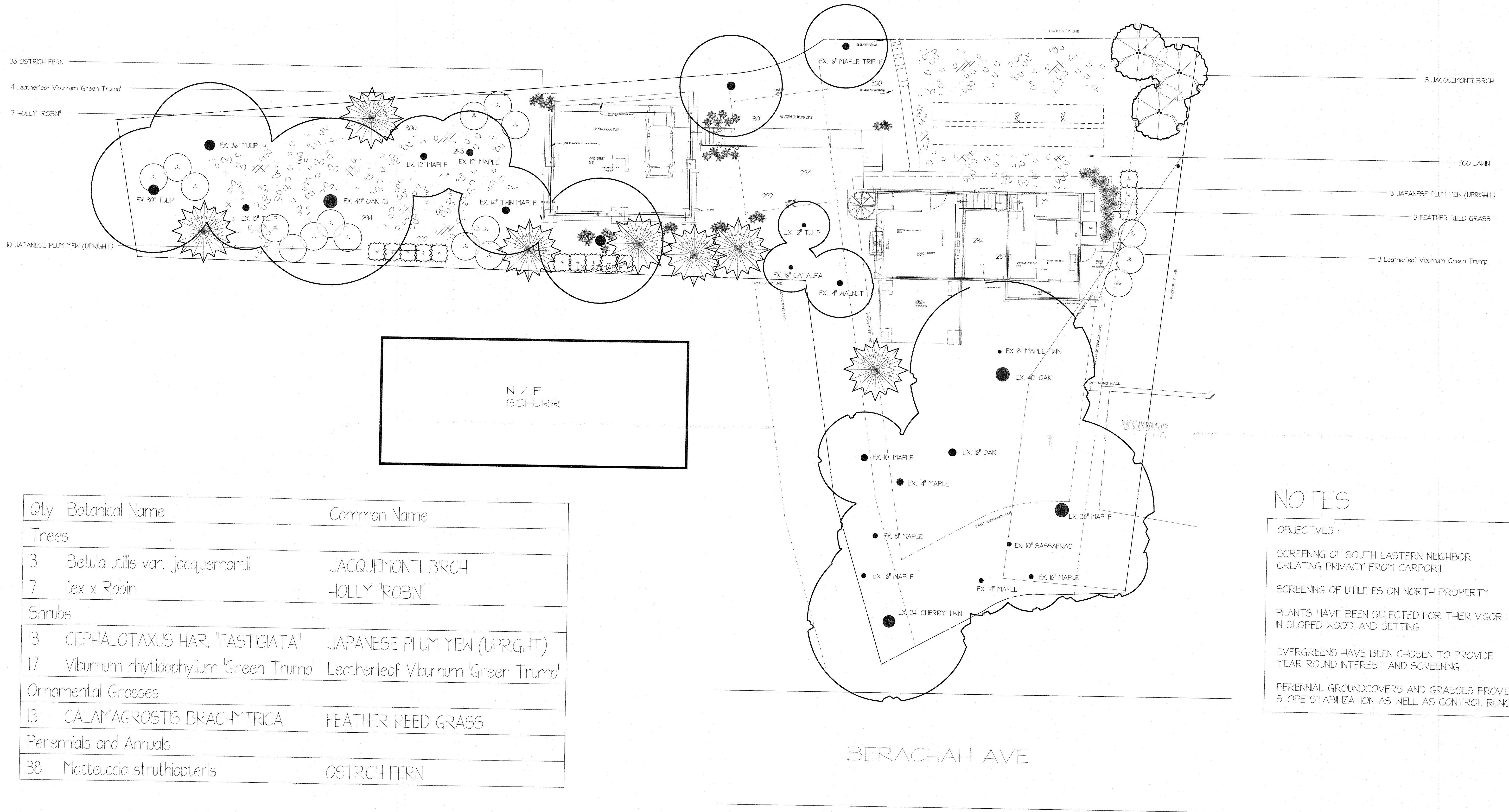
STEVEN M. SPARACO, PE
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(845) 762-8545



REV: PER COMMENTS - 09/19/2023

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FAX: (845) 762-5901
SPARACO@STEVENYOUNGBLOOD.COM WYLS1@GMAIL.COM

DATE: MAY 02, 2023
SCALE: AS NOTED

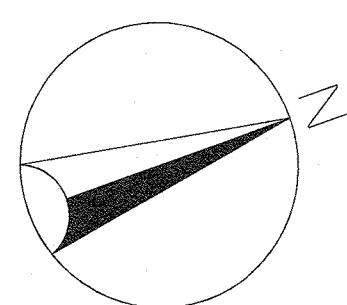


N / F
SCHURR

Qty	Botanical Name	Common Name
Trees		
3	<i>Betula utilis</i> var. <i>jacquemontii</i>	JACQUEMONTII BIRCH
7	<i>Ilex x Robin</i>	HOLLY "ROBIN"
Shrubs		
13	<i>Cephalotaxus har.</i> "FASTIGIATA"	JAPANESE PLUM YEW (UPRIGHT)
17	<i>Viburnum rhytidophyllum</i> 'Green Trump'	Leatherleaf Viburnum 'Green Trump'
Ornamental Grasses		
13	<i>Calamagrostis brachytricha</i>	FEATHER REED GRASS
Perennials and Annuals		
38	<i>Matteuccia struthiopteris</i>	OSTRICH FERN

NOTES

- OBJECTIVES :
- SCREENING OF SOUTH EASTERN NEIGHBOR
CREATING PRIVACY FROM CARPORT
 - SCREENING OF UTILITIES ON NORTH PROPERTY
 - PLANTS HAVE BEEN SELECTED FOR THEIR VIGOR
IN SLOPED WOODLAND SETTING
 - EVERGREENS HAVE BEEN CHOSEN TO PROVIDE
YEAR ROUND INTEREST AND SCREENING
 - PERENNIAL GROUNDCOVERS AND GRASSES PROVIDE
SLOPE STABILIZATION AS WELL AS CONTROL RUNOFF



THE FISHER RESIDENCE PLANT PLAN
ROBERT FISHER

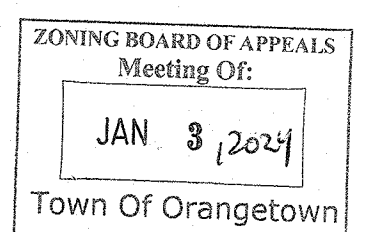
7 BERACHAH AVENUE
SOUTH NYACK, NY 10960

DATE : MARCH 15, 2023

REV 1 : 5/09/23

SCALE : 1" = 10'

DRAWN BY : DFG



RO-B ZONING DISTRICT - GENERAL RESIDENTIAL - PRELIMINARY CLUSTER PLAN

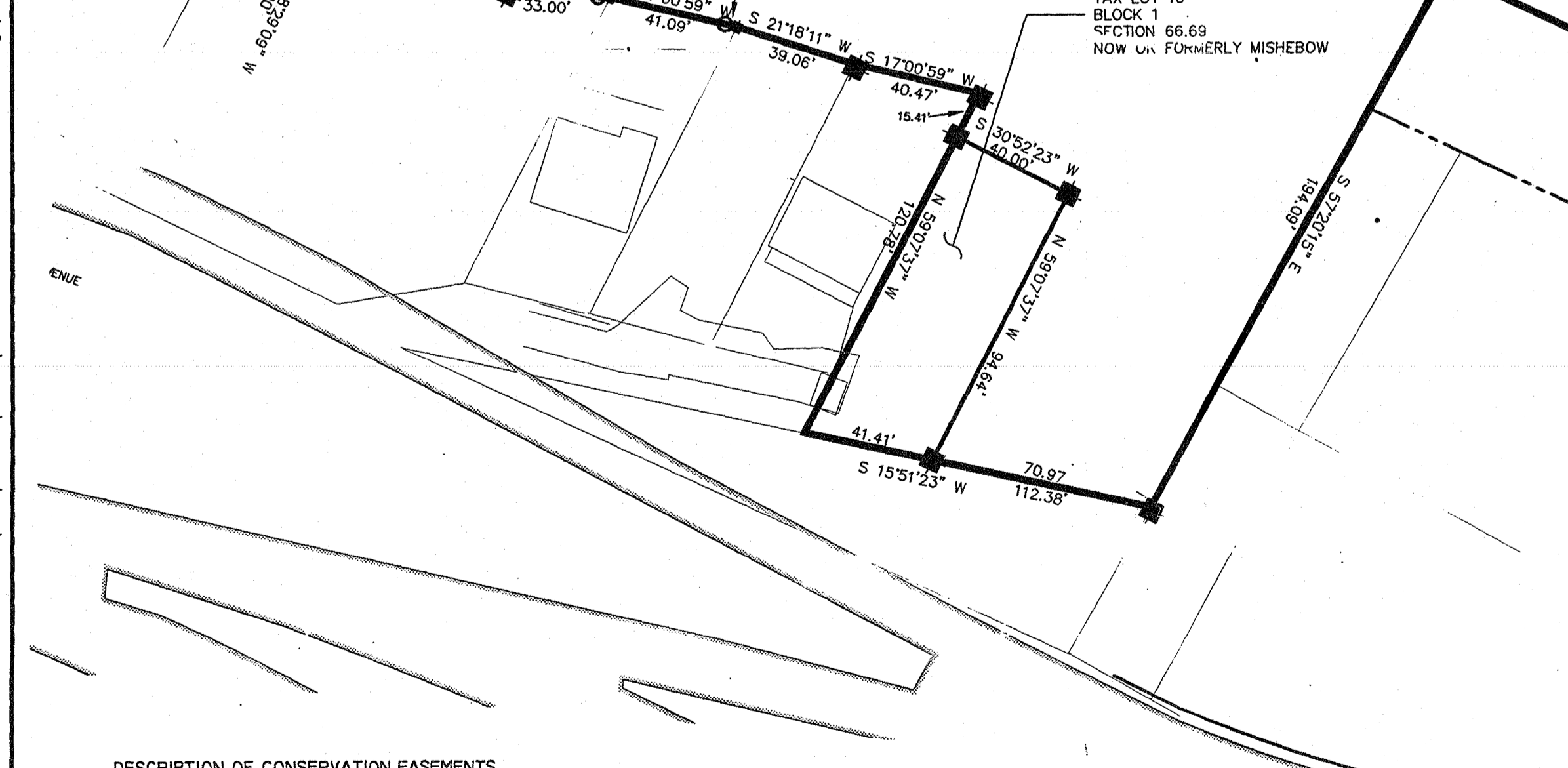
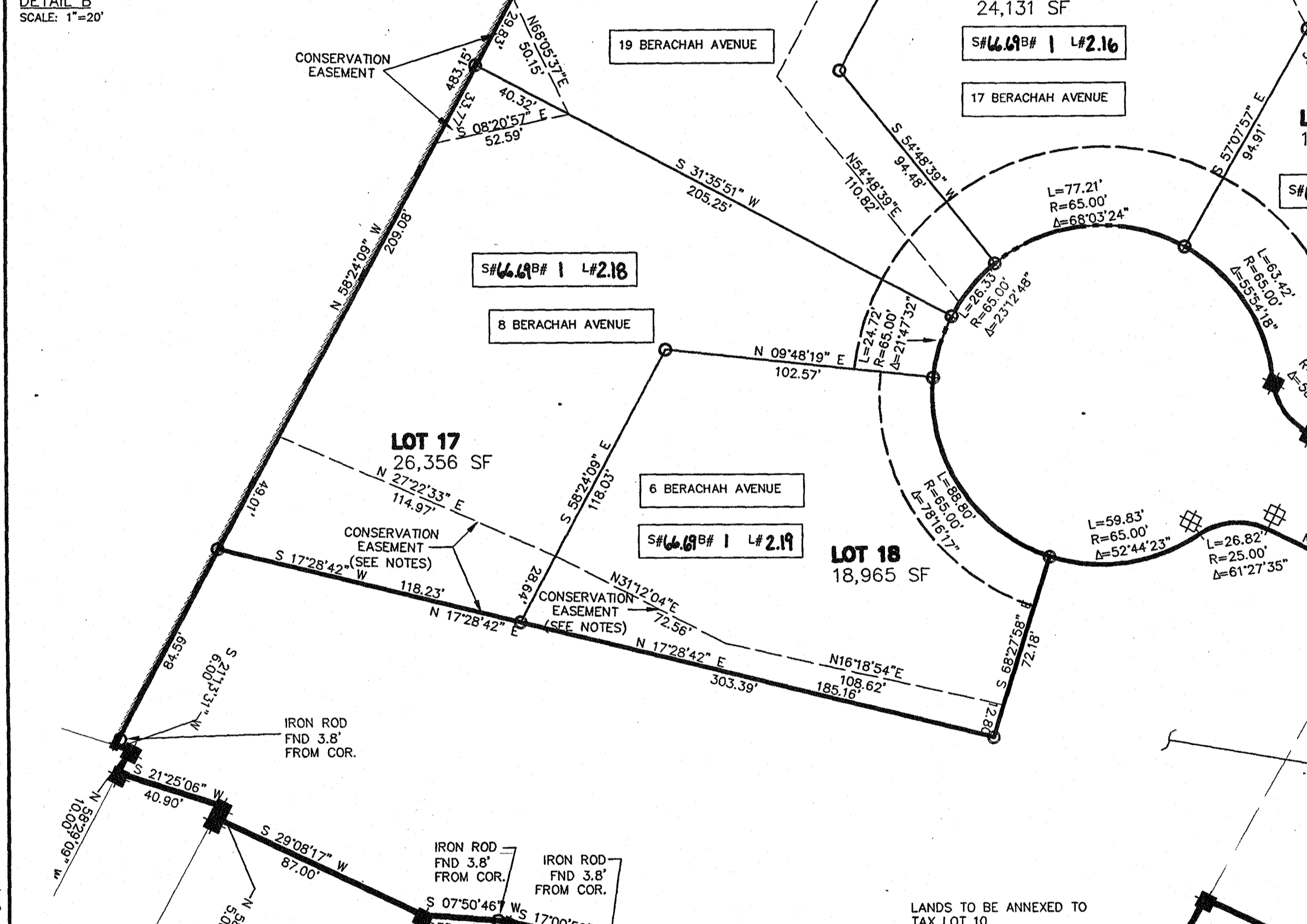
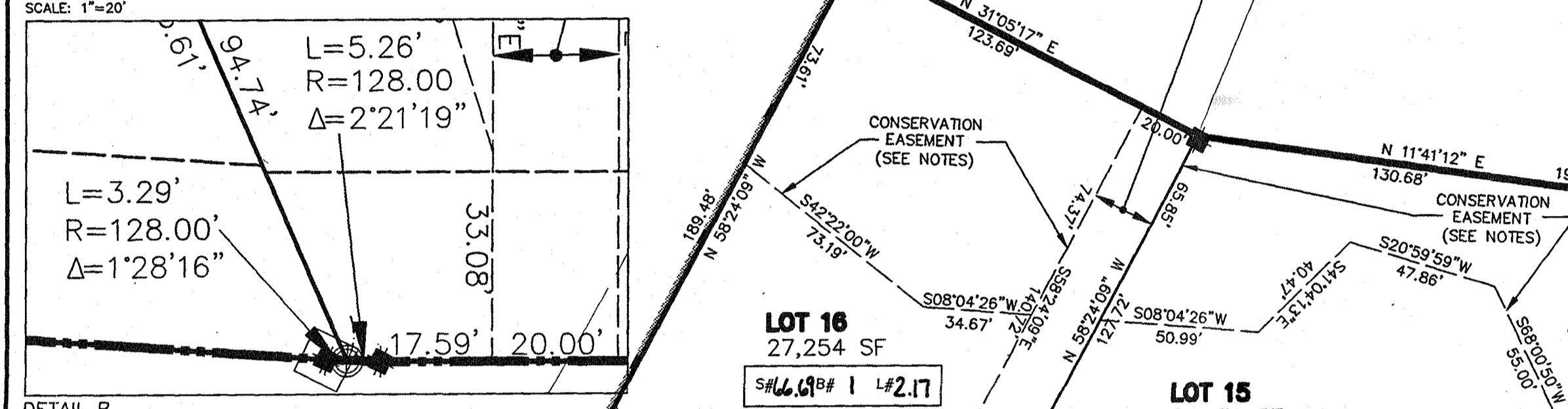
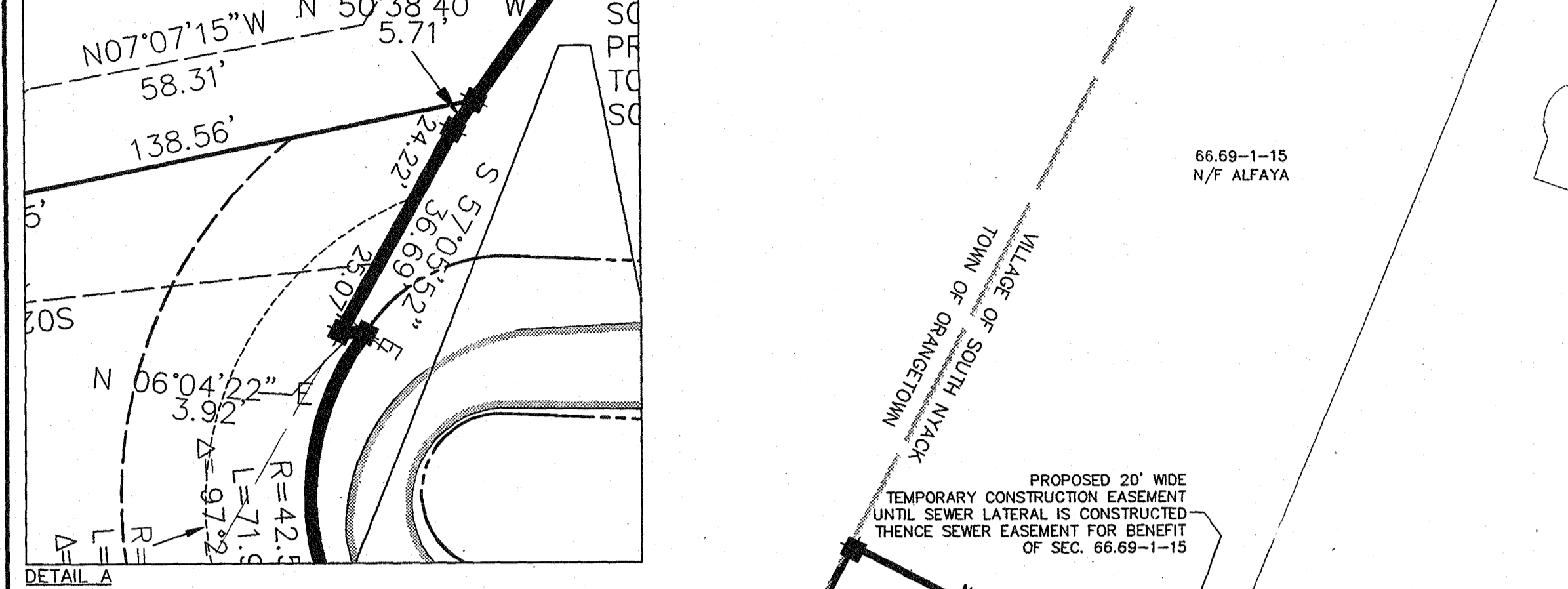
STANDARD BULK REGULATIONS	MINIMUM FRONT YARD SETBACK (FT)				MINIMUM SIDE/REAR YARD SETBACK (FT)				MINIMUM DISTANCE FROM PRINCIPLE STREET (FT)				
	MINIMUM AREA (SQ FT)	MINIMUM FRONTAGE ON STREET (FT)	MINIMUM LOT COVERAGE (%)	MINIMUM BUILDING HEIGHT (STORIES/FT)	MINIMUM FRONT YARD	MINIMUM ONE SIDE YARD	MINIMUM TWO SIDE YARDS	MINIMUM REAR YARD	MINIMUM FRONT YARD	MINIMUM ONE SIDE YARD	MINIMUM REAR YARD	MINIMUM DISTANCE FROM PRINCIPLE STREET	
8,000	80	30	3/20	20	15	30	22	7	1/15	55	6	6	10
17,587	95.85	30	3/20	20	15	30	22	7	1/15	55	6	6	10
20,675	124.47	30	3/20	20	15	30	22	7	1/15	55	6	6	10
21,253	123.53	30	3/20	20	15	30	22	7	1/15	55	6	6	10
19,257	97.74	30	3/20	20	15	30	22	7	1/15	55	6	6	10
21,138	226.20	30	3/20	20	15	30	22	7	1/15	55	6	6	10
22,477	156.50	30	3/20	20	15	30	22	7	1/15	55	6	6	10
22,872	152.53	30	3/20	20	15	30	22	7	1/15	55	6	6	10
22,477	245.19	30	3/20	20	15	30	22	7	1/15	55	6	6	10
18,243	152.53	30	3/20	20	15	30	22	7	1/15	55	6	6	10
19,211	152.23	30	3/20	20	15	30	22	7	1/15	55	6	6	10
22,477	152.53	30	3/20	20	15	30	22	7	1/15	55	6	6	10
22,477	245.19	30	3/20	20	15	30	22	7	1/15	55	6	6	10
18,243	152.53	30	3/20	20	15	30	22	7	1/15	55	6	6	10
19,211	152.23	30	3/20	20	15	30	22	7	1/15	55	6	6	10
22,477	245.19	30	3/20	20	15	30	22	7	1/15	55	6	6	10
18,243	152.53	30	3/20	20	15	30	22	7	1/15	55	6	6	10
19,211	152.23	30	3/20	20	15	30	22	7	1/15	55	6	6	10
22,477	245.19	30	3/20	20	15	30	22	7	1/15	55	6	6	10
18,243	152.53	30	3/20	20	15	30	22	7	1/15	55	6	6	10
19,211	152.23	30	3/20	20	15	30	22	7	1/15	55	6	6	10
22,477	245.19	30	3/20	20	15	30	22	7	1/15	55	6	6	10

The proposed minimum front yard setback is 10 ft. less than the standard front yard requirement. A 10 ft. increase in the minimum required rear yard has been provided to compensate for this modification in accordance with §10-7.14(3) of the Village of South Nyack Zoning Regulation. Development on Hillside Exemptions to Yard Requirements.

Side yard setback includes 15 ft. on the south side and 45 ft. easement on the north side, for a total of 60 ft.

Lot has two front yard setbacks, one backyard setback, and one side yard setback.

Existing building.



DESCRIPTION OF CONSERVATION EASEMENTS TO BE GRANTED TO THE VILLAGE OF SOUTH NYACK

PURPOSE: THE PURPOSE OF THE CONSERVATION EASEMENTS IS TO ENSURE THAT THE VILLAGE HAS SUFFICIENT CONTROL AND APPROVAL AUTHORITY OVER ACTIVITY IN THE AREAS TO:

- MAINTAIN VEGETATIVE COVER TO STABILIZE THE SLOPES AND PREVENT EROSION
- PRESERVE TREES AND VEGETATIVE AREAS
- MAINTAIN BOUNDARY AREAS BETWEEN PROPERTIES
- PRESERVE SCREENING AND OFF SITE VIEW QUALITY OF AREAS

CONDITIONS OF THE EASEMENTS:

- RESIDENT TO SITE PLAN APPROVAL, NO DISTURBANCE, INCLUDING CLEARING OF UNDESIRABLE VEGETATION OR TREE REMOVAL, WILL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE VILLAGE.
- REMOVAL OF TREES WITHIN A CONSERVATION EASEMENT, WILL ONLY BE ALLOWED IF THE TREE IS DEAD OR A DANGER FROM BLOWDOWN. SUPPLEMENTAL TREE PLANTING MAY BE REQUIRED BY THE VILLAGE. TO MITIGATE THE TREE LOSS IF A TREE IS ALLOWED TO BE REMOVED.
- CCESSORY STRUCTURES MAY NOT BE PLACED WITHIN THE CONSERVATION EASEMENT.
- NO REMOVAL OF VEGETATION WITHIN CONSERVATION EASEMENTS CAN BE UNDERTAKEN FOR THE PURPOSE OF IMPROVING VIEWS.

NOTES:

- SHEETS 1 AND 7 ARE FILLED AT THE ROCKLAND COUNTY CLERK'S OFFICE AND ARE ONLY PART OF THE ENTIRE PLAN SET FOR THIS SUBDIVISION PROJECT. THE ENTIRE PLAN SET IS ON FILE AT THE SOUTH NYACK VILLAGE HALL, 232 SOUTH BROADWAY, SOUTH NYACK, NY 10960.
- THIS SUBDIVISION IS SUBJECT TO ALL NOTES AND REQUIREMENTS IDENTIFIED WITHIN THE ENTIRE PLAN SET ON FILE AT THE SOUTH NYACK VILLAGE HALL.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE BOUNDARY SURVEY MAP SHOWN HEREON WAS PREPARED UNDER MY SUPERVISION AND MADE FROM AN ACTUAL FIELD SURVEY IN ACCORDANCE WITH THE CODE OF PRACTICE ESTABLISHED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS AND COMPLETED FEBRUARY 21, 2005.

SUBJECT TO:

- A STATE OF FACTS THAT A TITLE SEARCH REPORT MAY REVEAL
- EASEMENTS AND ROW'S OF RECORD
- THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT COVERED BY THIS CERTIFICATE.
- UNAUTHORIZED ALTERATION OF THIS DOCUMENT IN ANY WAY CONSTITUTES A VIOLATION OF THE NEW YORK STATE EDUCATION LAW PAR 7202 (2).

NO.	DATE	REVISIONS	CHK BY
8	03-04-05	REVISED TO COMPLY WITH CONDITIONS OF FINAL APPROVAL	M.M.M.
7	01-04-05	REVISED FOR FINAL APPROVAL	M.M.M.
6	11-23-04	REVISED FOR FINAL APPROVAL	M.M.M.
5	10-05-04	REVISED FOR FINAL APPROVAL	M.M.M.

NO.	DATE	REVISIONS	CHK BY
4	09-08-04	FOR FINAL APPROVAL	M.M.M.
3	07-07-04	REVISED FOR FINAL APPROVAL	M.M.M.
2	05-20-04	REVISED FOR ROCKLAND COUNTY DOH SUBMITTAL	M.M.M.
1	01-19-04	REVISED FOR PRELIMINARY PLAN SIGNATURE	M.M.M.
0	11-14-03	ISSUED PRELIMINARY PLAN SET	M.M.M.

MAP FILED 6/24/05
 ROCKLAND COUNTY CLERK'S OFFICE
 EDWARD GORMAN, County Clerk
 By Deputy [Signature]

LEGEND

- = FOUND IRON ROD
- = FOUND CONC. MON.
- ⊕ = BENCHMARK
- ⊙ = MONUMENT TO BE SET
- = IRON PIPE TO BE SET
- ⊙ = MONUMENT TO BE SET WITH PLAN TO BE PROVIDED TO THE VILLAGE OF SOUTH NYACK IDENTIFYING THE STATE PLANE COORDINATES AND THE ELEVATION OF EACH MONUMENT
- ⊕ = 7.75 FT. OFFSET FROM RIGHT-OF-WAY LINE TO BE MARKED WITH ALUMINUM DISC MARKED "SURVEY MARKER" IN THE CONCRETE CURB

GRAPHIC SCALE
 1 inch = 40 ft.

WILLow COURT AREA = 29,753 SF
 BERACHAH AVENUE AREA 1 = 35,770 SF
 AREA 2 = 3,610 SF
 AREA 3 = 8,745 SF
 TOTAL = 48,055 SF

PARCEL 22 AREA 1 = 170,913 SF
 AREA 2 = 34,748 SF
 AREA 3 = 916 SF
 TOTAL = 206,577 SF

CENTRAL AVENUE AREA = 769 SF

ROCKLAND COUNTY HEALTH DEPARTMENT
 ENVIRONMENTAL HEALTH DIVISION
 PARCEL 22 AREA 3 REVIEWED AND APPROVED BY [Signature] 3/9/05
 ROCKLAND COUNTY DEPARTMENT OF HEALTH
 SCOTT MCKANE, PE
 DANIEL I. CANN, OWNER

ROCKLAND COUNTY DRAINAGE DATE [Signature] 7/1/05
 LAND SURVEYOR
 GARY RICHALLS LIC NO 050354
 VILLAGE OF SOUTH NYACK APPROVAL DATE [Signature] 3/7/05
 VILLAGE OF SOUTH NYACK PLANNING BOARD CHAIRMAN DATE [Signature] 3/7/05

ROCKLAND COUNTY CLERK DATE [Signature]

MAJOR SUBDIVISION
 LANDS OF DANSOME, L.L.C.
 FINAL SUBDIVISION PLAN
 VILLAGE OF SOUTH NYACK
 ROCKLAND COUNTY, NEW YORK

DESIGNED BY: M.M.M. L.A.R. DATE 11-14-03 Sheet 7 Rev. 8
 DRAWN BY: S.G.B.
 APPROVED BY: M.M.M.

801-002

LAWLER, MATUSKY & SKELLY ENGINEERS LLP
 Environmental Science & Engineering Consultants
 One Blue Hill Plaza, PO Box 1509 Pearl River NY 10965
 Phone: 845.735.8300 Fax: 845.735.7466
 WWW.LMSENG.COM

Michael M. Murphy, P.E.
 [Signature] 4 Mar 05
 N.Y. P.E. LIC. NO. 071197

SEAL OF THE STATE OF NEW YORK
 PROFESSIONAL SURVEYOR
 DANIEL I. CANN

SEAL OF THE VILLAGE OF SOUTH NYACK
 APPROVAL DATE [Signature]

SEAL OF ROCKLAND COUNTY
 APPROVAL DATE [Signature]

ZONING BOARD OF APPEALS
 Meeting Of
 JAN 8 2004
 Town Of Orangetown