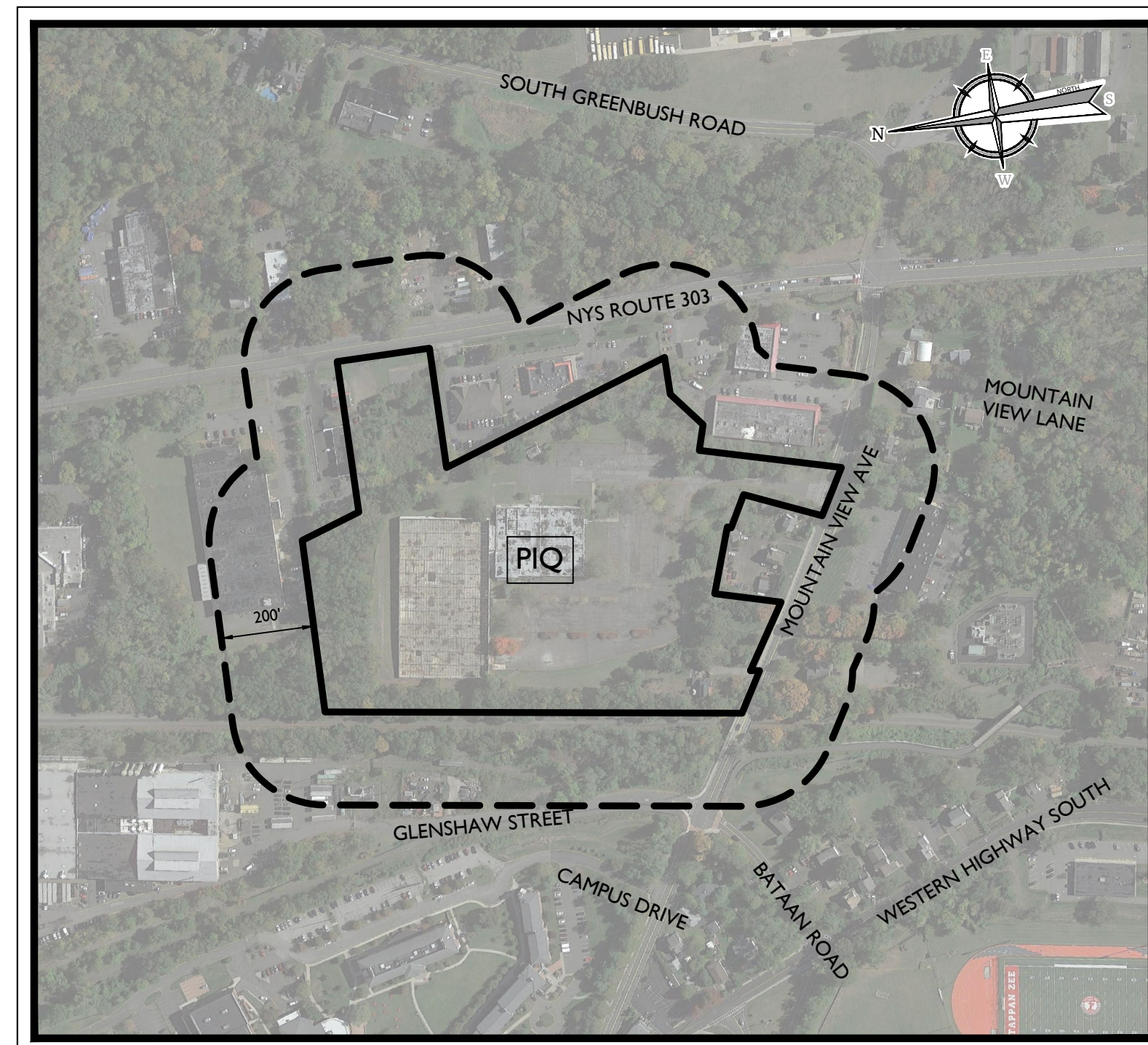


SOURCE: GOOGLE MAPS


1000 0 1000

SCALE: 1" = 1000'

PROPERTY OWNERS WITHIN 200'	
PARCEL ID NO.	OWNER'S NAME/ADDRESS
70.19-1-41	Mark Derfuss 525 Rte 303, Orangeburg, NY 10962
70.19-1-42	523 Route 303 Real Estate LLC, 523 Rte 303, Orangeburg, NY 10962
70.19-1-43	Brian DiGirolomo, 70 S. Greenbush Rd, Orangeburg, NY 10962
70.19-1-44	300 North Main LLC, 3 South Post Ln, Airmont, NY 10952
74.06-3-9	Christopher M. Meyers, 303 Mountainview Ave, Orangeburg, NY 10962
74.06-3-11	Neal D. Liebesberger, 469 Western Hwy, Orangeburg, NY 10962
74.06-3-12	Addolorata Grillo, 21 Bataan Rd, Orangeburg, NY 10962
74.06-3-13	James E. McCluskey, 467 Western Hwy, Orangeburg, NY 10962
74.07-1-1	LMAM Properties LLC, 45 Wolfe Cir, W. Nyack, NY 10994
74.07-1-2	Eastcoast BLR 1993 LLC, 3 Reuten Dr, Closter, NJ 07624
74.07-1-3	BCR Realty LLC, Robert Stabile, 16 Lark St, Pearl River, NY 10965
74.07-1-4	Classic North Realty LLC, 512 Route 303, Orangeburg, NY 10962
74.07-1-6	Town Plaza II LLC The Azarian Group LLC, 6 Prospect St 2A, Midland Park, NY 07432
74.07-1-7	Nolan Monuments Inc, 508 Route 303, Orangeburg, NY 10962
74.07-1-10	125 Greenbush LLC, 125 Greenbush Blvd Ste 106, New City, NY 10956
74.07-1-11	511 Route 303 LLC, 70 S Greenbush Rd, Orangeburg, NY 10962
74.07-1-12	Cesare Tullio, 9 Ventnor Ct, Waterson, NJ 08758
74.07-1-13	515 Route 303 LLC, 70 S Greenbush Rd, Orangeburg, NY 10962
74.07-1-14	1 S Realty LLC, 70 S Greenbush Rd, Orangeburg, NY 10962
74.07-1-32	Mountainview Prop of Rockland LLC, 15 Inwood Dr, Bardonia, NY 10954
74.07-1-33	East Coast BLR 1993 LLC, 3 Reuten Dr, Closter, NJ 07624
74.07-1-34	John Nevins, 17 Mountainview Ave, Orangeburg, NY 10962
74.07-1-35	Thomas Finsterwald, 15 Mountainview Ave, Orangeburg, NY 10962
74.07-1-36	Eastcoast BLR 1993 LLC, 3 Reuten Dr, Closter, NJ 07624

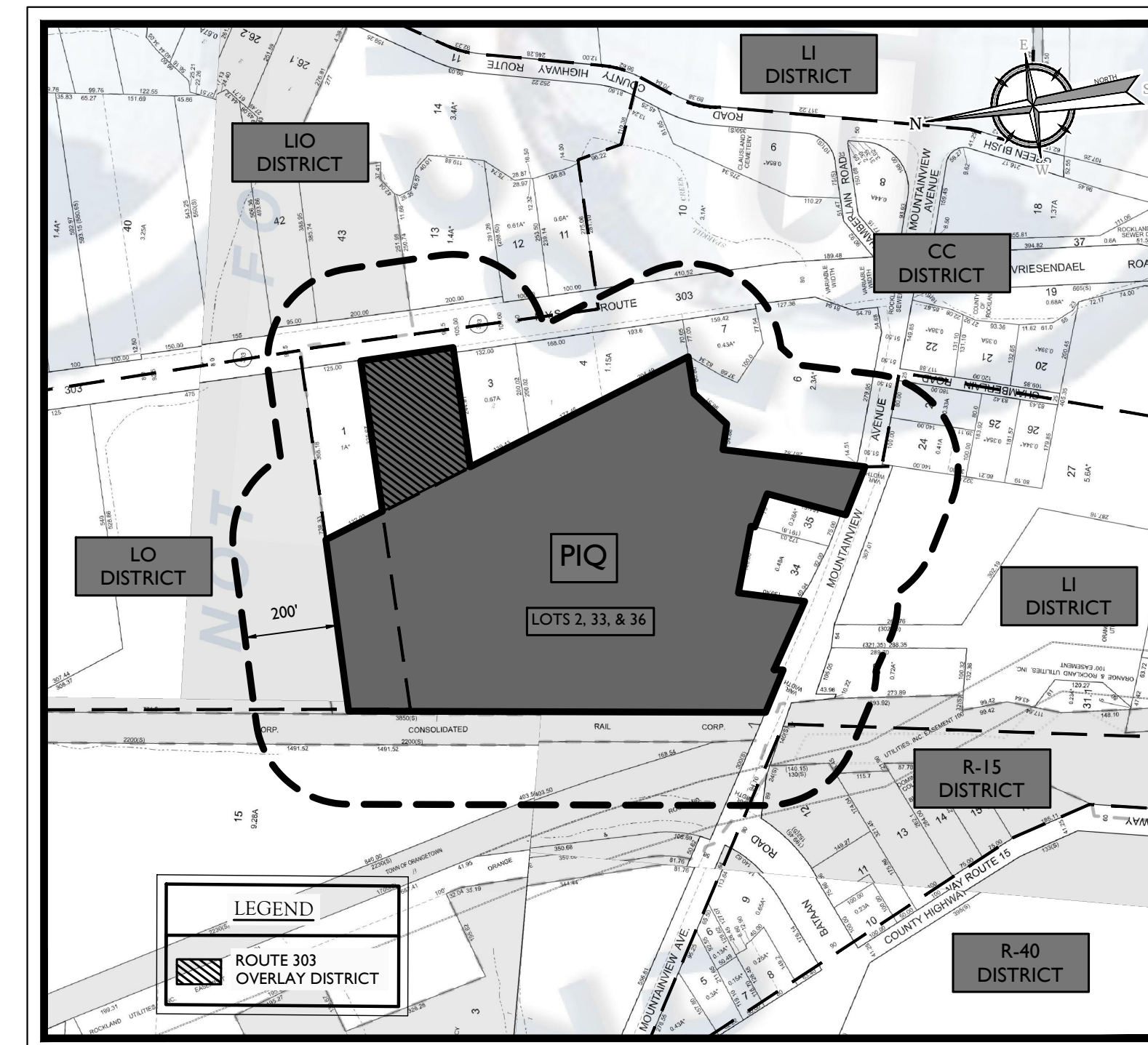


SOURCE: GOOGLE EARTH



300 0

SCALE : 1" = 300'



SOURCE: ROCKLAND COUNTY GIS WEBSITE

300 0 300

SCALE: 1" = 300'

INDEX OF SHEETS		
SHT. No.	DESCRIPTION	LATEST REVISION
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3	DEMOLITION & EXISTING CONDITIONS PLAN	3/30/23
4	AERIAL PLAN	3/30/23
5	LAYOUT PLAN	3/30/23
6	GRADING & DRAINAGE PLAN	3/30/23
7	UTILITIES PLAN	3/30/23
8	LANDSCAPE PLAN	3/30/23
9	PHASE I SOIL EROSION & SEDIMENT CONTROL PLAN	3/30/23
10	PHASE II SOIL EROSION & SEDIMENT CONTROL PLAN	3/30/23
11	PHASE III SOIL EROSION & SEDIMENT CONTROL PLAN	3/30/23
12	PHASE IV SOIL EROSION & SEDIMENT CONTROL PLAN	3/30/23
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20	CONSTRUCTION DETAILS	3/30/23

COLLIERS ENGINEERING & DESIGN, CT, P.C.
50 CHESTNUT RIDGE ROAD, SUITE 101
MONTVALE, NJ 07645

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN
DEPICTED AND THAT I CONCUR WITH THE SUBMISSION.

OWNER _____ DATE _____

APPROVED BY THE PLANNING BOARD OF THE TOWN OF ORANGETOWN AT THE
REGULAR MEETING OF _____
DATE _____

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

[illegible]

GENERAL NOTES

- THE SUBJECT PROPERTY IS KNOWN AS LOT(S) 2, 33, AND 36 IN BLOCK 1 AS SHOWN ON SHEET 74.07 OF THE OFFICIAL TAX MAP OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK, REVISED THROUGH FEBRUARY 28, 2019.
- THE PROPERTY IS LOCATED IN THE LIGHT INDUSTRIAL (LI), LABORATORY-OFFICE (LO), AND RETAIL-COMMERCE (CC) ZONE DISTRICTS AND CONTAINS A TOTAL TRACT AREA OF 2601.333-76 SF, 213.80 ACRES.
- OWNER: EASTCOAST BLR 1993 LLC
3 KUTEN DRIVE
CLOSTER, NJ 07624
- APPLICANT: WPT ACQUISITIONS, LLC
150 SOUTH FIFTH STREET
SUITE 2675
MINNEAPOLIS, MN 55402
- THE SUBJECT PROPERTY IS PRESENTLY AN ABANDONED RELIGIOUS BUILDING. THE APPLICANT PROPOSES TO DEVELOP A 175,760 SF BUILDING WHICH INCLUDES 173,160 SF OF WAREHOUSE SPACE AND 2,600 SF OF OFFICE SPACE. PROPOSED WORK ALSO INCLUDES SITE APPURTENANCES SUCH AS PARKING, LIGHTING, AND LANDSCAPING.
- ZONE DATA: LIGHT INDUSTRIAL DISTRICT (LI ZONE) - PROPOSED USE LOCATED ENTIRELY IN THIS ZONE
RETAIL COMMERCE DISTRICT (CC ZONE)
LABORATORY OFFICE DISTRICT (LO ZONE)
ROUTE 303 OVERLAY DISTRICT
- LAND USE: EXISTING USE: RELIGIOUS USE (NON-PERMITTED USE)
PROPOSED USE: WAREHOUSE (PERMITTED USE)
*ZBA DETERMINATION #21-83 USE VARIANCE NOT REQUIRED
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY LOTS 2, 33, & 36, BLOCK 1, SECTION 74.07 S18 NYSR 303 AND 13 & 21 MOUNTAIN VIEW AVENUE ORANGBURG (TOWN OF ORANGETOWN), ROCKLAND COUNTY, STATE OF NEW YORK," SHEET 1 OF 2, DATED DECEMBER 28, 2020, LAST REVISED JANUARY 20, 2021, PREPARED BY GALLAS SURVEYING GROUP, P.L.L.C. NO. 50124 OF NEW YORK.

THE VERTICAL DATUM IS RELATIVE TO N.A.V.D. 1988.
- NO FRESH-WATER WETLANDS ARE KNOWN TO EXIST ON THE SITE FROM AVAILABLE ONLINE MAPPING.
- NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAP NUMBER 36097C01870 FOR THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK, DATED MARCH 3, 2014 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:

A. NEW YORK STATE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", 2002, AS SUPPLEMENTED.
B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- REFUSE AND RECYCLABLES SHALL BE STORED WITHIN THE SCREENED TRASH ENCLOSURE AS NOTED ON THE PLANS.
- CURBS SHALL BE DEPRESSED FLUSH WITH PAVEMENT, AND HANDICAPPED ACCESSIBLE RAMPS INSTALLED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME. DETECTABLE WARNINGS SHALL BE INCLUDED ON HANDICAP ACCESSIBLE RAMPS LOCATED ON PUBLIC ROADWAYS.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HERON, IS NOT A SURVEY.
- BUILDING FOOTPRINT DIMENSIONS SHOWN HERON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH DWELLING/BUILDING SHALL BE FURNISHED ON THE INDIVIDUAL PLOT PLANS/ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION, WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICT. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- THIS PLAN IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. COLLIER'S ENGINEERING & DESIGN HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SUCH ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED. THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL SEWER ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT OR THE TOWN OF ORANGETOWN.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE AND ARCHITECTURAL PLANS HAVE BEEN APPROVED BY ACABOR, AND SITE AND DRAINAGE PLANS BY THE ORANGETOWN PLANNING BOARD.
- THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE ORANGETOWN PLANNING BOARD.
- THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS AND REFUSE CONTROL.
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES & VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS, AND THE OFFICE OF BUILDING, ZONING, & PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- A FIELD PERCOLATION TEST SHALL BE ADMINISTERED TO ENSURE ADEQUACY OF DESIGNED DRAINAGE SYSTEM. THE APPLICANT'S ENGINEER SHALL PROVIDE A COPY OF THE FIELD PERCOLATION TEST TO THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING AND THE BUILDING DEPARTMENT, DEMONSTRATING COMPLIANCE WITH THE DESIGN.
- TREE PROTECTION: THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO §21-25 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:

A. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
B. THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH TREES.
C. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
D. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
1. ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
II. DRIP LINE OF THE TREE CANOPY

THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:

A. LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.

B. LIGHT IMPACTS ONLY - INSTALLATION OF 3/4 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED.

THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH A GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WILLED OR PRESERVED IN A RAISED BED, WITH THE TREE WILL RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION & SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION & SEDIMENT CONTROL MEASURES. THE APPLICANT SHALL CONTACT THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
- PRIOR AT LEAST 14 DAYS TO THE PLACING OF ANY ROAD SUB-BASE, THE APPLICANT SHALL PROVIDE THE TOWN OF ORANGETOWN SUPERINTENDENT OF HIGHWAYS AND DEME WITH A PLAN AND PROFILE OF THE GRADED ROAD TO BE PAVED IN ORDER THAT THESE DEPARTMENTS MAY REVIEW THE DRAWINGS CONFORMANCE TO THE APPROVED CONSTRUCTION PLANS AND THE TOWN STREET SPECIFICATIONS.
- ALL OUTDOOR CONSTRUCTION ACTIVITIES, INCLUDING SITE CLEARING OPERATIONS IF APPLICABLE, SHALL TAKE PLACE BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM, MONDAY THROUGH SATURDAY. NO SUCH ACTIVITIES SHALL TAKE PLACE ON SUNDAY OR A LEGAL HOLIDAY. THE SAME CRITERIA SHALL APPLY TO INDOOR CONSTRUCTION ACTIVITIES, EXCEPT THAT SUCH ACTIVITIES MAY TAKE PLACE BETWEEN THE HOURS OF 7:00 AM AND 10:00 PM.
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF ORANGETOWN HIGHWAY DEPARTMENT AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION ON TOWN LAND.
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
- SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPARTMENTS' SPECIFICATIONS FOR SIDEWALKS AND CURBS.
- THE LAYOUT PLAN MUST NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.8M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.

DEMOLITION NOTES

- THE DEMOLITION PLAN REFERENCES THE FOLLOWING DOCUMENTS AND INFORMATION:

A. BOUNDARY AND TOPOGRAPHIC SURVEY FOR LOTS 2, 33, & 36, BLOCK 1, SECTION 74.07, PREPARED BY GALLAS SURVEYING GROUP, DATED 12/28/20, LAST REVISED 1/20/21.

B. REPORT OF PRELIMINARY GEOTECHNICAL INVESTIGATION FOR PROPOSED WAREHOUSE DISTRIBUTION FACILITY, PREPARED BY DYNAMIC EARTH, DATED 11/19/20.
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 & seq.) AND THE NEW YORK PROTECTION OF UNDERGROUND FACILITIES ACT (DIG SAFE LAW, 16 NYCRR PART 753) AS AMENDED.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR SHALL ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK OF THIS PROJECT SHALL BE RAISED WITH ENGINEER, IN WRITING AND RESPONDED TO BY ENGINEER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR TO:

A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION.

B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL DEPARTMENT OF PUBLIC WORKS, 72 HOURS PRIOR TO START OF WORK.

C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.

D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.

E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE THE UTILITY ENGINEER AND OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL WORK AND NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.
- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO ITS PRE-DEMOLITION CONDITION. SUCH REPAIRS SHALL BE PERFORMED AT THE CONTRACTOR'S SOLE EXPENSE.
- THE CONTRACTOR SHALL NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE UNLESS IT IS IN STRICT ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, AND/OR UNDER THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL SHALL BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW IMPROVEMENTS AND IN COMPLIANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. BACKFILLING SHALL OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES, AND SHALL BE DONE SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES SHALL BE GRADED TO PROMOTE POSITIVE DRAINAGE.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND THE APPLICABLE AUTHORITIES. ALL REQUIREMENTS FOR THE STORAGE, HANDLING, AND EXPLOSION CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FHWA "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AS WELL AS FEDERAL, STATE AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHT-OF-WAY.
- CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT WRITTEN PERMISSION OF THE OWNER AND ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR PRE-DEMOLITION CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- CONTRACTOR IS RESPONSIBLE FOR SITE JOB SAFETY, WHICH SHALL INCLUDE BUT NOT LIMITED TO THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING AND OTHER APPROPRIATE SAFETY ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITY.
- THE DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION AS TO THE MEANS AND METHODS TO BE USED TO ACCOMPLISH THAT WORK. ALL MEANS AND METHODS UTILIZED ARE TO BE IN STRICT ACCORDANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL MAINTAIN RECORDS TO DEMONSTRATE PROPER DISPOSAL ACTIVITIES. TO BE PROVIDED TO THE OWNER UPON REQUEST.
- CONTRACTOR SHALL MAINTAIN A RECORD SET OF PLANS UPON WHICH IS INDICATED THE LOCATION OF EXISTING UTILITIES THAT ARE CAPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT SHALL BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER, AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK.
- GC IS RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS, PAVEMENT, DRAINAGE STRUCTURES, ETC. WHICH ARE TO REMAIN. GC WILL BE RESPONSIBLE FOR REPAIRING DAMAGE DONE TO THE AFOREMENTIONED ITEMS. THE REPAIR SHALL RESTORE SUCH TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS AND IN ACCORDANCE WITH ALL APPLICABLE CODES.
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
- THE DEMOLITION PLAN MUST NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.8M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
- CONTRACTORS MUST OBTAIN REQUIRED INSURANCE AND SIGN A WAIVER TO DEFEND, INDEMNIFY, SAVE AND OLD HARMLESS BOTH THE COUNTY OF ROCKLAND AND ROCKLAND COUNTY SEWER DISTRICT NO. 1 FROM ANY CLAIMS ARISING FROM WORK PERFORMED WITHIN ROCKLAND COUNTY SEWER DISTRICT NO. 1
- IF ANY FOUNDATION WORK OR OTHER TYPES OF MAJOR EXCAVATION WORK IS TO BE DONE WITHIN CLOSE PROXIMITY TO THE EASEMENT BOUNDARY, THE ROCKLAND COUNTY SEWER DISTRICT NO. 1 MUST BE NOTIFIED FORTY-EIGHT (48) HOURS IN ADVANCE. SHORING OR OTHER TYPES OF PRECAUTIONS MAY BE NEEDED TO PROTECT THE SEWER MAIN AT THE EXPENSE OF THE PROPERTY OWNER.

GENERAL PLANTING NOTES

- A. GENERAL
- THE LANDSCAPE PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
 - OWNER OR HIS/HER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.
- B. PLANT MATERIAL
1. PLANT MATERIAL:
- PLANT MATERIAL SHALL CONFORM WITH THE ANSI Z60.1-2004 "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL AND BRANCHING PATTERN.
 - PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE, AND/OR INFESTATION, WITH ROOT BALLS INTACT.
 - C. ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AT THE NURSERY. THE PLANT MATERIAL SHALL BE PLANTED AT THE SAME LEVEL WHEN PLANTED.
 - D. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR TO INSTALLATION.
 - E. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATION, TO REJECT ANY AND ALL PLANT MATERIAL WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS.
2. PLANT QUANTITIES: THE LANDSCAPE PLAN SHOULD TAKE PRECEDENCE OVER THE PLANT SCHEDULE IF ANY PLANT DISCREPANCIES OCCUR.
3. PLANT SIZE: THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN THE CALIPER, HEIGHT, SIZE OR SPREAD INDICATED IN THE PLANT SCHEDULE.
4. SUBSTITUTIONS: NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSIONS OF THE MUNICIPALITY, LANDSCAPE ARCHITECT, OR OWNER. WRITTEN PROOF OF THE PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED BY THE CONTRACTOR.
5. GUARANTEE: PLANT MATERIAL SHALL BE GUARANTEED FOR TWO (2) YEARS FROM THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT IS WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING STUMP, AND REPLACED WITH A SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE CONTRACTOR WITHIN ONE YEAR OF GROWING SEASON. TREE STAKES, WRAPPING, AND PLASTIC CHAINS SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.
- C. PLANTING PROCEDURES
1. PLANTING BEDS:
- PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH WELL DRAINING AND FERTILE SOILS. SOILS SHALL BE SANDY LOAM, FREE FROM DEBRIS, ROCKS, ETC. SOIL TO BE ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL.
 - PLANTING BEDS SHALL RECEIVE THREE (3) INCHES OF DOUBLE SHREDDED HARDWOOD MULCH AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT FLARE/COLLAR. UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE BURIED.
 - SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
2. PLANT LOCATIONS: THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BEDLINES SHALL BE DETERMINED IN THE FIELD AT THE TIME OF INSTALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS, UNLESS THERE IS A SPECIFIC DIMENSION OR LOCATION SHOWN.
3. PLANTING DATES: PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTING SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY 15 AND SEPT 15 THROUGH NOV 15. PLANTING IS ACCEPTABLE DURING THE WINTER MONTHS IF WEATHER PERMITS AND THE GROUND IS NOT FROZEN, AND IN THE SUMMER IF SUPPLEMENTAL WATERING IS PROVIDED. SOIL MUST BE FROST FREE, FRIABLE, AND NOT MUDDY AT TIME OF PLANTING.
4. PLANTING METHODS:
- TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS.
(1) STAKES SHALL BE EIGHT TO TEN FEET LONG, OF SOUND, DURABLE UNFINISHED LUMBER, CAPABLE OF WITHSTANDING ABOVEGROUND AND UNDERGROUND CONDITIONS DURING THE PERIOD OF GUARANTEE WITH TOP AND BOTTOM DIMENSIONS OF TWO INCHES BY TWO INCHES IN DIAMETER.
(2) TREES SHALL BE PLANTED TO THE TREE IN A TRIANGULAR FASHION AND SHALL BE DRIVEN VERTICALLY INTO THE GROUND 2 1/2 TO 3 FEET IN A MANNER THAT DOES NOT INJURE THE ROOT BALL.
(3) TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF FIVE FEET BY MEANS OF PLASTIC CHAIN LINK TREE TIE (1/2" WIDE RECOMMENDED FOR TREES UP TO 2 1/2 INCHES IN CALIPER).
 - SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT AFTER SETTLEMENT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN CENTER OF PIT.
 - AT TIME OF INSTALLATION, THE CONTRACTOR SHALL WATER NEWLY INSTALLED PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE REGULAR WATERING TO ENSURE THE ESTABLISHMENT, GROWTH, AND SURVIVAL OF ALL PLANTS.
 - D. B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOTBALLS SHALL BE REJECTED.
 - E. CORD BINDING OF ALL B&B PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP OF THE UPPER 1/3 OF THE ROOT BALL. ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING PLANTING PIT.
- D. MAINTENANCE
1. PRUNING:
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
 - SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A PLUME HEIGHT OF 30' ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT TO HAVE BRANCHES BELOW 7'-0".
 - THE CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED.
2. LAWN AREAS:
- THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX AND SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED PH & NUTRIENT LEVELS.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLANS. SEED SHALL BE IN ACCORDANCE WITH THE SEED SPECIFICATIONS AS NOTED ON THE PHASE II SOIL EROSION AND SEDIMENT CONTROL SHEET.
 - SOD, IF SPECIFIED, SHALL CONSIST OF A NEW YORK CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SOD SHALL BE TOPSOILED, LIMED, AND FERTILIZED & FINE GRADED PRIOR TO LAWN INSTALLATION.
3. EXISTING VEGETATION: EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING, OR CLEARING. EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DAMAGED, OR DISEASED BRANCHES.
4. SITE CLEANUP: PLANTING DEBRIS (WIRE, TWINE, RUBBERHOSE, BACKFILL, ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. THE PROPERTY IS TO BE LEFT IN A NEAT, ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.
5. VEGETATION THAT DIES DURING ANY SEASON SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.

BUREAU OF FIRE PREVENTION NOTES

- INSTALL AN NFPA 13 COMPLIANT FIRE SPRINKLER SYSTEM, ENGINEERED FOR THE ENTIRE PURPOSED SQUARE FOOTAGE AND COMMODITY IT IS PROTECTING WITH PLANS AND DESIGN SUBMITTED FOR APPROVAL FROM THE BUREAU BEFORE SPRINKLER WORK BEGIN. MAINTAINED AS PER NFPA 25.
- INSTALL AN NFPA 72 COMPLIANT FIRE ALARM SYSTEM CONNECTED TO ROCKLAND COUNTY 44-CONTROL. WITH PLANS, CALCULATIONS, AND CUT SHEETS SUBMITTED TO THE BUREAU FOR APPROVAL BEFORE FIRE ALARM WORK BEGINS. WITH RED AND AMBER STROBES AS PER ORANGETOWN CODE.
- PROVIDE PORTABLE FIRE EXTINGUISHERS AS PER NFPA 10.
- EMERGENCY LIGHTING AND EXIT LIGHTING AS PER NEC.
- CARBON MONOXIDE DETECTORS AS PER NFPA 720.
- APPLY FOR AND MAINTAIN A CERTIFICATE OF COMPLIANCE FIRE SAFETY WITH THE BUREAU, PAY FOR A HAZARDOUS MATERIALS PERMIT, IF APPLICABLE.
- KEY BOX LOCATION TO BE DETERMINED BY BUREAU OF FIRE PREVENTION.

PLANT DETAIL NOTES

- CONTRACTOR SHALL PARTIALLY FILL WITH WATER A REPRESENTATIVE NUMBER OF PITS IN EACH AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE PERCOLATION. IF PIT DOESN'T PERCOLATE, MEASURES MUST BE TAKEN TO ASSURE PROPER DRAINAGE BEFORE PLANTING.
- PLANTING MUST BE GUARANTEED FOR TWO (2) FULL YEARS FROM THE TIME OF FINAL ACCEPTANCE BY THE TOWN OF ORANGETOWN. CONTRACTOR SHALL REMOVE WRAPPING AT THE END OF GUARANTEE PERIOD.
- BACKFILL MIXTURE TO BE SPECIFIED BASED UPON SOIL TEST AND CULTURAL REQUIREMENTS OF PLANT.
- PRUNE DAMAGED AND CONFLICTING BRANCHES MAINTAINING NORMAL TREE SHAPE, NEVER CUT CENTRAL TRUNK OR LEADER.

LIGHTING PLAN NOTES

- REFER TO SHEET 13 FOR LIGHTING ORDERING INFORMATION AND SHEET 20 FOR LIGHTING DETAILS.
- LIGHT LEVELS ON PLAN REPRESENT AVERAGE MAINTAINED FOOTCANDLE LEVELS AT FINISHED EXTERIOR GRADE.
- ALL MOUNTING HEIGHTS ARE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE. POLE MOUNTED FIXTURES SHALL BE PLACED A MINIMUM OF THREE (3) FEET BEHIND CURBS.
- POLE LOCATIONS MAY VARY DUE TO SITE CONDITIONS. CONTRACTOR TO FIELD VERIFY POLE LOCATIONS PRIOR TO INSTALLATION TO ACCOMMODATE UTILITIES, PAVEMENTS, FENCES, ETC.
- UNDERGROUND CONDUIT LOCATIONS SHALL BE COORDINATED WITH THE PROPOSED TREE LOCATIONS.
- CONCRETE FOOTINGS FOR POLE MOUNTED LIGHTS TO BE DESIGNED BY OTHERS. FOOTING DETAIL TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
- ELECTRICAL WIRING DESIGN FOR SITE LIGHTING TO BE DESIGNED BY OTHERS.
- SITE LIGHTING SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS SUBSTITUTIONS ARE SUBMITTED AND APPROVED.
- LUMINAIRES TO BE MANUFACTURED BY GARDCO OR APPROVED EQUAL.
- LUMINAIRES AND POLE FINISHES TO BE BLACK.
- THE LIGHTING PLAN IS TO BE USED FOR LIGHTING PURPOSES ONLY.

ADA NOTES TO CONTRACTOR

NOTES:

- CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA ACCESSIBLE COMPONENTS FOR THE SITEPROJECT. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST FEDERAL, ADA STANDARDS FOR ACCESSIBLE DESIGN, AND CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY. MUST COMPLY WITH THE LATEST FEDERAL PROPOSED "ASSESSIBILITY" GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT-OF-WAY (PROPOSED).
- FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS AND ANY SUPPLEMENTAL STATE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

(NOTE: THIS LIST IS NOT INTENDED TO CAPTURE EVERY APPLICABLE FEDERAL, STATE AND LOCAL RULE AND REGULATION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE LAW, WHETHER OR NOT STATED SPECIFICALLY HEREIN):

A. PARKING SPACES AND PARKING AISLES - SLOPE MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN ANY DIRECTION.

B. CURB RAMPS- SLOPES MUST NOT EXCEED 1:12 (8.3%).

C. LANDINGS

i. LANDINGS AT CURB RAMPS - MUST BE 4 FT. MIN., X 4 FT. MIN. AND ARE TO BE INCREASED TO 5 FEET WHERE THE LANDING SPACE (TURNING SPACE) IS CONSTRAINED AT THE BACK OF THE SIDEWALK.

ii. LANDINGS AT RAMPS - MUST BE 5 FT MIN. IN THE DIRECTION OF TRAVEL AND BE PROVIDED AT EACH END OF THE RAMP. MUST PROVIDE POSITIVE DRAINAGE (1/4" MIN.), AND MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN ANY DIRECTION. WHEN LANDING IS ALSO A TURNING SPACE, IT MUST BE A MINIMUM 5 FT X 5 FT.

iii. LANDINGS AT DOORWAYS - SEE NOTE F BELOW.

D. PATH OF TRAVEL ALONG ON-SITE ACCESSIBLE ROUTE - MUST PROVIDE A 36 INCH (EXCLUDING THE CURB) OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS MUST NOT REDUCE THIS MINIMUM WIDTH). IN A PUBLIC RIGHT-OF-WAY, THE MINIMUM WIDTH EXCLUDING THE CURB IS 4 FT. (THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) IN CROSS SLOPE.

E. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP, WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 30 INCHES, MUST BE PROVIDED. THE RAMP MUST HAVE A MINIMUM CLEAR WIDTH OF 36 INCHES, HAVE ADA HAND RAILS AND LANDINGS (MIN. 5 FT. LONG IN THE DIRECTION OF TRAVEL) ON EACH END THAT ARE SLOPED A MIN. 1/4" AND NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE.

F. EXTERIOR DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA IS GENERALLY 5 FT X 5 FT, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS. (SEE APPLICABLE CODE SECTIONS).
- IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL, INCLUDING WHETHER OR NOT FALL PROTECTION IS REQUIRED.
- IT IS RECOMMENDED THAT THE CONTRACTOR CHECK THE SLOPE OF FORMWORK FOR COMPLIANCE WITH ADA STANDARDS PRIOR TO POURING CONCRETE.

UTILITY NOTES

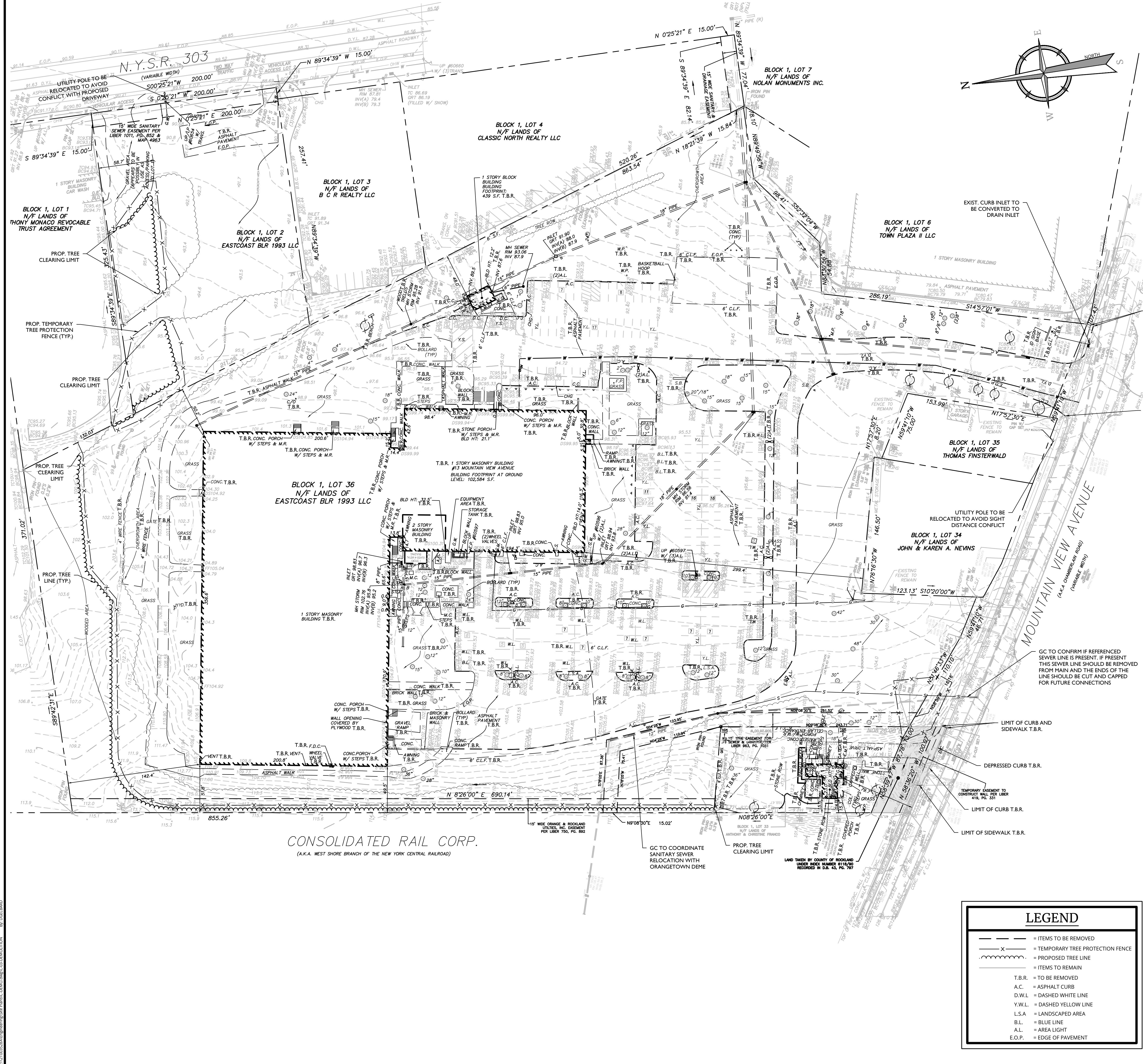
- LOCATION OF ALL EXISTING AND PROPOSED UTILITIES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL CONNECTION POINTS SHALL BE VERIFIED IN FIELD BY GC AND ENGINEER SHALL BE NOTIFIED IMMEDIATELY REGARDING ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT LOWEST INVERT AND PROGRESS UP GRADIENT. PROPOSED CROSSING OF EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICES THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE TO REMAIN DURING SITE CONSTRUCTION.
- THE CONTRACTOR TO INSTALL ALL STORM/SANITARY SEWERS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
- ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND. ALL TO BE INSTALLED IN ACCORDANCE WITH THE LOCAL UTILITY/SERVICE PROVIDER SPECIFICATIONS AND STANDARDS.
- WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE ON MOUNTAIN VIEW AVENUE, OWNED AND OPERATED BY VEOLIA NORTH AMERICA. PROPOSED WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL. THE AMERICAN WATERWORKS ASSOCIATION STANDARDS. PIPE MATERIALS SHALL BE CEMENT LINED DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC EPOXY TAPPING. ALL WATER SERVICE PIPES TO BE 1" DIAMETER TYPE K SEAMLESS COPPER. WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO THE PROPOSED GRADE.
- SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY CONNECTION TO EXISTING SEWER MAIN ON MOUNTAIN VIEW AVENUE, OWNED AND OPERATED BY ORANGETOWN SEWER DISTRICT. PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL. PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS. EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
- ALL MATERIALS USED FOR SANITARY SEWER SYSTEMS SHALL BE MANUFACTURED IN THE UNITED STATES, WHEREVER AVAILABLE, AS GOVERNED BY P.L. 1982, c. 107, EFFECTIVE DATE OCTOBER 3, 1982.
- SANITARY SEWERS SHALL BE SEPARATED FROM WATER MAINS BY AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SANITARY SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. ANY WATER SERVICE LOCATED IN THE SAME TRENCH AS A SEWER LINE MUST BE LOCATED ABOVE AND TO ONE SIDE OF THE SEWER LINE AT LEAST ONE FOOT AWAY FROM THE SEWER LINE. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS ARE AS FAR AWAY AS POSSIBLE FROM THE WATER LINE.
- GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES.
- STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOX SUPERSLUR OR EQUIVALENT), ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPE), HANCOCK SURLOK HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR APPROVED EQUAL. AS NOTED, PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- A COPY OF THE ENGINEER'S CERTIFICATION, SANITARY SEWER TEST RESULTS AND AS-BUILTS ARE TO BE SENT TO THE ROCKLAND COUNTY HEALTH DEPARTMENT.
- THE TOWN OF ORANGETOWN WILL NOT RELEASE CERTIFICATES OF OCCUPANCY UNTIL A CERTIFICATE OF APPROVAL HAS BEEN RELEASED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT.
- THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY AND ALL CONSTRUCTION ON OR NEAR EXISTING AND PROPOSED SANITARY SEWER FACILITIES.



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SEE SHEET 2 FOR DEMOLITION NOTES

LEGEND

ITEMS TO BE REMOVED

-x-

TEMPORARY TREE PROTECTION FENCE

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PROPOSED TREE LINE

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ITEMS TO REMAIN

T.B.R.

TO BE REMOVED

A.C.

ASPHALT CURB

D.W.L.

DASHED WHITE LINE

Y.W.L.

DASHED YELLOW LINE

L.S.A.

LANDSCAPED AREA

B.L.

BLUE LINE

A.L.

AREA LIGHT

E.O.P.

EDGE OF PAVEMENT

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN

EXISTING BUILDING CONCRETE, EXTERIOR CONCRETE, AND CONCRETE MASONRY UNITS WILL BE CRUSHED TO A 1:1.5 GRADATION FOR REUSE AS A SUBGRADE MATERIAL. ASPHALT WILL BE MILLED FOR REUSE UNDER PROPOSED ASPHALT PAVEMENT SECTIONS.

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|-----|---------|----------|-------------------------------------------------------------------|
| 1   | 9/22/22 | CMA      | REVISIONS PER PLANNING BOARD COMMENTS FROM APRIL 13, 2022 MEETING |
| 2   | 10/7/22 | CMA      | REVISIONS PER MULTIPLE AGENCY REVIEW AND COMMENTS                 |
| 3   | 2/9/23  | DIG      | REVISED PER 3/22/23 PRC MEETING                                   |

Jesse Barrett Cokeley

NEW YORK LICENSED PROFESSIONAL ENGINEER

LICENSE NUMBER: 090987-1

COLLIERS ENGINEERING & DESIGN CT, P.C.

N.Y. C.O.A.#: 0017609

PRELIMINARY SITE PLAN

FOR

WPT ACQUISITIONS, LLC

SECTION 74.07

BLOCK 1

LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN

ROCKLAND COUNTY

NEW YORK

Colliers

Engineering & Design

50 Chestnut Ridge Road, Suite 101, Montvale, NJ 07645

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| AS SHOWN | 11/22/2021 | DG/CMA    | JBC         |

| PROJECT NUMBER: | DRAWING NAME: |
|-----------------|---------------|
| 21003528A       | C-DEMO        |

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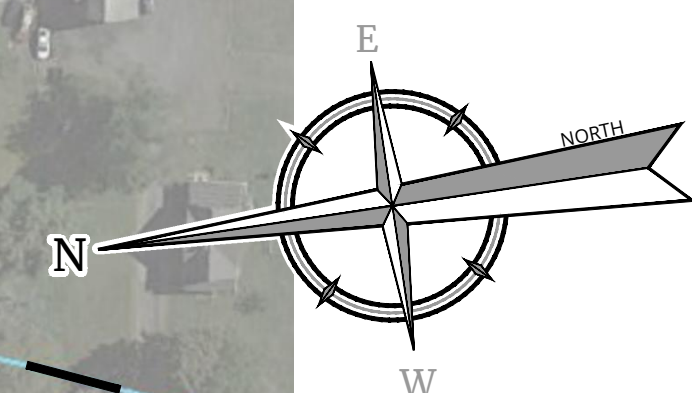
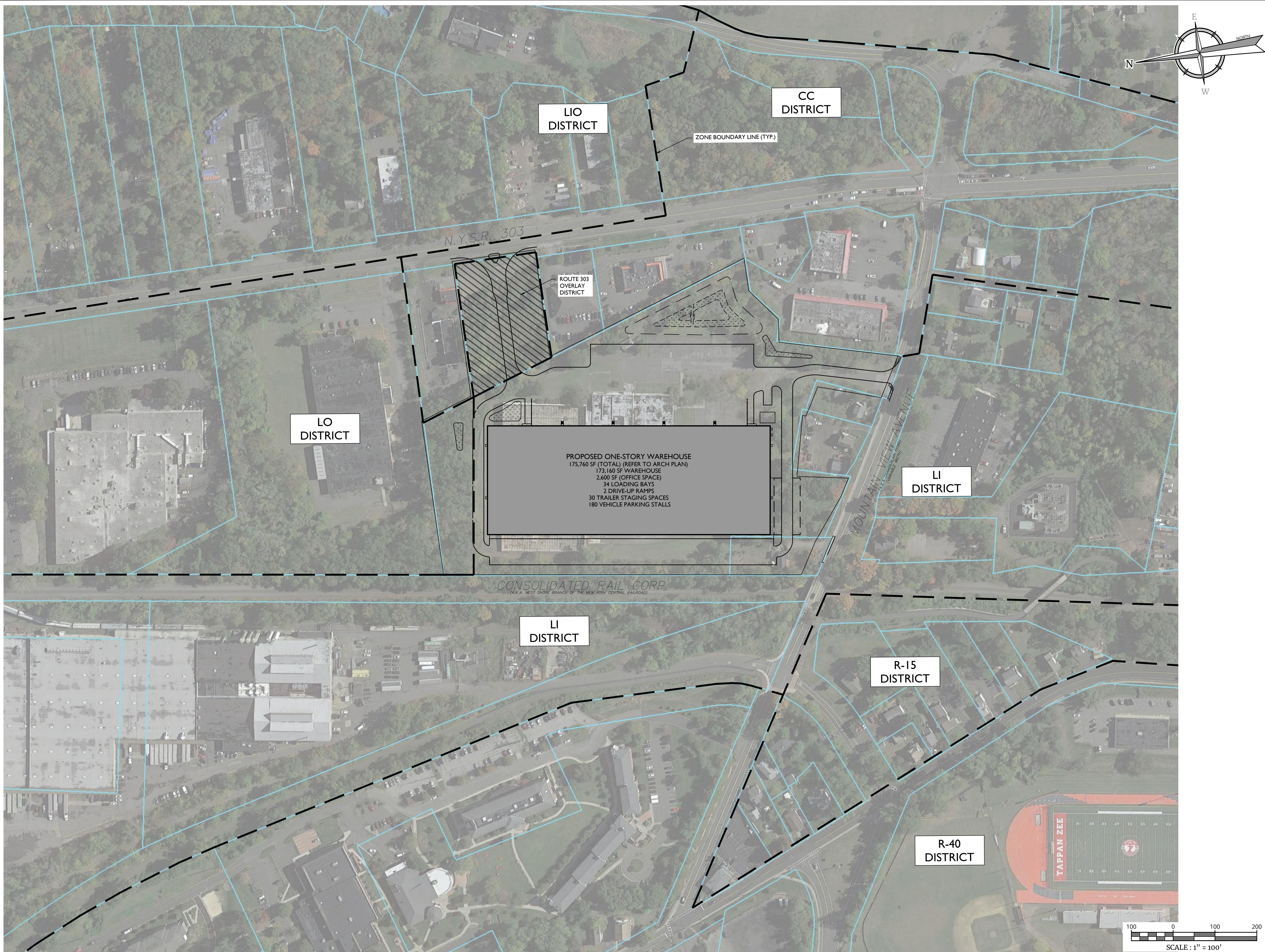
DEMOLITION & EXISTING CONDITIONS PLAN

SHEET NUMBER:

3 of 20

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.





LIO  
DISTRICT

CC  
DISTRICT

ZONE BOUNDARY LINE (TYP.)

N.Y.S.R. 303

ROUTE 303  
OVERLAY  
DISTRICT

LO  
DISTRICT

LI  
DISTRICT

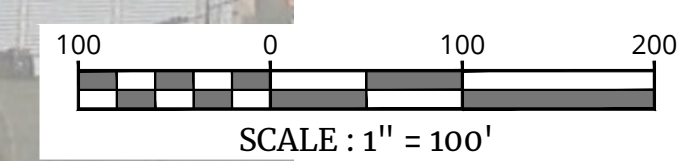
CONSOLIDATED RAIL CORP.  
(A.K.A. WEST SHORE BRANCH OF THE NEW YORK CENTRAL RAILROAD)

LI  
DISTRICT

R-15  
DISTRICT

R-40  
DISTRICT

PROPOSED ONE-STORY WAREHOUSE  
175,760 SF (TOTAL) (REFER TO ARCH PLAN)  
173,160 SF WAREHOUSE  
2,600 SF OFFICE SPACE  
34 LOADING BAYS  
2 DRIVE-UP RAMPS  
30 TRAILER STAGING SPACES  
180 VEHICLE PARKING STALLS



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## PRELIMINARY SITE PLAN

FOR  
WPT ACQUISITIONS,  
LLC  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21  
MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

**Colliers**

**Engineering  
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Phone: 845.352.0411

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|                              |                     |                         |                    |
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| SCALE:<br>AS SHOWN           | DATE:<br>11/22/2021 | DRAWN BY:<br>DG/CMA     | CHECKED BY:<br>JBC |
| PROJECT NUMBER:<br>21003528A |                     | DRAWING NAME:<br>C-AERL |                    |

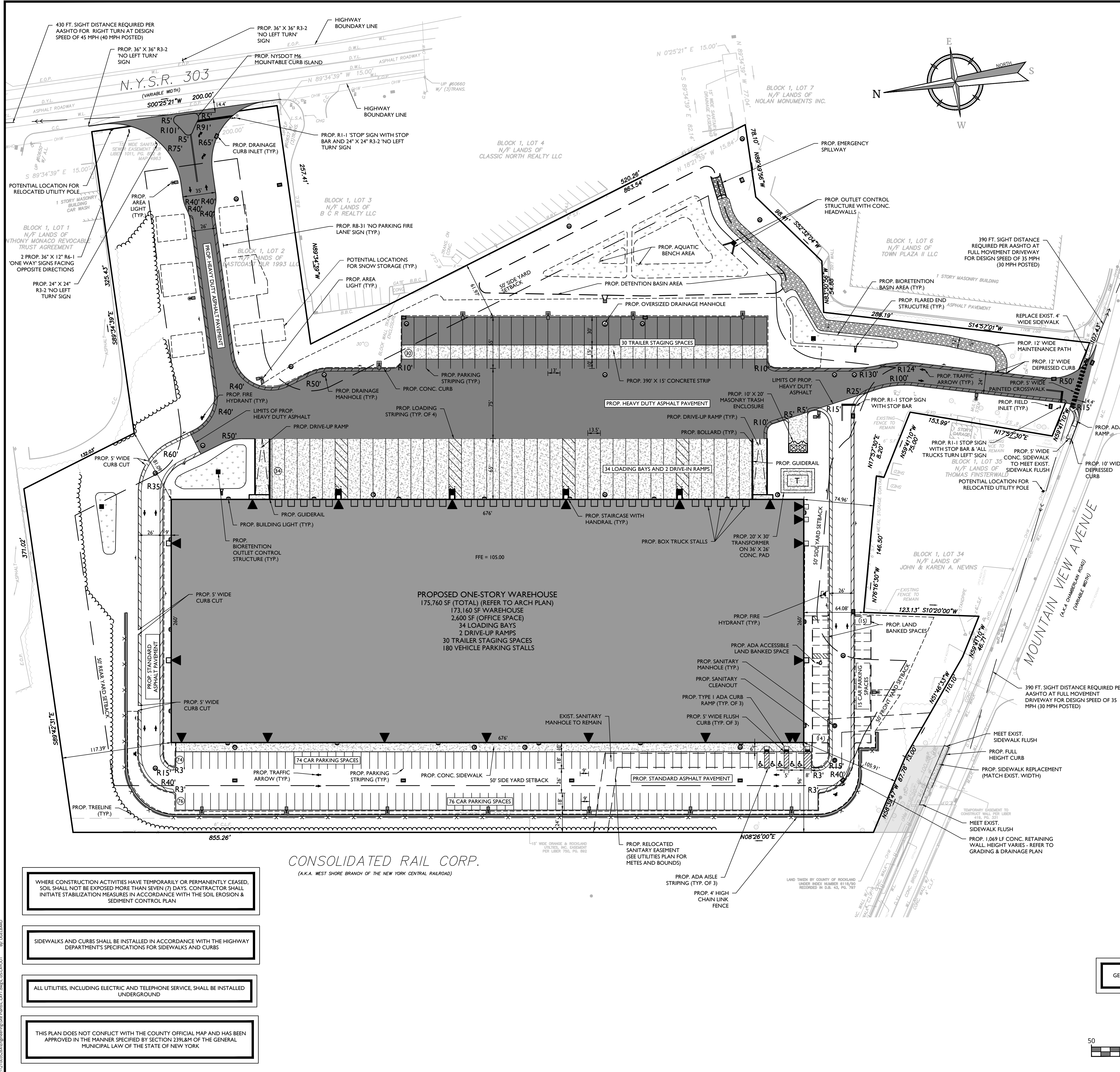
SHEET TITLE:

AERIAL PLAN

SHEET NUMBER: 4 of 20

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| 10/7/22 | CMA      | REVISIONS PER MULTIPLE AGENCY REVIEW AND COMMENTS                 |
| 9/20/23 | DIG      | REVISION PER 9/22/23 PRC MEETING                                  |

**Jesse Barrett Cokeley**  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 090987-1  
COLLIERS ENGINEERING & DESIGN CT, P.C.  
N.Y. C.O.A.# : 0017609

### PRELIMINARY SITE PLAN

FOR  
**WPT ACQUISITIONS, LLC**  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21  
MOUNTAINVIEW AVENUE

**TOWN OF ORANGETOWN  
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| AS SHOWN | 11/22/2021 | DG/CMA    | JBC         |

| PROJECT NUMBER: | DRAWING NAME: |
|-----------------|---------------|
| 21003528A       | C-LAY1        |

SHEET TITLE:  
**LAYOUT PLAN**

SHEET NUMBER:  
**5 of 20**

### ZONING TABLE

| TABLE OF BULK REQUIREMENTS<br>ZONES: LI (LIGHT INDUSTRIAL) DISTRICT<br>LO (LABORATORY-OFFICE) DISTRICT<br>CC (RETAIL-COMMERCE) DISTRICT |                                                   |                                                   |               |                              |                              |          |
|-----------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------|---------------------------------------------------|---------------|------------------------------|------------------------------|----------|
| ITEM                                                                                                                                    | REQUIRED (LI)                                     | REQUIRED (LO)                                     | REQUIRED (CC) | EXISTING                     | PROVIDED                     | COMPLIES |
| MIN. LOT AREA                                                                                                                           | 2 ACRES                                           | 2 ACRES                                           | 1 ACRE        | ±601,333.76 SF (13.80 ACRES) | ±601,333.76 SF (13.80 ACRES) | YES      |
| MAX. F.A.R.                                                                                                                             | 0.50                                              | 0.40                                              | 0.30          | 0.17                         | 0.29                         | YES      |
| MAX. LOT COVERAGE                                                                                                                       | 80%                                               | 75%                                               | 75%           | ±45.77% (275,202.76 SF)      | ±62.84% (±377,931 SF)*       | YES      |
| MIN. LOT WIDTH                                                                                                                          | 150'                                              | 300'                                              | 100'          | 522.6 SF                     | 522.6 SF                     | YES      |
| MIN. STREET FRONTAGE                                                                                                                    | 150'                                              | 150'                                              | 100'          | 565.02'                      | 565.02'                      | YES      |
| REQUIRED FRONT YARD                                                                                                                     | 50'                                               | 100'                                              | 50'           | 395.8'                       | 105.91'                      | YES      |
| REQUIRED SIDE YARD                                                                                                                      | 50'                                               | 25'                                               | 20'           | 50.7'                        | 96' ± 81.09'                 | YES      |
| TOTAL SIDE YARD                                                                                                                         | 100'                                              | 50'                                               | 35'           | > 100'                       | 177.09'                      | YES      |
| REQUIRED REAR YARD                                                                                                                      | 50'                                               | 25'                                               | 50'           | 142.3'                       | 117.39'                      | YES      |
| MAX. BUILDING HEIGHT**                                                                                                                  | 6' PER FOOT OF DISTANCE FROM LOT LINE*** (52.96') | 3' PER FOOT OF DISTANCE FROM LOT LINE*** (26.48') | NONE          | < 50'                        | ±43' - 3 1/2'                | YES      |

\* LOT COVERAGE ASSUMING LAND BANKED SPACES ARE NEVER CONSTRUCTED = ±62% (±372,876 SF)

\*\* BUILDING HEIGHT: THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE ELEVATION OF THE PROPOSED FINISHED GRADE ALONG THE WALL OF A BUILDING, OR ADJACENT TO THE SIDE OF A NONBUILDING USE, TO THE HIGHEST POINT OF THE ROOF OR PARAPET FOR FLAT ROOFS OR SHED ROOFS, TO THE DECK LINE FOR MANSARD ROOFS, AND TO THE MEAN BETWEEN EAVES AND RIDGE FOR GABLE, HIP AND GAMBREL ROOFS OF SUCH BUILDING, OR NONBUILDING USE, EXCEPT AS SPECIFICALLY EXEMPTED IN §5.23

\*\*\* PER CHAPTER 43 ATTACHMENT 18, NOTE #7 STATES THAT REQUIRED FRONT YARD AND MAXIMUM BUILDING HEIGHT ARE SUBJECT TO §5.11 WHERE THE DESIGNATED STREET LINE CAN BE USED AS A LOT LINE. IN THIS INSTANCE THE DESIGNATED STREET LINE IS THE LOT LINE BORDERING MOUNTAIN VIEW AVENUE (105.91' FROM PROPOSED BUILDING)

### PARKING AND LOADING

PARKING:

A. WAREHOUSE USES SHALL PROVIDE ONE (1) PARKING SPACE FOR EVERY TWO (2) EMPLOYEES, OR ONE (1) PARKING SPACE PER 300 SQUARE FEET OF GROSS FLOOR AREA (§43-3.1)

REQUIRED : 1 EMPLOYEE PER 1,500 SF = (175,760 SF) / (1,500 SF) = 117 EMPLOYEES = 117 EMPLOYEES / 2 = 58 SPACES REQUIRED

PROVIDED : 145 STANDARD SPACES  
5 HANDICAP SPACES  
29 LAND BANKED SPACES  
179 TOTAL PARKING SPACES

LOADING:

A. LOADING BERTHS SHALL BE AT LEAST 12 FEET WIDE AND 45 FEET LONG, WITH A CLEAR HEIGHT OF 15 FEET (§43-6.42)

B. FOR MANUFACTURING, WHOLESALE AND STORAGE USES AND FOR DRY-CLEANING AND RUG-CLEANING ESTABLISHMENTS AND LAUNDRIES: ONE LOADING BERTH SHALL BE PROVIDED FOR EACH 10,000 SQUARE FEET OF FLOOR AREA OR LESS AND ONE ADDITIONAL BERTH FOR EACH ADDITIONAL 20,000 SQUARE FEET OF FLOOR AREA, OR MAJOR FRACTION THEREOF, SO USED. (§43-6.41)

1 + (165,760 SF) / (10,000 SF) = 10 SPACES REQUIRED  
36 SPACES PROVIDED (INCLUDES 2 DRIVE-UP RAMPS, COMPLIES)

### DISTRICTS

ZONE DISTRICTS: LI, LO, AND CC ZONES

SCHOOL DISTRICT: SOUTH ORANGETOWN

CENTRAL SCHOOL DISTRICT

WATER DISTRICT: VEOLIA NORTH AMERICA

SEWER DISTRICT: ORANGETOWN

FIRE DISTRICT: BLAUVELT

### PROPOSED IMPERVIOUS AREA CALCULATION

WAREHOUSE BUILDING: 175,760 S.F. (4.03 AC)

LOADING DOCKS AND TRAILER PARKING: 97,196 S.F. (2.23 AC)

DRIVEWAYS & DRIVE AISLES: 46,536 S.F. (1.06 AC)

PASSENGER VEHICLE PARKING: 42,320 S.F. (0.97 AC)

CURBING & SIDEWALK: 9,315 S.F. (0.21 AC)

LAND BANKED SPACES: 5,055 S.F. (0.11 AC)

CONCRETE PAD FOR TRANSFORMER: 936 S.F. (0.02 AC)

TRASH ENCLOSURE: 813 S.F. (0.01 AC)

TOTAL: 377,931 S.F. (8.64 AC)\*\*\*\*

\*\*\*\* = ASSUMING THE LAND BANKED SPACES ARE NEVER CONSTRUCTED THE TOTAL IMPERVIOUS AREA WOULD BE 372,876 S.F. (8.56 AC)

| EXISTING |       | LEGEND                      |       | PROPOSED |       |
|----------|-------|-----------------------------|-------|----------|-------|
| 12+00    | 12+00 | RIGHT OF WAY LINE           | 12+00 | 13+00    | 13+00 |
| ---      | ---   | PROPERTY LINE               | ---   | ---      | ---   |
| ---      | ---   | EDGE OF PAVEMENT            | ---   | ---      | ---   |
| ---      | ---   | CURB                        | ---   | ---      | ---   |
| ---      | ---   | DEPRESSED CURB              | ---   | ---      | ---   |
| ---      | ---   | SIDEWALK                    | ---   | ---      | ---   |
| ---      | ---   | FENCES                      | ---   | ---      | ---   |
| ---      | ---   | TREELINE                    | ---   | ---      | ---   |
| ---      | ---   | ROADWAY SIGNS               | ---   | ---      | ---   |
| ---      | ---   | STALL COUNT                 | ---   | ---      | ---   |
| ---      | ---   | ADA ACCESSIBLE STALL        | ---   | ---      | ---   |
| ---      | ---   | DEPRESSED CURB AND ADA RAMP | ---   | ---      | ---   |
| ---      | ---   | DIRECTION OF TRAFFIC FLOW   | ---   | ---      | ---   |
| ---      | ---   | DOOR LOCATION               | ---   | ---      | ---   |

SCALE : 1" = 50'

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN

SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPARTMENT'S SPECIFICATIONS FOR SIDEWALKS AND CURBS

ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND

THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 238.8(4) OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK

GENERAL NOTES SHOWN ON SHEET 2

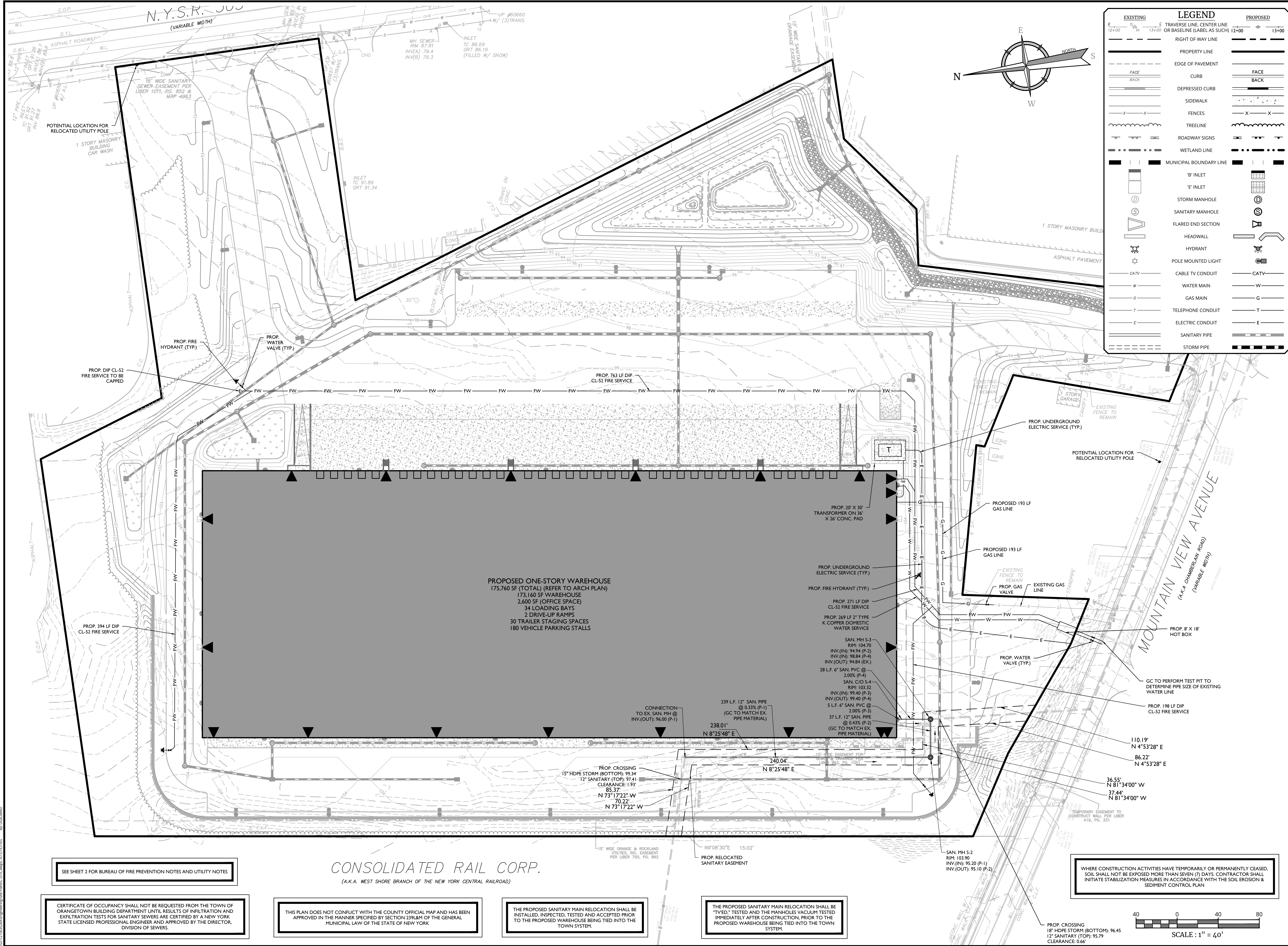
2021/12/03/2024/Engineering/Size/Plan/CT/CT/2024/05/01/001

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| 2   | 10/7/22 | CMA      | REVISIONS PER MULTIPLE AGENCY REVIEW AND COMMENTS                 |
| 3   | 2/9/23  | DIG      | REVISED PER 3/2/23 PRC MEETING                                    |

SEAL OF NEW YORK

Jesse Barrett Cokeley

NEW YORK LICENSED PROFESSIONAL ENGINEER

LICENSE NUMBER: 090987-1

COLLIERS ENGINEERING & DESIGN CT, P.C.

N.Y. C.O.A. #: 0017609

PRELIMINARY SITE PLAN

FOR

WPT ACQUISITIONS, LLC

SECTION 74.07

BLOCK 1

LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21

MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN

ROCKLAND COUNTY

NEW YORK

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| PROJECT NUMBER: | DRAWING NAME: |
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| 21003528A       | C-UTIL        |

SHEET TITLE:

UTILITIES PLAN

SHEET NUMBER:

7 of 20

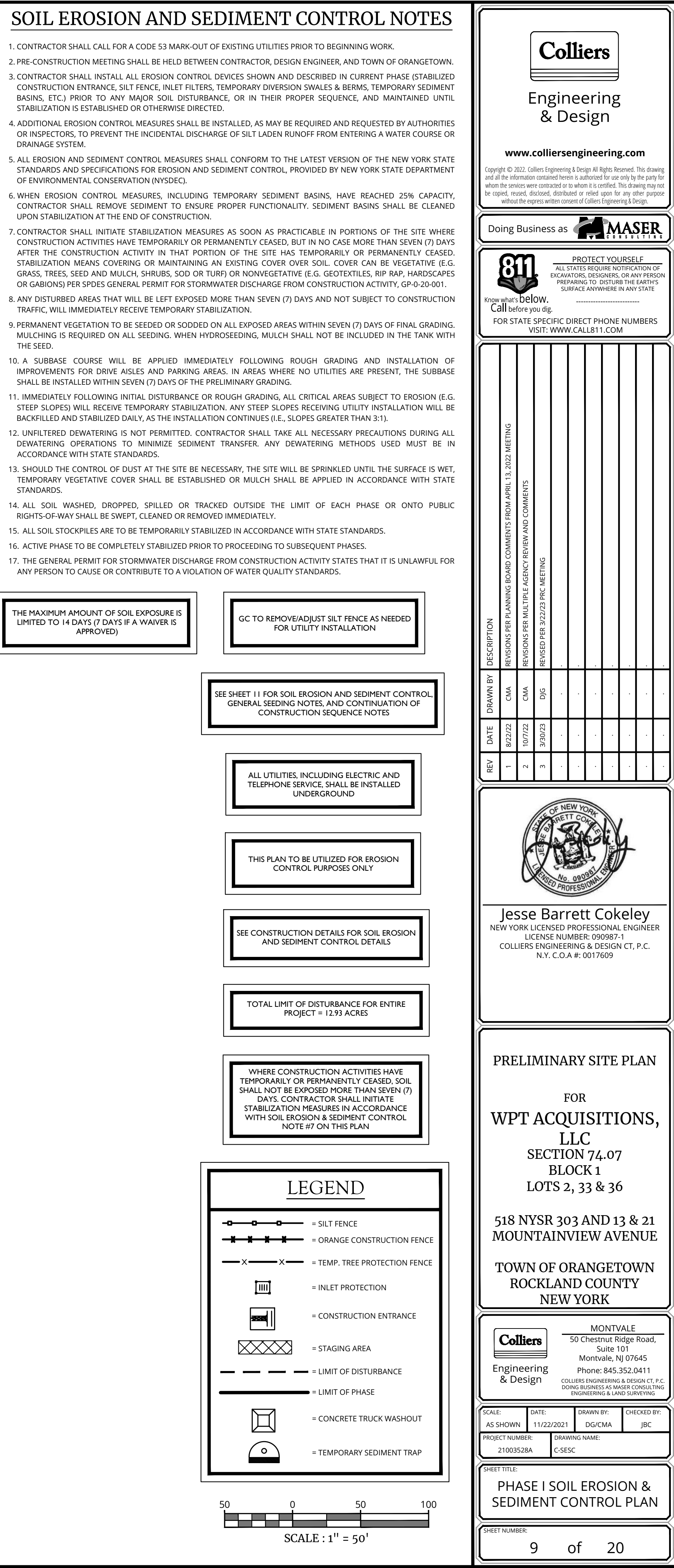
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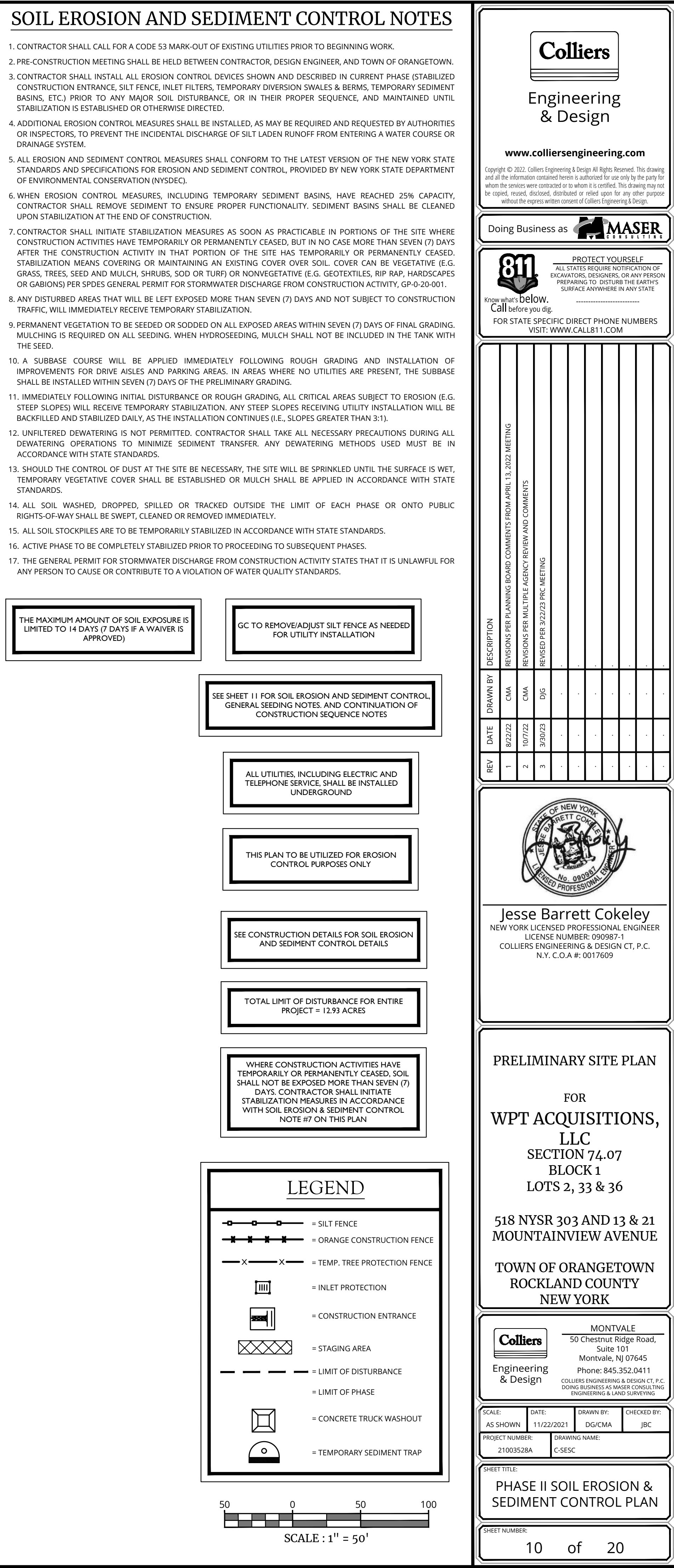












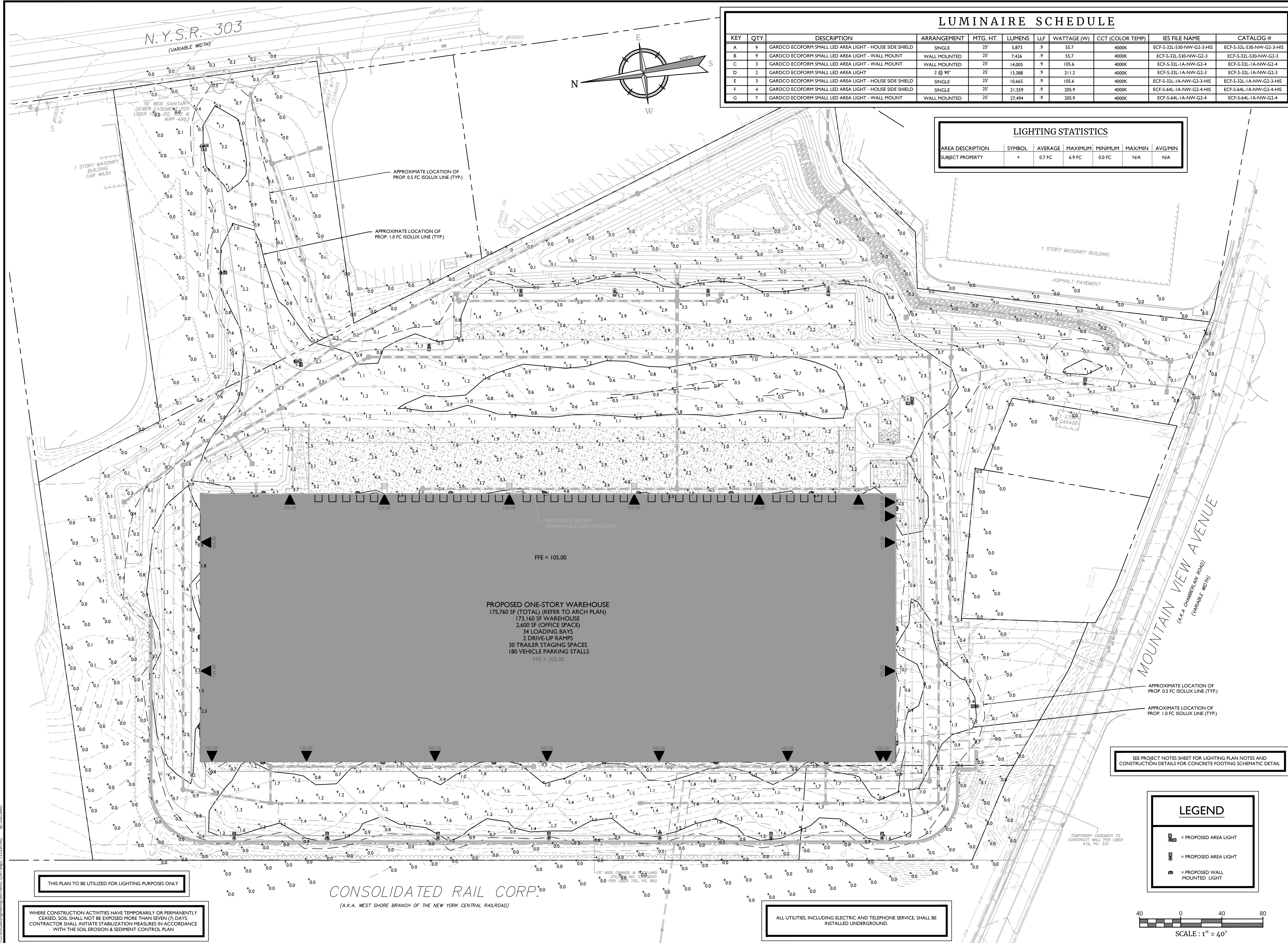












LUMINAIRE SCHEDULE

| KEY | QTY. | DESCRIPTION                                             | ARRANGEMENT  | MTG. HT. | LUMENS | LLF | WATTAGE (W) | CCT (COLOR TEMP) | IES FILE NAME             | CATALOG #                 |
|-----|------|---------------------------------------------------------|--------------|----------|--------|-----|-------------|------------------|---------------------------|---------------------------|
| A   | 9    | GARDCO ECOFORM SMALL LED AREA LIGHT - HOUSE SIDE SHIELD | SINGLE       | 25'      | 5,873  | .9  | 55.7        | 4000K            | ECF-S-32L-S30-NW-G2-3-HIS | ECF-S-32L-S30-NW-G2-3-HIS |
| B   | 9    | GARDCO ECOFORM SMALL LED AREA LIGHT - WALL MOUNT        | WALL MOUNTED | 25'      | 7,426  | .9  | 55.7        | 4000K            | ECF-S-32L-S30-NW-G2-3     | ECF-S-32L-S30-NW-G2-3     |
| C   | 3    | GARDCO ECOFORM SMALL LED AREA LIGHT - WALL MOUNT        | WALL MOUNTED | 25'      | 14,005 | .9  | 105.6       | 4000K            | ECF-S-32L-1A-NW-G2-4      | ECF-S-32L-1A-NW-G2-4      |
| D   | 2    | GARDCO ECOFORM SMALL LED AREA LIGHT                     | 2 @ 90°      | 25'      | 13,388 | .9  | 211.2       | 4000K            | ECF-S-32L-1A-NW-G2-3      | ECF-S-32L-1A-NW-G2-3      |
| E   | 3    | GARDCO ECOFORM SMALL LED AREA LIGHT - HOUSE SIDE SHIELD | SINGLE       | 25'      | 10,665 | .9  | 105.6       | 4000K            | ECF-S-32L-1A-NW-G2-3-HIS  | ECF-S-32L-1A-NW-G2-3-HIS  |
| F   | 4    | GARDCO ECOFORM SMALL LED AREA LIGHT - HOUSE SIDE SHIELD | SINGLE       | 25'      | 21,559 | .9  | 205.9       | 4000K            | ECF-S-64L-1A-NW-G2-4-HIS  | ECF-S-64L-1A-NW-G2-4-HIS  |
| G   | 7    | GARDCO ECOFORM SMALL LED AREA LIGHT - WALL MOUNT        | WALL MOUNTED | 25'      | 27,494 | .9  | 205.9       | 4000K            | ECF-S-64L-1A-NW-G2-4      | ECF-S-64L-1A-NW-G2-4      |

LIGHTING STATISTICS

| AREA DESCRIPTION | SYMBOL | AVERAGE | MAXIMUM | MINIMUM | MAX/MIN | AVG/MIN |
|------------------|--------|---------|---------|---------|---------|---------|
| SUBJECT PROPERTY | +      | 0.7 FC  | 6.9 FC  | 0.0 FC  | N/A     | N/A     |



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| 3   | 3/30/23 | DIG      | REVISED PER 3/22/23 PRC MEETING                                   |



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| AS SHOWN        | 11/22/2021 | DG/CMA        | JBC         |
| PROJECT NUMBER: | 21003528A  | DRAWING NAME: | CLIGHT      |

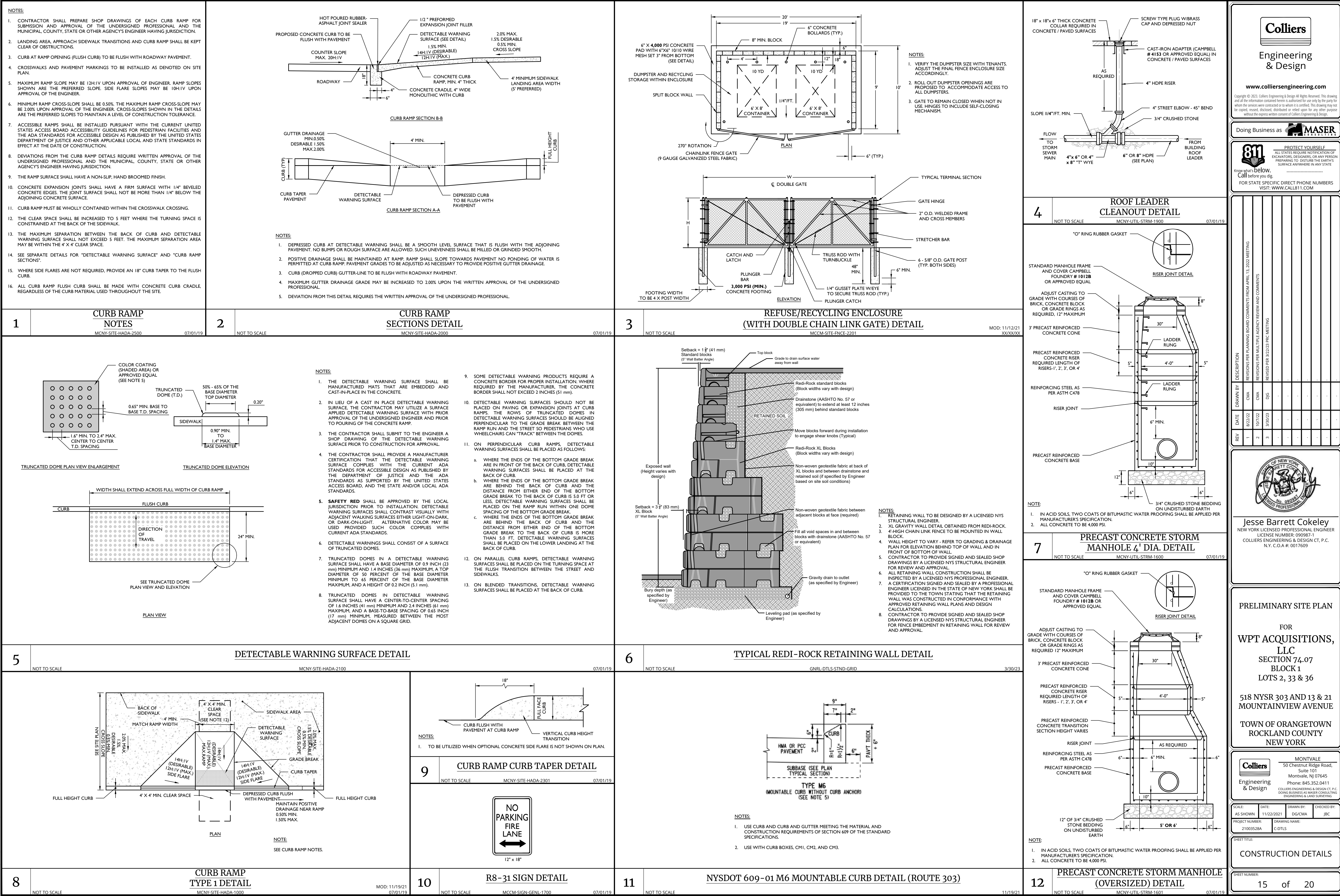
SHEET TITLE:  
LIGHTING PLAN  
SHEET NUMBER:  
13 of 20

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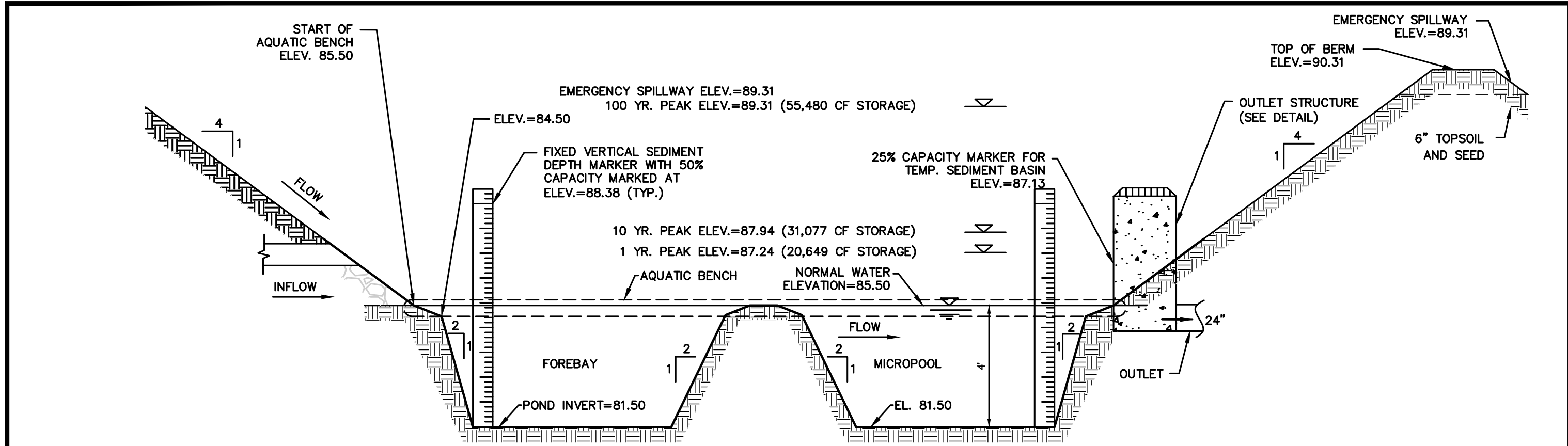












## 1 EXTENDED DETENTION BASIN (1A) DETAIL

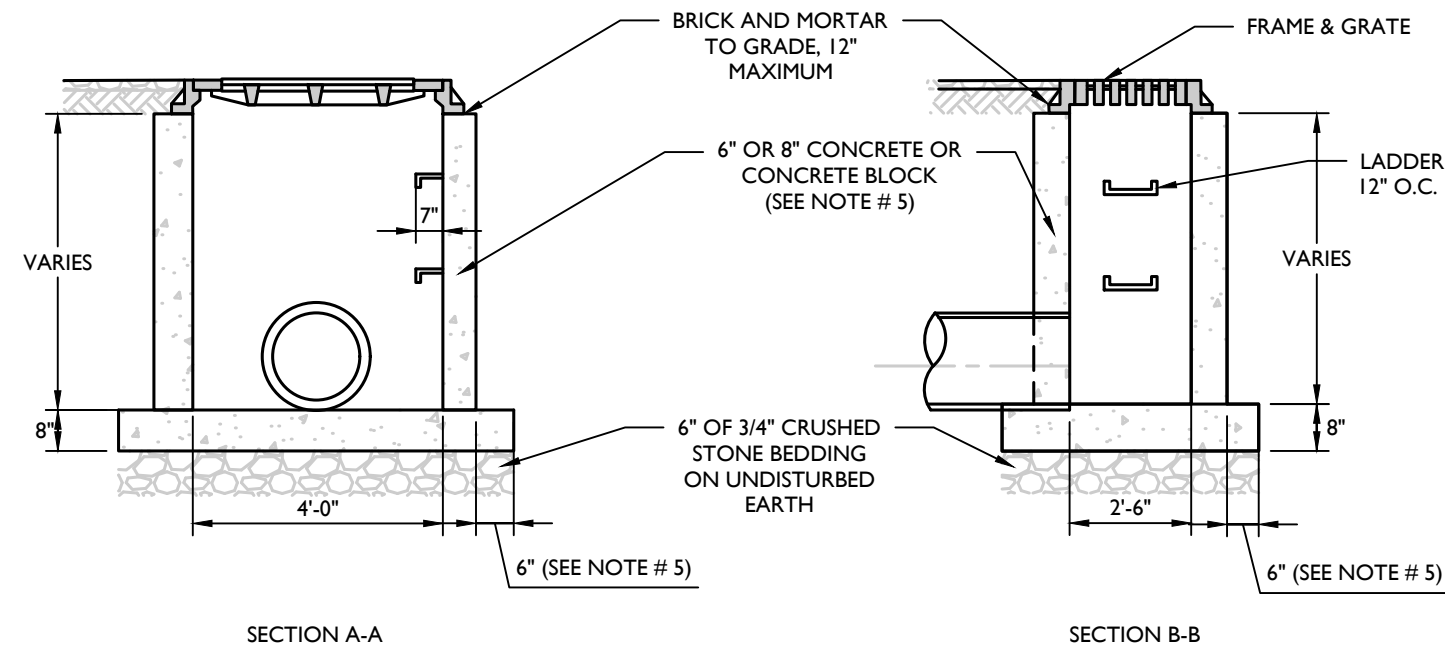
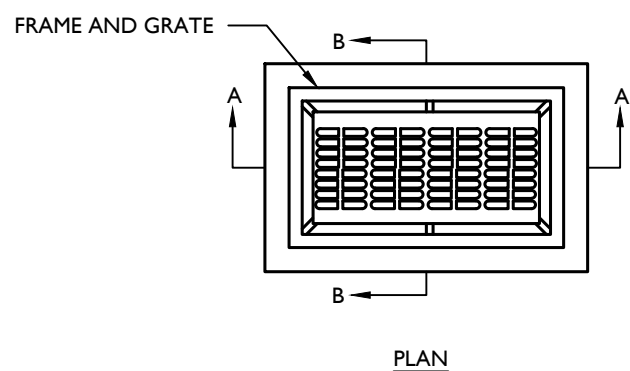
NOT TO SCALE

GNRL-DTL5-STND-GRID

11/19/21

### NOTES:

- INVERTS TO BE ELIMINATED IN BOTTOM OF TERMINAL INLETS. MINIMUM DIFFERENCE IN INVERTS TO BE 0.1 FEET.
- THIS INLET SHALL BE CONSTRUCTED OF PRECAST CONCRETE OR SOLID CONCRETE BLOCK. IF CONCRETE BLOCK IS USED, THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF 1:2 CEMENT SAND MORTAR. THE INSIDE WALLS JOINTS SHALL BE STRUCK AND POINTED.
- PROVIDE 7/8" DIA. X 7' X 12", 12" O.C. COPOLYMER POLYPROPYLENE PLASTIC STEPS WITH 1/2" DIA. GRADE 60 STEEL REINFORCEMENT BY M.A. INDUSTRIES, PS2-PF OR PS2-B WITH PRECAST PRESS FIT INSERTS. 12" O.C.
- INLET FRAME AND GRATES TO BE CAMPBELL FOUNDRY # 3408 OR APPROVED EQUAL.
- WHEN DEPTH IS GREATER THEN 12" THE WALLS SHOULD BE EITHER 8" THICK CONCRETE OR 8" SOLID CONCRETE BLOCK AND THE FOOTING SHALL BE EXTENDED TO 12" BEYOND THE OUTSIDE WALLS.
- ALL CONCRETE TO BE 4,000 PSI.
- IN ACID SOILS, TWO COATS OF BITUMASTIC WATER PROOFING SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATION.
- INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH H-20 LOADING REQUIREMENTS.



## 2 SINGLE DRAIN INLET DETAIL

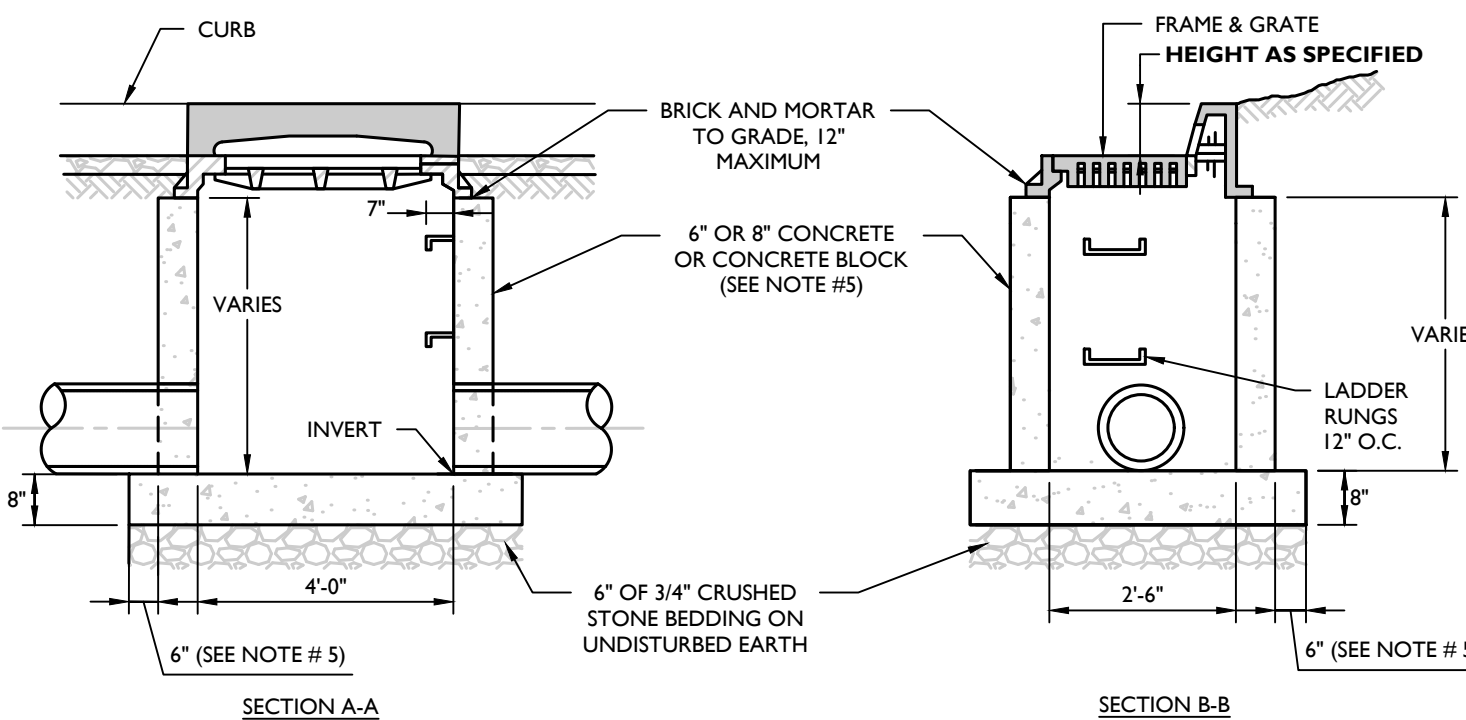
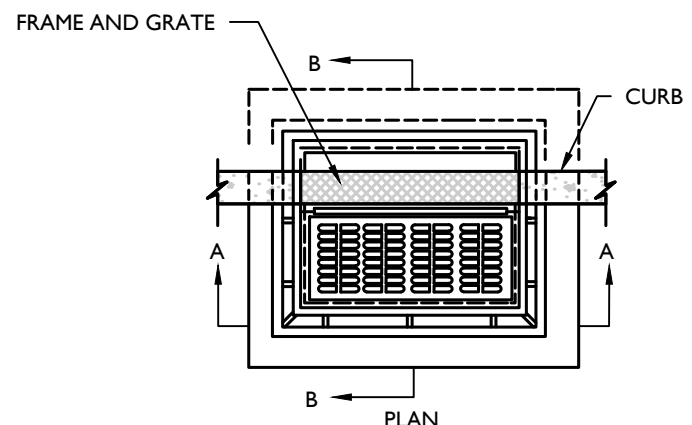
NOT TO SCALE

MCNY-UTIL-STRM-1000

07/01/19

### NOTES:

- INVERTS TO BE ELIMINATED IN BOTTOM OF TERMINAL INLETS. MINIMUM DIFFERENCE IN INVERTS TO BE 0.1 FEET.
- THIS INLET SHALL BE CONSTRUCTED OF PRECAST CONCRETE OR SOLID CONCRETE BLOCK. IF CONCRETE BLOCK IS USED, THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF 1:2 CEMENT SAND MORTAR. THE INSIDE WALL JOINTS SHALL BE STRUCK AND POINTED.
- PROVIDE 7/8" DIA. X 7' X 12", 12" O.C. COPOLYMER POLYPROPYLENE PLASTIC STEPS WITH 1/2" DIA. GRADE 60 STEEL REINFORCEMENT BY M.A. INDUSTRIES, PS2-PF OR PS2-B WITH PRECAST PRESS FIT INSERTS. 12" O.C. OR APPROVED EQUIVALENT.
- INLET FRAME AND GRATES TO BE CAMPBELL FOUNDRY # 2617, OR APPROVED EQUAL.
- WHEN DEPTH IS GREATER THAN 12" THE WALLS SHOULD BE 8" THICK CONCRETE OR SOLID CONCRETE BLOCK AND THE FOOTING SHALL BE EXTENDED TO 12" BEYOND THE OUTSIDE WALLS.
- ALL CONCRETE TO BE 4,000 PSI.
- IN ACID SOILS, TWO COATS OF BITUMASTIC WATER PROOFING SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATION.
- INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH H-20 LOADING REQUIREMENTS.

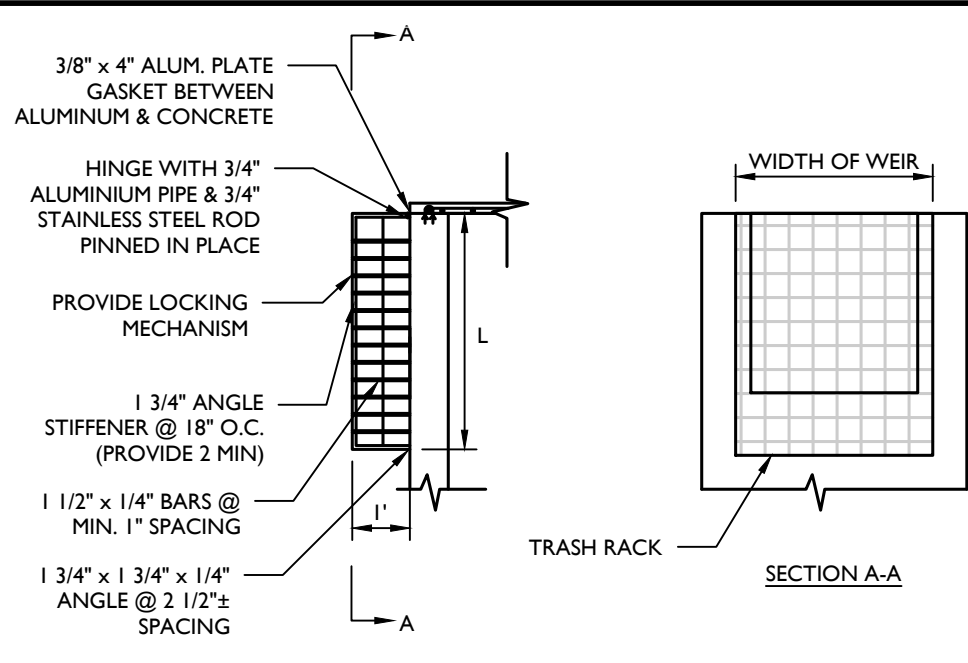


## 8 SINGLE CATCH BASIN DETAIL

NOT TO SCALE

MCNY-UTIL-STRM-1100

07/01/19



### TRASH RACK NOTES:

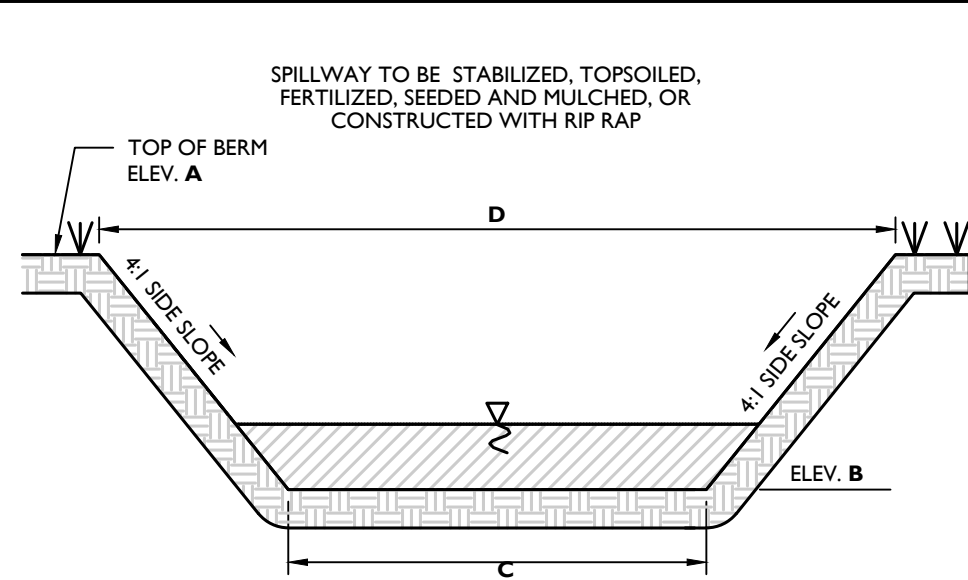
- MINIMUM BAR SPACING: 1 INCH.
- MAXIMUM BAR SPACING: 1/3 THE DIAMETER OF THE ORIFICE OR 1/3 THE WIDTH OF WEIR, WITH A MAXIMUM SPACING OF 6 INCHES, FOR ELEVATIONS IN EXCESS OF WATER QUALITY DESIGN STORM.
- MAXIMUM AVERAGE VELOCITY OF FLOW THROUGH CLEAN RACK: 2.5 FEET/SECOND.
- CONSTRUCTED OR RIGID, DURABLE AND CORROSION RESISTANT MATERIAL, AND
- DESIGNED TO WITHSTAND A PERPENDICULAR LIVE LOADING OF 300 LBS/SF.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS.

## 3 FLAT TRASH RACK DETAIL

NOT TO SCALE

MCNY-UTIL-STMW-2000

07/01/19



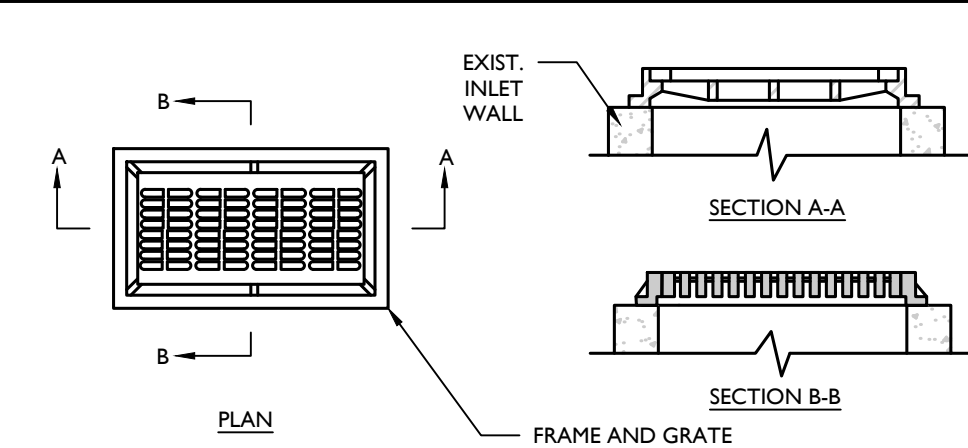
| BASIN # | A     | B     | C      | D      |
|---------|-------|-------|--------|--------|
| 1A      | 90.31 | 89.31 | 20 FT. | 28 FT. |

### NOTES:

- 0% SLOPE ACROSS EMERGENCY SPILLWAY.
- SPILLWAY SURFACE TO BE STABILIZED AS SHOWN ON THE PLANS.

## 5 EMERGENCY SPILLWAY DETAIL

NOT TO SCALE



### NOTES:

- REMOVE EXISTING CASTING, MORTAR, ETC. FROM TOP OF EXISTING INLET WALLS TO PROVIDE A CLEAN, SMOOTH AND LEVEL SURFACE FOR PROPOSED CASTING TO BE SET ON.
- IF REQUIRED, EITHER REMOVE COURSES OF CONCRETE BLOCK, SAWCUT SOLID CONCRETE WALLS TO REDUCE TOP OF WALL ELEVATION, OR INSTALL COURSES OF CONCRETE BRICK AND/OR CONCRETE SPACERS WITH MORTAR SUCH THAT THE NEW CASTING WILL BE FLUSH WITH THE PROPOSED GRADE.
- INLET FRAME AND GRATE TO BE CAMPBELL FOUNDRY # 3408 OR APPROVED EQUAL.
- NEW CASTING TO BE SECURED ON INLET WALLS USING 1:2 CEMENT TO SAND MORTAR.

## 9 CONVERT CATCH BASIN TO DRAIN INLET DETAIL

NOT TO SCALE

MCNY-UTIL-STRM-1500

07/01/19

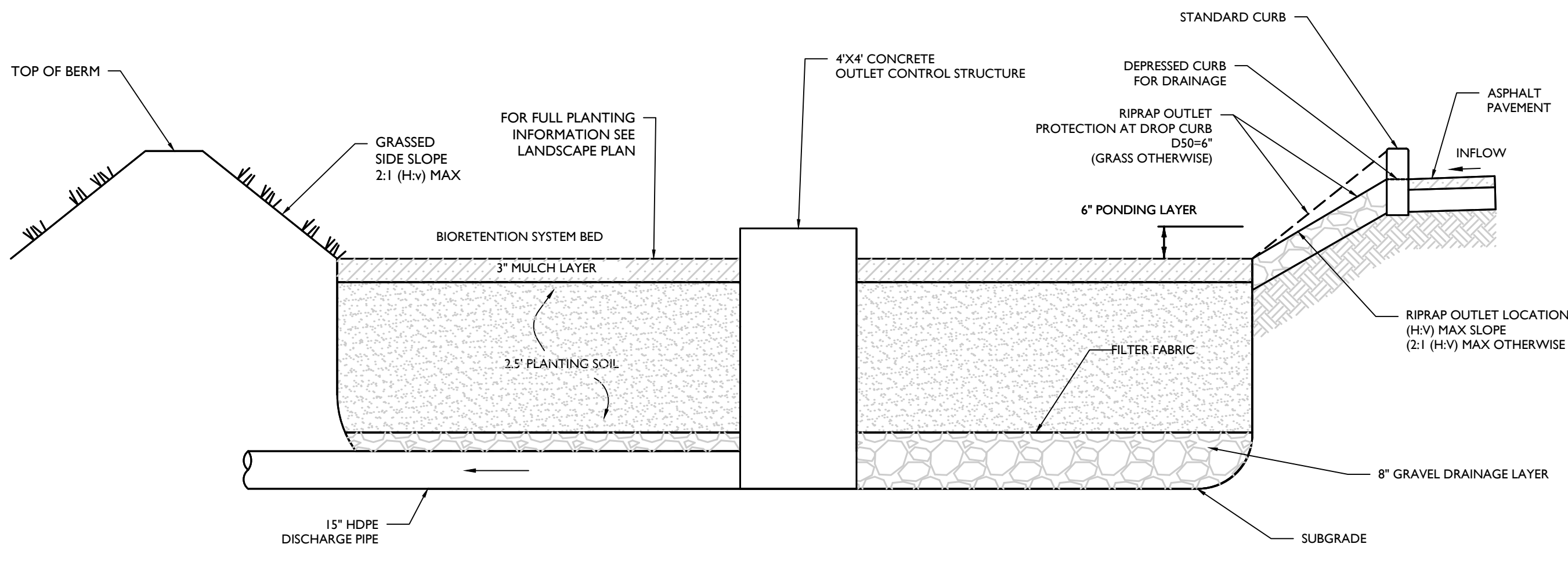
## TYPICAL BIORETENTION AREA PLANT SCHEDULE

| TREES                 | COMMON NAME        | CONT         | SIZE   | HEIGHT           | REMARKS                        |
|-----------------------|--------------------|--------------|--------|------------------|--------------------------------|
| Betula nigra          | River Birch        | CONT         |        | 6' - 8'          | MULTISTEM / TYP. SPECIES HABIT |
| SHRUBS                | COMMON NAME        | CONT         | SIZE   | HEIGHT           | REMARKS                        |
| Aronia Arbutifolia    | Red Chokeberry     | CONT         |        | 24"-30"          | TYPICAL SPECIES HABIT          |
| Clethra Alnifolia     | 'Hummingbird'      | CONT         |        | 18"-24"          | TYPICAL SPECIES HABIT          |
| Ilex Glabra           | Inkberry           | CONT         |        | 18"-24"          | TYPICAL SPECIES HABIT          |
| Sambucus Canadensis   | Elderberry         | CONT         |        | 18"-24"          | TYPICAL SPECIES HABIT          |
| Viburnum Dentatum     | Arrowwood Viburnum | CONT         |        | 18"-24"          | TYPICAL SPECIES HABIT          |
| PERENNIALS            | COMMON NAME        | CONT         | HEIGHT | REMARKS          |                                |
| Aster Novae Angliae   | New England Aster  | 1 Gal. CONT. |        | Clumps, 24" O.C. |                                |
| Deschampsia Cespitosa | Tufted Hair Grass  | #SP4 CONT.   |        | Clumps, 12" O.C. |                                |
| Echinacea Purpurea    | Coneflower         | 1 Gal. CONT. |        | Clumps, 24" O.C. |                                |
| Juncus Effusus        | Common Rush        | #SP4 CONT.   |        | Clumps, 12" O.C. |                                |

### PLANTING SOIL NOTE:

THE PLANTING SOIL SHOULD BE A SANDY LOAM, LOAMY SAND, LOAM (USDA), OR A LOAM/SAND MIX (SHOULD CONTAIN A MINIMUM 35 TO 60% SAND, BY VOLUME). THE CLAY CONTENT FOR THESE SOILS SHOULD BE LESS THAN 25% BY VOLUME. SOILS SHOULD FALL WITHIN THE SM OR ML CLASSIFICATIONS OF THE UNIFIED SOIL CLASSIFICATION SYSTEM (USCS). A PERMEABILITY OF AT LEAST 1.0 FEET PER DAY (0.5"HR) IS REQUIRED (A CONSERVATIVE VALUE OF 0.5 FEET PER DAY IS USED FOR DESIGN). THE SOIL SHOULD BE FREE OF STONES, STUMPS, ROOTS, OR OTHER WOODY MATERIAL OVER 1" IN DIAMETER, AND BRUSH OR SEED FROM NOXIOUS WEEDS. PLACEMENT OF THE PLANTING SOIL SHOULD BE IN LIFTS OF 12" TO 18", LOOSELY COMPACTED (TAMPED LIGHTLY WITH A DOZER OR BACKHOE BUCKET). THE SPECIFIC CHARACTERISTICS ARE AS FOLLOWS:

| PARAMETER                                   | VALUE                     |
|---------------------------------------------|---------------------------|
| PH RANGE                                    | 5.2 TO 7.00               |
| ORGANIC MATTER                              | 1.5 TO 4.0%               |
| MAGNESIUM                                   | 35 LBS. PER ACRE, MINIMUM |
| PHOSPHORUS (P <sub>2</sub> O <sub>5</sub> ) | 75 LBS. PER ACRE, MINIMUM |
| POTASSIUM (K <sub>2</sub> O)                | 85 LBS. PER ACRE, MINIMUM |
| SOLUBLE SALTS                               | 500 ppm                   |
| CLAY                                        | 10 TO 25%                 |
| SILT                                        | 30 TO 55%                 |
| SAND                                        | 35 TO 60%                 |



| BIORETENTION ELEVATIONS |             |             |               |                       |
|-------------------------|-------------|-------------|---------------|-----------------------|
| SYSTEM                  | OUTLET NAME | OUTLET SIZE | BED ELEVATION | 100 YR PEAK ELEVATION |
| 1B                      | OCS 1B      | 4'X4'       | 99.0          | 99.68                 |
| 1C                      | OCS 1C      | 4'X4'       | 99.0          | 99.74                 |
| 1D                      | OCS 1D      | 4'X4'       | 89.0          | 89.76                 |
|                         |             |             |               | 90.25                 |

### NOTES:

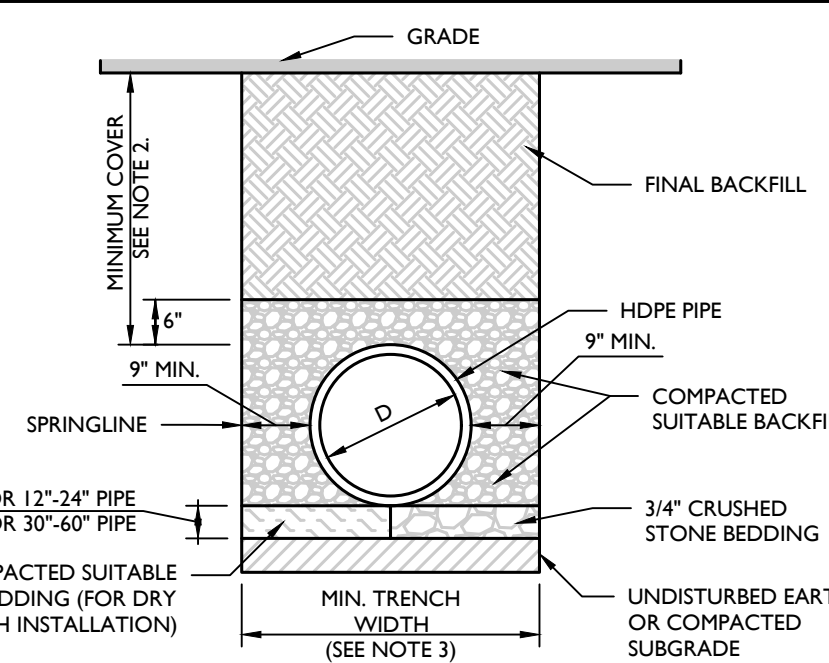
- SEE PLAN FOR DROP CURB LOCATIONS AND BIORETENTION AREA CONFIGURATION.
- PLANTING SOIL TO BE IN ACCORDANCE WITH NEW YORK STATE STANDARDS AND SPECIFICATIONS FOUND WITHIN THE PROJECT SWPPP.

## BIORETENTION SYSTEM CROSS SECTION DETAIL

MCNY-UTIL-STMW-2400

MOD: 08/10/22

07/01/19



### NOTES:

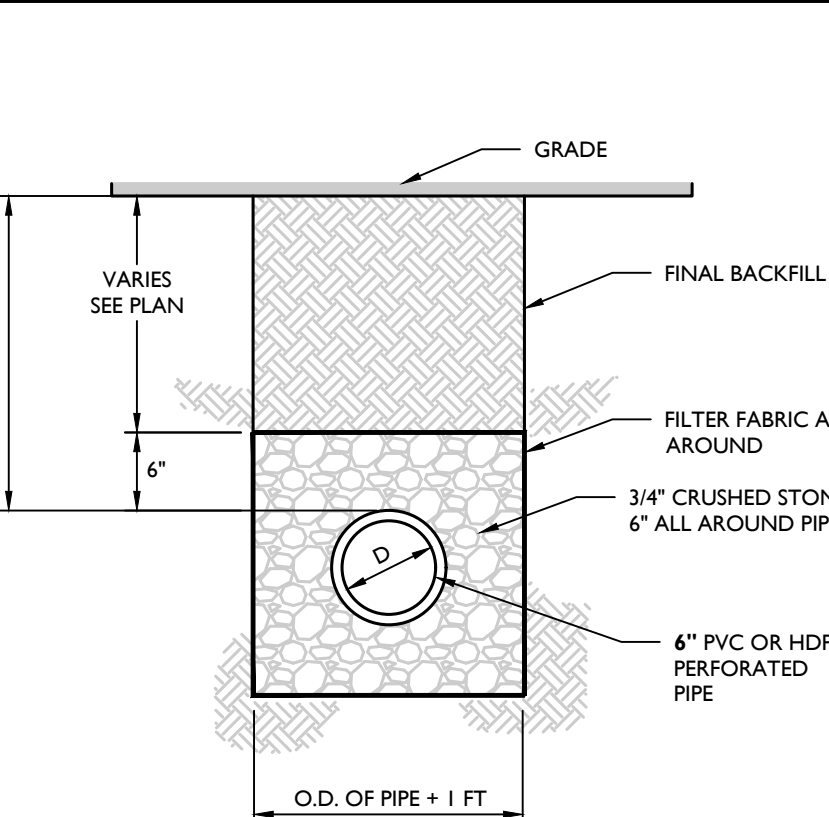
- ALL PIPE SYSTEMS AND BACKFILL SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321.
- MINIMUM COVER FOR HDPE PIPES IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR UP TO 60" DIAMETER PIPE. PIPE COVER IS MEASURED FROM TOP OF PIPE TO THE BOTTOM OF FLEXIBLE PAVEMENT, OR TO THE TOP OF RIGID PAVEMENT, OR TO THE GROUND SURFACE.
- MINIMUM TRENCH WIDTH PER MANUFACTURER'S RECOMMENDATIONS.

## 6 HDPE STORM PIPE BEDDING DETAIL

NOT TO SCALE

MCNY-UTIL-STRM-2302

07/01/19

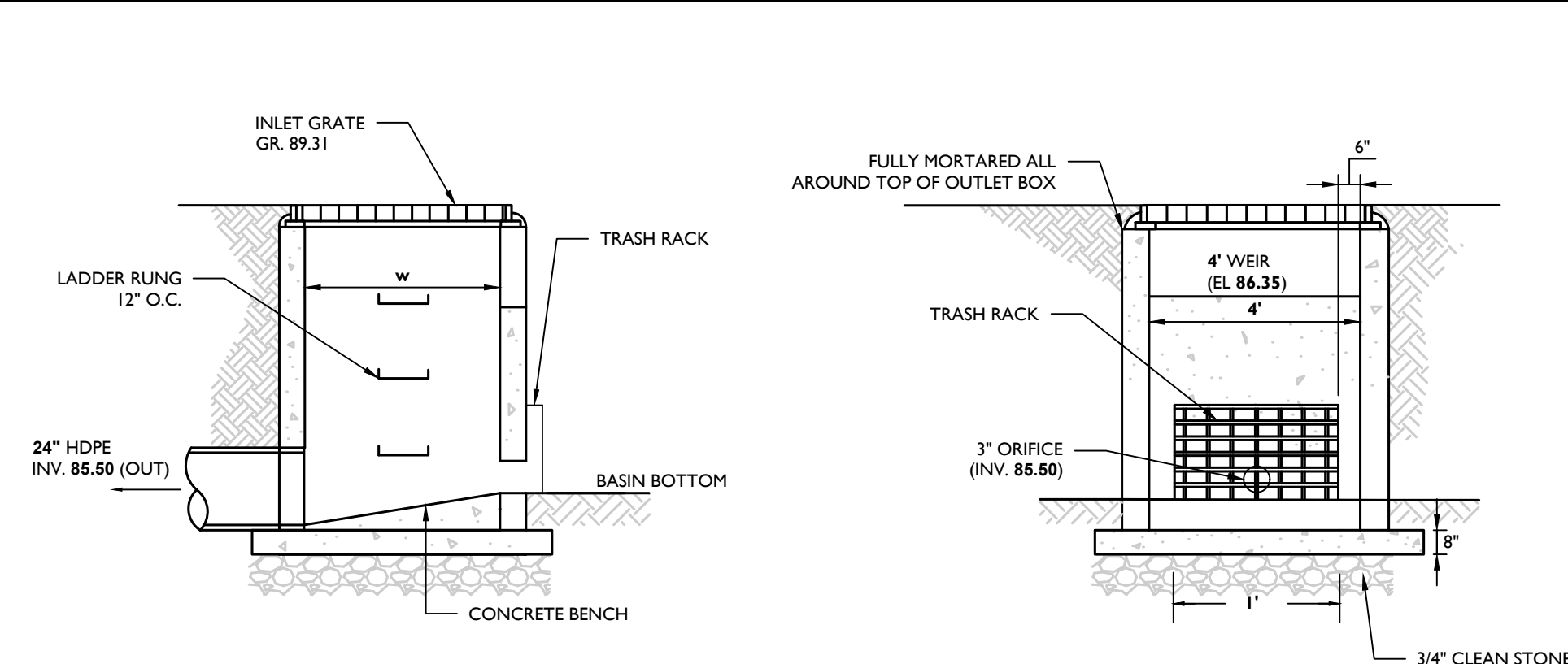


## 7 CURB CUT FOR DRAINAGE (W/PEA GRAVEL DIAPHRAGM) DETAIL

NOT TO SCALE

MCNY-UTIL-STRM-2402

11/19/21



### NOTES:

- CONTRACTOR TO SUBMIT SHOP DRAWING FOR REVIEW AND APPROVAL.
- ALL CONCRETE TO BE 4,000 PSI (MIN.)

## 10 UNDERDRAIN DETAIL

NOT TO SCALE

MCNY-UTIL-STRM-2400

07/01/19

## 11 OUTLET CONTROL STRUCTURE DETAIL (SINGLE CHAMBER)

NOT TO SCALE

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REVISIONS PER PLANNING BOARD COMMENTS FROM APRIL 13, 2022 MEETING

REVISIONS PER MULTIPLE AGENCY REVIEW AND COMMENTS

REVISIONS PER 3/22/23 DEC MEETING

DESCRIPTION

DRAWN BY

DATE

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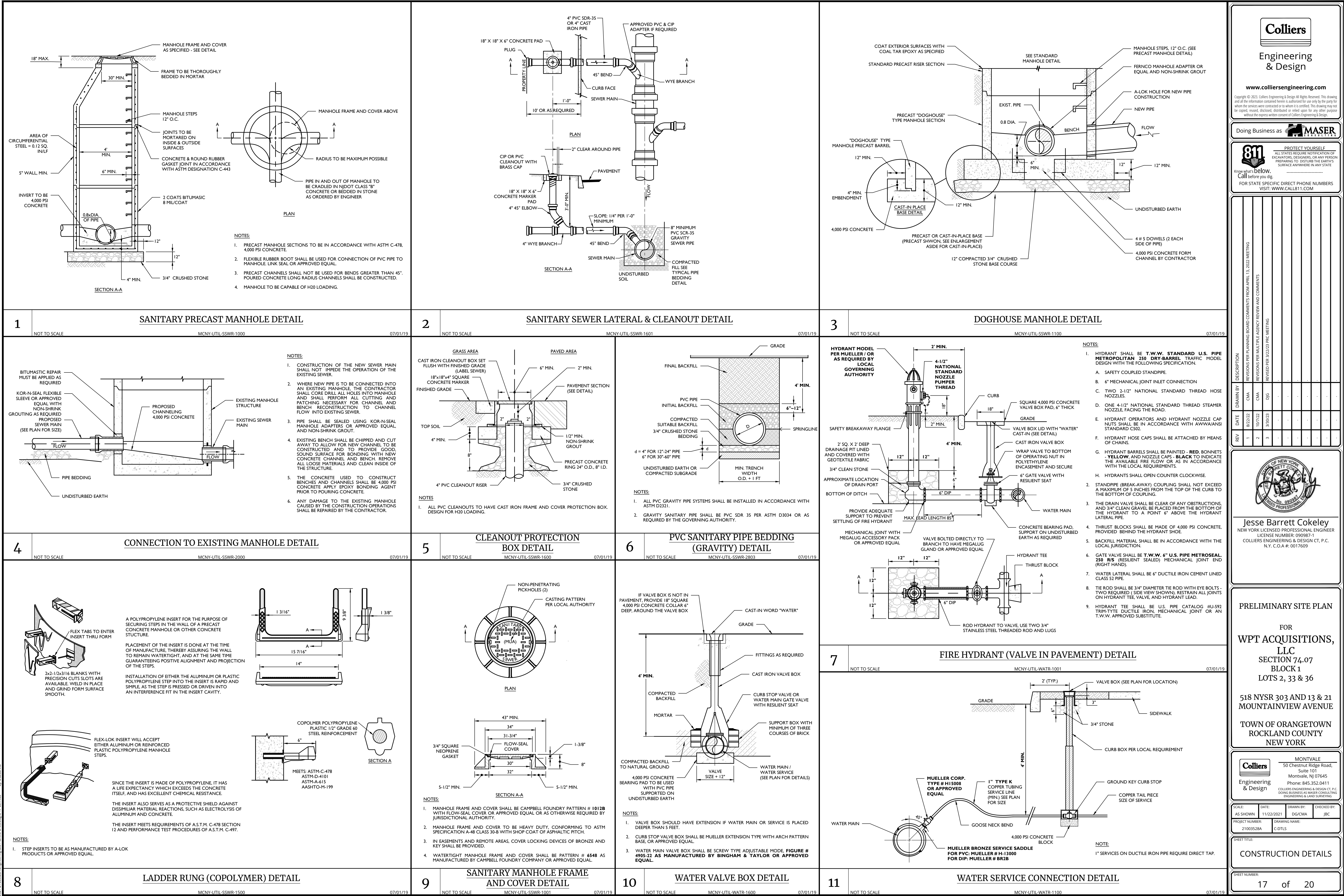
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| 2        | 10/17/22 | CMA         |
| 3        | 2/20/23  | DIG         |
| 4        | 03/22/23 | DIG         |

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N.Y. C.O.A.#: 0017609

PRELIMINARY SITE PLAN

FOR  
WPT ACQUISITIONS,  
LLC  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21  
MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

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| SCALE:   | DATE:      | DRAWN BY: | CHECKED BY: |
|----------|------------|-----------|-------------|
| AS SHOWN | 11/22/2021 | DG/CMA    | JBC         |

| PROJECT NUMBER: | DRAWING NAME: |
|-----------------|---------------|
| 21003528A       | C-DTLS        |

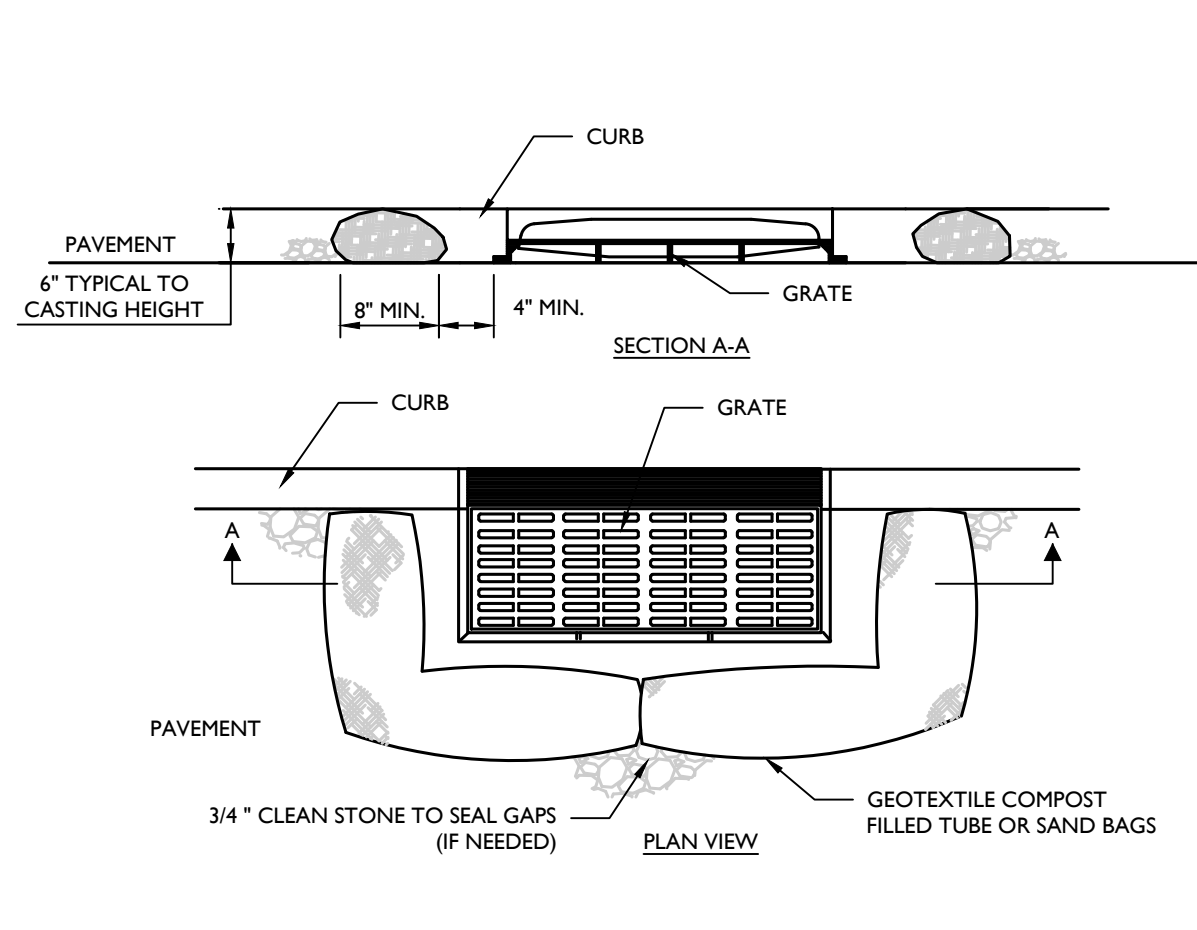
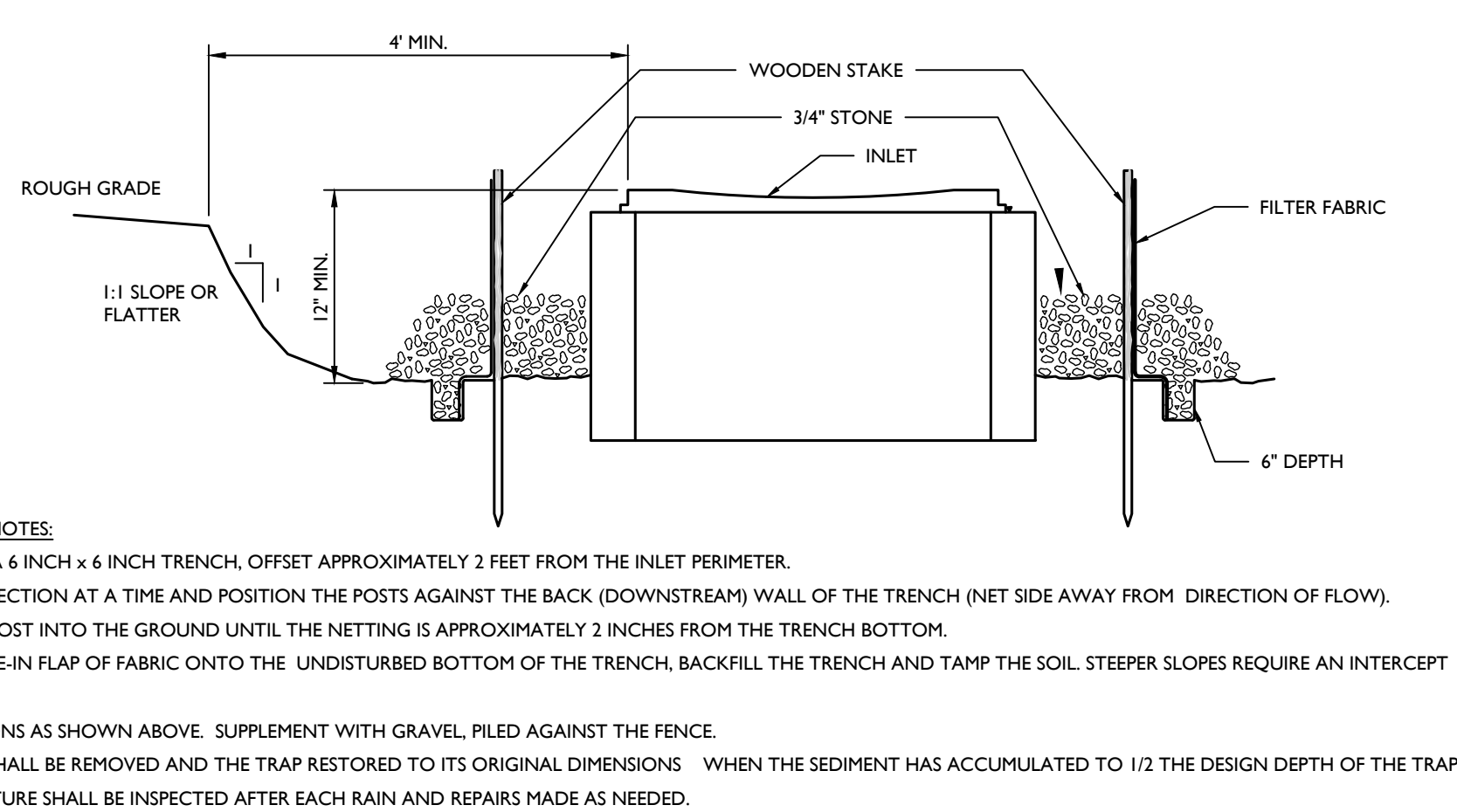
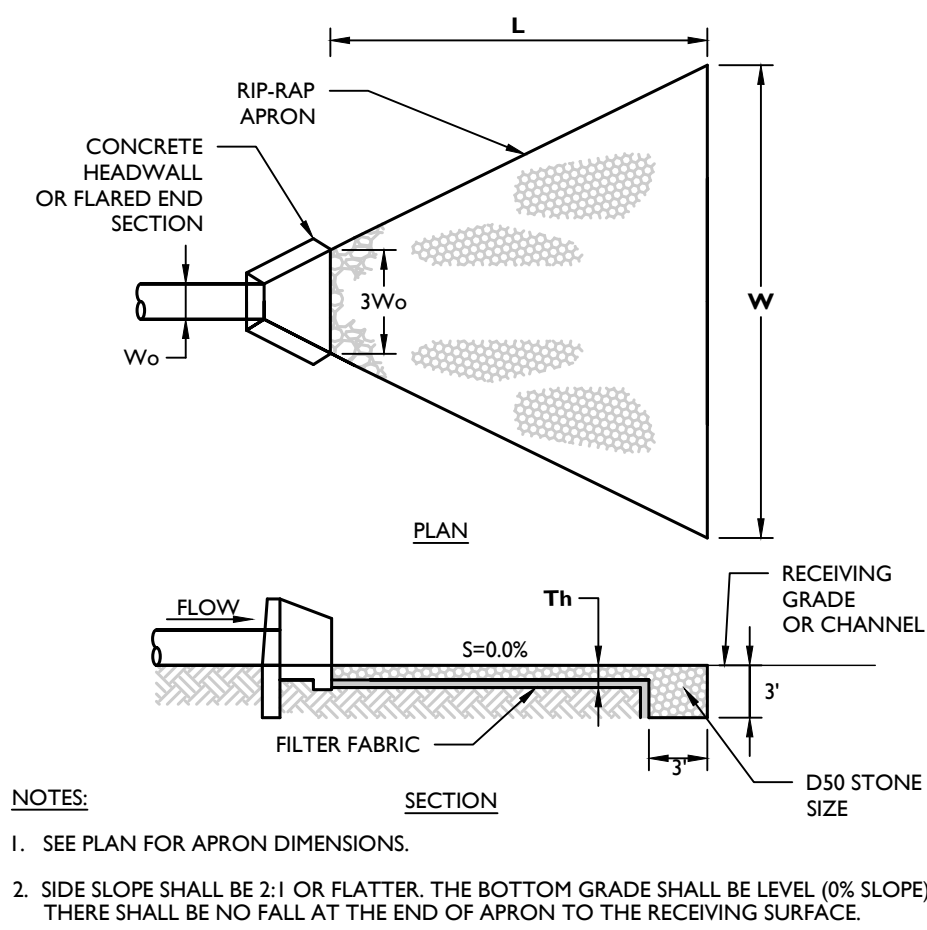
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| CONSTRUCTION DETAILS |

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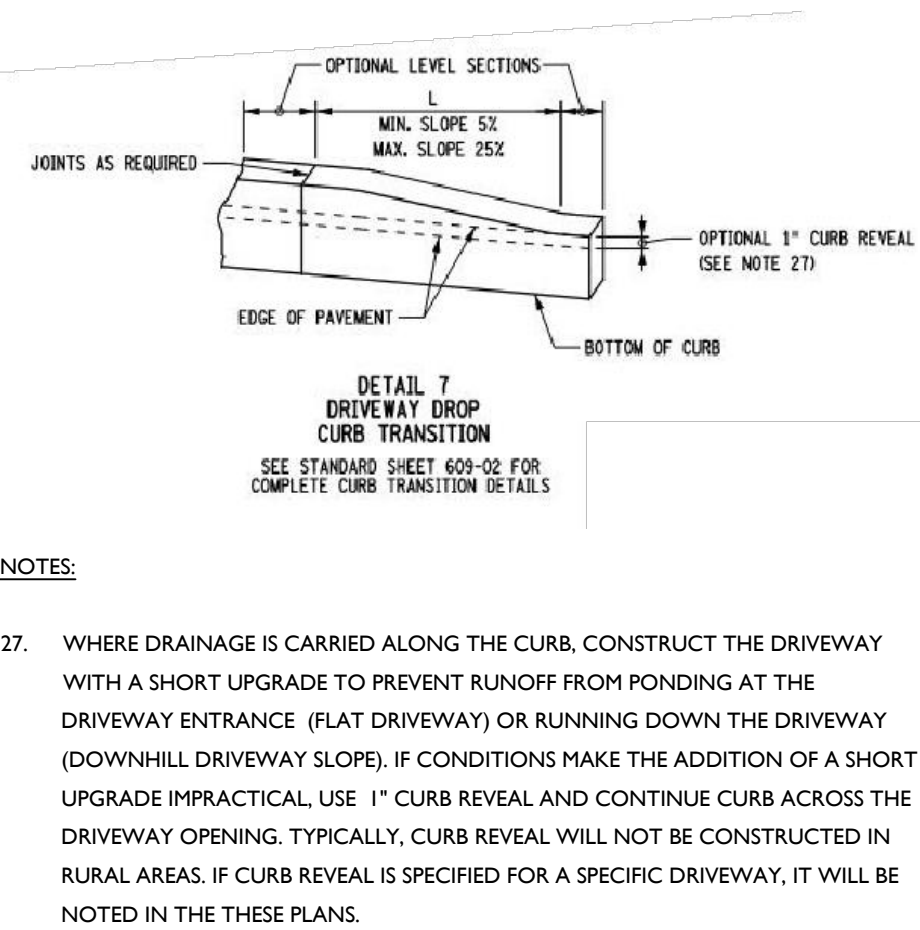








- NOTES:**
1. GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT, OR APPROVED EQUAL.
  2. FILLER CORE MAY BE SAND, COMPOST, OR PEA GRAVEL COMPLETELY CONTAINED WITHIN GEOTEXTILE SEAMS, CLOSED BY A MECHANICAL MEANS TO PREVENT LEAKAGE OF FILLER.
  3. WHERE NO CURB IS PRESENT, BARRIER SHALL COMPLETELY ENCRICLE THE DRAIN INLET.
  4. INLET GRADE OPENING IS TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.
  5. THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR TRAP RAIN RUNOFF FROM THE 1 YEAR/ 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.
  6. OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE PROJECT ENGINEER.
  7. INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS REACHED FINAL STABILIZATION.



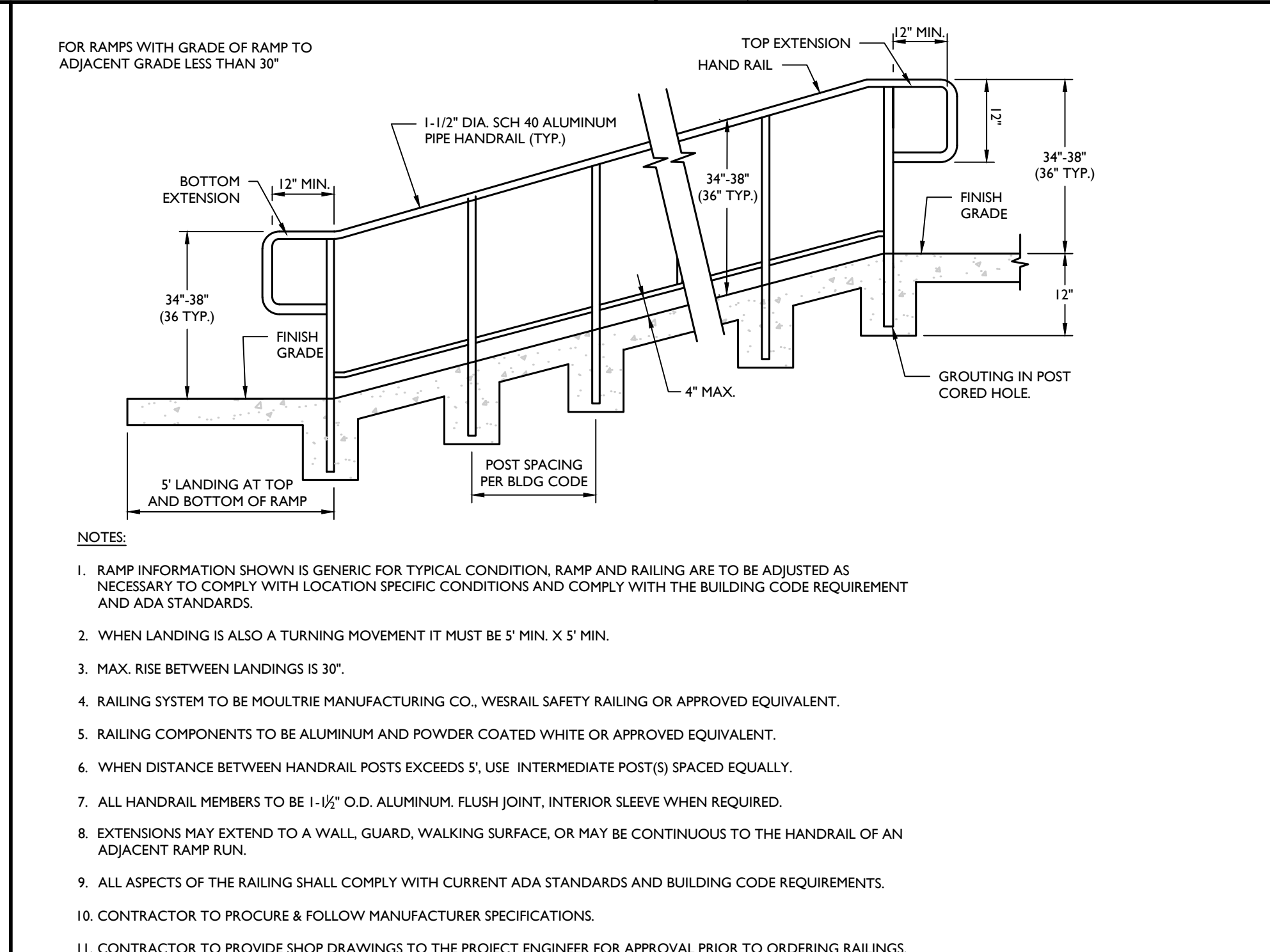
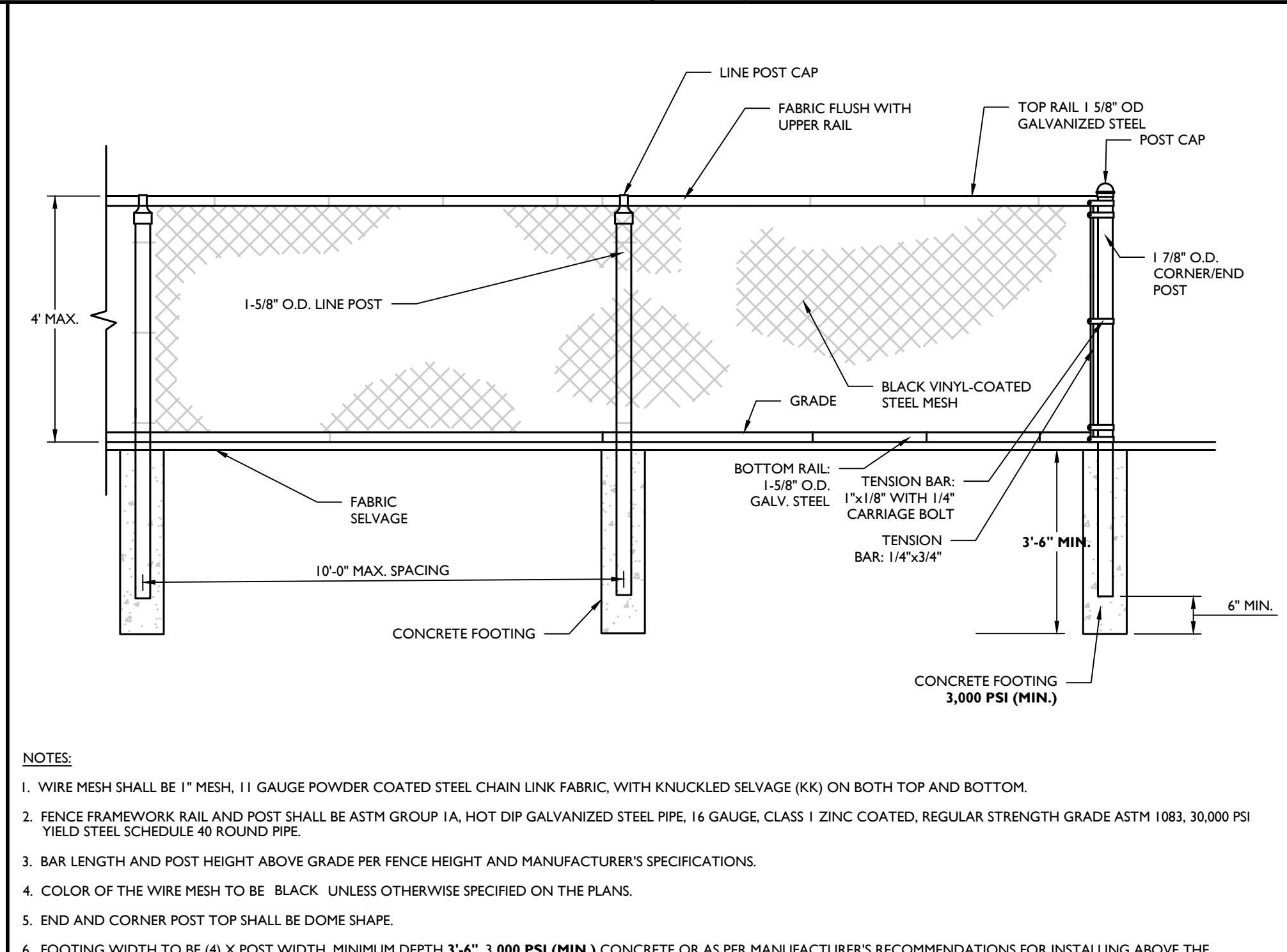
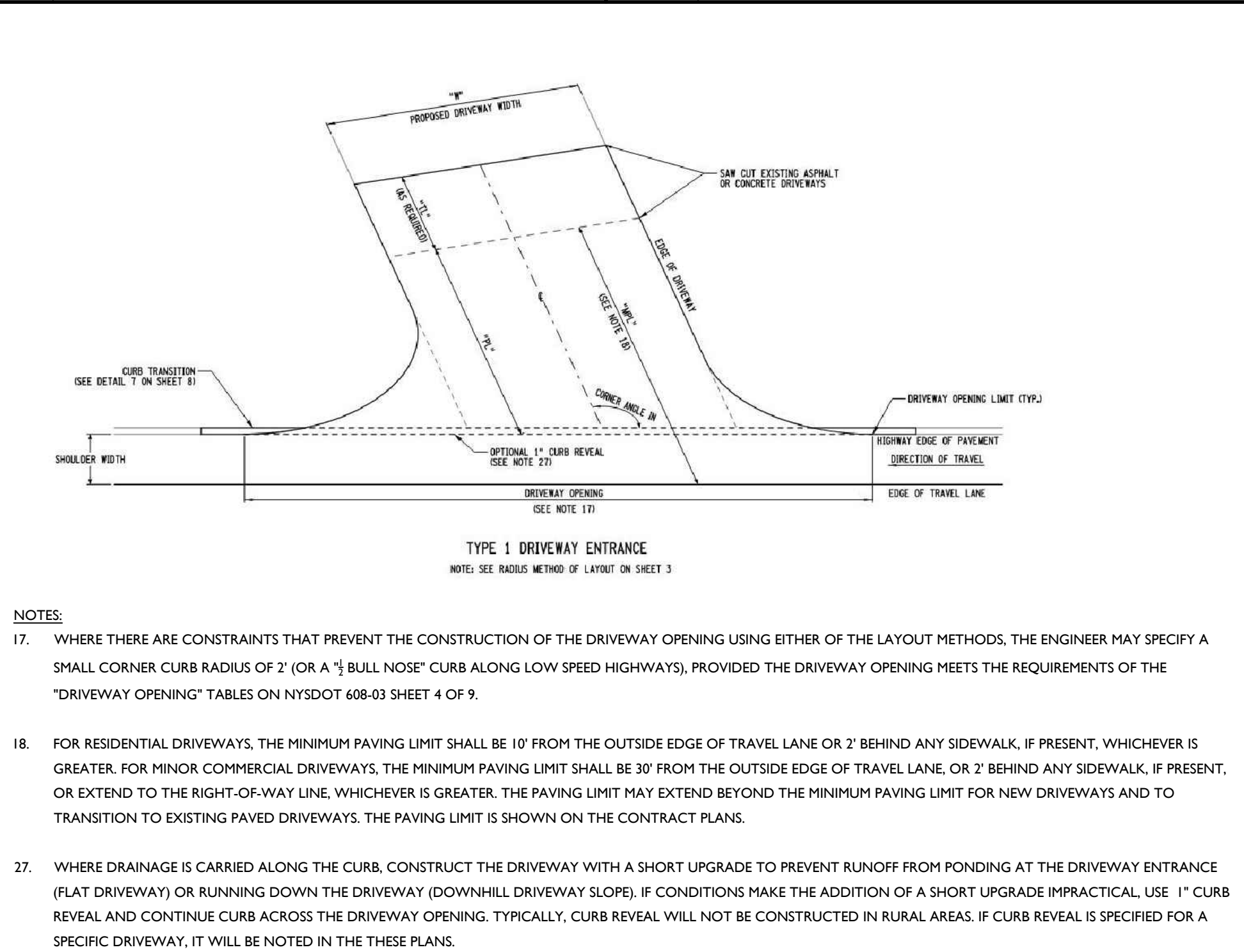
## NYS DOT 608-03 DRIVEWAY DROP CURB TRANSITION DETAIL (ROUTE 303)

# 1 CONDUIT OUTLET PROTECTION DETAIL

|   |                                                                                                                                                           |  |  |
|---|-----------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|
| 2 | <p align="center"><u>STORM INLET SEDIMENT TRAP DETAIL</u></p> <p>NOT TO SCALE</p> <p align="center">MCNY-SOIL-EROS-1502</p> <p align="right">07/01/19</p> |  |  |
|---|-----------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|

|   |                                                                                                                                                               |          |
|---|---------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|
| 3 | <p style="text-align: center;"><u>INLET PROTECTION (FILTER BARRIER) DETAIL</u></p> <p>NOT TO SCALE</p> <p style="text-align: center;">MCNY-SOIL-EROS-1500</p> | 07/01/19 |
|---|---------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|

|   |                                                                                                                                                                                                                                                                                                                                                                                  |
|---|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 4 | <div style="border-bottom: 1px solid black; padding-bottom: 5px;">                 NYSDOT 608-03 DRIVEWAY DROP CURB<br/>                 TRANSITION DETAIL (ROUTE 303)             </div> <div style="display: flex; justify-content: space-between; font-size: 10pt; margin-top: 5px;"> <span>NOT TO SCALE</span> <span>GNRL-DTLS-STND-GRID</span> <span>11/22/21</span> </div> |
|---|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|



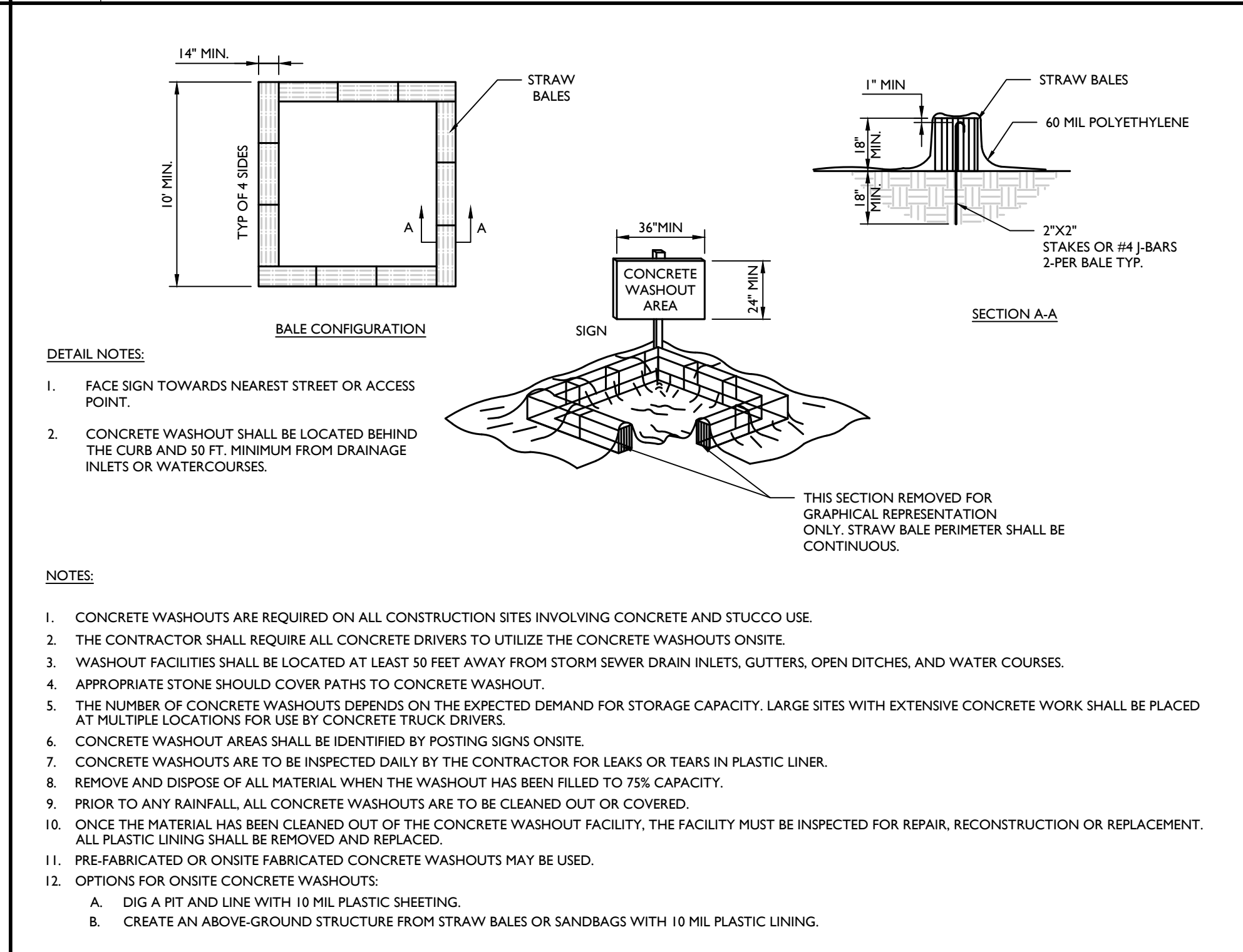
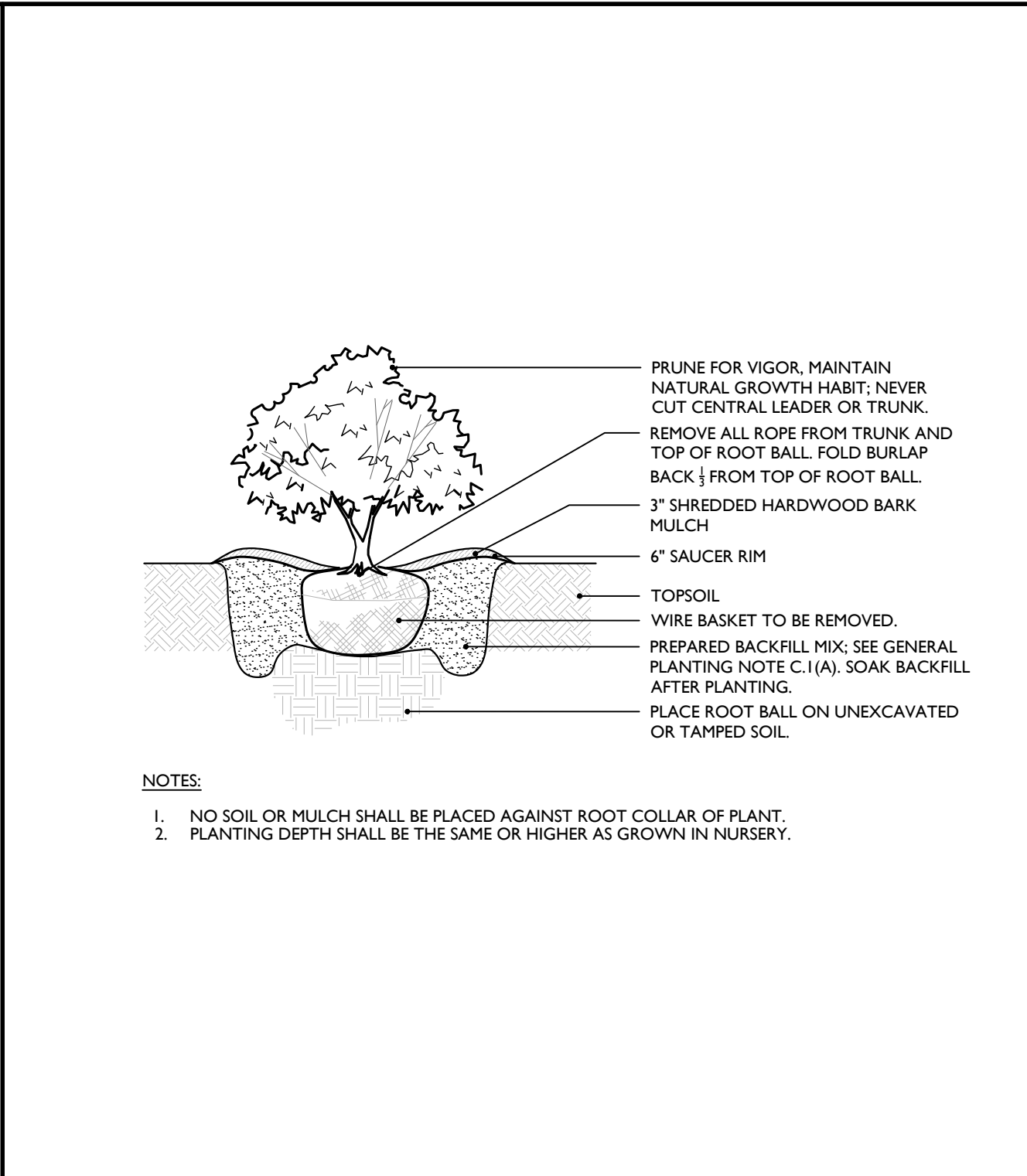
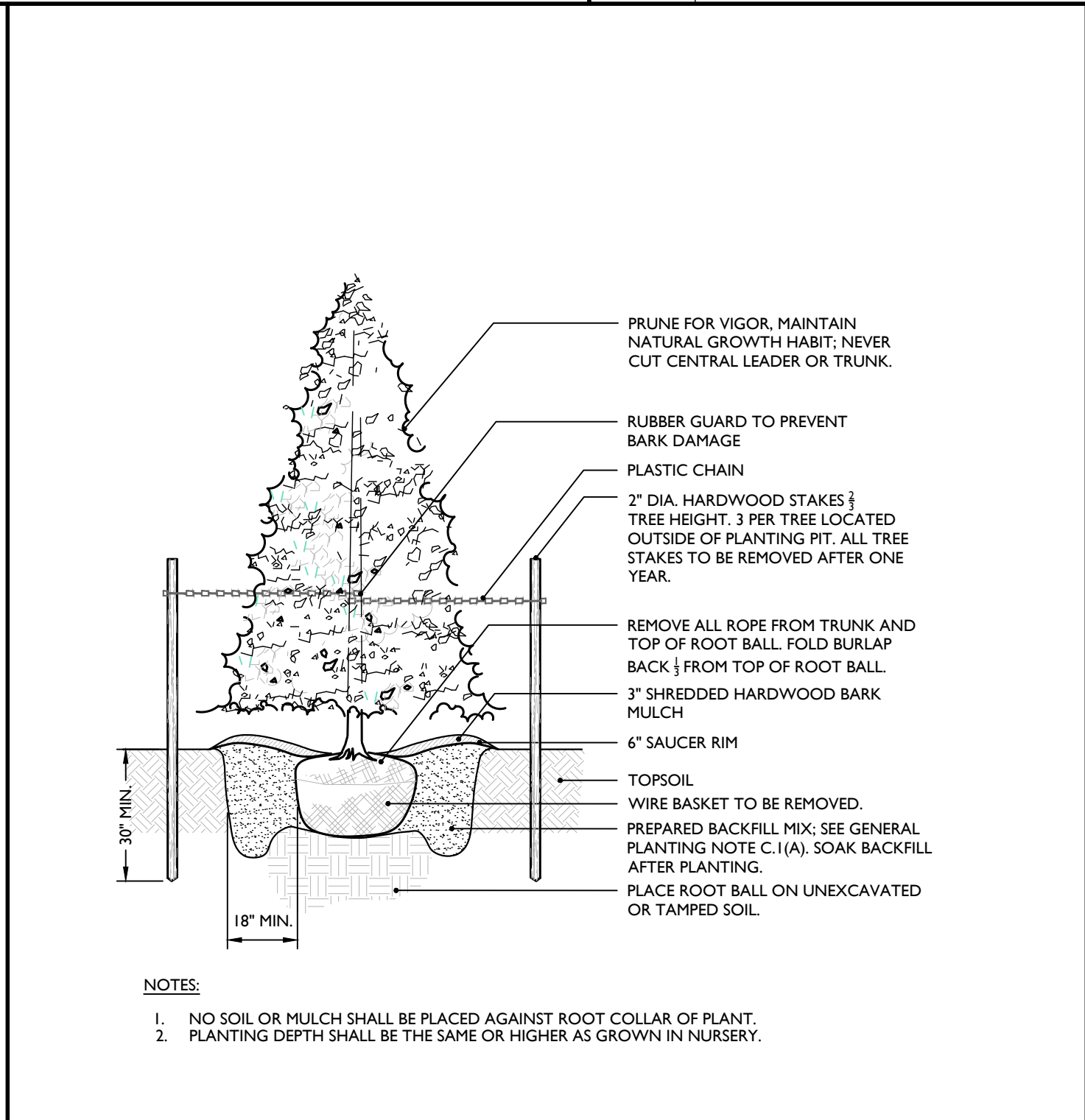
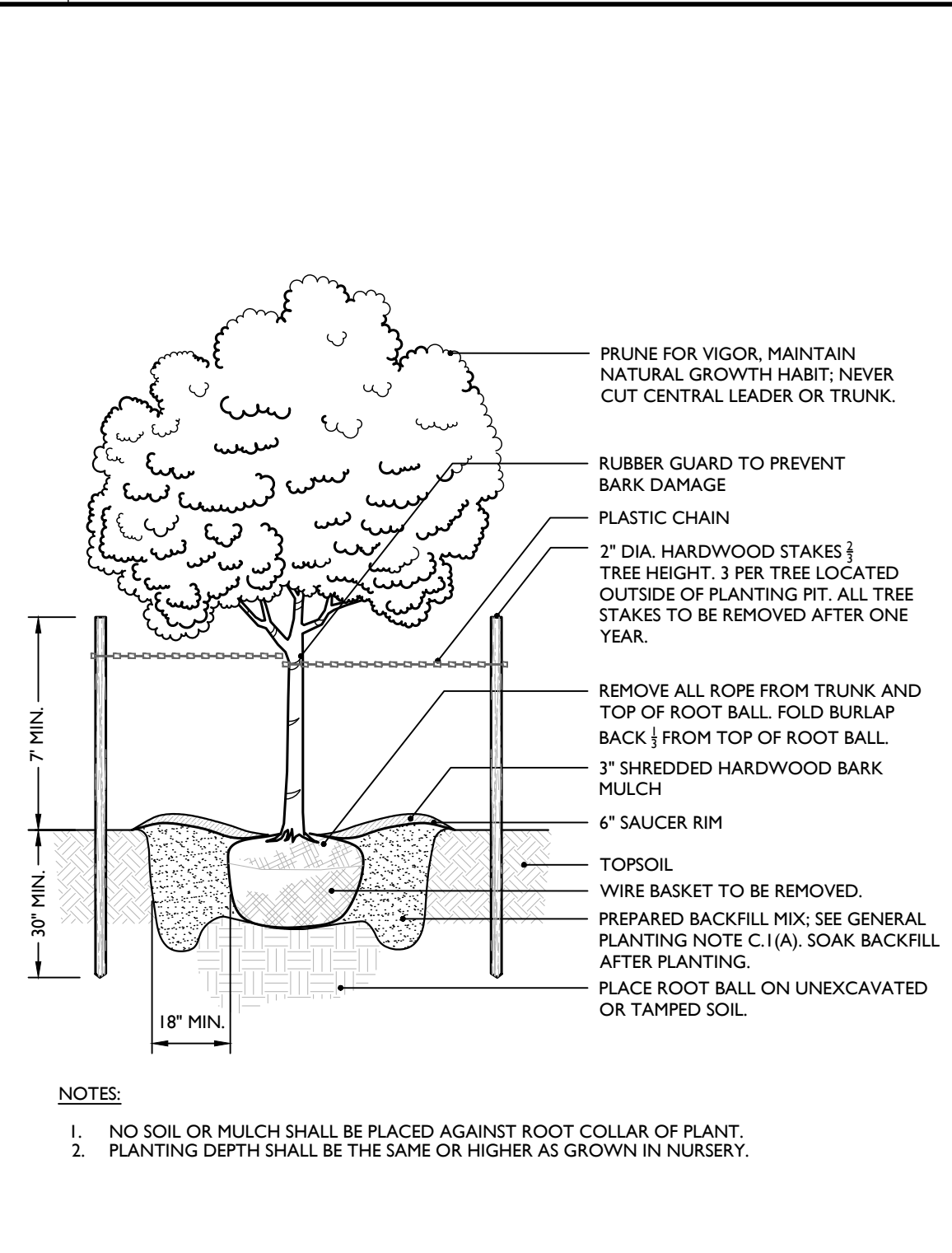
5 NOT TO SCALE GNRL-DTLS-STND-GRID

|                      |   |              |
|----------------------|---|--------------|
| DRIVEWAY (ROUTE 303) | 6 | NOT TO SCALE |
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4' HIGH CHAIN LINK FENCE DETAIL

MCCM-SITE-FNCE-1201 07/01/19

|   |                                                                  |          |
|---|------------------------------------------------------------------|----------|
| 7 | <u>RAMP RAILING DETAIL</u><br>NOT TO SCALE<br>MCM-SITE-FNCE-3200 | 10/01/21 |
|---|------------------------------------------------------------------|----------|



|   |                                       |               |
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| 8 | <u>DECIDUOUS TREE PLANTING DETAIL</u> | MOD: 08/10/22 |
|   | NOT TO SCALE                          |               |

|   |                                                                                       |
|---|---------------------------------------------------------------------------------------|
| 9 | <p><u>EVERGREEN TREE PLANTING DETAIL</u></p> <p>NOT TO SCALE</p> <p>MOD: 08/10/22</p> |
|---|---------------------------------------------------------------------------------------|

|    |                                                          |               |
|----|----------------------------------------------------------|---------------|
| 10 | <div>SHRUB PLANTING DETAIL</div> <div>NOT TO SCALE</div> | MOD: 08/10/22 |
|----|----------------------------------------------------------|---------------|

|    |                                                                                                                                                                                         |
|----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 11 | <p style="text-align: center;"><u>CONCRETE WASHOUT DETAIL</u></p> <p>NOT TO SCALE</p> <p style="text-align: center;">MCNY-SOIL-EROS-1700</p> <p style="text-align: right;">07/01/15</p> |
|----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

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| REV | DATE    | DRAWN BY | DESCRIPTION                                                       |
|-----|---------|----------|-------------------------------------------------------------------|
| 1   | 8/22/22 | CWA      | REVISIONS PER PLANNING BOARD COMMENTS FROM APRIL 13, 2022 MEETING |
| 2   | 10/7/22 | CWA      | REVISIONS PER MULTIPLE AGENCY REVIEW AND COMMENTS                 |
| 3   | 3/30/23 | DJG      | REVISED PER 3/22/23 PRC MEETING                                   |
| 4   | -       | -        | -                                                                 |
| 5   | -       | -        | -                                                                 |
| 6   | -       | -        | -                                                                 |
| 7   | -       | -        | -                                                                 |
| 8   | -       | -        | -                                                                 |
| 9   | -       | -        | -                                                                 |
| 10  | -       | -        | -                                                                 |
| 11  | -       | -        | -                                                                 |
| 12  | -       | -        | -                                                                 |
| 13  | -       | -        | -                                                                 |
| 14  | -       | -        | -                                                                 |
| 15  | -       | -        | -                                                                 |
| 16  | -       | -        | -                                                                 |
| 17  | -       | -        | -                                                                 |
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| 19  | -       | -        | -                                                                 |
| 20  | -       | -        | -                                                                 |
| 21  | -       | -        | -                                                                 |
| 22  | -       | -        | -                                                                 |
| 23  | -       | -        | -                                                                 |
| 24  | -       | -        | -                                                                 |
| 25  | -       | -        | -                                                                 |
| 26  | -       | -        | -                                                                 |
| 27  | -       | -        | -                                                                 |
| 28  | -       | -        | -                                                                 |
| 29  | -       | -        | -                                                                 |
| 30  | -       | -        | -                                                                 |
| 31  | -       | -        | -                                                                 |



**Jesse Barrett Cokeley**  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 090967-1  
COLLIERS ENGINEERING & DESIGN CT, P.C.  
N.Y. C.O.A.# : 0017609

PRELIMINARY SITE PLAN


FOR

WPT ACQUISITIONS,  
LLC

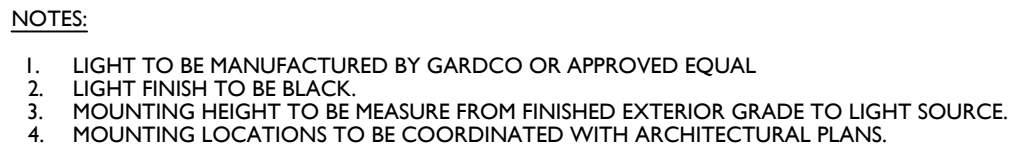
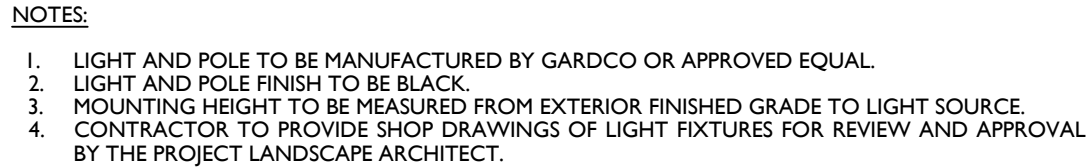
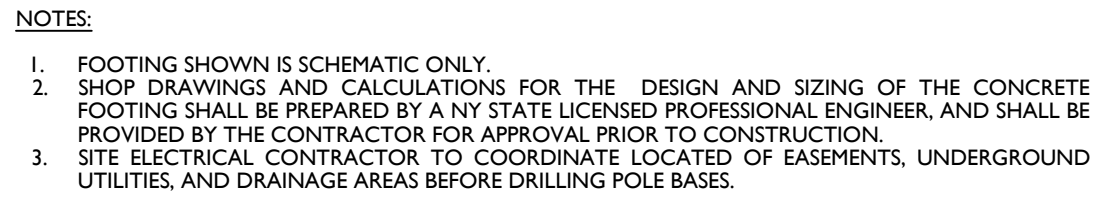
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21  
MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

|                                                                                                                                                                                      |            |                                                                                                                           |             |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|---------------------------------------------------------------------------------------------------------------------------|-------------|
|                                                                                                 |            | <b>MONTVALE</b><br>50 Chestnut Ridge Road,<br>Suite 101<br>Montvale, NJ 07645<br>Phone: 845.352.0411                      |             |
| <b>Engineering<br/>&amp; Design</b>                                                                                                                                                  |            | <b>COLLIERS ENGINEERING &amp; DESIGN C.T. P.C.</b><br>DOING BUSINESS AS AMER-CONSTRUCTING<br>ENGINEERING & LAND SURVEYING |             |
| SCALE:                                                                                                                                                                               | DATE:      | DRAWN BY:                                                                                                                 | CHECKED BY: |
| AS SHOWN                                                                                                                                                                             | 11/22/2021 | DIG/CMA                                                                                                                   | JBC         |
| PROJECT NUMBER:                                                                                                                                                                      |            | DRAWING NAME:                                                                                                             |             |
| 21003528A                                                                                                                                                                            |            | C-DTLS                                                                                                                    |             |
| SHEET TITLE:<br><br><div style="border: 1px solid black; padding: 20px; margin: 10px auto; width: 80%;"> <h1 style="text-align: center; margin: 0;">CONSTRUCTION DETAILS</h1> </div> |            |                                                                                                                           |             |
| SHEET NUMBER:                                                                                                                                                                        |            |                                                                                                                           |             |
| <div style="display: flex; justify-content: space-around; font-size: 2em; font-weight: bold;"> <span>19</span> <span>of</span> <span>20</span> </div>                                |            |                                                                                                                           |             |





MOD: 08/15/22

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COLORS:  
LEGEND = BLACK  
BACKGROUND = BLACK  
ARROW = WHITE (RETROREFLECTIVE)

MCCM-SIGN-REGU-R6-1



COLORS:  
LEGEND = BLACK  
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| REV | DATE    | DRAWN BY | DESCRIPTION                                                       |
|-----|---------|----------|-------------------------------------------------------------------|
| 1   | 8/22/22 | CMA      | REVISIONS PER PLANNING BOARD COMMENTS FROM APRIL 13, 2022 MEETING |
| 2   | 10/7/22 | CMA      | REVISIONS PER MULTIPLE AGENCY REVIEW AND COMMENTS                 |
| 3   | 3/30/23 | DG6      | REVISED PER 3/27/23 PRC MEETING                                   |
| 4   | 4/11/23 | DG6      |                                                                   |
| 5   | 4/11/23 | DG6      |                                                                   |
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| 98  | 4/11/23 | DG6      |                                                                   |
| 99  | 4/11/23 | DG6      |                                                                   |
| 100 | 4/11/23 | DG6      |                                                                   |



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|                              |                     |                         |                    |
|------------------------------|---------------------|-------------------------|--------------------|
| SCALE:<br>AS SHOWN           | DATE:<br>11/22/2021 | DRAWN BY:<br>DG/CMA     | CHECKED BY:<br>JBC |
| PROJECT NUMBER:<br>21003528A |                     | DRAWING NAME:<br>C-DTLS |                    |

SHEET TITLE:

CONSTRUCTION DETAILS

SHEET NUMBER:  
20 of 20