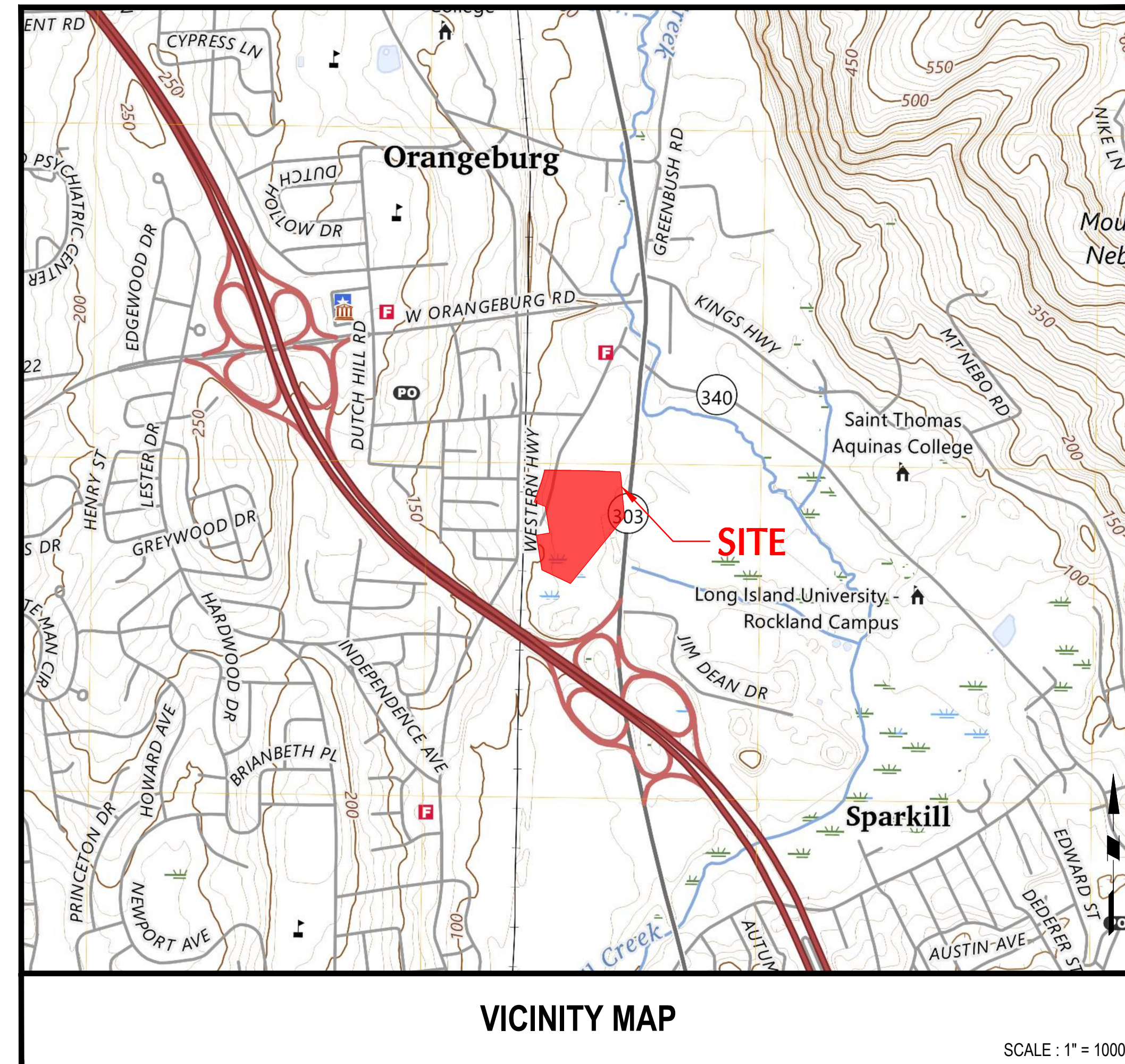


ORANGEBURG COMMONS

PRELIMINARY/FINAL AMENDED SITE PLAN

SECTION: 74.15 BLOCK: 1 LOT(S) 21./1, 21./2, 21./3, 21./4, 21./5 & 22
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK



Drawing Index			
Sheet No.	Drawing No.	Drawing Title	Last Revised
1	GI-001	Cover Sheet	8/17/2023
2	DM-100	Existing Conditions & Demolition Plan	8/17/2023
3	CS-100	Master Site	8/17/2023
4	CS-101	Site Plan	8/17/2023
5	CS-501	Site Construction Details	8/17/2023
6	CG-100	Grading Plan	8/17/2023
7	CG-110	Drainage Plan	8/17/2023
8	CE-100	Soil Erosion and Sediment Control Plan	8/17/2023
9	CE-501	Soil Erosion and Sediment Control Notes and Details	8/17/2023
10	CU-100	Utility Plan	8/17/2023
11	CU-301	Utility Profiles	8/17/2023
12	CU-501	Notes and Construction Details	8/17/2023
13	SC-100	Site Cap Plan	8/17/2023
14	LP-100	Landscape Plan	8/17/2023
15	LT-100	Lighting Plan	8/17/2023
16	LP-501	Landscape and Lighting Details	8/17/2023
SUPPLEMENTAL DRAWINGS			
1	Topographic Survey prepared by Jay A. Greenwell PLS, LLC, dated 07/28/23		

CONTACT LIST	
TOWN OF ORANGETOWN TOWN CLERK ROSANNA SFRAGA 28 W. ORANGEBURG ROAD ORANGEBURG, NY 10962 845-359-5100 (ext 5004)	SEWER ROCKLAND COUNTY SEWER DISTRICT NO. 1 4 ROUTE 340 ORANGEBURG, NY 10962 845-365-6111
FIRE SERVICE ORANGEBURG FIRE DEPARTMENT KENNETH GORDON, CHIEF 81 DUTCH HILL ROAD ORANGEBURG, NY 10962 845-359-5587	WATER VEOLIA WATER 162 OLD HILL ROAD WEST NYACK, NY 10994 877-426-8969
POLICE SERVICE NY POLICE DEPARTMENT (ORANGETOWN) DONALD BUTTERWORTH, CHIEF 28 ORANGEBURG ROAD ORANGEBURG, NY 10962 845-359-3700	GAS AND ELECTRIC ORANGE AND ROCKLAND UTILITIES 390 W. ROUTE 59 SPRING VALLEY, NY 10952 877-434-4100
TOWN OF ORANGETOWN PLANNING BOARD MRS. CHERYL CLOOPERSMITH 20 GREENBUSH ROAD ORANGEBURG, NY 10962 845-359-8410 (ext 4330)	TELEPHONE & CABLE VERIZON 82-11 57TH AVE QUEENS, NY 11373 866-488-0653
	ROCKLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT BRANNA ROSAMILLA, DISTRICT MANAGER 50 SANITARIUM ROAD, BUILDING A 6TH FLOOR POMONA, NY 10970 845-364-2670

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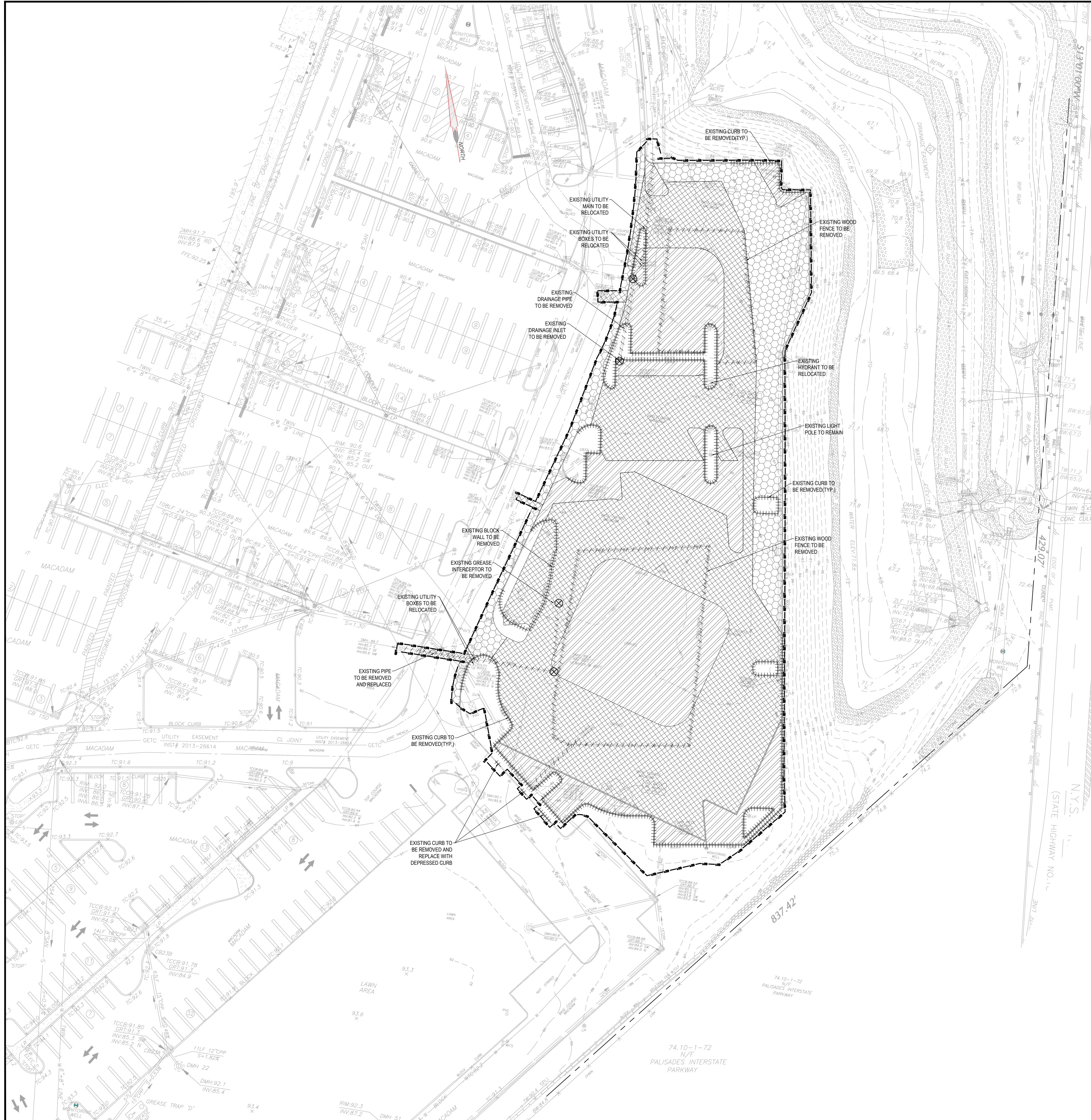
NOT ISSUED FOR
CONSTRUCTION

1. August 17, 2023

Drawing Title

GI-001

Sheet 1 OF 16



- ### DEMOLITION PLAN NOTES:
- THIS PLAN IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OF THE UNDERSIGNED PROFESSIONAL(S).
 - CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL DEMOLITION IS COMPLETED IN ACCORDANCE WITH THE LATEST OSHA REQUIREMENTS AND REQUIREMENTS OF ALL UTILITY PROVIDERS.
 - THIS PLAN IS PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY TO IDENTIFY THE LIMITS OF DEMOLITION AND SHALL NOT BE CONSIDERED ALL INCLUSIVE. ADDITIONAL ITEMS MAY BE FOUND THAT SHALL BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACTUAL LIMITS & EXTENTS OF DEMOLITION.
 - THE CONTRACTOR SHALL REVIEW AND COMPLY WITH ALL PROVISIONS OF THE TOWN OF ORANGETOWN AND OTHER JURISDICTIONAL AGENCIES. DEMOLITION AND REMOVAL SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AS WELL AS THE EROSION CONTROL PLANS, SPECIFICALLY THE CONSTRUCTION STAGING.
 - THE CONTRACTOR MUST INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES PER THE APPROVED PLAN PRIOR TO THE START OF EARTH DISTURBING ACTIVITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS INCLUDING, BUT NOT LIMITED TO SIDEWALK/STREET CLOSING, DEMOLITION, DISPOSAL AND ASBESTOS ABATEMENT.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALK DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CONSTRUCTION MANAGER. CONTINUOUS ACCESS AND UTILITY SERVICES SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE PHASE ALL CONSTRUCTION ACTIVITY AND EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE PHASE ALL CONSTRUCTION ACTIVITY AND UTILITY INTERRUPTIONS WITH THE OWNER TO MINIMIZE DISTURBANCE.
 - THE CONTRACTOR SHALL MAINTAIN AND PROTECT ALL OFFSITE PROPERTIES AND STRUCTURES FROM ANY AND ALL DAMAGE DURING THE DEMOLITION OPERATION. THE CONTRACTOR SHALL USE ANY NECESSARY PROTECTION SCREENS, PLATFORMS, BRACING, UNDERPINNING, ETC. TO PROTECT OFFSITE PROPERTY. ANY DAMAGE CAUSED BY THE CONTRACTOR OR HIS/HER AGENTS SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE COST AND INSTALLATION OF DEMOLITION / CONSTRUCTION FENCE. THE CONTRACTOR IS RESPONSIBLE FOR ACTUAL LIMITS AND THE AMOUNT OF FENCE REQUIRED IN ADDITION TO THE SECURITY OF THE WORK AREA.
 - THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND LATERALS. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE SHOWN ON THESE PLANS IS BASED ON THE SURVEY PREPARED BY OTHERS. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. ADDITIONAL UTILITIES MAY ALSO EXIST. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
 - ALL EXISTING UTILITIES SHOWN MUST NOT BE INTERPRETED AS OF THE EXACT SIZE, DEPTH, MATERIAL, LOCATION OR AS THE ONLY UTILITIES THAT MAY OCCUR ON THE SITE. CONTRACTOR MUST THOROUGHLY VERIFY EXISTING CONDITIONS, AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE ROUTED IF UNDER BUILDING.
 - ALL EXISTING UTILITIES TO BE REMOVED ARE TO BE DISCONNECTED PRIOR TO THE START OF DEMOLITION. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. CONTRACTOR MUST PROVIDE ADEQUATE TIME FOR RELOCATION AND COORDINATION WITH THE UTILITY COMPANIES TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL COORDINATE THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
 - THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPARTMENT AND THE UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IN CONSTANTLY AVAILABLE TO THE SITE AND THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUTOFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
 - THE DEMOLITION CONTRACTOR SHALL COORDINATE DECOMMISSIONING AND REMOVAL OF UTILITY LINES WITH THE UTILITY CONTRACTOR AS TO LOCATION AND CONDITION OF CAPPING. THE ACCESS SHALL REMAIN OPEN AND OPERATION AT ALL TIMES.
 - THE CONTRACTOR SHALL MAINTAIN UNINTERRUPTED UTILITY SERVICE TO THE SURROUNDING PROPERTIES AND EXISTING TENANTS AT ALL TIMES.
 - ALL EXISTING UTILITIES THAT ARE NOT TO BE MAINTAINED IN SERVICE SHOULD EITHER BE REMOVED AND REPLACED WITH APPROVED COMPACTED FILL OR BE ABANDONED IN PLACE BY FILLING WITH GROUT AND CAPPING, PROVIDED THAT THEY DO NOT INTERFERE WITH ANY OF THE PROPOSED CONSTRUCTION.
 - ALL EXISTING BITUMINOUS AND CONCRETE PAVEMENT NOTED TO BE REMOVED MUST BE REMOVED COMPLETELY THROUGHOUT THE SITE TO PERMIT PROPER GRADING AND FILL PLACEMENT AS WELL AS FACILITATE BUILDING CONSTRUCTION AND UTILITY INSTALLATIONS. THE REUSE OF EXISTING PAVEMENTAR MATERIAL AFTER PROCESSING SHOULD BE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS AND ENVIRONMENTAL STATUTES AND AT THE DIRECTION OF THE OWNER, ENVIRONMENTAL ENGINEER, AND GEOTECHNICAL ENGINEER.
 - CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
 - ALL EXISTING FOUNDATIONS AND ALL SUPPORTING UTILITIES WITHIN THE PROPOSED BUILDING FOOTPRINTS AND WITHIN A 10' WIDE ZONE BEYOND THE PROPOSED BUILDING FOOTPRINTS MUST BE REMOVED AND REPLACED WITH APPROVED STRUCTURAL FILL COMPACTED PER PROJECT GEOTECHNICAL ENGINEER.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PARTS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIALS AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT GEOTECHNICAL ENGINEER.
 - THE CONTRACTOR SHALL PREPARE AND IMPLEMENT A WASTE MANAGEMENT PLAN IN ACCORDANCE WITH THE STATE, FEDERAL, & LOCAL REGULATION IF CONTAMINATED MATERIAL IS ENCOUNTERED DURING DEMOLITION AND/OR CONSTRUCTION.
 - SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR STORM INLET STRUCTURES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS / STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. EXCEPT FOR MATERIAL DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.

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Project
ORANGEBURG COMMONS
TOWN OF ORANGETOWN
ROCKLAND COUNTY NEW YORK

Drawing Title
EXISTING CONDITIONS AND DEMOLITION PLAN

ANAND AJAY BHATT
PROFESSIONAL ENGINEER
NEW YORK LIC. NO. 09570

30 0 10 30
SCALE IN FEET

DATE	COMMENTS	NO.
REVISIONS		
Project No.	230020801	
Date	AUGUST 17, 2023	
Scale	1" = 30'	
Drawn By	AG	
Checked By	AB	
Drawing No.	DM-100	
Sheet 2 of 16		

NOTES TO CONTRACTOR:

- THIS PLAN DOES NOT IDENTIFY LOCATION OF EXISTING TREES AND OTHER VEGETATION. CONTRACTOR SHALL NOT IMPACT ANY TREES OUTSIDE THE SHOWN LIMIT OF DISTURBANCE. CONTRACTOR SHALL FIELD CHECK AND PRESERVE TREES THAT CAN BE MAINTAINED AS-IS WITHOUT IMPACTING ANY PROPOSED SITE IMPROVEMENTS.
- FINAL AREAS / LIMIT OF ASPHALT REPLACEMENT AND / OR MILL AND OVERLAY TO BE DETERMINED BY PROJECT GEOTECHNICAL ENGINEER.

DEMOLITION PLAN LEGEND

	EXISTING ASPHALT PAVEMENT / GRAVEL TO BE REMOVED
	EXISTING ASPHALT/GRAVEL TO BE REMOVED AND REPLACED WITH ASPHALT OR CONCRETE PAVING
	AREA TO BE MILLED AND OVERLAY
	EXISTING CURB TO BE REMOVED
	EXISTING FEATURE (LINEAR) TO BE REMOVED
	EXISTING FEATURE TO BE REMOVED
	LIMIT OF DISTURBANCE

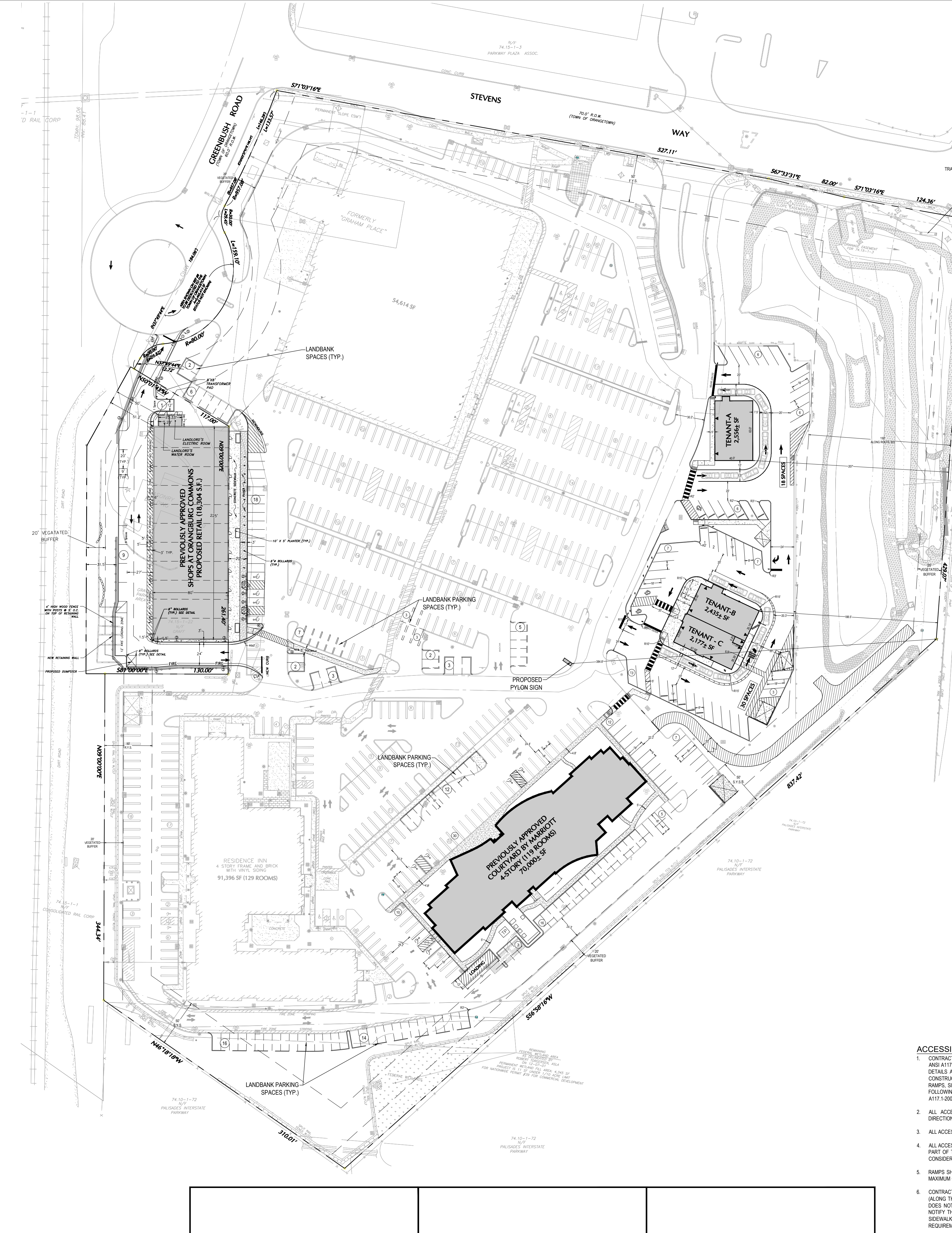
LEGEND

EXISTING SYMBOLS & LINES	PROPOSED SYMBOLS & LINES

SITE PLAN NOTES:

- 1. ALL ASPECTS OF THE PRESENT CONSTRUCTION ACTIVITIES MUST BE PERFORMED IN CONFORMANCE WITH THE REMEDIAL WORK PLAN APPROVED BY THE NYSDEC.
2. AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING...

- 40. THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
A. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
B. THERE WILL BE NO EXCAVATION OR STOCKPIILING OF EARTH UNDERNEATH THE TREE.
C. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
D. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
1. ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
2. DRIP LINE OF THE TREE CANOPY. THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION...



MAXIMUM DEVELOPMENT COVERAGE:
SITE AREA = 729,848 SF
DEVELOPMENT COVERAGE = 476,508 SF / 729,848 SF = 65.29%
TOTAL IMPERVIOUS COVERAGE LISTED ON LEONARD JACOBSON ASSOCIATES PLAN LAST REVISED 02/17/2016 AND THIS PLAN.
NET REDUCTION IN IMPERVIOUS COVERAGE = 1,694 SF
THEREFORE, NET PROPOSED IMPERVIOUS AREA = 476,508 SF

OFF-STREET PARKING REQUIREMENTS
Existing Retail Store (Shop/Shop) 1 Space / 200 SF of GFA
Existing Hotel (Residence Inn) 129 Rooms
Proposed Hotel (Courtyard by Marriott) 119 Rooms
Proposed Tenant - A (Restaurant/Retail/Personal Service) 2,596 SF
Proposed Tenant - B (Chiptole) 2,435 SF
Proposed Tenant - C (Restaurant/Retail/Personal Service) 2,177 SF

LOADING BERTHS:
STOPSHOP (14,614 SF) REQUIRED: 3 BERTHS (1 PER 25,000 SF)
TENANT - A (2,556 SF) REQUIRED: NONE (LESS THAN 8,000 SF)
TENANT - B (2,435 SF) REQUIRED: NONE (LESS THAN 8,000 SF)
TENANT - C (2,177 SF) REQUIRED: NONE (LESS THAN 8,000 SF)
RESIDENCE INN (129 ROOMS) REQUIRED: 1 BERTH (1 PER 200 ROOMS)
COURTYARD (119 ROOMS) REQUIRED: 1 BERTH (1 PER 200 ROOMS)
THE SHOPS (18,304 SF) REQUIRED: 1 BERTH (1 PER 25,000 SF)

TOWN OF ORANGETOWN ZONING DATA TABLE
ZONING DISTRICT: LIGHT INDUSTRIAL WITHIN THE DISTRICT ROUTE 303 OVERLAY
ITEM: Proposed Use
REQUIRED/PERMITTED: Mixed-Use Development & Mixed Use Expansion including Hotels, Retail, Restaurants
PROPOSED: Mixed-Use Development & Mixed Use Expansion including Hotels, Retail, Personal Services and Restaurants (All Types)**
SECTION: Section 4.32 (c) vii

ACCESSIBLE PLAN NOTES:
1. CONTRACTOR SHALL REFER TO THE LATEST ADA ACCESSIBILITY GUIDELINES AND ANSI A117-1.003 FOR BUILDINGS AND FACILITIES (A000) TO ENSURE THAT ADA DETAILS ARE CURRENT AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL CONSTRUCT AREAS DESIGNATED FOR ACCESSIBLE ROUTES INCLUDING CURBS, RAMP, SIDEWALKS, HANDICAP PARKING STALLS, CROSSWALKS AND METEYS BY FOLLOWING THE MOST CURRENT ADA ACCESSIBILITY GUIDELINES AND ANSI A117.1.003.
2. ALL ACCESSIBLE PARKING SPACES AREA SHALL NOT EXCEED 2% IN ALL DIRECTIONS.
3. ALL ACCESSIBLE ROUTE AND RAMP CROSS SLOPES SHALL NOT EXCEED 2%.
4. ALL ACCESSIBLE ROUTES SHALL HAVE A MINIMUM RUNNING SLOPE OF 5% IN ANY PART OF THE ACCESSIBLE ROUTE HAS A RUNNING SLOPE EXCEEDING 5%, IT IS CONSIDERED A RAMP.
5. RAMP SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8.33% (1:12 SLOPE) AND A MAXIMUM CROSS SLOPE OF 2%. SEE SHEET CS-201 FOR RAMP DETAILS.
6. CONTRACTOR SHALL FIELD VERIFY THAT THE EXISTING LONGITUDINAL SLOPE (ALONG THE DIRECTION OF TRAVEL) DOES NOT EXCEED 5% AND CROSS SLOPE DOES NOT EXCEED 2% FOR ACCESSIBLE ROUTES (TYP). CONTRACTOR SHALL NOTIFY THE OWNER AND OWNERS ENGINEER IF ANY ACCESSIBLE ROUTES (I.E. SIDEWALK, PAVED AREAS, ETC) DOES NOT COMPLY WITH THE ABOVE ADA REQUIREMENTS.
7. IT IS CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE DESIGN ENGINEER WITH THE AS-BUILT OF THE SITE IMPROVEMENTS WHERE HANDICAP FACILITIES ARE PROPOSED TO BE CONSTRUCTED PRIOR TO CONSTRUCTION OF SUCH HANDICAP FACILITIES.

LEGEND: EXISTING SYMBOLS & LINES, PROPOSED SYMBOLS & LINES. Includes symbols for street, fence, utility lines, and various site features. Also includes a scale bar (60, 0, 20, 60) and the text 'SCALE IN FEET'.

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Project
ORANGETOWN COMMONS
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK
Drawing Title
MASTER SITE PLAN (RECORD)

ANAND JAY BHATT, P.E.
PROFESSIONAL ENGINEER
NEW YORK LIC. NO. 095707

DATE
COMMENTS
NO.
REVISIONS

Project No. 23002801
Date AUGUST 17, 2023
Scale 1" = 60'
Drawn By JEM
Checked By AB
Drawing No. CS-100

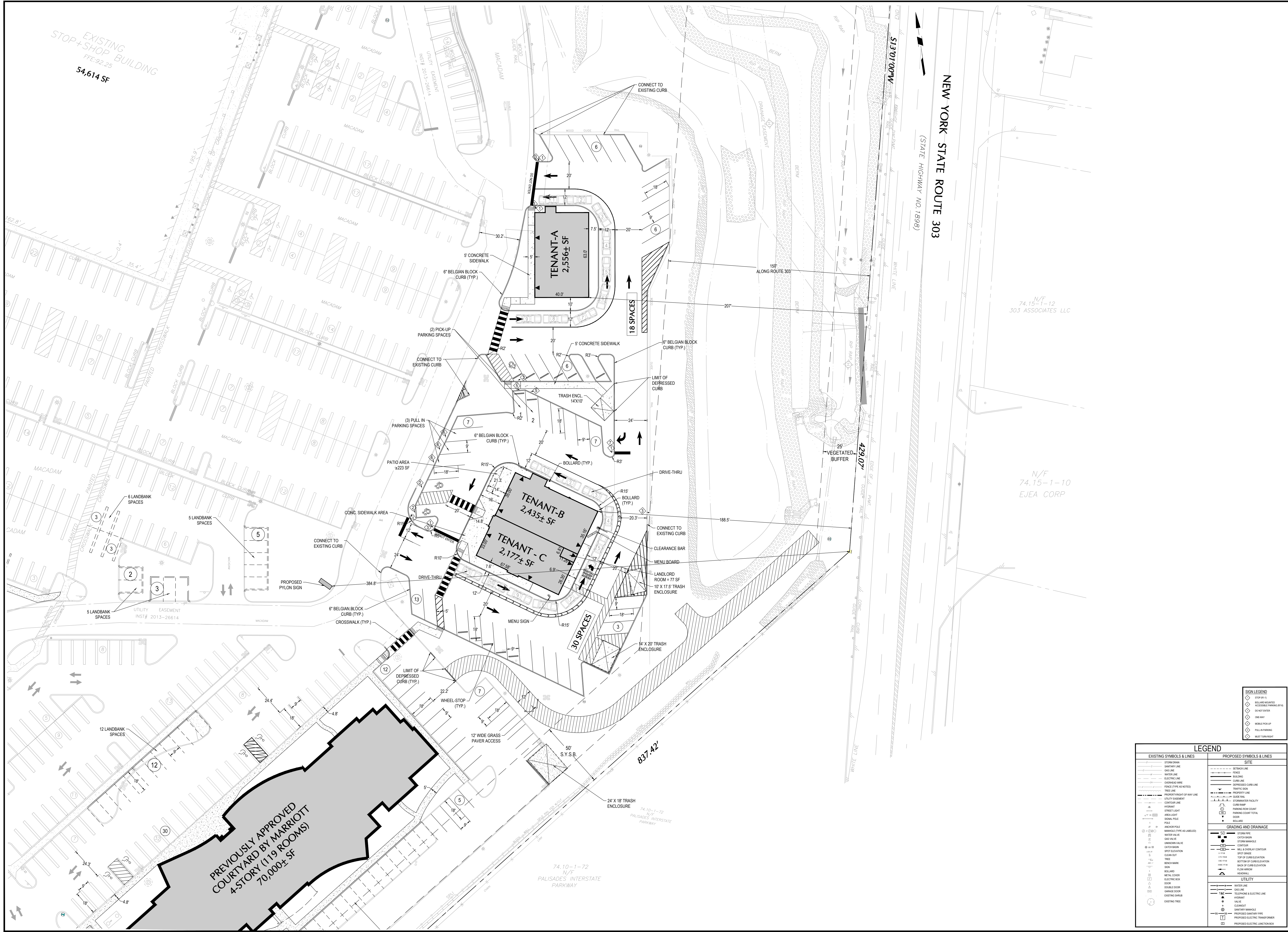
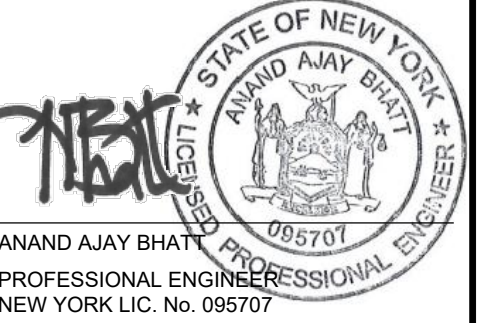
Sheet 3 of 16

Table with 6 columns: OWNER, DATE, OWNER, DATE, OWNER, DATE. Includes addresses for RD MANAGEMENT at 810 7TH AVENUE 10TH FLOOR, NEW YORK, NY 10019 and JAY A. GREENWELL, PLS., NYS LICENSE #49676 at 85 LAFAYETTE AVENUE, SUFFERN, NY 10901.

Project
ORANGEBURG COMMONS

TOWN OF ORANGETOWN
ROCKLAND COUNTY NEW YORK

Drawing Title
SITE PLAN



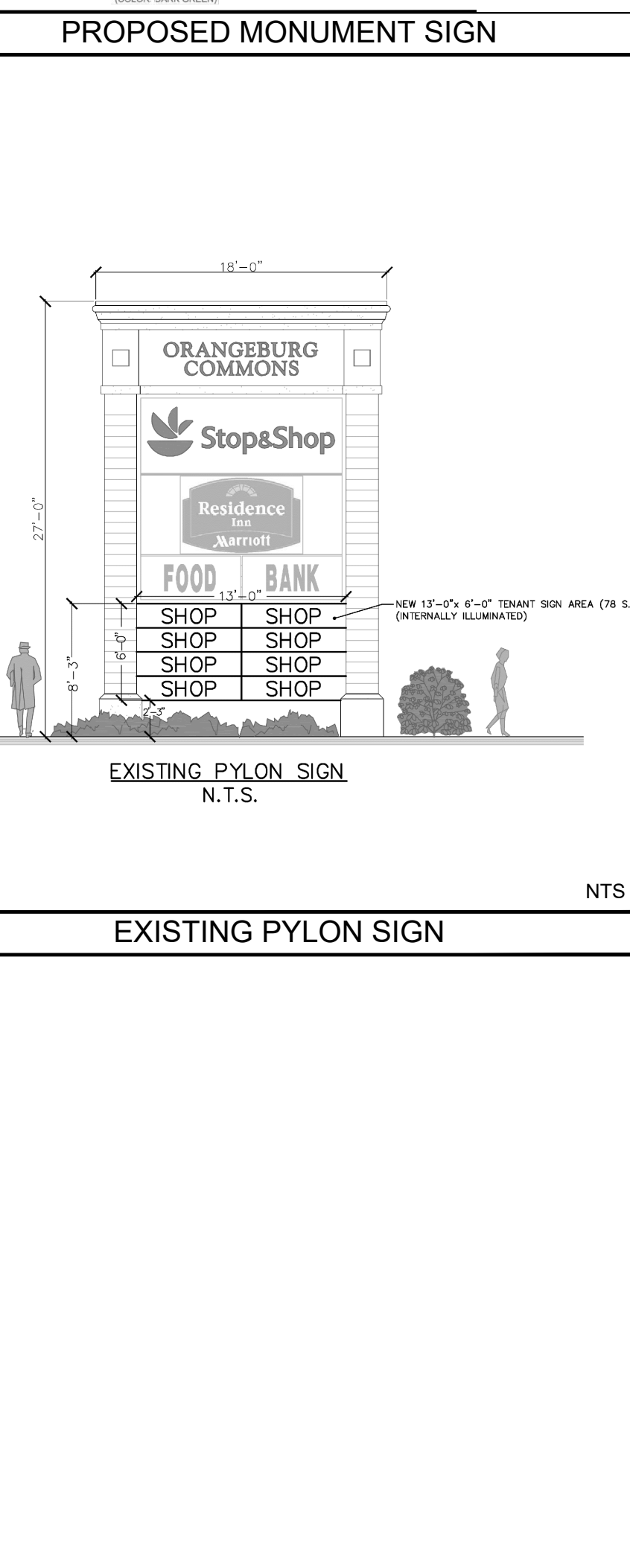
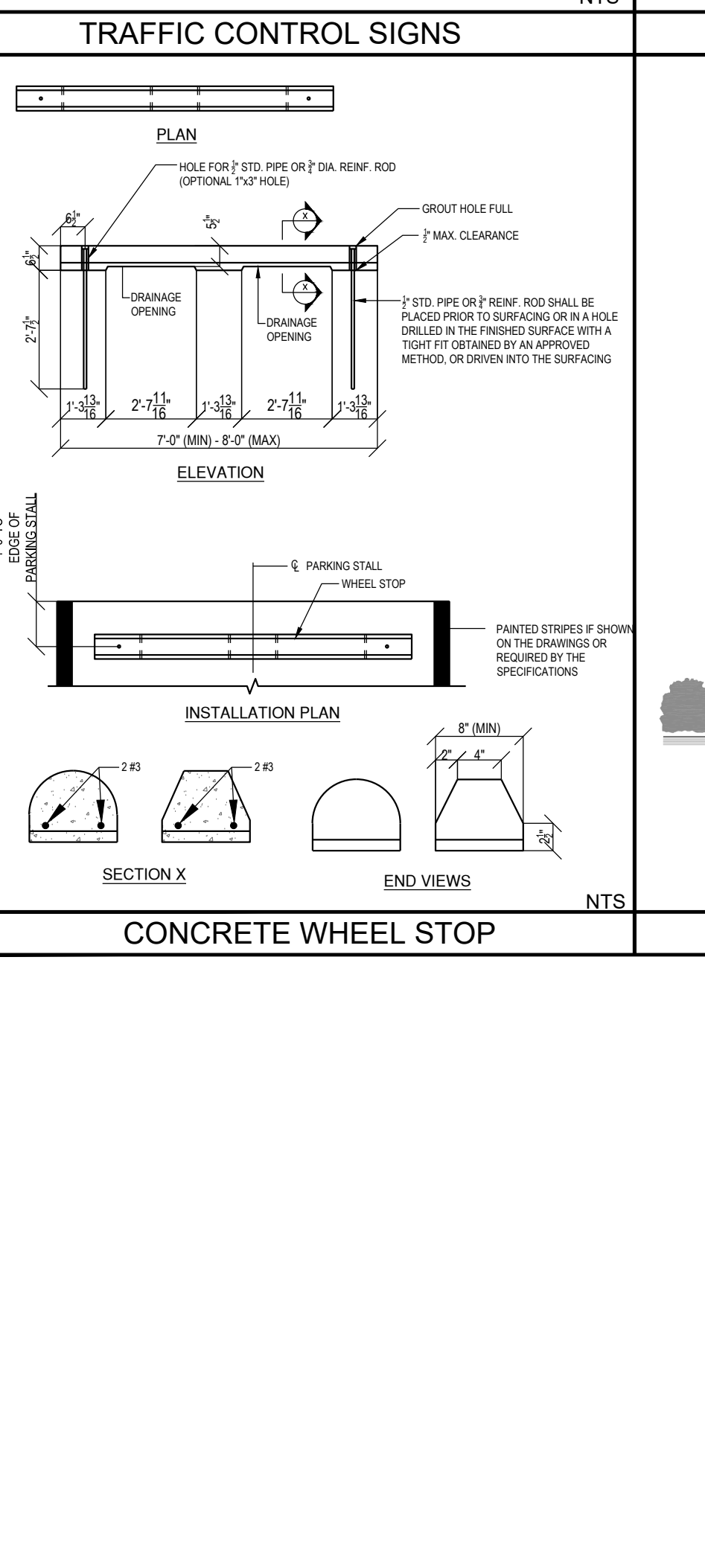
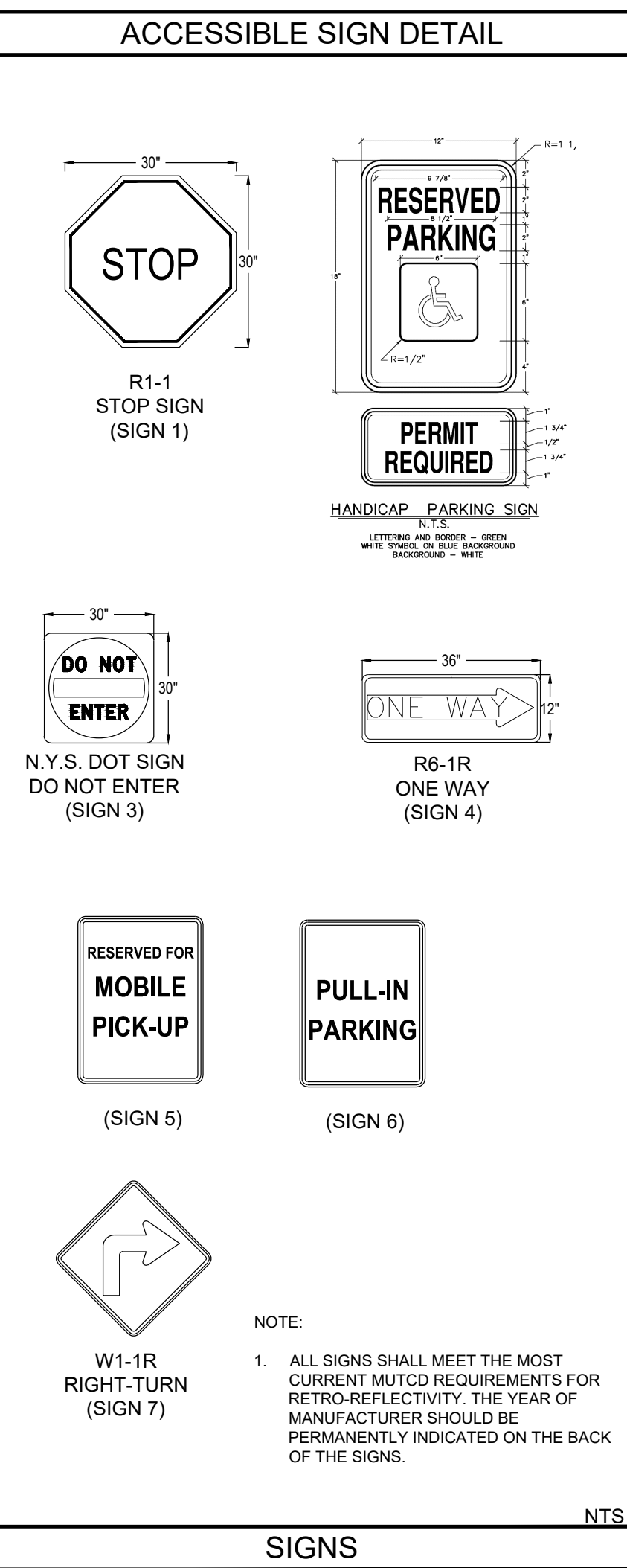
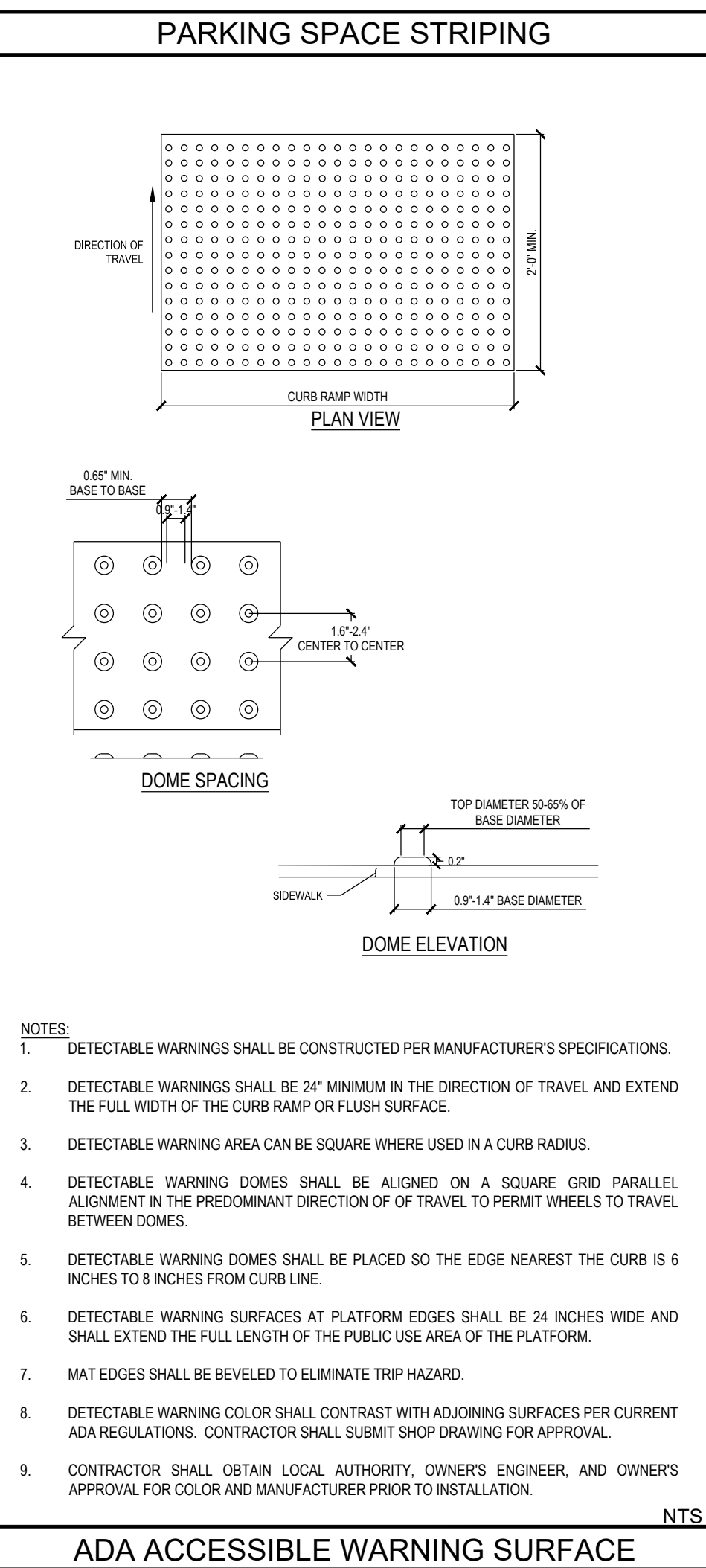
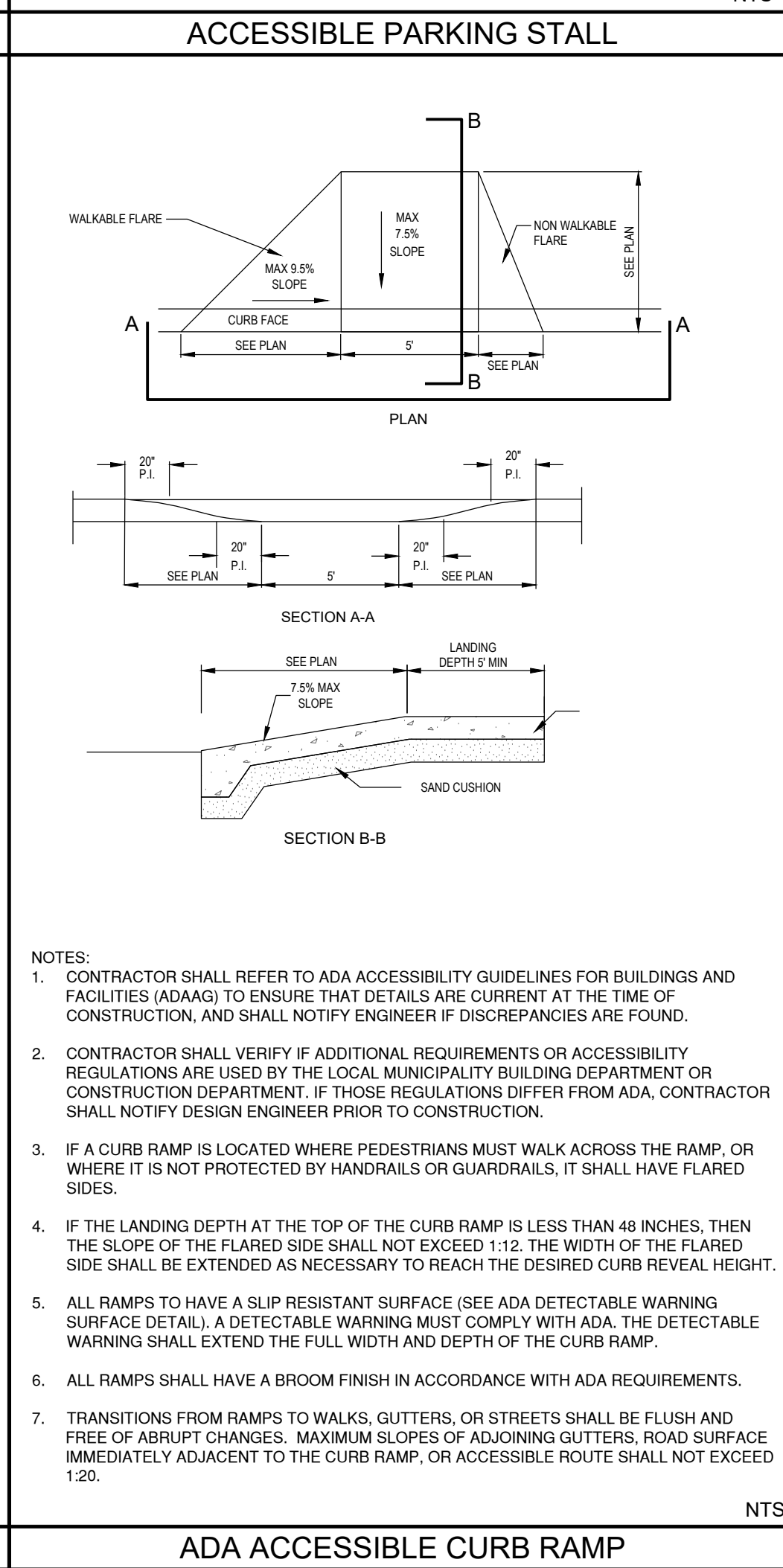
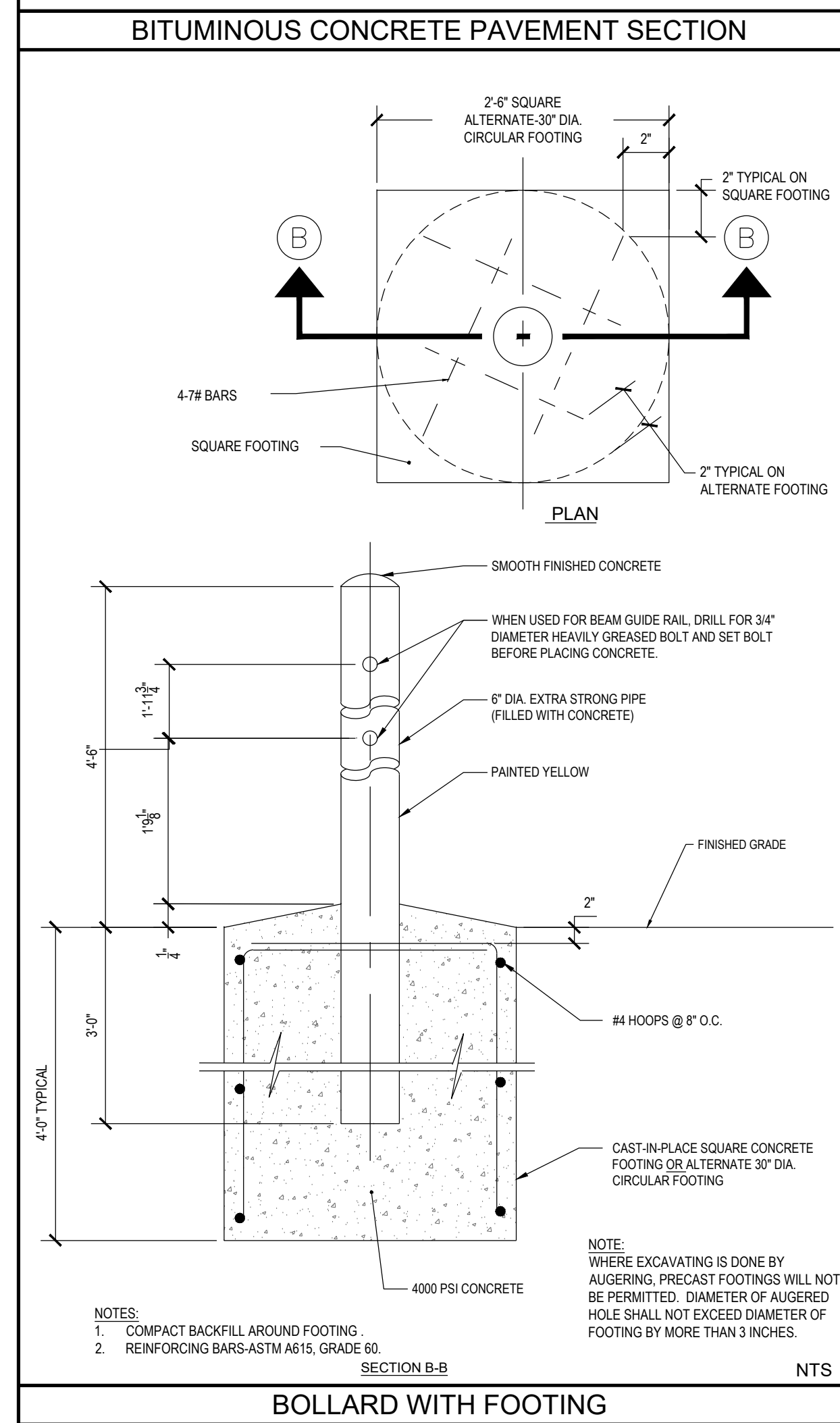
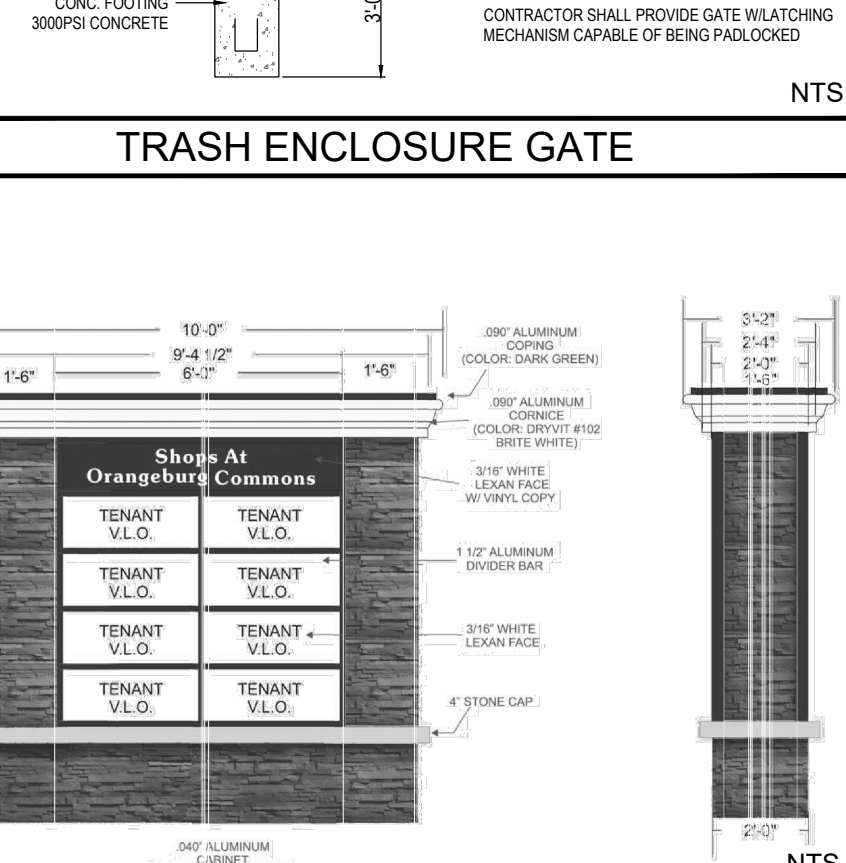
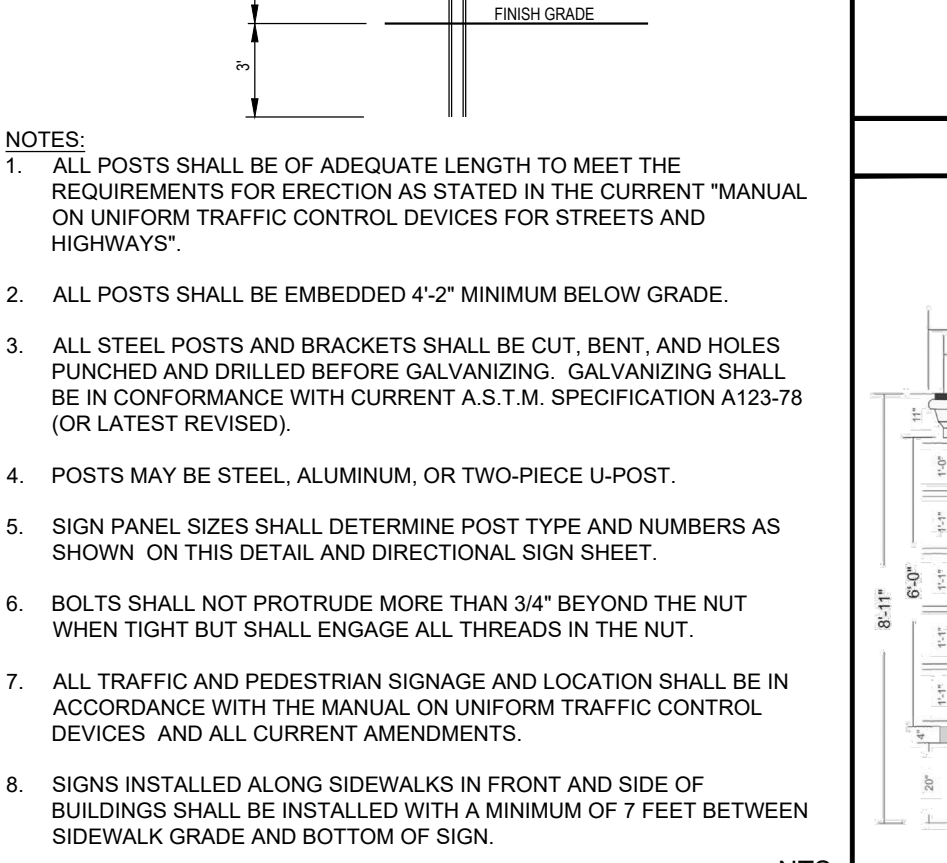
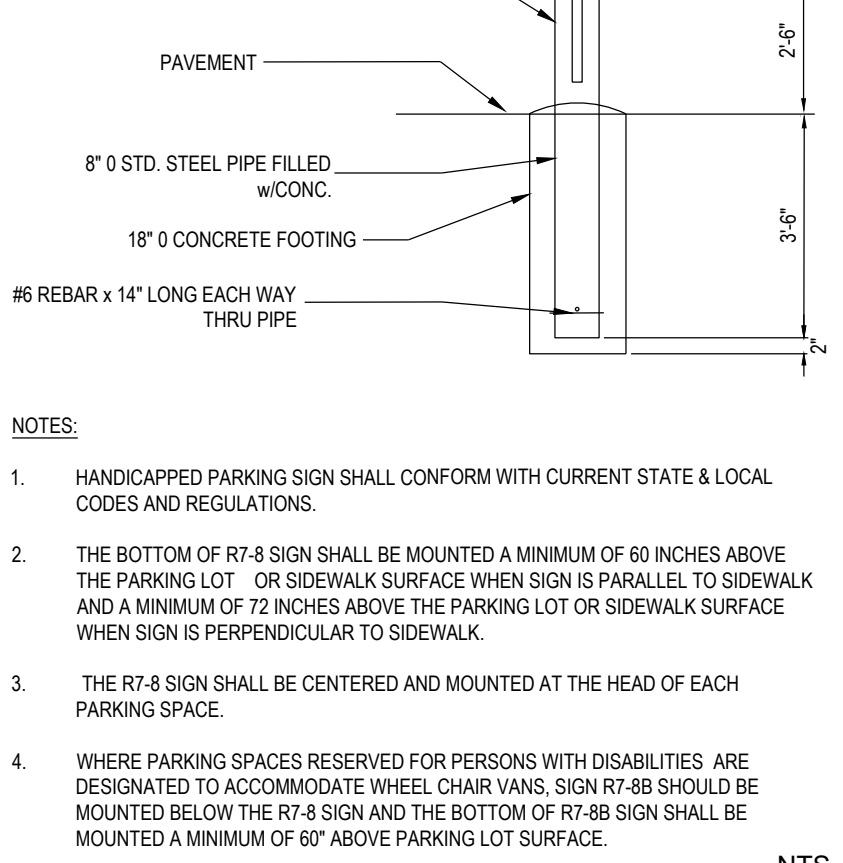
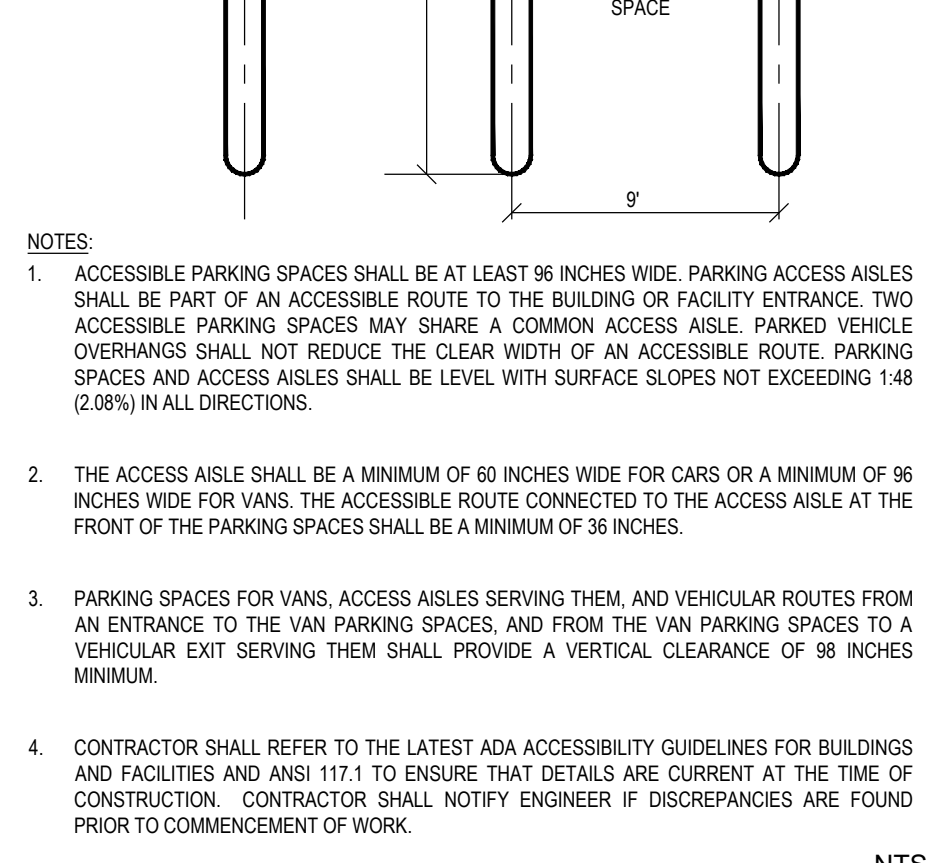
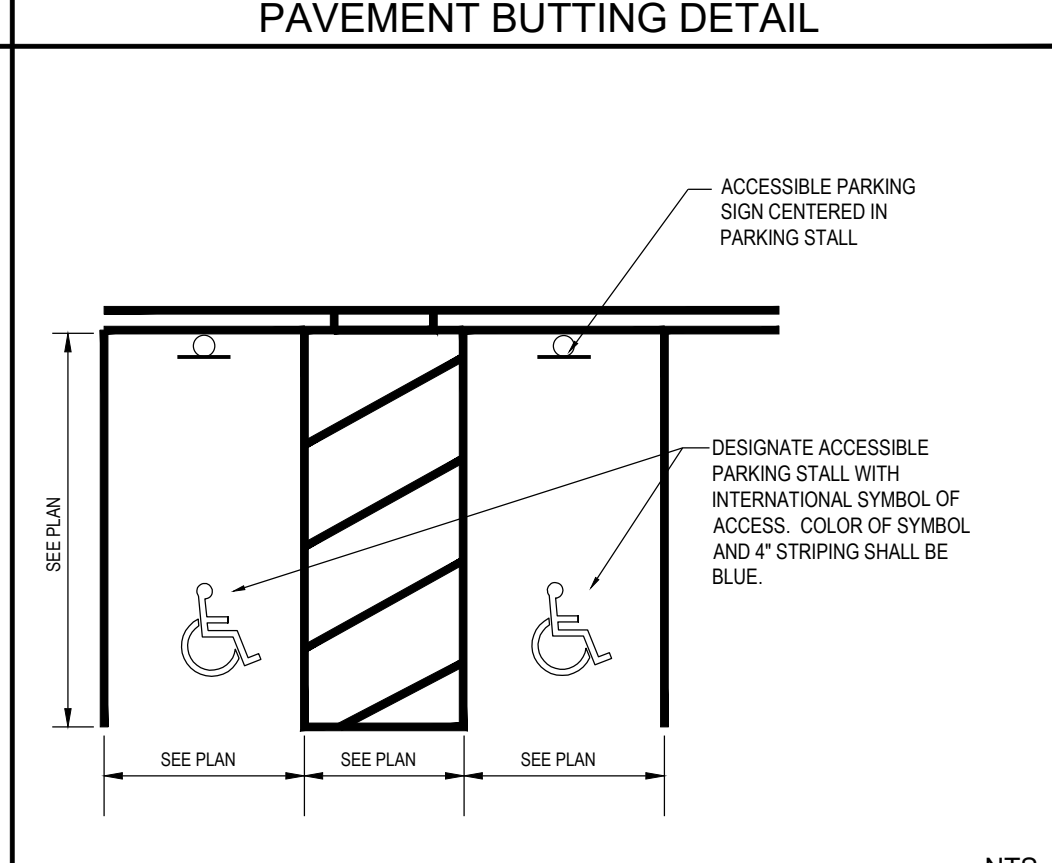
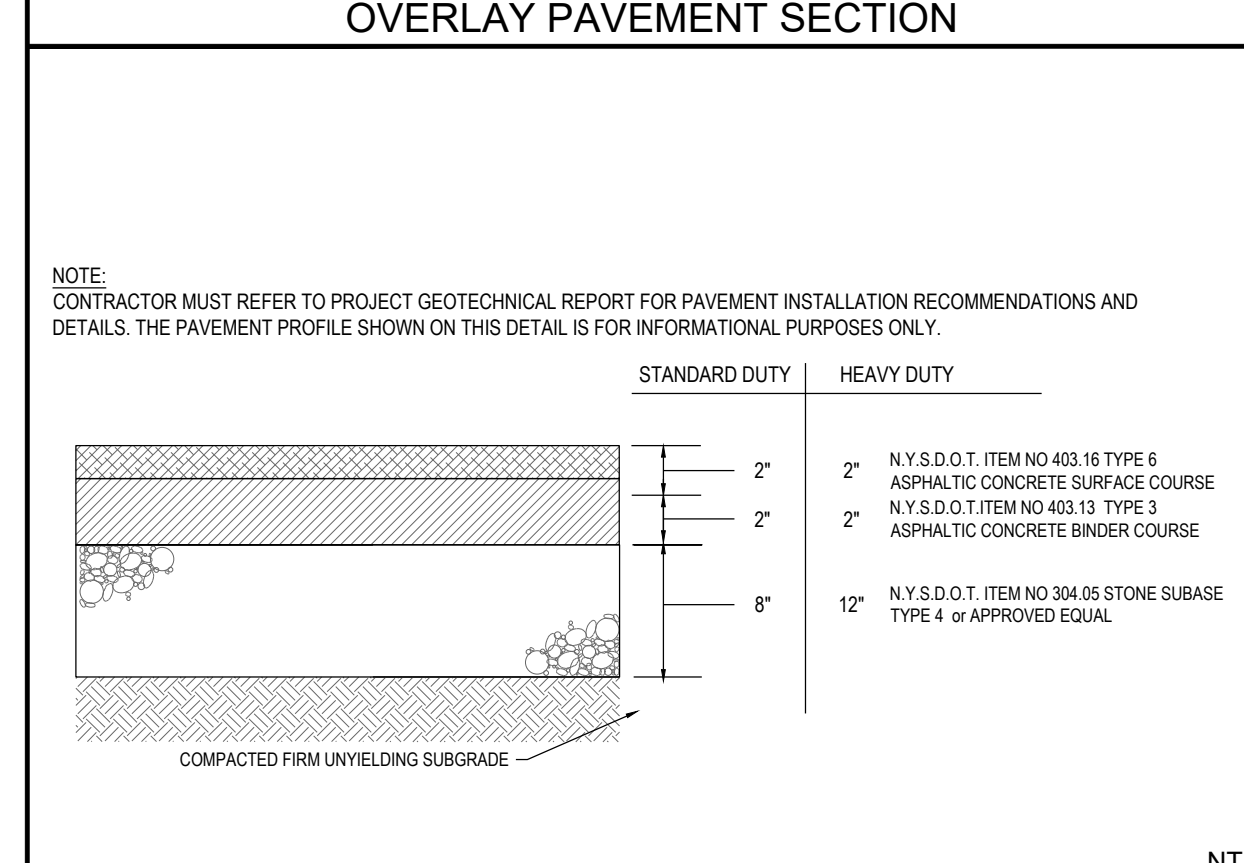
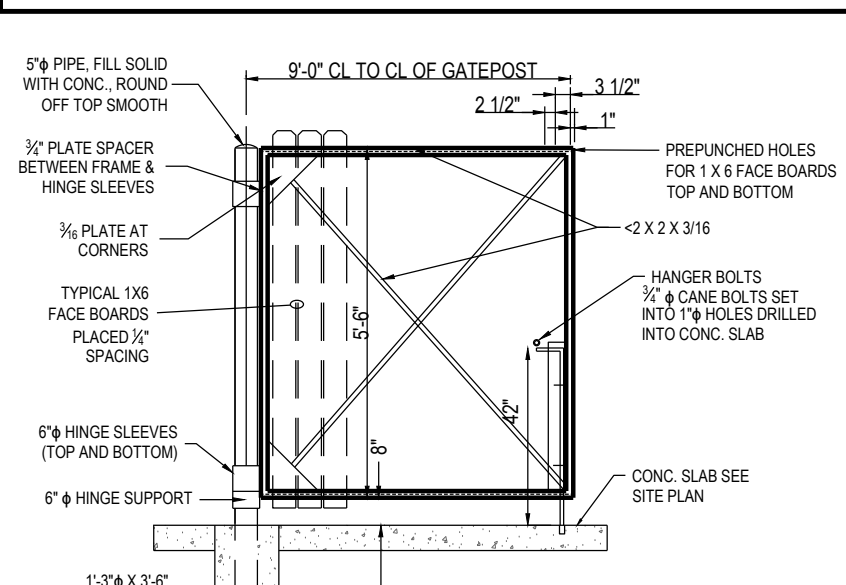
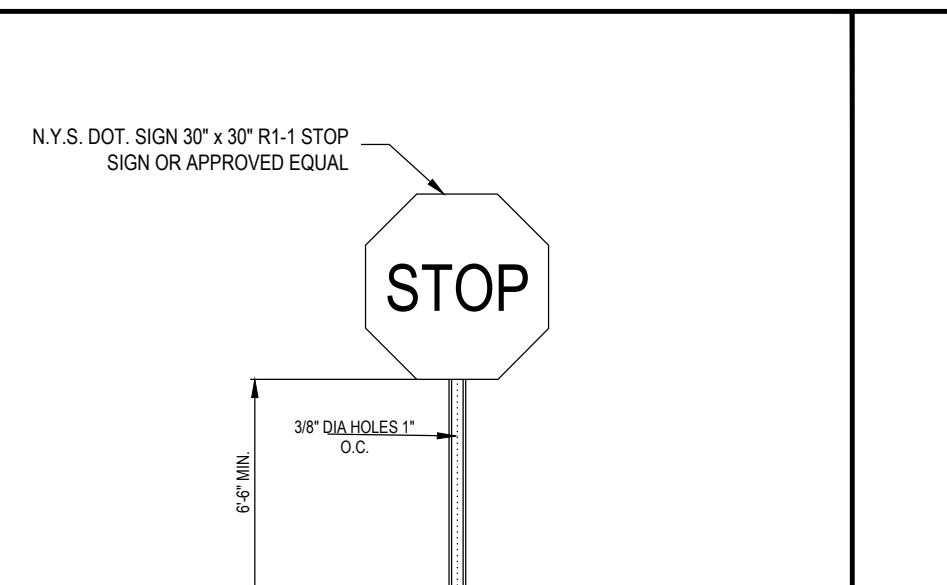
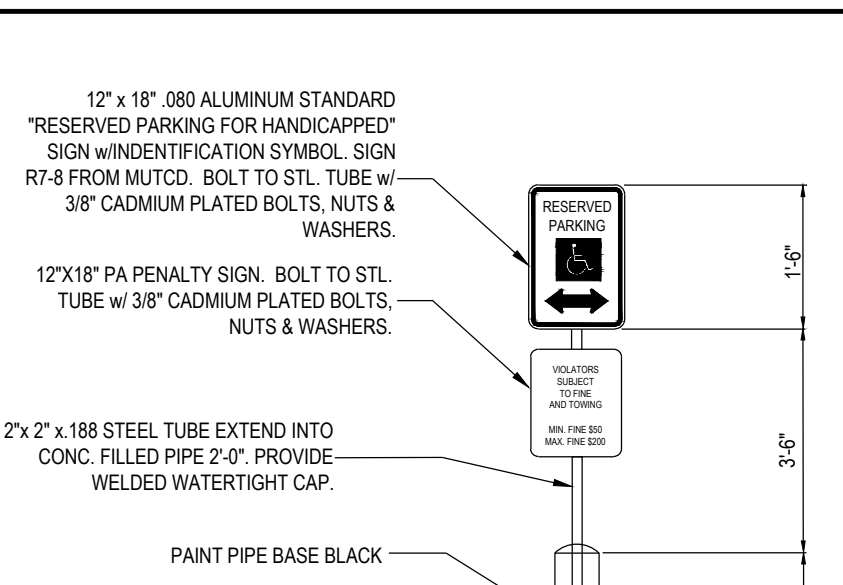
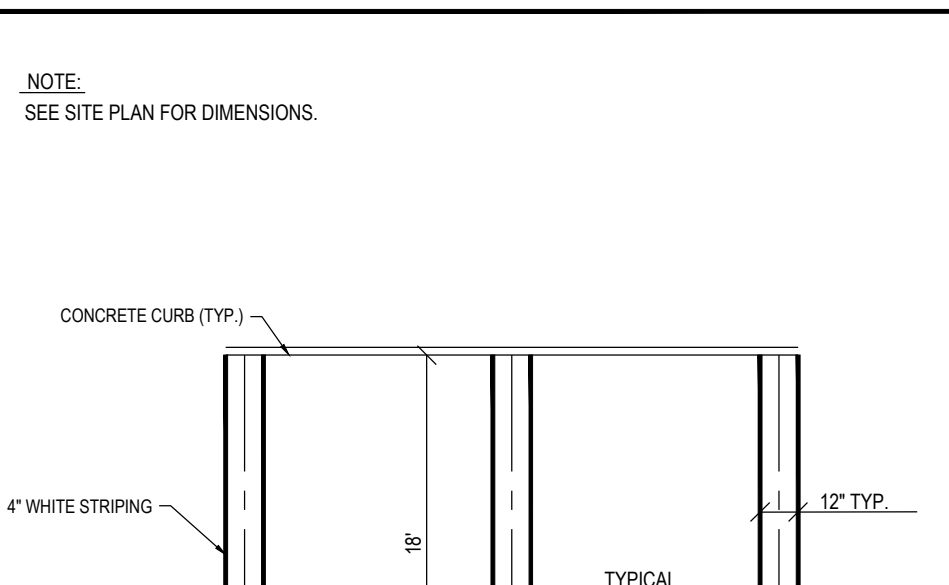
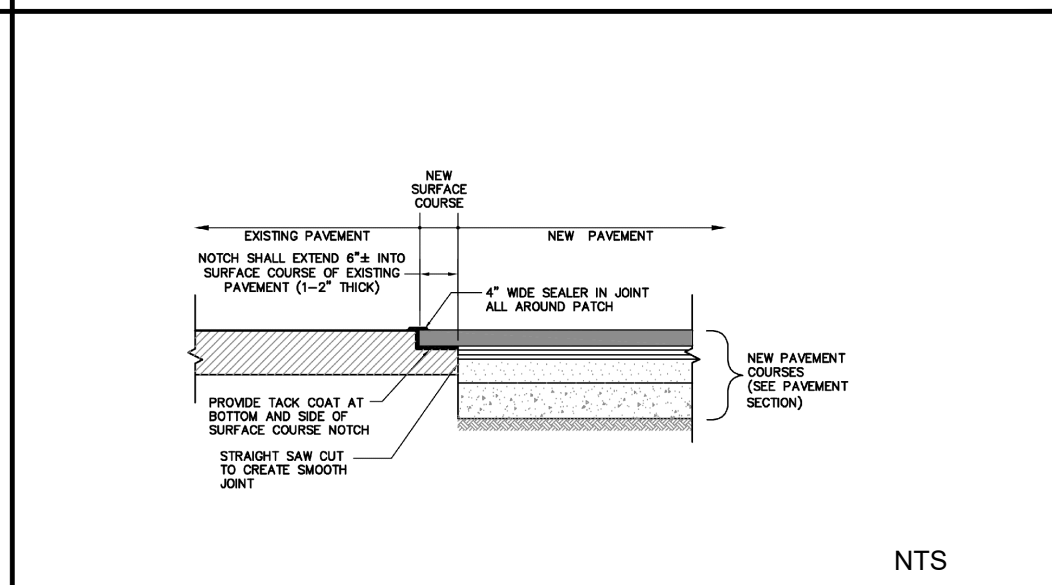
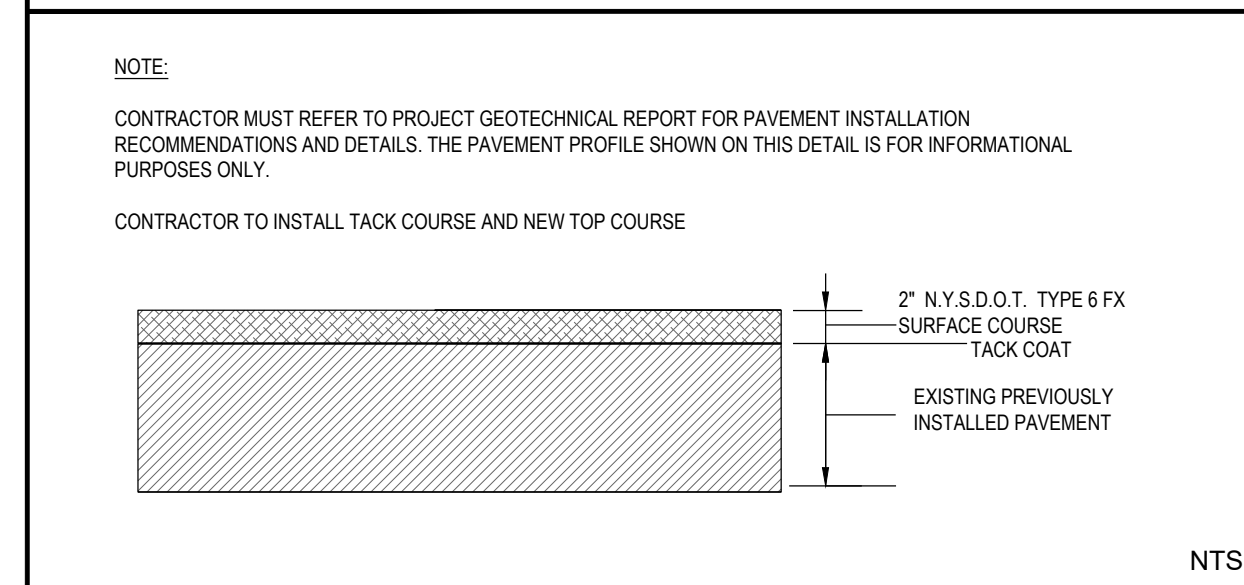
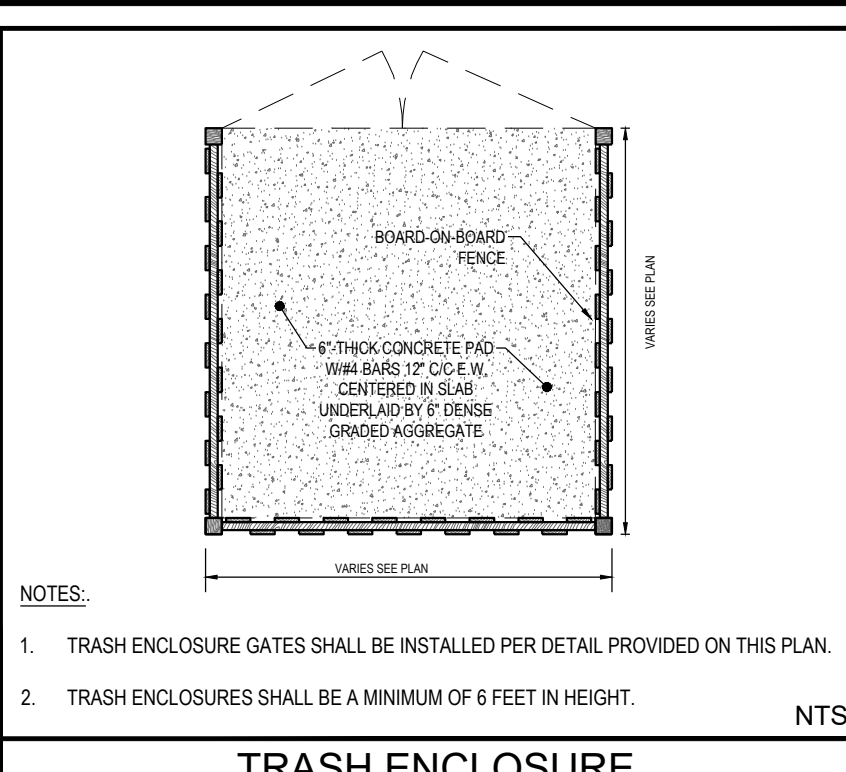
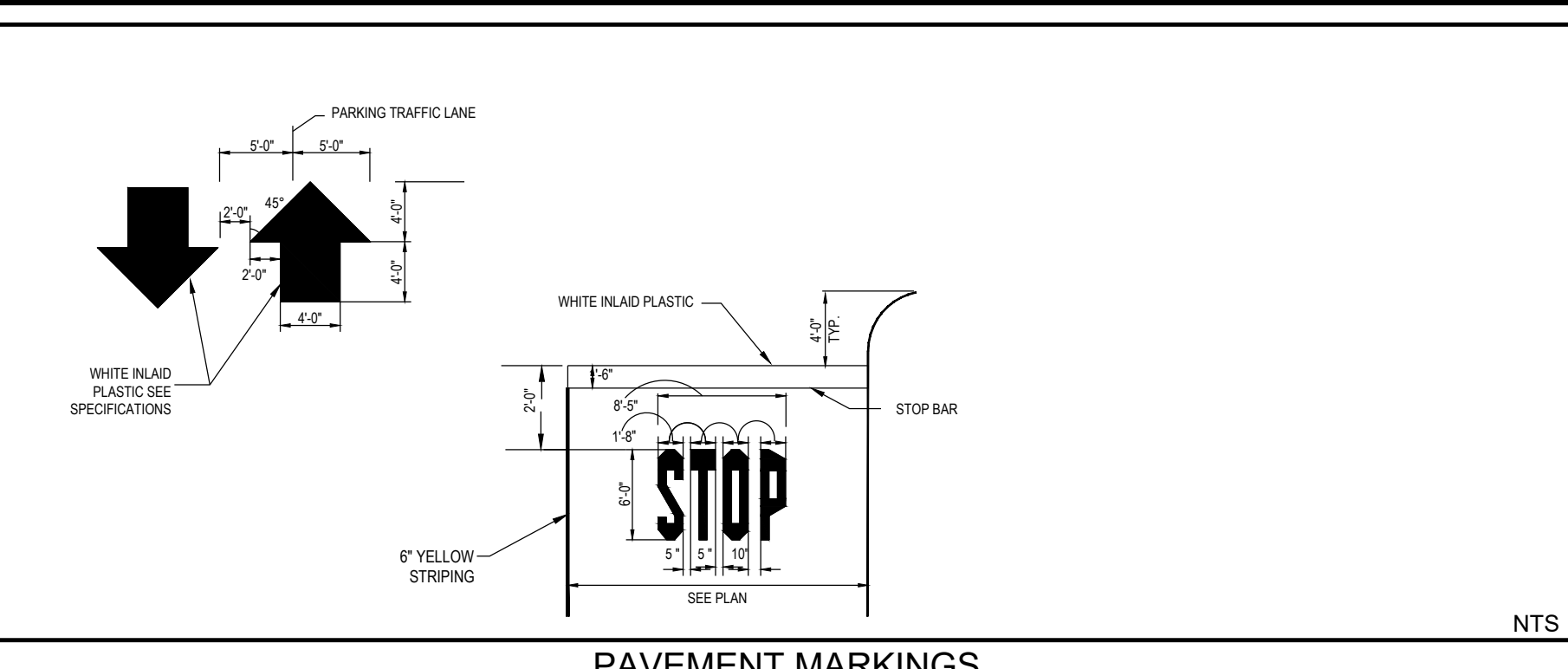
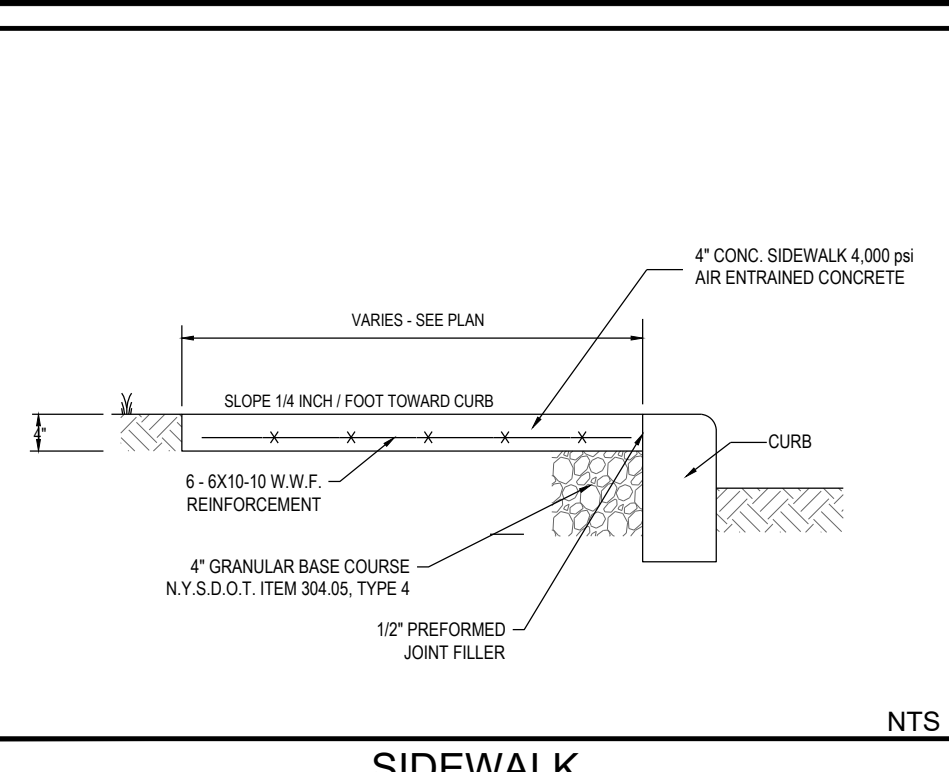
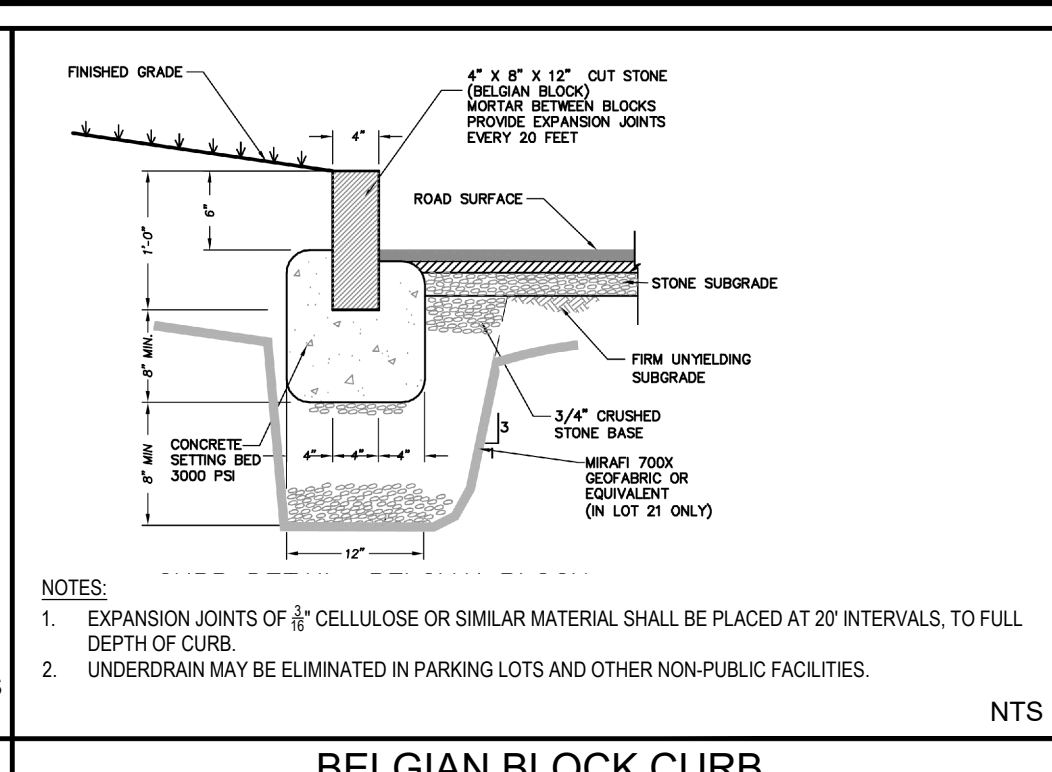
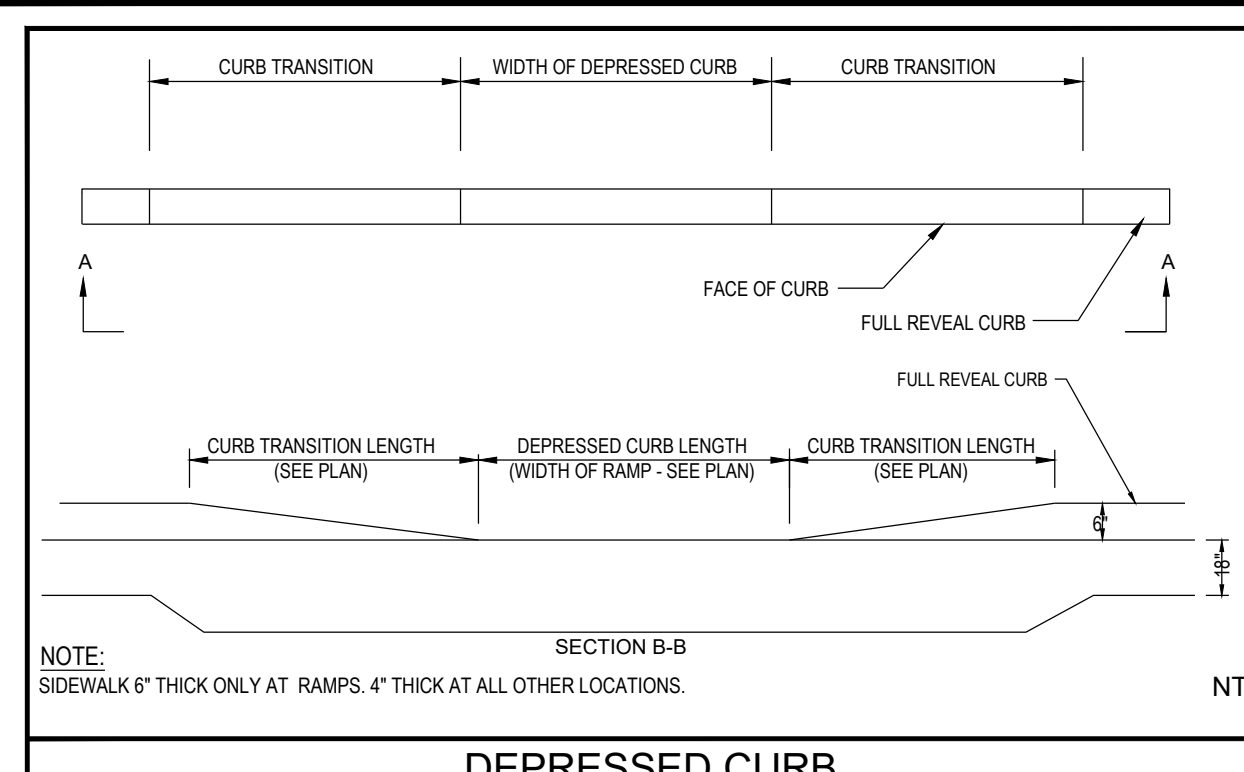
SIGN LEGEND

- ◊ STOP SIGN
- ◊ BOLLARD MOUNTED ACCESSIBLE PARKING SIGN
- ◊ DO NOT ENTER
- ◊ ONE WAY
- ◊ WHEEL STOP
- ◊ PULL-UP PARKING
- ◊ WEST TURN RIGHT

LEGEND

EXISTING SYMBOLS & LINES	PROPOSED SYMBOLS & LINES
Sanitary Line	Site
Gas Line	Fence
Water Line	Building
Electric Line	Curbside
Conduit Wire	Depressed Curb Line
Fire Line	Traverse
Property Right of Way Line	Guide Rail
Utility Easement	Stormwater Facility
Conduit Line	Core Ramp
Manhole	Parking Area Count
Street Light	Parking Count Total
Area Light	Door
Signal Pole	Island
File	
Anchor Pole	
Manhole (Type All Labeled)	
Water Valve	
Gas Valve	
Conduit	
Gravel Bank	
Spot Elevation	
Clearcut	
Tree	
Branch Mark	
Door	
Bollard	
Water Cover	
Electric Box	
Door	
Double Door	
Garage Door	
Diagonal	
Existing Tree	
	Water Line
	Sanitary
	Telephone / Electric Line
	Manhole
	Valve
	Conduit
	Sanitary Manhole
	Proposed Sanitary Pipe
	Proposed Electric Transformer
	Proposed Electric Junction Box

DATE	COMMENTS	NO.
REVISIONS		
Project No.	230002801	
Date	AUGUST 17, 2023	
Scale	1" = 30'	
Drawn By	AGK / JEM	
Checked By	AB	
Drawing No.	CS-101	
Sheet	4 of 16	

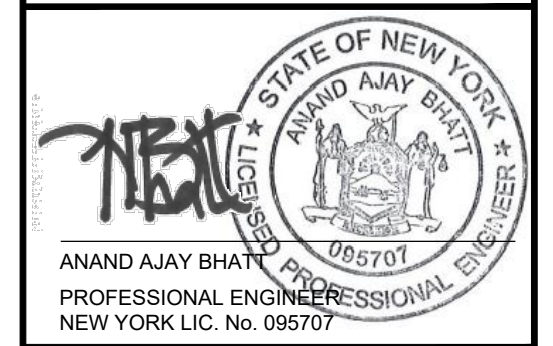


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ORANGEBURG COMMONS

TOWN OF ORANGETOWN
ROCKLAND COUNTY NEW YORK

Drawing Title
SITE CONSTRUCTION DETAILS



DATE	COMMENTS	NO.
REVISIONS		
Project No.	230002801	
Date	AUGUST 17, 2023	
Scale	NOT TO SCALE	
Drawn By	JEM	
Checked By	AB	
Drawing No.	CS-501	



POLLUTION PREVENTION MEASURES:

HAZARDOUS MATERIALS
THE PROPOSED REDEVELOPMENT PROJECT WILL RESULT IN THE GENERATION OF SOLID WASTE (LITTER AND CONSTRUCTION DEBRIS) BOTH DURING CONSTRUCTION AND DURING OPERATION OF THE FACILITIES. SOLID WASTE DISPOSAL WILL BE COLLECTED AT THE SITE IN DESIGNATED LOCATIONS AND COLLECTED AT AN APPROPRIATE FREQUENCY BY PRIVATE HAULERS.

SOLID WASTE DISPOSAL
THE PROPOSED REDEVELOPMENT PROJECT WILL RESULT IN THE GENERATION OF SOLID WASTE (LITTER AND CONSTRUCTION DEBRIS) BOTH DURING CONSTRUCTION AND DURING OPERATION OF THE FACILITIES. SOLID WASTE DISPOSAL WILL BE COLLECTED AT THE SITE IN DESIGNATED LOCATIONS AND COLLECTED AT AN APPROPRIATE FREQUENCY BY PRIVATE HAULERS.

Project
ORANGEBURG COMMONS

TOWN OF ORANGETOWN
ROCKLAND COUNTY NEW YORK

Drawing Title
DRAINAGE PLAN



INLETS MUST BE EQUIPPED WITH BICYCLE SAFETY GRATES

ALL PROPOSED STORM SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF INLET AND REPRESENT LINEAR FOOTAGE.

LEGEND

EXISTING SYMBOLS & LINES	PROPOSED SYMBOLS & LINES
--- SETBACK LINE	--- SITE
--- SANITARY LINE	--- FENCE
--- GAS LINE	--- EASING
--- WATER LINE	--- CURB LINE
--- ELECTRIC LINE	--- COMPRESSED GAS LINE
--- OVERHEAD WIRE	--- TRAFFIC SIGN
--- FENCE (TYPE AS NOTED)	--- PROPERTY RIGHT OF WAY LINE
--- TREE LINE	--- UTILITY EASEMENT
--- PROPERTY RIGHT OF WAY LINE	--- CONTOUR LINE
--- UTILITY EASEMENT	--- MONITORING WELL
--- CONTOUR LINE	--- CURB SWEEP
--- UTILITY EASEMENT	--- PARKING SIGN COUNT
--- STREET LIGHT	--- PARKING SIGN TOTAL
--- ANCHOR PILE	--- DOOR
--- SIGNAL POLE	--- ISLAND
--- FILE	
--- ANCHOR PILE	
--- WAREHOUSE (TYPE AS LABELED)	
--- WATER VALVE	
--- GAS VALVE	
--- UNKNOWN VALVE	
--- GARDEN BASKET	
--- GROUND ELEVATION	
--- CLEAR CUT	
--- TREE	
--- BENCH MARK	
--- SIGN	
--- SOLI LINE	
--- METAL COUNTER	
--- ELECTRIC BOX	
--- DOOR	
--- DOUBLE DOOR	
--- GARAGE DOOR	
--- EXISTING TREE	
	--- STORM PIPE
	--- GARDEN BASKET
	--- STORM MANHOLE
	--- GROUND
	--- WELL & OVERLAY CONTOUR
	--- STOP SIGN
	--- TOP OF CURB ELEVATION
	--- BOTTOM OF CURB ELEVATION
	--- BACK OF CURB ELEVATION
	--- FLOW ARROW
	--- HEADLINE
	--- WATER LINE
	--- TELEPHONE & ELECTRIC LINE
	--- VALVE
	--- SIGNPOST
	--- SANITARY MANHOLE
	--- PROPOSED SANITARY PIPE
	--- PROPOSED ELECTRIC TRANSFORMER
	--- PROPOSED ELECTRIC JUNCTION BOX

DATE	COMMENTS	NO.
REVISIONS		

Project No. 230002801

Date AUGUST 17, 2023

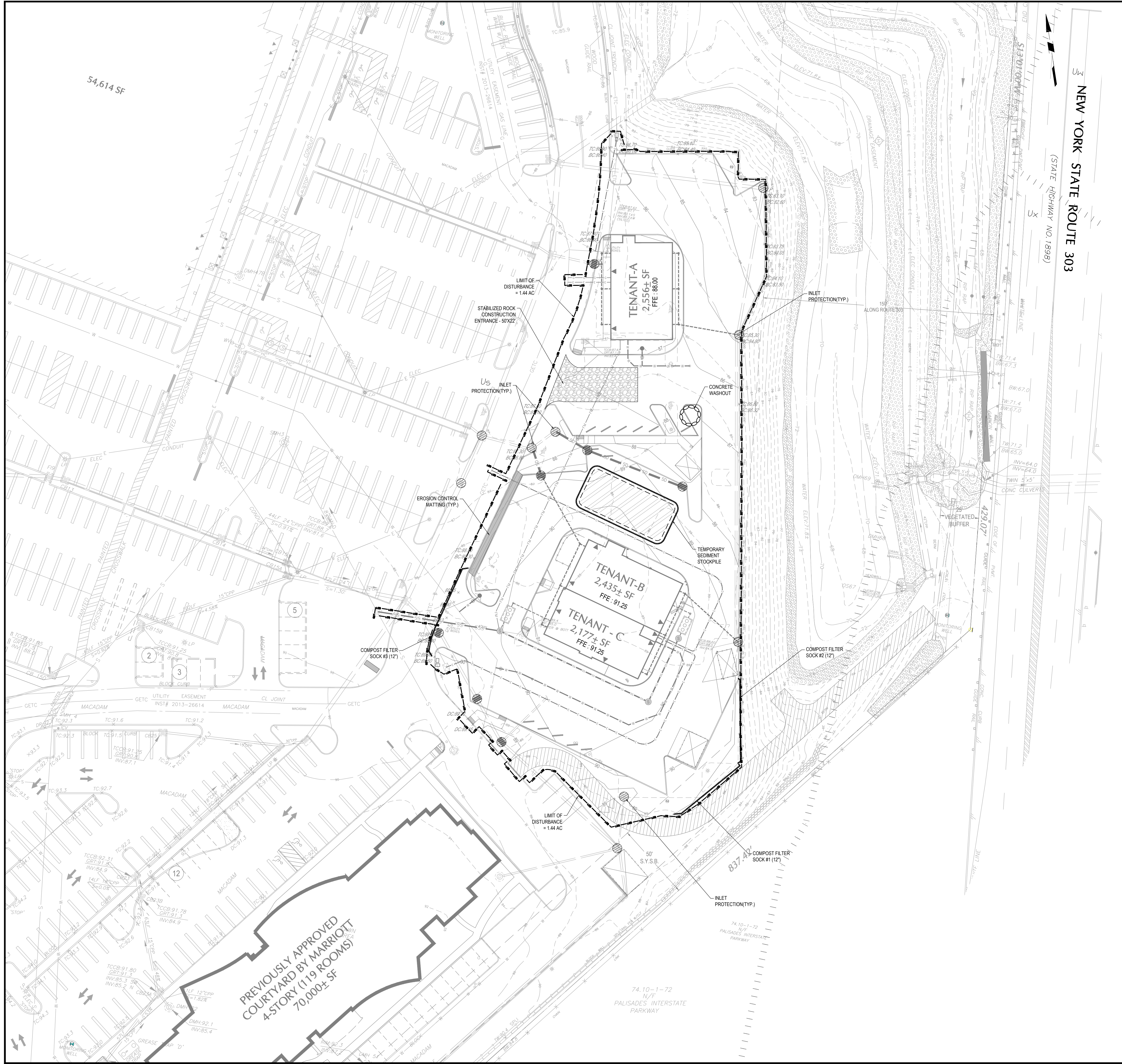
Scale 1" = 30'

Drawn By AG

Checked By AB

Drawing No.

CG-110



ON-SITE SOIL TYPE DESCRIPTION		
Map Symbol	Soil	Hydrological Soil Group
Us	Udorthents, Smoothed	A
Ux	Udorthents, Wet Substratum	A
Uw	Urban Land	-

THERMAL IMPACT ANALYSIS NOTE:
 THERMAL IMPACTS WILL BE MINIMIZED AND MITIGATED IN THE EAS PHASE BY FILTERING RUNOFF THROUGH NATURAL VEGETATION, AND COMPOST FILTER SOCKS PRIOR TO DISCHARGING TO AN ON-SITE SWM FACILITY.

RECEIVING WATER COURSE
 RECEIVING WATER: LOWER HUDSON WATERSHED

LIMIT OF DISTURBANCE = ± 1.44 ACRES

SEQUENCE OF CONSTRUCTION

THE FOLLOWING SEQUENCE OF CONSTRUCTION IS INDICATED ON THE EROSION AND SEDIMENT POLLUTION CONTROL PLAN:

1. THE TOWN OF ORANGETOWN'S DESIGNATED REPRESENTATIVE SHOULD BE NOTIFIED IN WRITING 72 HOURS PRIOR TO ANY LAND DISTURBANCE. A PRE-CONSTRUCTION MEETING IS TO BE HELD WITH THE TOWN OF ORANGETOWN'S DESIGNATED REPRESENTATIVE, ON-SITE, PRIOR TO EARTH DISTURBANCES. AN OWNER REPRESENTATIVE, THE SITE CONTRACTOR, PROJECT ENGINEER, ORANGE COUNTY SOIL CONSERVATION DISTRICT, AND ANY OTHER PERTINENT PERSONNEL SHOULD ATTEND. THE TOWN SHALL BE NOTIFIED OF SAID MEETING.
2. INSTALL A GRAVEL BUFFER OF 2" STONE, 6" DEEP AT THE LOCATION OF THE CONSTRUCTION ENTRANCES IMMEDIATELY AFTER INITIAL DISTURBANCES AS PER STANDARDS ON DRAWINGS. GRAVEL BUFFER TO BE UNDERLAIN BY FILTER FABRIC. SEE DETAIL ON CE-501. TRAFFIC SHOULD USE ONLY THESE AREAS FOR INGRESS AND EGRESS AS CONDITIONS WARRANT. THESE LOCATIONS MAY BE MODIFIED WITH APPROVAL FROM THE TOWN OF ORANGETOWN'S DESIGNATED REPRESENTATIVE.
3. INSTALL ALL SEDIMENT CONTROL BARRIERS (I.E. COMPOST FILTER SOCK, INLET PROTECTION, ETC.) AS INDICATED ON DRAWING CE-100. METHOD OF INSTALLATION AND MAINTENANCE IN ACCORDANCE WITH NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL REQUIREMENTS AND AS INDICATED ON THE DETAIL PLANS. THE INSTALLATION OF THE CONSTRUCTION ENTRANCES AND COMPOST FILTER SOCKS (SEE DETAILS ON SHEET CE-501) AT THE INDICATED LOCATIONS SHOULD BE DONE PRIOR TO ANY OTHER EARTH DISTURBANCES. CONTRACTOR SHALL LIMIT THE EXTENT OF CLEARING AS REQUIRED TO INSTALL THE SEDIMENT CONTROL BARRIERS.
4. CONTRACTOR CAN COMMENCE THE DEMOLITION OF THE EXISTING IMPERVIOUS GRAVEL/ASPHALT DRIVES AND PARKING FIELDS AS WELL AS DECOMMISSION AND REMOVE THE EXISTING WELL HOUSE. ONCE THE SEDIMENT BARRIERS AND CONSTRUCTION ENTRANCE HAVE BEEN INSTALLED.
5. INSTALL ALL REMAINING EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING STOCKPILE AREA AND TREE PROTECTION FENCES(IF REQUIRED).
6. DEMOLITION AND CONSTRUCTION WORK FROM THIS POINT ON MAY BE PERFORMED CONCURRENTLY WITH ANY OF THE FOLLOWING STEPS IN THIS SEQUENCE. THE CONTRACTOR MAY WORK ON SEPARATE STEPS IN THIS SEQUENCE SIMULTANEOUSLY BUT SHALL NOT BE PERMITTED TO MOVE ONTO THE NEXT AREA IN THE SEQUENCE UNTIL THE PREVIOUS AREA IS STABILIZED.
7. CLEAR AND GRUB AREAS CONTAINING VEGETATION WITHIN THE LIMITS OF DISTURBANCE AS REQUIRED TO BEGIN CONSTRUCTION.
8. BEGIN ROUGH GRADING REMAINDER OF SITE. THE EARTH MOVING ACTIVITY SHOULD BEGIN IN AREAS OF CUT SO THAT THE CUTS CAN BE PLACED IN AREAS OF FILL. PLACE EXCESS FILL MATERIAL IN AREAS DESIGNATED ON THE PLAN.
9. PLACE TOPSOIL IN AREAS DESIGNATED ON THE PLAN. ADD A MINIMUM OF 8 INCHES OF TOP SOIL OR THE DEPTH OF THE EXISTING TOPSOIL ON SITE (WHICHEVER IS GREATER) TO FINAL SITE GRADING AND IMMEDIATELY INSTALL NAG S7S TEMPORARY EROSION CONTROL MATTING IN ALL FILL AREAS WITH 3:1 OR GREATER SLOPES AS SHOWN ON THE PLANS.
10. INSTALL THE PROPOSED STORMWATER CONVEYANCE SYSTEM. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE TOWARDS THE PROPOSED CATCH BASIN. ADVANCE TRENCH EXCAVATION SHALL BE LIMITED TO THE LENGTH OF PIPE THAT CAN BE COMPLETED IN THE SAME DAY.
11. BEGIN FOUNDATION AND CONSTRUCTION OF BOTH BUILDINGS.
12. BEGIN CONSTRUCTION OF ON-SITE UTILITIES. ON-SITE SUBSURFACE UTILITIES SHALL CONSIST OF GAS, ELECTRIC, TELEPHONE, WATER, AND SANITARY SEWER. ADVANCE TRENCH EXCAVATION SHALL BE LIMITED TO THE LENGTH OF PIPE THAT CAN BE COMPLETED IN THE SAME DAY. ON THE DAY FOLLOWING UTILITY INSTALLATION, THE TRENCH AREA SHALL BE GRADED TO SUB-GRADE ELEVATION. SEEDING AND/OR MULCHING OF DISTURBED AREAS SHALL BE COMPLETED AT THE END OF EACH WEEK.
13. BEGIN CONSTRUCTION OF CONCRETE CURBING IN PARKING AREAS, DRIVEWAYS, AND OTHER ASSOCIATED SITE IMPROVEMENTS.
14. THE CONTRACTOR MAY WORK ON SEPARATE STEPS IN THIS SEQUENCE SIMULTANEOUSLY BUT SHALL NOT BE PERMITTED TO MOVE ONTO THE NEXT AREA IN THE SEQUENCE UNTIL THE PREVIOUS AREA IS STABILIZED.
15. COMPLETE FINAL SITE GRADING OF ALL APPROPRIATE AREAS TO AREA INDICATED ON THE PLAN. ADD A MINIMUM OF 8 INCHES OF TOP SOIL OR THE DEPTH OF THE EXISTING TOP SOIL (WHICHEVER IS GREATER) TO FINAL SITE GRADING AND STABILIZE USING PERMANENT SEED AND MULCH.
16. THE CONTRACTOR SHALL FINE GRADE THE SITE. ONCE THE FINE GRADING OF SITE IS COMPLETED, THE CONTRACTOR SHALL PERMANENTLY STABILIZE THE SITE AND INSTALL THE PLANTS PER THE LANDSCAPE AND LIGHTING PLAN (LP-100).
17. CONSTRUCTION ENTRANCES, COMPOST FILTER SOCKS, AND INLET PROTECTION SHALL BE MAINTAINED UNTIL ALL IMPROVEMENTS TO THE SITE ARE COMPLETED, AND 70% UNIFORM PERMANENT VEGETATIVE COVERAGE HAS BEEN ESTABLISHED.
18. WITH PERMISSION FROM THE TOWN OF ORANGETOWN'S DESIGNATED REPRESENTATIVE AND AFTER ALL PERMANENT MEASURES HAVE BEEN INSTALLED, REMOVE THE CONSTRUCTION ENTRANCES, COMPOST FILTER SOCKS, AND INLET PROTECTION. ALL DISTURBED AREAS CAUSED BY THE REMOVAL OF TEMPORARY SEDIMENT POLLUTION CONTROL DEVICES MUST BE PERMANENTLY STABILIZED.

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ORANGEBURG COMMONS

TOWN OF ORANGETOWN
 ROCKLAND COUNTY NEW YORK

EROSION AND SEDIMENT CONTROL PLAN



30 0 10 30
 SCALE IN FEET

DATE	COMMENTS	NO.
REVISIONS		

Project No. 230002801

Date AUGUST 17, 2023

Scale 1" = 30'

Drawn By AG

Checked By CT

Drawing No.

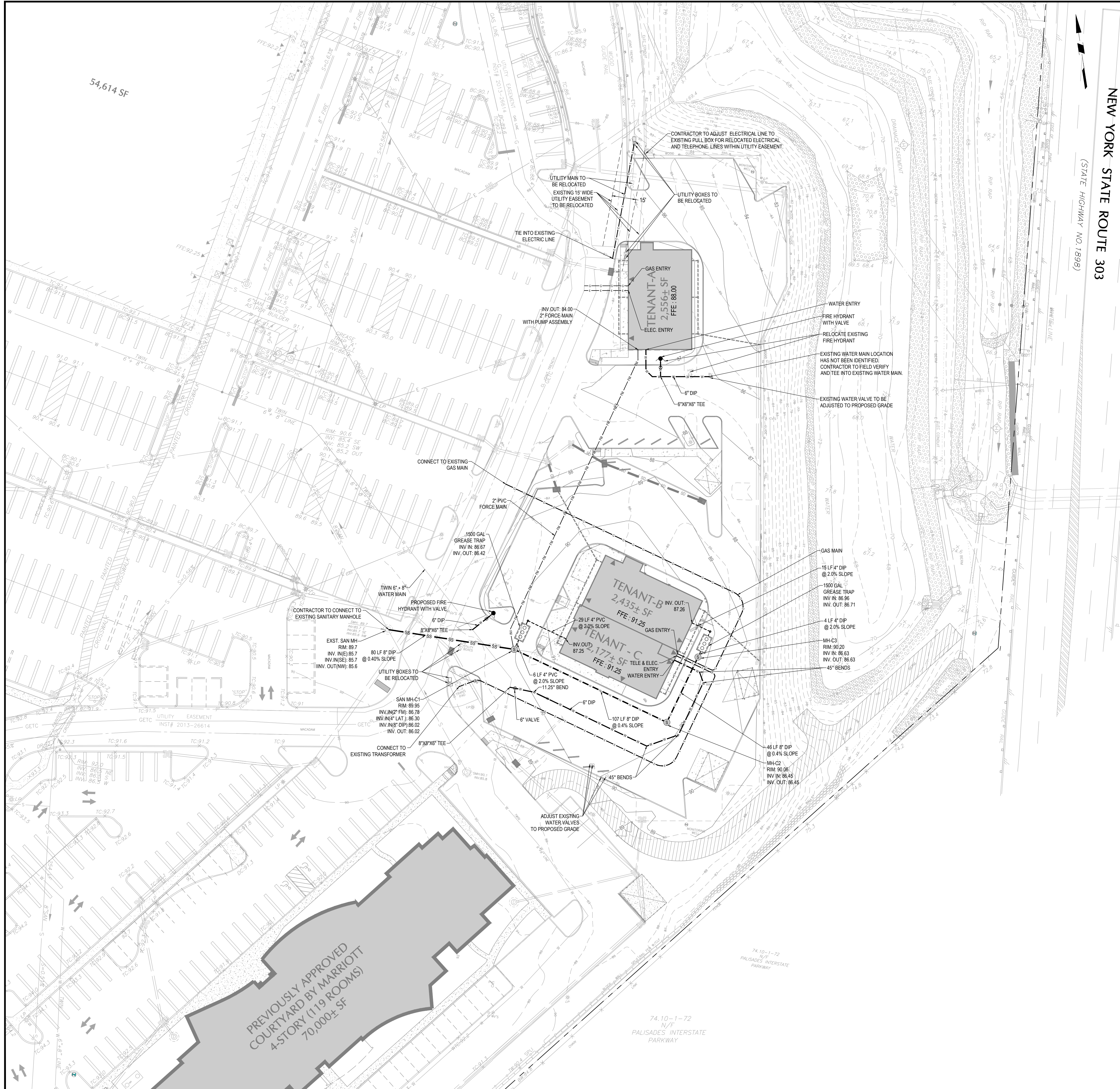
CE-100

SOIL EROSION LEGEND

COMPOST FILTER SOCK	— LOD — LOD — LOD —
LIMIT OF DISTURBANCE	— LOD — LOD — LOD —
EROSION CONTROL MATTING (NAG S7S)	[Symbol]
TOPSOIL STOCKPILE	[Symbol]
CONCRETE WASHOUT	[Symbol]
INLET PROTECTION	[Symbol]
SOILS LIMITS	[Symbol]
SOILS TYPE	Us

LEGEND

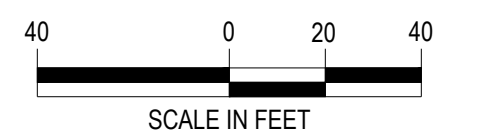
EXISTING SYMBOLS & LINES	PROPOSED SYMBOLS & LINES
SEWER LINE	SEWER LINE
SANITARY LINE	SANITARY LINE
GAS LINE	GAS LINE
WATER LINE	WATER LINE
ELECTRIC LINE	ELECTRIC LINE
CONCRETE WIRE	CONCRETE WIRE
FRIDGE (PFR AS NOTED)	FRIDGE (PFR AS NOTED)
TRAIL LINE	TRAIL LINE
PROPERTY RIGHT OF WAY LINE	PROPERTY RIGHT OF WAY LINE
UTILITY EASEMENT	UTILITY EASEMENT
CONDUIT LINE	CONDUIT LINE
STREET LIGHT	STREET LIGHT
AREA LIGHT	AREA LIGHT
SEAL POLE	SEAL POLE
FILE	FILE
ANCHOR POLE	ANCHOR POLE
WATER VALVE	WATER VALVE
GAS VALVE	GAS VALVE
UNKNOWN VALVE	UNKNOWN VALVE
GAZEBO	GAZEBO
PROFESSIONAL	PROFESSIONAL
SPRINKLER	SPRINKLER
BRICK MARK	BRICK MARK
DOOR	DOOR
SEAL LINE	SEAL LINE
METER COVER	METER COVER
ELECTRIC BOX	ELECTRIC BOX
DOOR	DOOR
DOUBLE DOOR	DOUBLE DOOR
GARAGE DOOR	GARAGE DOOR
EXISTING TREE	EXISTING TREE



- UTILITY NOTES:**
- ALL UTILITY SERVICES TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE SERVICE PROVIDER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING, REVIEWING AND ADHERING TO THESE RULES AND REGULATIONS PRIOR TO SITEWORK BID AND DURING THE COURSE OF CONSTRUCTION.
 - ALL TELEPHONE, ELECTRICAL, TELEVISION AND COMMUNICATION FACILITIES, BOTH MAIN AND SERVICE LINES, SHOULD BE UNDERGROUND. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
 - ALL DUCTILE IRON PIPE AND FITTINGS FOR WATER SERVICES SHALL BE CEMENT LINED IN ACCORDANCE WITH ANSI A21.51 (AWWA C151). CONTRACTOR MUST PROVIDE A SUBMITTAL TO OWNER'S ENGINEER PRIOR TO ORDERING OR CONSTRUCTION.
 - PROVIDE EIGHTEEN INCHES (18") OF CLEARANCE BETWEEN BOTTOM OF WATER PIPE AND TOP OF SANITARY SEWER CROSSING ABOVE A PVC SANITARY SEWER LATERAL OR CONSTRUCT A CONCRETE CRADLE. MINIMUM VERTICAL CLEARANCE SHALL BE NO LESS THAN TWELVE INCHES (12") WITH A CONCRETE CRADLE AND PVC. MINIMUM VERTICAL CLEARANCE SHALL BE NO LESS THAN SIX INCHES (6") WITH CONCRETE CRADLE AND DUCTILE IRON PIPE.
 - THE CONTRACTOR SHALL PROVIDE THREE (3) SETS OF AS-BUILT PLANS CONFORMING TO THE AUTHORITY'S AS-BUILT DRAWINGS REQUIREMENTS. THE PLANS MUST SHOW THE NEW WATER AND SANITARY SEWER SYSTEMS AND INCLUDE THE PORTION OF THE EXISTING SYSTEMS WHERE THEY TIE INTO. THE PLANS MUST BE SIGNED AND SEALED BY A NEW YORK LICENSED LAND SURVEYOR. IN ADDITION TO THE THREE (3) PAPER COPIES, THE CONTRACTOR MUST PROVIDE A DISK OR CD IN AUTOCAD FORMAT OF THE SUBMITTED PLANS.
 - ALL WATER MAINS AND SANITARY SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH OTHER SEPARATION EXPRESSLY APPROVED BY THE IMA ENGINEER. AT CROSSINGS OF SEWER AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH "PUSH ON" OR MECHANICAL JOINTS FOR A DISTANCE OF 5 FEET ON EITHER SIDE OF CROSSING.
 - THE LOCATION OF EXISTING UTILITIES (I.E. ELECTRIC, TELEPHONE, GAS, SEWER & WATER) ARE APPROXIMATE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES. ALL UTILITIES (INCLUDING APPURTENANCES) MUST BE CONSTRUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL GUIDELINES, RULES, STANDARDS AND REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING, REVIEWING AND ADHERING TO THESE RULES AND REGULATIONS PRIOR TO SITEWORK BID AND DURING THE COURSE OF CONSTRUCTION.
 - THE CONTRACTOR SHALL COORDINATE THE SANITARY SEWER AND WATER WORK WITH THE ORANGE COUNTY SEWER DISTRICT AND VILLAGE OF HARRISMAN RESPECTIVELY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING, REVIEWING AND ADHERING TO ALL REQUIREMENTS, DETAILS AND REGULATIONS PRIOR TO SITEWORK BID AND DURING THE COURSE OF CONSTRUCTION. CONTRACTOR IS OBLIGATED THAT UTILITY DETAILS PROVIDED ON THE LAND SURVEYOR'S PLANS ARE FOR INFORMATION PURPOSES ONLY.
 - BUILDING UTILITIES ARE TO BE STUBBED WITHIN 5' OF BUILDING. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND SIZE OF UTILITY TIE IN TO THE PROPOSED BUILDINGS.
 - PHONE, ELECTRIC AND GAS SERVICES INDICATED ON THE PLANS ARE FOR INFORMATION ONLY. THE LOCATION OF THESE FACILITIES ARE TO BE VERIFIED, BY RESPECTIVE SERVICE PROVIDERS.
 - CONTRACTOR MUST NOTIFY OF ANY UTILITY CONFLICTS TO THE OWNER AND OWNER'S ENGINEER IN WRITING PRIOR TO ORDERING MATERIAL OR CONSTRUCTION. ANY COST ASSOCIATED WITH CURING OR REMEDY THE UTILITY CONFLICTS DISCOVERED AFTER ORDERING OF THE MATERIAL OR COMMENCEMENT OF CONSTRUCTION SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
 - THE PROJECT ARCHITECT WILL PROVIDE THE DETAILED FIRE SPRINKLER SYSTEM DRAWINGS PRIOR TO OBTAINING BUILDING PERMITS AND COORDINATE THE FIRE DEPARTMENT CONNECTIONS WITH THE MORRIS JUNT FIRE DISTRICT.
 - ALL TRANSFORMER/METER PIT/GREASE TRAP, ETC., LOCATIONS, DETAILS AND SPECIFICATION SHALL BE COORDINATED BY THE MEP.
 - WATER SERVICE METERS SHALL BE PER MONROE TOWNSHIP IMA SPECIFICATIONS AND DETAILS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING, REVIEWING AND ADHERING TO THESE RULES AND REGULATIONS PRIOR TO SITEWORK BID AND DURING THE COURSE OF CONSTRUCTION.
 - CONTRACTOR TO INSTALL SANITARY LATERALS WITH AN INSULATION JACKET ACCEPTABLE BY THE UTILITY PROVIDER WHERE LESS THAN 3 FEET OF COVER IS PROPOSED FOR THE LATERALS.
 - THE LOCATION & DETAILS OF ALL PROPOSED FIRE HYDRANTS SHALL BE APPROVED BY THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION THEREOF. ALL EXISTING FIRE HYDRANTS SHALL BE TESTED PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING, REVIEWING AND ADHERING TO THESE RULES AND REGULATIONS PRIOR TO SITEWORK BID AND DURING THE COURSE OF CONSTRUCTION.
 - ALL GRAVITY SANITARY SEWER MAINS AND LATERALS SHALL BE ABS PIPE CONFORMING TO ORANGE COUNTY SEWER DISTRICT REQUIREMENTS.
 - MINIMUM COVER OVER ABS SANITARY SEWER MAINS AND LATERALS SHALL BE THREE (3) FEET. MINIMUM COVER OVER DUCTILE IRON SANITARY SEWER MAINS AND LATERALS SHALL BE THIRTY (30) INCHES. IN NO INSTANCE SHALL THE COVER BE LESS THAN 30 INCHES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE APPROVALS & PERMITS FROM THE JURISDICTIONAL AGENCIES PRIOR TO COMMENCEMENT OF WORK.
 - CONTRACTOR MUST MAKE NECESSARY ADJUSTMENTS TO ALL THE EXISTING & PROPOSED INLET GRATES, MANHOLES RIMS, FRAMES, GRATES, VALVES BOXES, ETC. SUCH THAT THEY ARE FLUSHED WITH THE FINAL GRADES.
 - THE CONTRACTOR MUST NOTIFY UTILITIES COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION OR EXCAVATION.
 - ROUTING AND LAYOUT OF ALL UTILITIES SHOWN ON THIS PLAN IS SUBJECT TO ADJUSTMENT TO MEET UTILITY PROVIDER REQUIREMENTS AND COORDINATION WITH BUILDING MECHANICAL DESIGN.
 - CONTRACTOR MUST REFER TO SITE LIGHTING ELECTRICAL PLANS PREPARED BY OTHERS FOR SITE ELECTRIFICATION. ELECTRIC LINES SHOWN ON THIS PLAN ARE ANTICIPATED LINE ROUTING, SUBJECT TO ADJUSTMENTS PER NOTE 5 ABOVE.
 - ALL PROPOSED WATER MAINS SHALL HAVE A 20 FT WIDE EASEMENT CENTERED OVER THE LINE. EXISTING WATER EASEMENTS ARE TO BE ADJUSTED FOR UTILITY CHANGES SHOWN ON THIS PLAN.

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Project
ORANGEBURG COMMONS
TOWN OF ORANGETOWN
ROCKLAND COUNTY NEW YORK

Drawing Title
UTILITY PLAN

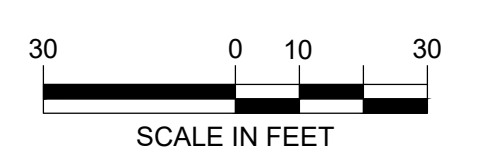
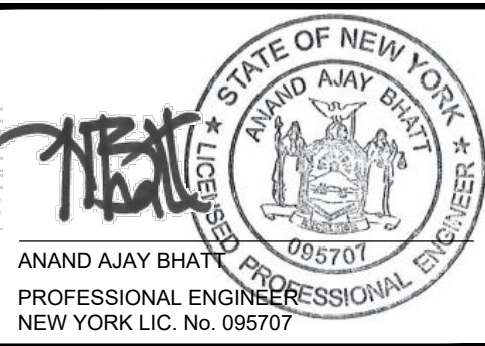
TELEPHONE, ELECTRIC AND GAS LINES SHOWN ON THIS PLAN ARE ANTICIPATED LINE ROUTES WHICH ARE SUBJECT TO ADJUSTMENT PER UTILITY PROVIDER. FINAL UTILITY SIZES AND LOCATION ARE TO BE COORDINATED WITH RESPECTIVE UTILITY PROVIDER AND PROJECT MEP DESIGNER.

IN THE AREAS OF EXCAVATION, ALL EXISTING UTILITIES TO REMAIN SHALL BE CHECKED FOR PROPER COVER AS REQUIRED BY THE UTILITY OWNER. SHOULD MINIMUM COVER NOT EXIST, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE RESPECTIVE UTILITY PROVIDER TO ADJUST THE UTILITIES TO PROVIDE PROPER COVER.

TOPSOIL EXCAVATED FROM THE SITE DURING CONSTRUCTION SHALL BE RE-SPREAD ON SITE IN THE PERVIOUS AREAS. NO TOPSOIL SHALL BE EXPORTED OFF-SITE.

BACKFILLING OF ALL PROPOSED UTILITY TRENCHES, INCLUDING BUT NOT LIMITED TO STORM, WATER, SANITARY, ELECTRIC AND GAS SHALL UTILIZE DENSE GRADED AGGREGATE ABOVE THE PIPE CRADLE WHEN BACKFILLING WITHIN PAVEMENT AREAS.

CONTRACTOR MUST COMPLY WITH ALL ORANGE COUNTY SEWER DISTRICT RULES, REGULATIONS, SPECIFICATIONS AND DETAILS.



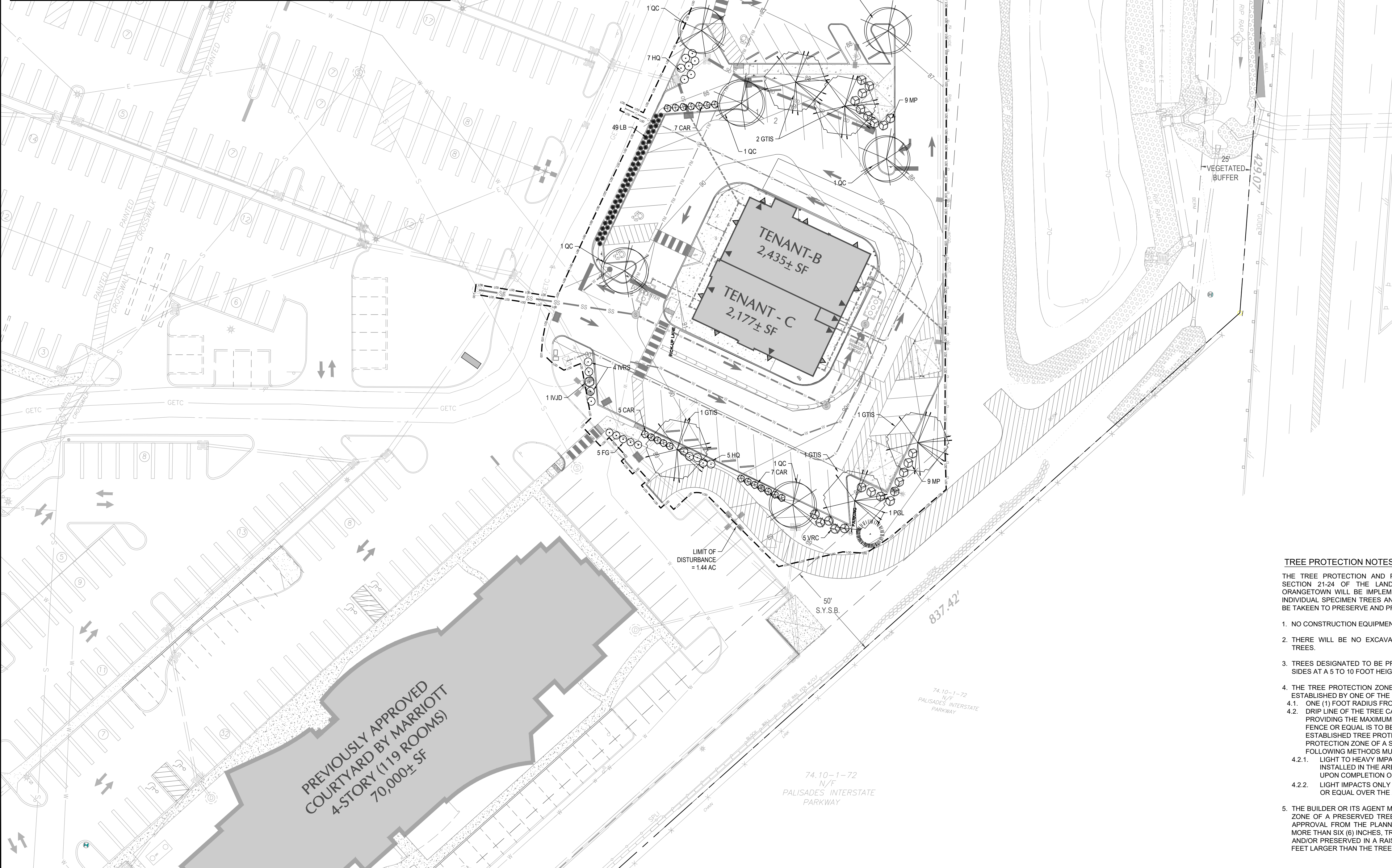
LEGEND	
EXISTING SYMBOLS & LINES	PROPOSED SYMBOLS & LINES
Sanitary Line	Sanitary Line
Gas Line	Gas Line
Water Line	Water Line
Electric Line	Electric Line
Communication Line	Communication Line
Proposed Right of Way Line	Proposed Right of Way Line
Utility Easement	Utility Easement
Control Line	Control Line
Property Line	Property Line
Street Light	Street Light
Area Light	Area Light
Signal Pole	Signal Pole
File	File
Anchor Pole	Anchor Pole
Manhole (Type as Labeled)	Manhole (Type as Labeled)
Water Valve	Water Valve
Gas Valve	Gas Valve
Unknown Valve	Unknown Valve
Gate Valve	Gate Valve
Spot Elevation	Spot Elevation
Clear Out	Clear Out
Tree	Tree
Branch Mark	Branch Mark
Box	Box
Ball Valve	Ball Valve
Water Meter	Water Meter
Electric Box	Electric Box
Double Door	Double Door
Single Door	Single Door
Existing Tree	Existing Tree
Site	Site
Fence	Fence
Building	Building
Curb Line	Curb Line
Proposed Curb Line	Proposed Curb Line
Proposed Pavement	Proposed Pavement
Proposed Right of Way	Proposed Right of Way
Proposed Utility	Proposed Utility
Proposed Manhole	Proposed Manhole
Proposed Valve	Proposed Valve
Proposed Gate Valve	Proposed Gate Valve
Proposed Water Meter	Proposed Water Meter
Proposed Electric Transformer	Proposed Electric Transformer
Proposed Electric Junction Box	Proposed Electric Junction Box
Storm Pipe	Storm Pipe
Storm Manhole	Storm Manhole
Storm Valve	Storm Valve
Well & Overlay Contour	Well & Overlay Contour
Spot Elevation	Spot Elevation
Top of Curve Elevation	Top of Curve Elevation
Back of Curve Elevation	Back of Curve Elevation
Flow Arrow	Flow Arrow
Manhole	Manhole
Utility	Utility
Water Line	Water Line
Telephone/Electric Line	Telephone/Electric Line
Manhole	Manhole
Valve	Valve
Gate Valve	Gate Valve
Sanitary Manhole	Sanitary Manhole
Proposed Sanitary Pipe	Proposed Sanitary Pipe
Proposed Electric Transformer	Proposed Electric Transformer
Proposed Electric Junction Box	Proposed Electric Junction Box

DATE	COMMENTS	NO.
REVISIONS		

Project No.	23002801
Date	AUGUST 17, 2023
Scale	1" = 30'
Drawn By	AG
Checked By	CT

Drawing No.
CU-100
Sheet 10 of 16

PLANT MATERIAL SCHEDULE				
ABB.	SCIENTIFIC NAME	COMMON NAME	QTY.	SIZE
SHADE TREES				
AROG	<i>Acer Rubrum</i> "October Glory"	October Glory Red Maple	6	2.5" - 3.0"
GTIS	<i>Gleditsia Triacanthos</i> Var. <i>Inermis</i> "Shademaster"	Shademaster HoneyLocust	6	2.5" - 3.0"
QC	<i>Quercus Coccinea</i>	Scarlet Oak	6	2.5" - 3.0"
TOTAL			18	
EVERGREEN TREES				
PGL	<i>Picea glauca</i>	White Spruce	1	8-10' Ht.
PS	<i>Pinus Strobus</i>	Wastem White Pine	1	8-10' Ht.
TOTAL			1	
EVERGREEN SHRUBS				
MP	<i>Myrica Pensylvanica</i>	Northern Bayberry	18	30" - 36" Ht.
VRC	<i>VIBURNUM</i> x <i>Rhytidophyllum</i> "Cree"	"Cree" Leatherleaf Viburnum	5	24" - 30" Ht.
TOTAL			23	
DECIDUOUS SHRUBS				
CAR	<i>Clethra Alnifolia</i> "Rosea"	Pink Summersweet Clethra	24	24" - 30" Ht.
FG	<i>Fothergilla Gardenii</i>	Dwarf Fothergilla	10	18" - 24" Ht.
HQ	<i>Hydrangea Quercifolia</i>	Oakleaf Hydrangea	12	24" - 30" Ht.
IJD	<i>Ilex Verticillata</i> "Jim Dandy"	Male Pollinator Winterberry Holly	1	3 GAL.
IVRS	<i>Ilex Verticillata</i> "Red Sprite"	Red Sprite Winterberry Holly	4	3 GAL.
TOTAL			51	
GROUND COVERS				
LB	<i>Liriope Muscari</i> "Big Blue"	Big Blue LilyTurf	80	1 Gal. spaced 18" o.c.
CA	<i>Calamagrostis acutiflora</i>	Karl Foerster	69	1 Gal. spaced 36" o.c.
TOTAL			149	



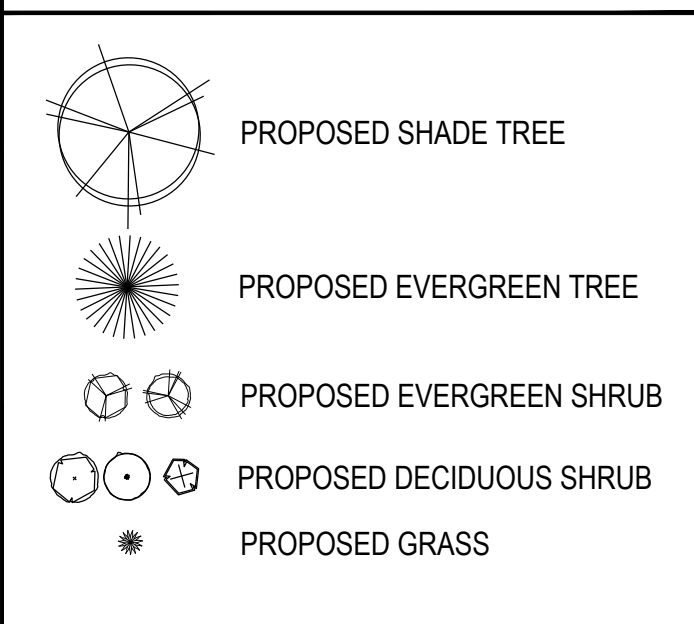
GENERAL LANDSCAPE PLANTING NOTES

- NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES" 1942 EDITION PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
- ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
- STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
- NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB, STAKE AS NECESSARY, AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES. NOTIFICATION OF PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
- THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBSTITUTIONS MAY ONLY BE PERMITTED WHEN SUBMITTED THROUGH A WRITTEN REQUEST TO THE CITY AND OR THEIR REPRESENTATIVES AND APPROVED BY THE CITY AND OR THEIR REPRESENTATIVES.
- LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL, AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY.
- THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AND REPLACE WITH PLANT MATERIAL SPECIFIED HEREIN AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- DELIVERY, STORAGE AND HANDLING
 - PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
 - TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSPORT. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.
 - ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP-1/3 OF THE BALL AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
 - THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER, AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

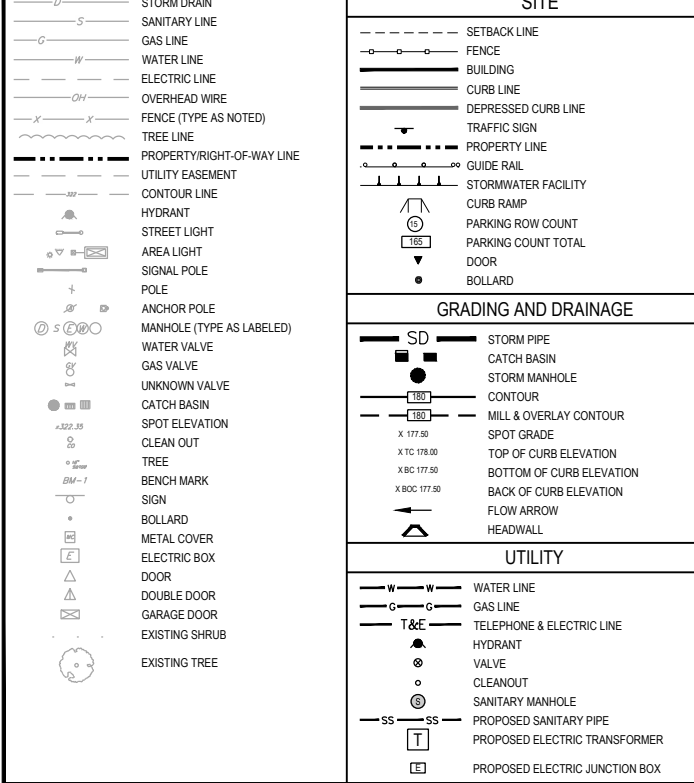
TREE PROTECTION NOTES:

- THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGEBURG WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
- NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - THERE WILL BE NO EXCAVATION OR STOCKPIILING OF EARTH UNDERNEATH THE TREES.
 - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
 - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS.
 - ONE (1) FOOT RADIUS FROM THE TRUNK PER INCH DBH
 - THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT.
 - LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 - LIGHT IMPACTS ONLY - INSTALLATION OF 3 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED.
 - THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.

PLANTING LEGEND



LEGEND



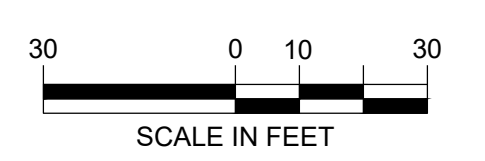
BHATT THAKKAR ENGINEERING, DPC
 1456 Ferry Road,
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 Doylestown, PA 19091
 T: 215.766.8280
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Project
ORANGEBURG COMMONS

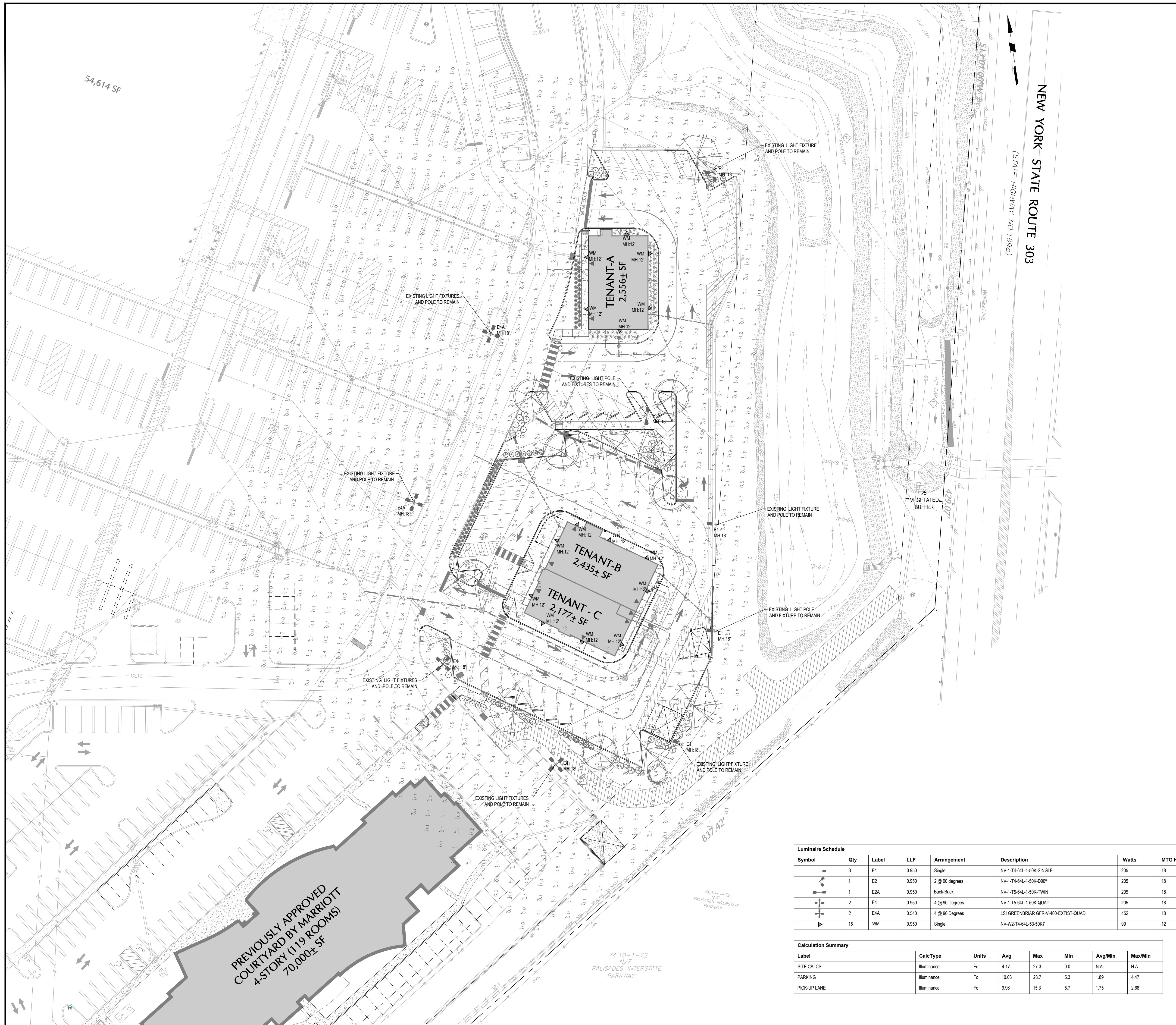
TOWN OF ORANGEBURG
 ROCKLAND COUNTY NEW YORK

Drawing Title

TREE PLAN



DATE	COMMENTS	NO.
REVISIONS		
Project No.	230002801	
Date	AUGUST 17, 2023	
Scale	1" = 30'	
Drawn By	JEM	
Checked By	AB	
Drawing No.	LP-100	



54,614 SF

NEW YORK STATE ROUTE 303
(STATE HIGHWAY NO. 199B)

PREVIOUSLY APPROVED
COURTYARD BY MARRIOTT
4-STORY (119 ROOMS)
70,000± SF

74.10-1-72
N/F
PALISADES INTERSTATE
PARKWAY

GENERAL LIGHTING NOTES:

1. PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO CAST-IN-PLACE CONCRETE.
2. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING EXCAVATIONS.
3. CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.
4. AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
5. CONTRACTOR TO COORDINATE INSTALLATION OF ALL THE WALL MOUNTED FIXTURES AND ELECTRICAL CONNECTIONS TO SITE STRUCTURE(S) WITH BUILDING MEP, ARCHITECT, AND/OR OWNER.
6. INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRADES TO AVOID CONFLICT WITH FINISHED AND PROPOSED WORK.
7. POINT SPACING ON PLACE OF CALCULATIONS IS 10 FT LEFT TO RIGHT AND 10 FEET TOP TO BOTTOM. POINT BY POINT CALCULATIONS ARE BASED ON A 0.90 MAINTENANCE FACTOR.
8. POINT-BY-POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA STANDARDS AND IN CONSIDERATION OF THE VARIABLES WITHIN THESE NOTES AND SITE LIGHTING SCHEDULE. THE VALUES REPRESENTED ON THE PLANS ARE NOT AN INDICATION OF THE INITIAL LIGHT INTENSITIES OF THE LAMPS. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITIES DELIVERED TO THE GROUND PLANE USING INDUSTRY ACCEPTABLE LIGHT LOSS FACTORS (LLF) WHICH COVER LAMP DEGRADATION AND NATURAL BUILDUP ON THE FIXTURE LENS. THE LIGHTING PLAN IS DESIGNED WITH AN INDUSTRY ACCEPTABLE LLF TO ENSURE ADEQUATE LIGHT INTENSITIES OVER YEARS OF USE AND WEAR. MINOR VARIATIONS IN TOPOGRAPHY, PHYSICAL OBSTRUCTIONS, AMBIENT OR ADJACENT LIGHT SOURCES AND/OR OTHER POTENTIAL IMPACTS HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THEREFORE, AS-BUILT LIGHT INTENSITIES MAY VARY, IN EITHER DIRECTION, FROM WHAT IS EXPLICITLY PORTRAYED WITHIN THESE DRAWINGS.
9. ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
10. SITE ELECTRICAL CONTRACTOR TO COORDINATE LOCATION OF ALL UTILITIES AND EASEMENTS BEFORE DRILLING POLE BASES.
11. SITE ELECTRICAL CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO INSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.
12. SITE ELECTRICAL CONTRACTOR SHALL CONFIRM THAT LIGHT FIXTURES MATCH SPECIFICATIONS ON THE PLANS.
13. REFER TO ELECTRIFICATION PLAN FOR PROVIDING ADEQUATE POWER FOR SITE LIGHTING.
14. SITE ELECTRICAL CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO SUPPORT LOADS EXERTED UPON THE FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSATISFACTORY CONDITIONS.
15. POLE FOUNDATIONS SHALL NOT BE POURED IF FREE STANDING WATER IS PRESENT IN EXCAVATED AREA.
16. ELECTRICIAN AND INSTALLATION OF WALL MOUNTED FIXTURES SHALL BE COORDINATED WITH THE ARCHITECTURAL, STRUCTURAL, AND SITE DRAWINGS FOR SAFETY AND TO PROVEN EXPOSED WIRING.
17. LIGHTING SUBSTITUTION REQUIREMENTS:
ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE AMPLE TIME FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:
A. ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER AND TENANTS. ANY COST ASSOCIATED WITH REVIEW AND/OR APPROVAL OF THE SUBSTITUTIONS SHALL BE ENTIRELY BORNE BY THE CONTRACTOR.
B. COMPUTER PREPARED PHOTOMETRIC LAYOUT OF THE PROPOSED LIGHTED AREA WHICH INDICATES, BY ISOFOTOCANDLE, THE SYSTEMS PERFORMANCE.
C. A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS, CALCULATIONS, CANDLEPOWER TABULATIONS, ZONE LUMEN SUMMARY, ISOLUX PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY, BUT NOT LIMITED TO, OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, VOLTAGE, FINISH AND HOUSING DESCRIPTION.
D. POLE MANUFACTURER ASHTO CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE SYSTEMS BEING UTILIZED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
E. THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
F. A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.

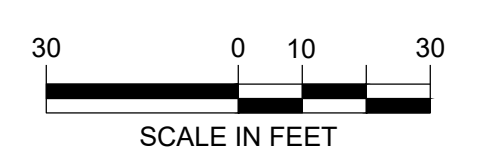
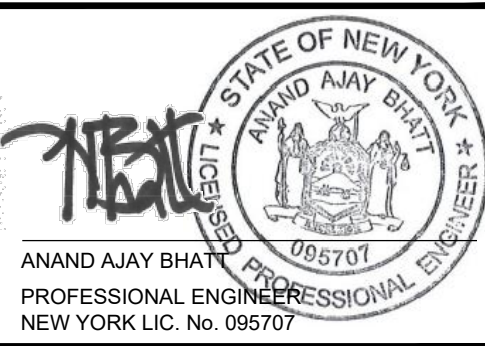
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Project
**ORANGEBURG
COMMONS**

TOWN OF ORANGEBURG
ROCKLAND COUNTY NEW YORK

Drawing Title

LIGHTING PLAN

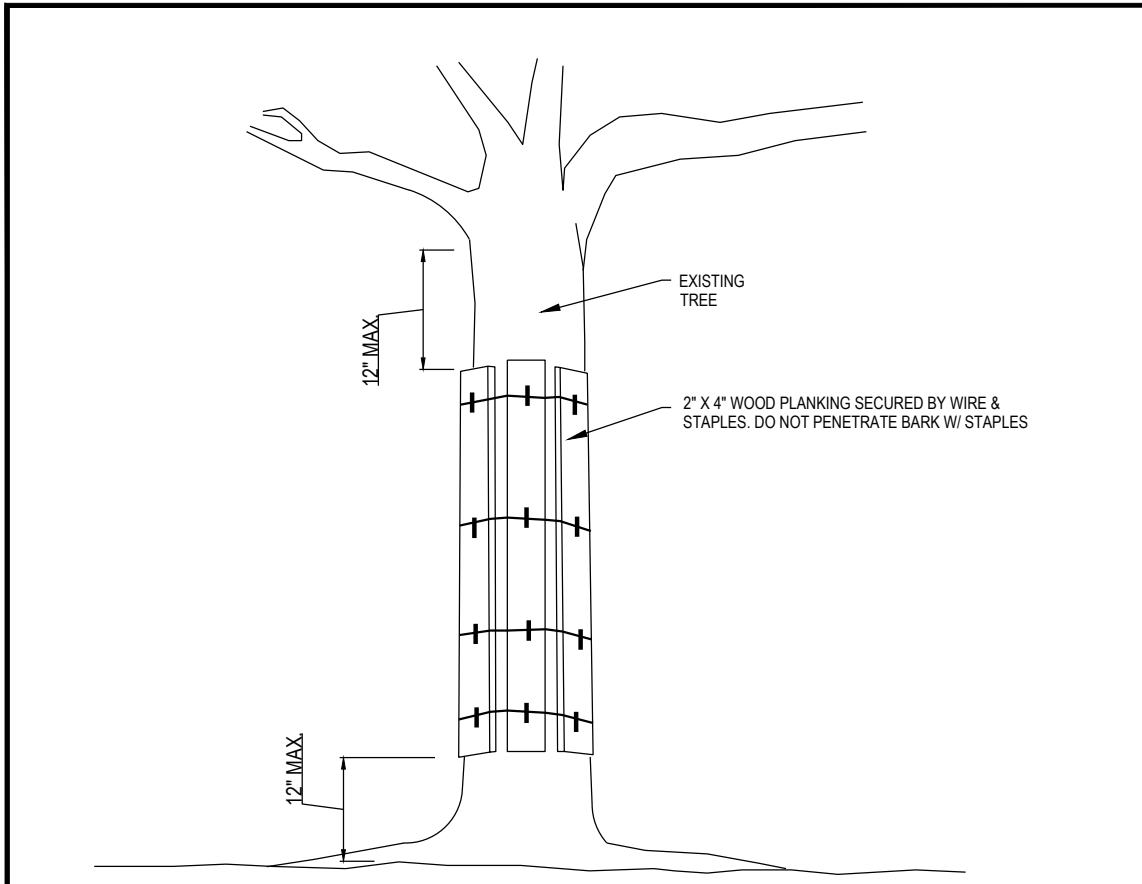


DATE	COMMENTS	NO.
REVISIONS		
Project No.	230002801	
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Drawn By	JEM	
Checked By	AB	
Drawing No.	LT-100	

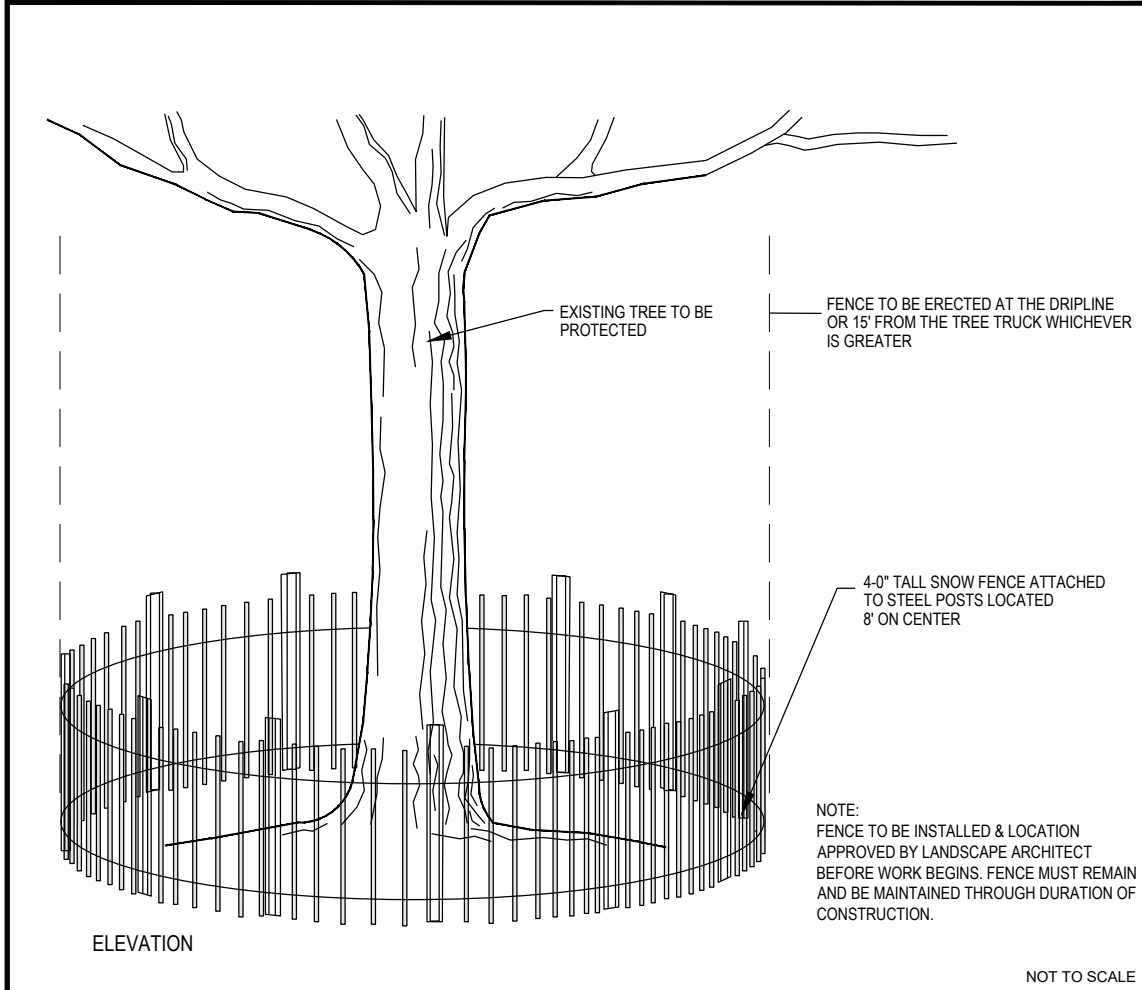
Symbol	Qty	Label	LLF	Arrangement	Description	Watts	MTG HT
■	3	E1	0.950	Single	NV-1-T4-64L-1-50K-SINGLE	205	18
■	1	E2	0.950	2 @ 90 degrees	NV-1-T4-64L-1-50K-Q90°	205	18
■	1	E2A	0.950	Back-Back	NV-1-T5-64L-1-50K-TWIN	205	18
■	2	E4	0.950	4 @ 90 Degrees	NV-1-T5-64L-1-50K-QUAD	205	18
■	2	E4A	0.540	4 @ 90 Degrees	LSI GREENBRIAR GFR-V-400-EXTIST-QUAD	452	18
■	15	WM	0.950	Single	NV-W2-T4-64L-S3-50K7	99	12

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE CALCS	Illuminance	Fc	4.17	27.3	0.0	N.A.	N.A.
PARKING	Illuminance	Fc	10.03	23.7	5.3	1.89	4.47
PICK-UP LANE	Illuminance	Fc	9.96	15.3	5.7	1.75	2.68

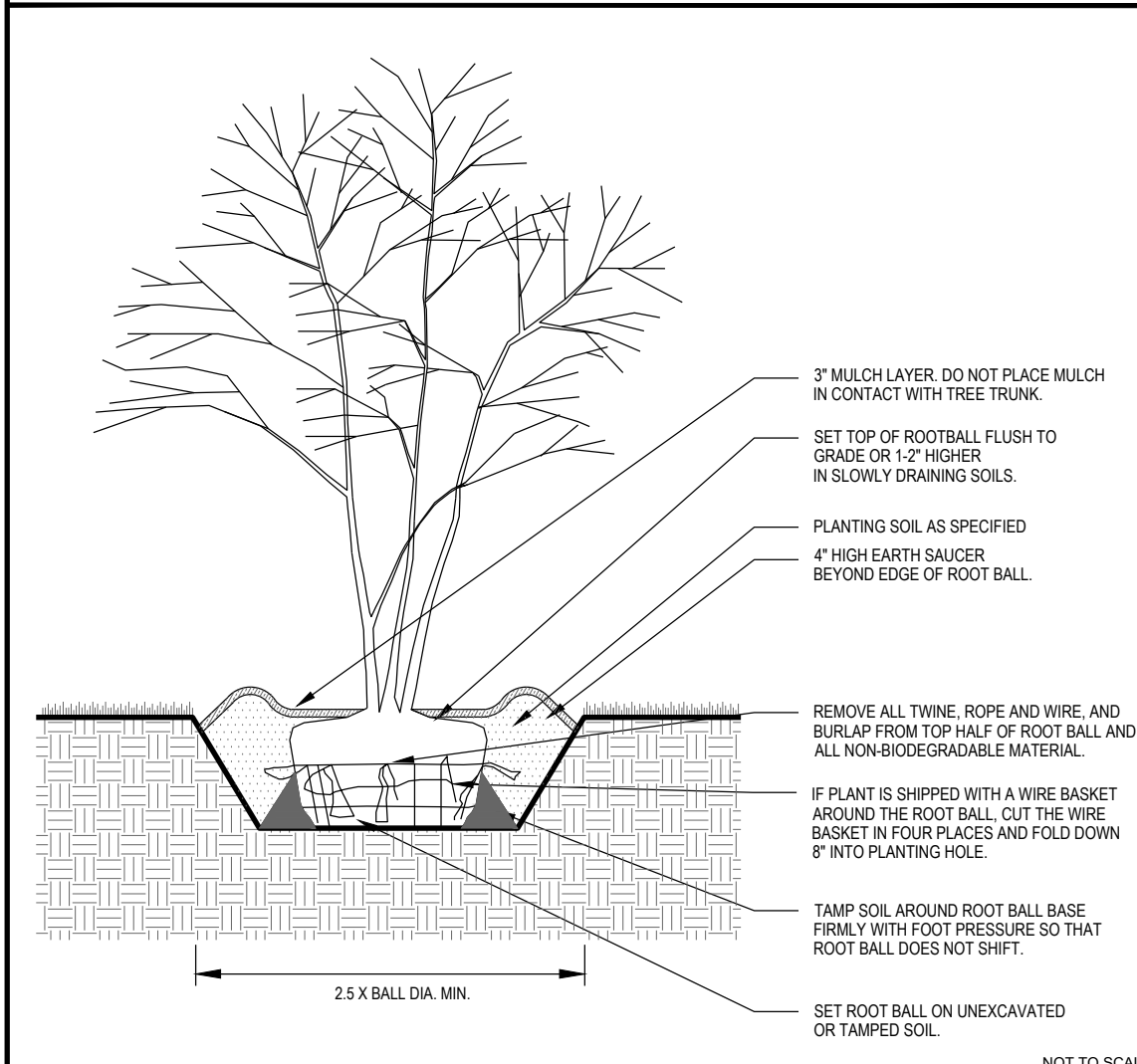
EXISTING SYMBOLS & LINES	PROPOSED SYMBOLS & LINES
--- SANITARY LINE	--- SITE
--- GAS LINE	--- FENCE
--- WATER LINE	--- FENCING
--- ELECTRIC LINE	--- CURB LINE
--- CABLE TV	--- DRIVEWAY
--- FENCE (PER AS NOTED)	--- DRIVEWAY
--- TRAIL	--- DRIVEWAY
--- PROPERTY BOUNDARY OF ADJ. PROP.	--- DRIVEWAY
--- CONDUIT LINE	--- DRIVEWAY
--- HOUSING	--- DRIVEWAY
--- STREET LIGHT	--- DRIVEWAY
--- SIGNAL POLE	--- DRIVEWAY
--- ANCHOR POLE	--- DRIVEWAY
--- WATER VALVE	--- DRIVEWAY
--- GAS VALVE	--- DRIVEWAY
--- UNKNOWN VALVE	--- DRIVEWAY
--- GUY WIRE	--- DRIVEWAY
--- PROF. ELEVATION	--- DRIVEWAY
--- CLEAR OUT	--- DRIVEWAY
--- TREE	--- DRIVEWAY
--- BRUSH MARK	--- DRIVEWAY
--- SIGN	--- DRIVEWAY
--- SOLID LINE	--- DRIVEWAY
--- DOTTED LINE	--- DRIVEWAY
--- ELECTRIC BOX	--- DRIVEWAY
--- DOUBLE DOOR	--- DRIVEWAY
--- SINGLE DOOR	--- DRIVEWAY
--- EXISTING TREE	--- DRIVEWAY
--- PROPOSED ELECTRICAL SYMBOLS	--- DRIVEWAY



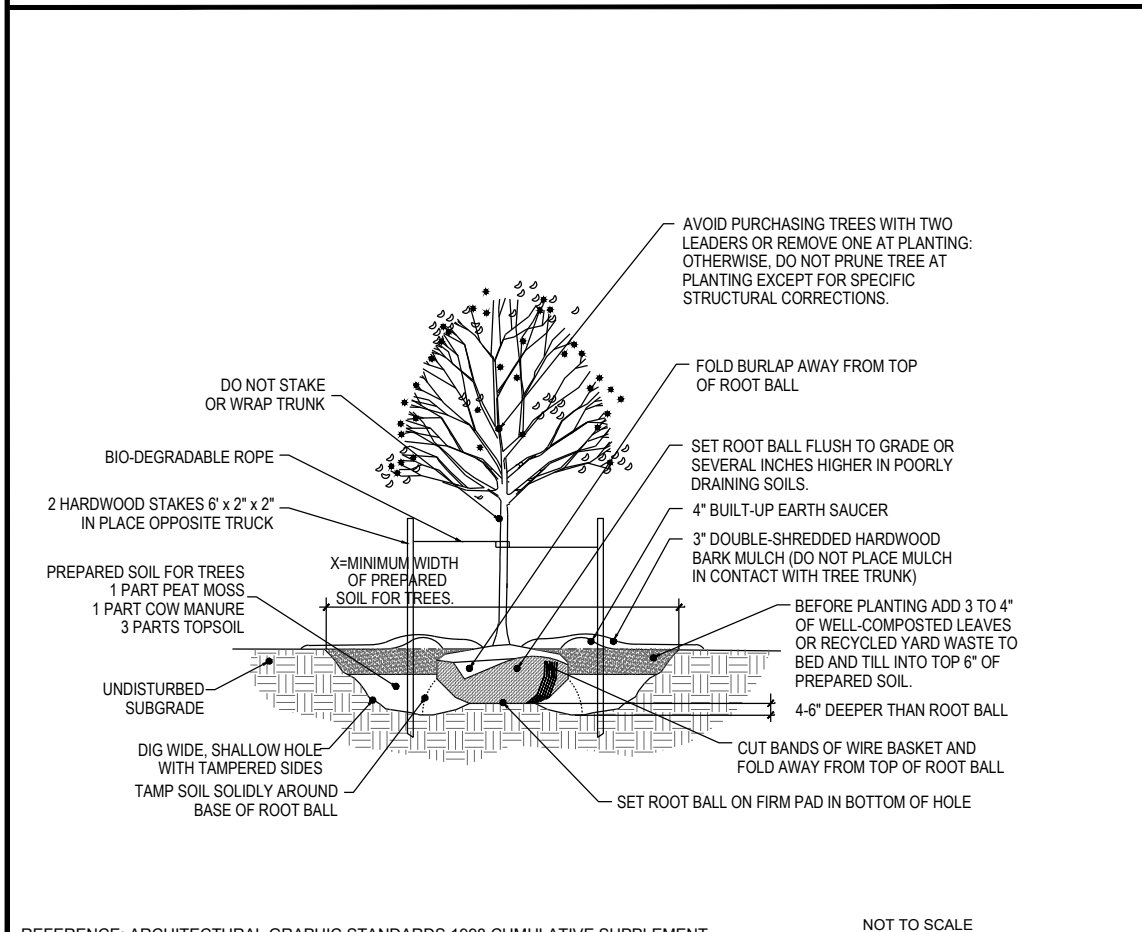
TREE PROTECTION PLANKING



TREE PROTECTION FENCING



MULTI-STEM TREE PLANTING



DECIDUOUS TREE PLANTING DETAIL

PLANTING SPECIFICATIONS:

- SCOPE OF WORK**
 - THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- MATERIALS**
 - GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE NYSDOT MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (1998) OR APPROVED EQUAL.
 - PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
 - TOPSOIL - LOAMY SILT, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, PH RANGE BETWEEN 4.5 - 7.0, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLUMPS.
 - MULCH - DOUBLE SHREDDED HARDWOOD BARK MULCH.
- FERTILIZER AND SOIL CONDITIONER**
 - ORGANIC FERTILIZER - SHALL BE PROCESSED SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO NITROGENS.
 - ORGANIC FERTILIZER AND SOIL CONDITIONER - SHALL BE GRO-POWER AND ORGANIC BASE MATERIALS COMPOSED OF DICOMPOSTED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY, ANIMAL OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1) NITROGEN 5%, PHOSPHATE 3%, POTASH 1%, 50% HUMUS AND 15% HUMIC ACIDS.
- GENERAL WORK PROCEDURES**
 - LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAYS WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEEP CLEAN AT THE END OF EACH DAYS WORK.
- WEEDING**
 - BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTORS EXPENSE.
- TOPSAILING**
 - CONTRACTOR TO PROVIDE FOUR INCHES (4") MINIMUM THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A FOUR INCH (4") COMPACTED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL, UTILIZED IN ALL PLANTING AREAS. ADJUST PH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM.
- SOIL CONDITIONING**
 - CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTORS EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1000 SQ. FT.: 100 POUNDS 1000-KNIFE™ 100 POUNDS AGRICULTURAL GYPSUM 20 POUNDS NITROFORM (COURSE) 30-0-0 BLUE CHIP SOIL MODIFICATIONS THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6" TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOILS ABILITY TO RETAIN WATER AND NUTRIENTS. USE COMPOSTED BARK, RECYCLED YARD WASTE, PEAT MOSS, OR MUNICIPAL PROCESSED SEWAGE SLUDGE. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. RECYCLED MATERIAL BY THE SUPPLIER, AVOID MATERIAL WITH A PH HIGHER THAN 7.5. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM (SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 80% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES. MODIFY EXTREMELY SANDY SOILS (MORE THAN 80% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- PLANTING POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.**
 - PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
 - 1 PART PEAT MOSS
 - 1 PART COW MANURE BY VOLUME
 - 3 PARTS TOPSOIL BY VOLUME
 - PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT, FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY.
 - ALL PLANTS SHALL BE SET SO THAT THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPORTED.
 - PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE.
 - WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
 - PRUNE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MIN. OF 7" BRANCHING HEIGHT.
- GROUND COVER**
 - ALL GROUND COVER AREAS SHALL RECEIVE A 1" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
 - SPACING AND VARIETY OF PLANTING GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
 - IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
 - ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURERS RECOMMENDATION.
- FINISH GRADING**
 - ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUSMINUS .1 FOOT OF FINISH GRADE.
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- GUARANTEE**
 - CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF EIGHTEEN (18) MONTHS FROM THE DATE OF COMPLETION OF JOB BY THE CITY OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNERS REPRESENTATIVE.
- CLEANUP**
 - UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNERS AUTHORIZED REPRESENTATIVE. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGROUNDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF EROSION OR BARE AREAS.
- MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INTIAL 90-DAY MAINTENANCE PERIOD.**

LAWN SEEDING NOTES

- LAWN AREAS - AREAS DESIGNATED AS LAWN, OR DISTURBED AREAS NOT DESIGNATED FOR ANY OTHER PLANTING SHALL BE PERMANENTLY STABILIZED BY SEEDING WITH THE FOLLOWING SEED MIXTURE AT A RATE OF 200 POUNDS PER ACRE:
 - 50% KENTUCKY BLUEGRASS - BARON MIX 25% RED FESCUE - PENNLAWN
 - 20% CHAMPION PERENNIAL RYE
 - 5% ANNUAL RYEGRASS
 SEEDING DATES FOR THIS MIXTURE SHALL BE APRIL 1 TO JUNE 1 OR SEPTEMBER 1 TO OCTOBER 30.
- SOIL PREPARATION, SEEDING, MULCHING AND MAINTENANCE SHALL BE DONE AS INDICATED IN THE CONSTRUCTION SPECIFICATIONS AND THE EROSION AND SEDIMENT POLLUTION CONTROL PLANS.

DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

Job Name: Orangeburg, NY Pad Site
 Manufacturer: NLS
 Model Number: NV-1-T4-64L-1-50K7-ASA-BLK (SINGLE)

Type: E1

Project Name: _____ Type: _____

Color	Light Dist.	# of LEDs	Milliwatts	Kelvin	Units	Mounting	Color	Options
BLK	120"	120	12000	3000K	1	TBD	BLK	

Prepared By: Vika Lighting Supply
 August 10, 2023
 Lucas DeWulf | lucas.dewulf@vikalighting.com

FIXTURE TYPE E1

Job Name: Orangeburg, NY Pad Site
 Manufacturer: NLS
 Model Number: NV-1-T5-64L-1-50K7-ASA-BLK (20180)

Type: E2A

Project Name: _____ Type: _____

Color	Light Dist.	# of LEDs	Milliwatts	Kelvin	Units	Mounting	Color	Options
BLK	120"	240	24000	3000K	20	TBD	BLK	

Prepared By: Vika Lighting Supply
 August 10, 2023
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FIXTURE TYPE E2A

Job Name: Orangeburg, NY Pad Site
 Manufacturer: NLS
 Model Number: NV-1-T4-64L-1-50K7-ASA-BLK (2090)

Type: E2

Project Name: _____ Type: _____

Color	Light Dist.	# of LEDs	Milliwatts	Kelvin	Units	Mounting	Color	Options
BLK	120"	120	12000	3000K	1	TBD	BLK	

Prepared By: Vika Lighting Supply
 August 10, 2023
 Lucas DeWulf | lucas.dewulf@vikalighting.com

FIXTURE TYPE E2

Job Name: Orangeburg, NY Pad Site
 Manufacturer: NLS
 Model Number: NV-1-T5-64L-1-50K7-ASA-BLK (4090)

Type: E4

Project Name: _____ Type: _____

Color	Light Dist.	# of LEDs	Milliwatts	Kelvin	Units	Mounting	Color	Options
BLK	120"	240	24000	3000K	20	TBD	BLK	

Prepared By: Vika Lighting Supply
 August 10, 2023
 Lucas DeWulf | lucas.dewulf@vikalighting.com

FIXTURE TYPE E4

Job Name: Orangeburg, NY Pad Site
 Manufacturer: NLS
 Model Number: NV-W2-T4-64L-53-50K7

Type: WMM

Project Name: _____ Type: _____

Color	Light Dist.	# of LEDs	Milliwatts	Kelvin	Units	Mounting	Color	Options
BLK	120"	120	12000	3000K	1	TBD	BLK	

Prepared By: Vika Lighting Supply
 August 10, 2023
 Lucas DeWulf | lucas.dewulf@vikalighting.com

FIXTURE TYPE WMM

Job Name: Orangeburg, NY Pad Site
 Manufacturer: NLS
 Model Number: NV-W2-T4-64L-53-50K7

Type: WMM

Project Name: _____ Type: _____

Color	Light Dist.	# of LEDs	Milliwatts	Kelvin	Units	Mounting	Color	Options
BLK	120"	120	12000	3000K	1	TBD	BLK	

Prepared By: Vika Lighting Supply
 August 10, 2023
 Lucas DeWulf | lucas.dewulf@vikalighting.com

FIXTURE TYPE WMM

Job Name: Orangeburg, NY Pad Site
 Manufacturer: NLS
 Model Number: NV-1-T4-64L-1-50K7-ASA-BLK (SINGLE)

Type: E1

PRODUCT SPECIFICATIONS

GENERAL: NV-1 (2018) is a high performance LED street lighting fixture designed for use in residential, commercial, and industrial applications. It features a sleek, modern design and is available in multiple color options.

CONSTRUCTION: The fixture is constructed from high-quality materials, including a die-cast aluminum housing and a polycarbonate lens. It is designed to be weather-resistant and durable.

FEATURES: The fixture includes a built-in emergency battery backup (EMBB) and a motion sensor. It is also compatible with smart lighting systems.

INSTALLATION: The fixture is designed for easy installation and is compatible with standard mounting brackets. It is available in single and double end configurations.

WARRANTY: The fixture is covered by a 5-year warranty against manufacturer defects.

CONTACT: For more information, please contact Vika Lighting Supply at 331 Kingsport Plaza, Corona, CA 92618.

FIXTURE TYPE E1

Job Name: Orangeburg, NY Pad Site
 Manufacturer: NLS
 Model Number: NV-1-T4-64L-1-50K7-ASA-BLK (SINGLE)

Type: E1

PRODUCT SPECIFICATIONS

GENERAL: NV-1 (2018) is a high performance LED street lighting fixture designed for use in residential, commercial, and industrial applications. It features a sleek, modern design and is available in multiple color options.

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WARRANTY: The fixture is covered by a 5-year warranty against manufacturer defects.

CONTACT: For more information, please contact Vika Lighting Supply at 331 Kingsport Plaza, Corona, CA 92618.

FIXTURE TYPE E1

Job Name: Orangeburg, NY Pad Site
 Manufacturer: NLS
 Model Number: NV-W2-T4-64L-53-50K7

Type: WMM

MOTION SENSOR PLACEMENT

CONSTRUCTION: The fixture is constructed from high-quality materials, including a die-cast aluminum housing and a polycarbonate lens. It is designed to be weather-resistant and durable.

FEATURES: The fixture includes a built-in emergency battery backup (EMBB) and a motion sensor. It is also compatible with smart lighting systems.

INSTALLATION: The fixture is designed for easy installation and is compatible with standard mounting brackets. It is available in single and double end configurations.

WARRANTY: The fixture is covered by a 5-year warranty against manufacturer defects.

CONTACT: For more information, please contact Vika Lighting Supply at 331 Kingsport Plaza, Corona, CA 92618.

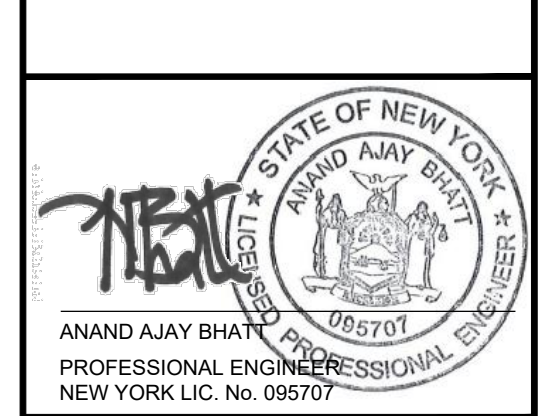
FIXTURE TYPE WMM

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ORANGEBURG COMMONS

TOWN OF ORANGEBURG
 ROCKLAND COUNTY NEW YORK

LANDSCAPE AND LIGHTING DETAILS



ANAND AJAY BHATT
 PROFESSIONAL ENGINEER
 NEW YORK LIC. NO. 09570

DATE	COMMENTS	NO.
REVISIONS		
Project No.	230002801	
Date	AUGUST 17, 2023	
Scale	NOT TO SCALE	
Drawn By	JEM	
Checked By	AB	
Drawing No.	LP-501	