

8/29

ZONING BOARD OF APPEALS

Town of Orangetown  
20 Greenbush Road  
Orangeburg, New York 10962  
(914) 359-8410 (ex. 4331)

Date: August 15, 2023

TO: OBAPAE

- Environmental Management and Engineering
- ✓ Rockland County Sewer District #1
- New York State Dept. of Transportation
- Palisades Interstate Park Commission
- Orange and Rockland Utilities
- Orangetown Highway

- Rockland County Drainage ✓
- Rockland County Health ✓
- Rockland County Planning ✓
- Rockland County Highway ✓

Review of Plans: East Coast BLR Site Plan, 11 Kings Highway, Orangeburg, NY  
Section 74.11 Block 2 Lot 4 LIO zone

This matter is scheduled for: **October 4, 2023**

Chapter 43, Section 3.11, LIO District, Column 7 Additional Use Regulations: #2 same as LO, Column 7, #2 (All accessory off-street loading berths shall be within completely enclosed buildings : 3 loading berths required, 1 existing with 3 additional proposed; all outdoor loading berths); and from Section 3.12, LIO District, Column 9 (Side Yard: 100' required, 30.25' proposed) and Column 10 ( Total Side Yard: 200' required, 57.4' proposed) for an addition to an existing building.

Please review the information enclosed and provide comments. These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: [darbolino@orangetown.com](mailto:darbolino@orangetown.com) or
- Fax to the Town of Orangetown ZBA @845 359 8526

**Zoning Board Meeting Date: October 4, 2023**

- ( ) Comments attached
- ( ) No Comments at this time. Please send future correspondence for review.
- ( ) No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- ( ) This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, October 4, 2023**. **Kindly forward your completed review to this office by October 4, 2023.**

Reviewing Agency \_\_\_\_\_

Name \_\_\_\_\_ date: \_\_\_\_\_

Signature: \_\_\_\_\_

Thank you, Deborah Arbolino



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN  
20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**ZONING BOARD OF APPEALS**

Date: August 24, 2023

Applicant: East Coast BLR Site Plan

Address: 11 Kings Highway, Orangeburg, NY

Section: 74.11

Block: 2

Lot: 4 LIO zone

Permit# BLDC-2053-22

Plans Submitted: East Coast BLR 1993 LLC dated May 2, 2023 signed sealed by Bart Rodi

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Project Name: East Coast BLR LLC

Date of Submittal to Land Use Board: \_\_\_\_\_

Date of Board Meeting: TBD

Sincerely,

Debbie Arbolino

Administrative Aide

RECEIVED

AUG 24 2023

TOWN OF ORANGETOWN  
BUILDING DEPARTMENT

Date/Initial of OBZPAE Review Completed: 8/25/23 

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: AUG 24 2023

AUG 24 2023

Please check all that apply:

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: \_\_\_\_\_  
 ASSIGNED \_\_\_\_\_  
 INSPECTOR: \_\_\_\_\_

Referred from Planning Board: YES / NO  
 if yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: BUILDING EXPANSION

Street Address: 11 KING HWY  
ORANGETOWN N.Y.

Tax Map Designation:

Section: 174.11 Block: 2 Lot(s): 4  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

Directional Location:

On the EAST side of KING HWY, approximately 200' feet EAST of the intersection of RT 303, in the Town of ORANGETOWN in the hamlet/village of ORANGETOWN.

Acreage of Parcel 4.455 Zoning District L10  
School District S. ORANGETOWN Postal District ORANGETOWN  
Ambulance District \_\_\_\_\_ Fire District ORANGETOWN  
Water District Veolia Sewer District ORANGETOWN

Project Description: (If additional space required, please attach a narrative summary.)

\* BUILDING EXPANSION AT THE SOUTH  
WEST SIDE OF THE BUILDING

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 8-29-23 Applicant's Signature: TNY

**APPLICATION REVIEW FORM**

**FILL IN WHERE APPLICABLE.**

**( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )**

**If subdivision:**

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

**If site plan:**

- 1) Existing square footage 194,060
- 2) Total square footage 194,061
- 3) Number of dwelling units 1

**If special permit,** list special permit use and what the property will be used for.

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**Environmental Constraints:**

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area NO

Are there streams on the site? If yes, please provide the names. NO

Are there wetlands on the site? If yes, please provide the names and type:

NO

**Project History:**

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

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List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

NONE

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**BART M. RODI, P.E.**  
**234 South Grant Avenue**  
**Congers, N.Y. 10920**  
**845-268-6663**

May 12, 2023

Town of Orangetown  
Zoning Board  
20 Greenbush Road  
Orangeburg, New York 10962  
Attn: Ms. Debbie Arbolino

Re: East Coast BLR 1993 LLC, 11 Kings Highway, Orangeburg, N.Y. Tax lot 74.11-2-4

Dear Ms. Arbolino,

This letter is to address the loading berths for the above referenced project. I did not put the calculation on the site plan.

6.4 Required off-street loading berths, 6.41, a, 1 for first 10,000 square feet and 1 for each additional 20,000 square feet.

The existing building contain 1 loading berth

The addition will be 21,105 square feet. This would require 2 new loading berths. The proposed project is to install 3 new loading berths.

If you have any questions, feel free to call me.

Respectfully,

Bart M. Rodi, P.E.





OFFICE OF BUILDING, ZONING, PLANNING  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN  
20 GREENBUSH ROAD  
ORANGETOWN, N.Y. 10962

Jane Slavin, RA  
Director

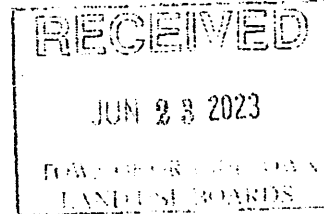
(845) 359-8410

Fax: (845) 359-8526

Date: June 21, 2023

To: Planning Board

From: Jane Slavin, RA.,  
Director O.B.Z.P.A.E.



Subject: **East Coast BLR Site Plan**  
Prepreliminary/ Preliminary/ Site Plan  
and SEQRA Review  
11 Kings Highway, Orangeburg  
74.11-2-4; LIO

PB #23-07

Submission Reviewed:

Site plan package as prepared by Bart E. Rodi, Engineer, last revised 5-2-2023.

- 1) The property lines and the required setback lines should be more clearly delineated with thicker line weights.
- 2) Per Chapter 43, Table 3.11, column 4, Conditional Uses by Planning Board, number 4, "Light Manufacturing uses, subject to performance standards procedure, 4.12." IUC review and approval is required.
- 3) Per Chapter 43, the following variances are required;
  - a. Table 3.11, LIO District, Column 7, Additional Use Regulations; #2, same as LO, Column 7, #2 "all accessory off-street loading berths shall be within completely enclosed buildings, and in addition:"
  - b. Table 3.12, LIO district, Column 9, side yard required is 100' with 30.25' proposed
  - c. Table 3.12, LIO district, Column 10, total side yard required is 200' with 57.4' proposed.
- 4) Per Chapter 43, table 3.11, LIO District, Column 7, #3, "No parking is permitted in any required yard, unless permitted by any board or town agency having jurisdiction. This permission may be given at the time of site review..." Parking is proposed in the south required side yard.

- 5) Applicant must advise as to the hours of operation and trucking. Per column 7, additional use regulations; #2 (c) "no shipping or received of goods shall be carried on between 11 pm and 6 am..." and R-80 Column 7, #10, "No trucking movement of any kind shall be permitted in any district between the hours of 11 pm and 6 am, prevailing time, unless permission has been granted by the Zoning Board of Appeals.
- 6) Per Chapter 43, Article VI, Section 6.34, Size of spaces and aisle width. "Aisle width shall not be less than 22' for 90 Degree parking with 20' proposed. Plans must be revised to meet code.
- 7) Calculations must be provide for the required number of loading docks.
- 8) ACABOR review and approval is required.
- 9) The SEAF must be revised as follows:
  - Number 12b should be YES
  - Number 13a should be YES
  - Number 20 should be YES and list C344078, V00579 AND V00343.

**PB #23-07: East Coast BLR Site Plan      Permit #BLDC-2053-22**  
**Preliminary Site Plan Approval Subject to Conditions**  
**Neg. Dec.**

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**June 28, 2023**  
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**TO:      Bart Rodi, 234 South Grant Ave., Congers, New York 10920**  
**FROM:   Orangetown Planning Board**

**RE:    East Coast BLR Site Plan:** The application of Thota Nagaraja, applicant, for East Coast BLR, LLC, owner, for review of a site plan to be known as “**East Coast BLR Site Plan**”, in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the Code of the Town of Orangetown and to determine the environmental significance of the application pursuant to the requirements of the New York State Environmental Quality Review Act. The site is located at 11 Kings Highway, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.11, Block 2, Lot 4 in the LIO zoning district.

Heard by the Planning Board of the Town of Orangetown at a meeting held **February 8 and June 28, 2023** at which time the Board made the following determinations:

**February 8, 2023**

Bart Rodi appeared and testified before the Board.

The Board received the following communications:

1. Project Review Committee Reports dated January 25, 2023.
2. Interdepartmental memorandums from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, from Jane Slavin, Director, Deputy Building Inspector dated January 27, 2023.
3. An interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, P.E. dated February 6, 2023.
4. An interdepartmental memorandum from the Fire Prevention Bureau, Town of Orangetown, signed by David Majewski, dated January 24, 2023, 2022.
5. Letter from Brooker Engineering, signed by Kenneth DeGennaro, PE, dated February 8, 2023.
6. Site Plan prepared by Bart Rodi, PE, last revision date of December 27, 2022.
7. Letter and Notice from Rockland County Department of Planning, signed by Douglas Schuetz, Acting Commissioner of Planning dated January 26, 2023 and from Jake Palant, dated January 6, 2023.
8. Letter and Notice from Rockland County Department of Health, signed by Elizabeth Mello, P.E., Senior Public Health Engineer dated January 11, 2023.
9. Notice from the Rockland County Department of Highways, signed by Dyan Rajasingham, Engineer II dated January 12, 2023.
10. Letter from Rockland County Sewer District No. 1, signed by Joseph LaFiandra, dated January 20, 2023.
11. Notices from the Town of Orangetown Zoning Board of Appeals, signed by Patricia Castelli, Acting Chairman, dated January 4, 2023.

TOWN CLERK'S OFFICE  
2023 JUL 18 P 2:04  
TOWN OF ORANGETOWN



**PB #23-07: East Coast BLR Site Plan      Permit #BLDC-2053-22**  
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12. Email from Orange and Rockland Utilities, from Alfred Gaddi, PE, dated January 3, 2023.
13. Short Environmental Assessment Form, unsigned and dated.

**The Board reviewed the plans. The hearing was then opened to the Public.**

A motion was made to open the Public Hearing portion of the meeting by Denise Lenihan and second by Andrew Andrews and carried as follows: Thomas Warren – Chairman, absent; Denise Lenihan, aye; Michael Mandel-Vice Chairman, aye; Kevin Farry, aye; Michael McCrory, aye; Lisa DeFeciani, aye; Tara Heidger, (alternate member), absent; and Andrew Andrews, aye.

There being no one to be heard from the Public, a motion was made by Kevin Farry and seconded by Andrew Andrews and carried as follows: Thomas Warren – Chairman, absent; Denise Lenihan, aye; Michael Mandel-Vice-Chairman, aye; Kevin Farry, aye; Michael McCrory, aye; Lisa DeFeciani, aye; Tara Heidger, (alternate member), absent; and Andrew Andrews, aye.

The applicant requested a **CONTINUATION**.

**June 28, 2023**

Bart Rodi appeared and testified before the Board.

The Board received the following communications:

1. Project Review Committee Reports dated June 14, 2023.
2. Interdepartmental memorandums from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, from Jane Slavin, Director, Deputy Building Inspector dated June 21, 2023.
3. Interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, PE., dated June 23, 2023.
4. Interdepartmental memorandum from the Bureau of Fire Prevention, Town of Orangetown, signed by David Majewski, Chief Fire Inspector, dated May 26, 2023.
5. Letter from Brooker Engineering, signed by Kenneth DeGennaro, PE, dated June 21, 2023.
6. Letter from Rockland County Department of Planning, signed by Douglas Schuetz, Acting Commissioner, dated June 5, 2023.
7. Letter from Rockland County Sewer District No. 1, signed by Rory Tinston, Engineer I, dated June 22, 2023.
8. Letter from Rockland County Drainage Agency, signed by Liron Derguti, Engineer I, dated June 12, 2023.
9. Plans prepared by Bart Rodi, PE, dated May 2, 2023.

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10. Copy of Hydraflow for East Coast, prepared by Bart Rodi, dated March 14, 2023.
  11. Short Environmental Assessment Form dated June 23, 2023, signed by Bart Rodi, PE.
  12. Letter signed by Bart Rodi, PE, dated May 12, 2023.
- The Board reviewed the submitted information. The hearing was open to the Public.

A motion was made to open the Public Hearing portion of the meeting by Michael Mandel and second by Andrew Andrews and carried as follows: Thomas Warren – Chairman, aye; Denise Lenihan, aye; Michael Mandel-Vice Chairman, aye; Kevin Farry, aye; Michael McCrory, aye; Lisa DeFeciani, aye; Tara Heidger, (alternate member), not voting; and Andrew Andrews, aye.

**Public Comments:**

Agatha Lorenzo, 130 East Carrol Street, Pearl River, raised concerns regarding the loss of trees.

There being no one else to be heard from the Public, a motion was made by Michael Mandel, Vice Chairman and seconded by Denise Lenihan and carried as follows: Thomas Warren – Chairman, aye; Denise Lenihan, aye; Michael Mandel, Vice-Chairman, aye; Kevin Farry, aye; Michael McCrory, aye; Lisa DeFeciani, aye; Tara Heidger, (alternate member), not voting; and Andrew Andrews, aye.

**SEQRA**

The proposed action is classified as an "unlisted action" as defined by Section 617.2 (a) of the New York State Environmental Quality Review Regulations (SEQRR). No agency, other than the Orangetown Planning Board will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRA.

On motion by Michael Mandel-Vice Chairman and seconded by Andrew Andrews and carried as follows: Thomas Warren – Chairman, aye; Denise Lenihan, aye; Michael Mandel-Vice Chairman, aye; Kevin Farry, aye; Michael McCrory, aye; Lisa DeFeciani, aye; Tara Heidger (alternate member), not voting, and Andrew Andrews, aye; the Board declared itself Lead Agency.

Pursuant to New York Code, Rules & Regulations (NYCRR) Section 617.7, the Town of Orangetown Planning Board, as lead agency, for the reasons articulated in this Board's analysis of all of the submissions by the applicant, interested agencies, departments and the public, with respect to this project including the Environmental Assessment Form, which reasons are summarized in the motion, hereby determines that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared.

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**Town of Orangetown Planning Board Decision**  
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After having identified the relevant areas of environmental concern, namely drainage, surface water runoff, land clearing, vegetation, fauna, traffic and noise levels, and after having taken a hard look at said environmental issues, and after having deliberated regarding such concerns, and having heard from the applicant, and the applicant's consultant and having heard from the following offices, officials and/or Departments: (Town of Orangetown): Office of Building, Zoning, Planning Administration and Enforcement and Department of Environmental Management and Engineering; and having heard from the following involved and interested agencies: Town of Orangetown Zoning Board of Appeals, Rockland County Department of Health, Rockland County Department of Highways, Rockland County Planning Department, Rockland County Sewer District #1, and having reviewed the drawings presented by the applicant's professional consultants; a summary of the reasons supporting this determination are, and the Planning Board finds that the proposed action:

- Will not significantly affect existing air quality or noise levels;
- Will not significantly affect existing surface water quality or quantity or drainage;
- Will not significantly affect existing ground water quality or quantity;
- Will not significantly affect existing traffic levels;
- Will not create a substantial increase in solid waste production;
- Will not create a potential for erosion, flooding, leaching or drainage problems;
- Will not have a significant adverse impact on the environmental characteristics of the critical environmental area or environmentally sensitive sites or features;
- Will not have an impairment of the character or quality of important historical, archeological or architectural resources;
- Will not have an impairment of the character or quality of important aesthetic resources;
- Will not have an impairment of existing community or neighborhood character;
- Will not remove or destroy large quantities of vegetation or fauna;
- Will not remove or destroy large quantities of wildlife species or migratory fish;
- Will not have a significant adverse impact to natural resources;
- Is consistent with the Town of Orangetown Comprehensive/Master Plan;
- Will not have adverse economic or social impacts upon the Town;
- Will not create a hazard to human health; and
- Will not create a substantial change in the use of land, open space or recreational resources.

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**PB #23-07: East Coast BLR Site Plan      Permit #BLDC-2053-22**  
**Preliminary Site Plan Approval Subject to Conditions**  
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On motion by Michael Mandel-Vice Chairman and seconded by Michael McCrory and carried as follows: Thomas Warren – Chairman, aye; Denise Lenihan, aye; Michael Mandel-Vice Chairman, aye; Kevin Farry, aye; Michael McCrory, aye; Lisa DeFeciani, aye; Tarra Heidger (alternate member), not voting, and Andrew Andrews, aye; the Board made a Negative Declaration pursuant to SEQRA.

**DECISION:** In view of the foregoing and the testimony before the Board, the application was granted **Preliminary Site Plan Approval Subject to the Following Conditions:**

1. The following note shall be placed on the Site Plan: "At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a pre-construction meeting must be held with the Town of Orangetown Department of Environmental Management and Engineering, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility and obligation of the property owner to arrange such a meeting."
2. The following note shall be placed on the Site Plan regarding Stormwater Management Phase II Regulations: Additional certification, by an appropriate licensed or certified design professional shall be required for all matters before the Planning Board indicating that the drawings and project are in compliance with the Stormwater Management Phase II Regulations.
3. All outdoor construction activities, including site clearing operations if applicable, shall take place between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday. No such activities shall take place on Sunday or a legal holiday. The same criteria shall apply to indoor construction activities, except that such activities may take place between the hours of 7:00 a.m. and 10:00 p.m.
4. The property lines and the required setback lines should be more clearly delineated with thicker line weights.
5. Per Chapter 43, Table 3.11, column 4, Conditional Uses by Planning Board, number 4, "Light Manufacturing uses, subject to performance standards procedure, 4.12." IUC review and approval is required.
  - a. Table 3.11, LIO District, Column 7, Additional Use Regulations; #2, same as LO, Column 7, #2 "all accessory off-street loading berths shall be within completely enclosed buildings, and in addition:"
  - b. Table 3.12, LIO district, Column 9, side yard required is 100' with 30.25' proposed
  - c. Table 3.12, LIO district, Column 10, total side yard required is 200' with 57.4' proposed.

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6. Per Chapter 43, table 3.11, LIO District, Column 7, #3, "No parking is permitted in any required yard, unless permitted by any board or town agency having jurisdiction. This permission may be given at the time of site review..." Parking is proposed in the south required side yard.

7. Applicant must advise as to the hours of operation and trucking. Per column 7, additional use regulations; #2 (c) "no shipping or received of goods shall be carried on between 11 pm and 6 am..." and R-80 Column 7, #10, "No trucking movement of any kind shall be permitted in any district between the hours of 11 pm and 6 am, prevailing time, unless permission has been granted by the Zoning Board of Appeals.

8. Per Chapter 43, Article VI, Section 6.34, Size of spaces and aisle width. "Aisle width shall not be less than 22' for 90 Degree parking with 20' proposed. Plans must be revised to meet code.

9. Calculations must be provided for the required number of loading docks.

10. The application shall be reviewed and approved by the Town of Orangetown Architecture and Community Appearance Board of Review (ACABOR.) A Full Landscape plan must be submitted, noting which trees are to be removed with an "X" and all new plantings.

11. The Short Environmental Assessment Form (SEAF) must be revised as follows:

Number 12b shall be YES

Number 13a shall be YES

Number 20 shall be YES and list C344078, V00579 AND V00343.

12. 1. A full SWPPP, with drainage calculations, with zero net increase in runoff up to the 100 yr. storm, prepared and sealed by a NYS Licensed Professional Engineer, in compliance with the *NYS Stormwater Management Design Manual (NYS - SMDM)*, the *NYS SPDES General Permit for Stormwater Discharges from Construction Activities (SPDES GP-0-20-001)*, the *NYS Standards and Specifications for Erosion and Sediment Control ("Blue Book")* and *Town of Orangetown Town Code (Chapters 30C & 30D)*, shall be submitted to DEME for review and approval. Because this site is a re-development site, not only must the stormwater improvements be design to meet the Green Infrastructure/ Water Quality/ Water Quantity standards spelled out in Chapter 5 of the manual, but also the re-development requirements outlined in Chapter 9. All approved (as per the design manual) practices proposed for the site must be clearly identified and described (i.e. how do the practices meet the required goals – Green Infrastructure/ Water Quality/ Water Quantity/ Re-Development) in both the narrative portion of the SWPPP, but also designed and sized in the drainage calculations section of the SWPPP.

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**13.** Soil analysis, perc tests and determination of groundwater elevations shall be performed at all of the of the proposed subsurface detention system locations. These tests/ investigations shall be performed in the spring or fall when the ground water table is typically at its highest. These tests shall be performed **PRIOR** to this proposal receiving **Final Approval** to ensure the adequacy of the design. The information/ test results/ elevations shall be added and incorporated into the drainage calculations. DEME shall be notified at least 48 hours in advance of these field tests/ investigations. Copies of all correspondence related to this issue shall be submitted to DEME.

**14.** The plans depict a rectangular above ground stormwater management facility, with multiple contributing drainage pipes entering the basin at varying location. The shape and structural layout of the proposed basin does not meet the design standards set forth in the NYS-SMDM. The basin sized and designed in accordance with the required design calculations and the NYS-SMDM

**15.** A "blow-up" of the proposed stormwater basin shall be provided on the drawings. Cross-sections, storage volume for given design storms and elevations, 25-foot pond buffer, 12-foot-wide stabilized maintenance path (that reach the forebay/ main pool/outlet structure/ emergency spillway, flared end inlets, etc.), outlet structure, pond drain valve, permanent sediment depth marker with detail, plantings (if utilized for water quality control), emergency overflow spillway with elevations, etc.

**16.** The existing Town drainage system (catch basins and piping) along Kings Highway, in front of the site access driveway, and that the existing drainage ties into, shall be shown and labeled on the plans. Top and invert elevations for all existing catch basins and storm drainage manholes (if any) shall be given on the plans.

**17.** The SWPPP/ drainage calculations shall include an analysis of the existing drainage ditch and Town drainage system that the proposed stormwater basin is tying into. The analysis shall include storms up to the 100-yr. storm.

**18.** In connection with comment #5 above, the existing drainage ditch that the existing and proposed site drainage flows to is labeled as overgrown. The SWPPP and drainage calculations shall determine what cleaning, improvements and or stream bank stabilization needs to take place in order for the ditch to safely accommodate the proposed increase in stormwater flow. This shall clearly be described in the SWPPP and show3n on the drawings.

**19.** The SWPPP and the drawings shall list (in table form – in the SWPPP) and clearly show (ion the drawings) all of the existing and proposed pervious and impervious surfaces (roof, pavement, grass, etc.) and their corresponding areas.

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**PB #23-07: East Coast BLR Site Plan      Permit #BLDC -2053-22**  
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**Neg. Dec.**

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20. The total area of disturbance (a.o.d.) shall be clearly depicted on the drawings and described, in written/ table form in the SWPPP. The applicant's engineer is reminded that the a.o.d. shall include ALL proposed work/ disturbances including all building construction, installation of new pavement, installation of grass-Crete, installation of post construction stormwater management system(s), all utility piping, relocation of transformer pad, etc.
21. It appears that none of the new paved areas are draining into the proposed stormwater basin. The drawings shall be revised to show stormwater runoff from these areas entering the basin.
22. The proposed stormwater basin shall be shown on all drawings, e.g. lighting/ landscape plan.
23. The existing and proposed drainage plans shall clearly identify the drainage areas for both plans.
24. It appears that an existing 15-inch RCP pipe is being removed to accommodate the proposed building addition. This piping shall be labeled to be removed.
25. The outlet piping from the proposed stormwater basin is depicted as crossing/ running under/ over an existing drainage line. The outlet piping/ yard drainage piping shall be redesigned so that there is only one exhaust into the existing drainage ditch.
26. The size, slope length and material for all existing and proposed stormwater drainage piping shall be added to the plans.
27. Profiles for all existing and proposed stormwater piping shall be added to the plans.
28. All existing and proposed drainage structures shall be labeled with unique ID numbers/ names.
29. The plan shall CLEARLY show, and distinguish between, the existing and proposed stormwater drainage piping.
30. Top and invert elevations for all existing and proposed stormwater facilities/ drainage structures (catch basins, outlet structure, headwalls/ piping exhaust, etc.) shall be given on the plans and profiles.
31. Proposed grading shall be shown for the new pavement area south of the building addition.

TOWN CLERK'S OFFICE  
2023 JUL 18 P 2:05  
TOWN OF ORANGETOWN

**PB #23-07: East Coast BLR Site Plan      Permit #BLDC -2053-22**  
**Preliminary Site Plan Approval Subject to Conditions**  
**Neg. Dec.**

**Town of Orangetown Planning Board Decision**  
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32. The plan shall CLEARLY show, and distinguish between, the existing and proposed grading.
33. A post construction stormwater maintenance agreement (in accordance with NYSDEC Phase II regulations) for the proposed stormwater systems shall be submitted to DEME and the Town Attorney's office for review and approval. Said agreement shall include a maintenance and management schedule, inspection check list, contact person with telephone number, yearly report to be submitted to DEME, etc.
34. A separate soil erosion and sediment control plan shall be added to the drawing set.
35. Soil erosion and sediment control features shall be shown around all existing and proposed catch basins.
36. The Soil erosion and sediment control symbols shall conform to NYSDEC standards.
37. The existing Town owned sanitary sewer system that the existing (proposed if applicable) building ties into shall be shown on the plans and along Kings Highway.
38. The existing or proposed (if applicable) sanitary building connection shall be shown on the plan, to the existing Town owned system.
39. The top and invert elevation for of all existing and proposed sanitary cleanouts shall be given on the plan
40. The size, slope, length and material for all existing and proposed sanitary building connection shall be added to the drawings
41. Sanitary calculations for the proposed site, prepared and sealed by a New York State Licensed Professional Engineer, shall be submitted to DEME for review and approval. The calculations shall include both the existing apartment building as well as the proposed addition.
42. It appears that the entrance to the site is through another property. IF an access easement exists for this site across Lot 74.11-2-1 (N/F Provident Savings Bank), it shall be show on the drawings, along with the filing information and the metes and bounds.
43. All existing and proposed ground cover surfaces shall be labeled on the plans, e.g. pavement, grass, etc.

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**44.** All drawing legends shall have unique corresponding symbols for all features shown on the plans. Also, some features shown are not defined in the legends, e.g. existing drainage piping, proposed grading, existing curbing, existing edge of pavement, etc.

**45.** Typical details shall be included with the drawings (i.e. catch basin, manhole, manhole frame cover with cover details (including Town name and date), etc.

**46.** Iron pins shall be drawn and labeled at every property corner. If no iron pin exists, a new pin shall be shown to be installed.

**47.** The datum for the contours shall be given. Also, a note shall be added to the Site Plan indicating the source benchmark for the referenced datum (including the BM elevation.)

**48.** The Town of Orangetown Bureau of Fire Prevention reviewed the submitted information and provided the following comments:

- Show Fire Lane Striping and signage,
- Show the distance from the closest hydrant to furthers portion of the building measuring along the Fire Apparatus Access Route. Greater than 600' may require an on-site fire hydrant. IFC 507.5.1 (plans cannot be scaled)

Construction plans shall include the following information:

- A key lock box if required
- Installation of a fire alarm system as per NFPA 72
- Installation of a sprinkler system as per NFPA 13
- Emergency Lighting where required

**49. Drainage Review Recommendation – Brooker Engineering**

The application has demonstrated that potential significant impacts with respect to drainage can be mitigated. Brooker Engineering, the Planning Boards Drainage Consultant therefore recommends that the East Coast BLR 1993 LLC Site Plan be approved for drainage subject to the following Project Comments:

**Project Description**

This is the second drainage review report for this project, the last review was dated February 7, 2023. The proposed action consists of the addition of a construction of a 245'x185' building addition to an existing warehouse structure. Parking lot improvements are proposed scutheast of the addition. Stormwater mitigation is being provided south of the addition in a new at grade stormwater management basin. The land slopes downhill to the northwest corner of the property. The project increases impervious area by 18,291 SF and proposes a stormwater management basin that can store approximately 3.5 inches of rainfall runoff from the new impervious areas.

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**Continuation of Condition #49...**

**Project Comments**

1. As per the February 7, 2023 report, provide dimensions of the addition on the Site Plan.
  2. As per the February 7, 2023 report, provide a drainage summary including existing and proposed conditions drainage maps with impervious areas, existing and proposed peak rates of discharge, hydrologic point of interest, and methodology.
  3. As per the February 7, 2023 report, provide first floor elevations of the addition.
  4. As per the February 7, 2023 report, show proposed grading at the loading dock.
  5. As per the February 7, 2023 report, provide proposed conditions grading including spot grades and contours. Show positive drainage away from the structure.
  6. As per the February 7, 2023 report, provide a section and plan view of the detention system.
  7. As per the February 7, 2023 report, note on the site plan if the proposed addition is slab on grade.
  8. Coordinate the line types using for the existing contours. Add a legend for the proposed grading plan distinguishing existing and proposed contours. It appears the detention basin is missing an additional elevation 84 contour on the north side of the basin.
  9. Provide proposed grading that shows the proposed storm drainage invert of 84.7 on the south side of the addition will not be above grade.
  10. Use different symbols to distinguish between existing and proposed storm drainage pipes and catch basins.
  11. Coordinate the orifice size on the Outlet Structure Detail. Show the Outlet Structure on the Drainage Plan.
  12. Clarify the difference between Drainage Area 1 and Drainage Area 2 on the Drainage Plans. The drainage areas should be determined by site topography and specific hydrologic features.
  13. Provide a narrative description of the subareas used in the hydrologic model.
  14. Review the plotting of the drawings; the maps appear to be printed slightly out of scale.
50. Rockland County Department of Planning had the following comments which are incorporated herein as conditions of approval:
- A review shall be completed by the NYS Department of Transportation and any required permits obtained.
  - A review shall be completed by the County of Rockland Department of Highways and any required permits obtained from them.
  - The subject property is approximately 480 feet northeast of the Sparkill Creek, which is one of the reasons for the project's referral to DEMA. A review must be completed by the County of Rockland Drainage Agency and all required permits obtained.

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**Town of Orangetown Planning Board Decision**  
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**Continuation of Condition #50...**

- The Sparkill Creek is listed in the FINAL NYS 2018 Section 303(d) List of Impaired/TMDL Waters (June 2020) as a waterbody with impairments that do not support best uses and requires development of a Total Maximum Daily Load (TMDL). The pollutants identified are fecal coliform and oxygen demand. The suspected source of pollution is urban/stormwater runoff. Development applications within the Sparkill Creek watershed must consider the adverse impacts of potential pollutant loadings to the Creek.
- A review must be done by the Rockland County Department of Health to ensure compliance with Article XIX (Mosquito Control) of the Rockland County Sanitary Code.
- The applicant must comply with the comments of Town of Orangetown Fire inspector in the letter of January 24, 2023. In addition, the County of Rockland Office of Fire and Emergency Services or the Orangeburg Fire District shall have the opportunity to review this proposal to ensure that the site is designed in a safe manner and there is sufficient maneuverability on the site for emergency vehicles.
- A stormwater pollution prevention plan (SWPPP) was not provided. The SWPPP, if required, shall conform to the current regulations, including the NYS Stormwater Management and Design Manual (January 2015) and local ordinances.
- Prior to the start of construction or grading, all soil and erosion control measures must be in place for this steep site. These measures must meet the latest edition (November 2016) of the NYS Standards for Urban Erosion and Sediment Control.
- There shall be no net increase in the peak rate of discharge from the site at all design points.
- Water is a scarce resource in Rockland County, thus proper planning and phasing of this project are critical to supplying the current and future residents of Villages, Towns, and County with an adequate supply of water. The water system must be evaluated to determine if the additional water supply demands of the proposed development can be met. Domestic and fire demands of the project must be determined by a Licensed PE and provided to the supplier of water for analysis. Demand calculations and results of the analysis must be provided to the RCDOH.
- The parking analysis table indicates that the southern addition will be used for light manufacturing. This is listed as a Conditional Use, subject to approval by the Planning Board under Section 3.11, Column 4, item 4. A conditional use application must be submitted to the Planning Board. The Planning Board must be satisfied that the proposal meets the performance standards in Section 4.12 of the Orangetown Zoning Code.

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**Continuation of Condition #50...**

- The proposed macadam travel aisle along the south side of the property is 20 feet wide and will be used for access for thirteen 90-degree parking spaces. According to Article VI, Section 6.34 of the Orangetown Zoning regulations, the aisle width shall not be less than 22 feet for 90-degree parking. The width of the proposed travel aisle be increased to 22 feet or the angle of the parking spaces reduced to 60 degrees or less to allow sufficient maneuverability room for vehicles.
- The parking areas and travel aisles must include directional arrows to indicate traffic flow.
- Loading berth calculations must be provided to ensure that the minimum required number of loading berths are accommodated in accordance with Article VI, Section 6.41 of the Orangetown zoning regulations.
- Additionally, a truck maneuverability plan must be provided demonstration the ability of the largest potential vehicle to access the proposed loading berths.
- The site plan depicts a driveway connection between the northern fire lane and Lot 74.07-1-16. This driveway was not illustrated on the previously submitted iteration of this site plan, dated November 3, 2022. It must be verified if there is an access easement either existing or proposed between the two lots, and if so, the easement must be labeled. This connection between the driveway and parking area on Lot 74.04-1-6 must be illustrated.
- We recommend that the applicant use plants that are native to New York for the proposed landscaping to help preserve and promote biodiversity. Native plants are better adapted to the local climate and soils, making them easier to care for, and result in the need for less fertilizer pesticides, and use of water. They also have deeper root systems that help prevent erosion and increased runoff into local water bodies. A pdf titled "Native Plants for Gardening and Landscaping Fact sheets" that lists native species and the environments in which can grow can be found on NYSDEC website.
- The site plan indicates a snow removal area on Lot 74.11-2-5. An agreement to store snow on the adjacent property must be furnished by the applicant, otherwise all snow removal areas must be located on the subject site. Additionally, the proposed snow storage within the macadam area to the west of the building must be located where it will not obstruct traffic circulation on the site.
- To help reduce the impact of this development, a reduction of impervious surfaces should be considered. Permeable pavers and additional green infrastructure techniques should be considered such as bioswales, rain gardens, and rainwater capture. It is recommended that the applicant review Chapter 5 "Green Infrastructure Practices" of the 2015 NYSDEC Stormwater Design Manual.

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**Town of Orangetown Planning Board Decision**  
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**Continuation of Condition #50...**

- All proposed signage shall be indicated on the site plan and must conform to the sign ordinance in Chapter 31C of the Orangetown Code.
- Several questions on the Short Environmental Assessment Form (SEAF) are answered incorrectly. The EAF Mapper Application, provided by the NYS DEC indicates that questions 12b, 13a and 20 on the EAF should be answered affirmatively. To ensure accurate SEQRA documentation, the Town must encourage applicants to use this tool to complete the SEAF as it populates the answers to certain questions using the NYS Database information.
- The Designated Street Line (DSL) must be indicated on the site plan. Any lot area deductions must be indicated. Any additional variances required due to a change in measurement must be submitted to DEME for review, NYS General Municipal Law Section 239-m(3)(a)(v).

**51. The Rockland County Department of Health reviewed the information and offered the following comment;**

- Application is to be made to RCDOH for review of the stormwater management system for compliance with the County Mosquito Code.

**52. The Rockland County Drainage Agency reviewed the information and offered the following comments;**

The site is outside the jurisdiction of the RCDA, pursuant to the Rockland County Stream Control Act, Chapter 846. Therefore, a Stream Control Act permit from the RCDA is not required for development within this site.

**53. Rockland County Sewer District #1 reviewed the plans and found that the District does not object to the Plan as show. This project does not affect the District's manhole and 42-inch sewer main on the west shoulder of the 30-foot right of way to bell Lane. The District requests no future for this site.**

**54. Orange and Rockland Utilities reviewed the submitted information and found that the proposed work may not being a direct conflict with the existing service but a load increase may be required. The developer must verify the location of the existing serve and contact O&R's new business department for all disconnects/ reconnects and load increases. All code 753 rules must be followed.**

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55. The following agencies do not object to the Town of Orangetown Planning Board assuming responsibilities of lead agency for SEQRA purposes:

- Town of Orangetown Zoning Board of Appeals
- Rockland County Health Department
- Rockland County Sewer District No. 1
- Rockland County Department of Planning
- Rockland County Department of Highways
- Rockland County Drainage Agency

56. The applicant shall comply with all pertinent items in the Guide to the Preparation of Site Plans and Board Decision prior to signing the final plans.

57. All reviews and approvals from various governmental agencies must be obtained prior to stamping of the Site Plan.

58. All of the conditions of this decision, shall be binding upon the owner of the subject property, its successors and /or assigns, including the requirement to maintain the property in accordance with the conditions of this decision and the requirement, if any, to install improvements pursuant to Town Code §21A-9. Failure to abide by the conditions of this decision as set forth herein shall be considered a violation of Site Plan Approval pursuant to Town Code §21A-4.

59. TREE PROTECTION: The following note shall be placed on the Site Plan: The Tree Protection and Preservation Guidelines adopted pursuant to Section 21-24 of the Land Development Regulations of the Town of Orangetown will be implemented in order to protect and preserve both individual specimen trees and buffer area with many trees. Steps that will be taken to reserve and protect existing trees to remain are as follows:

- a. No construction equipment shall be parked under the tree canopy.
- b. There will be no excavation or stockpiling of earth underneath the trees.
- c. Trees designated to be preserved shall be marked conspicuously on all sides at a 5 to 10-foot height.
- d. The Tree Protection Zone for trees designated to be preserved will be established by one of the following methods:
  - One (1) foot radius from trunk per inch DBH
  - Drip line of the Tree Canopy. The method chosen should be based on providing the maximum protection zone possible. A barrier of snow fence or equal is to be placed and maintained one yard beyond the established tree protection zone. If it is agreed that the tree protection zone of a selected tree must be violated, one of the following methods must be employed to mitigate the impact:

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**Continuation of Condition #59...**

- Light to Heavy Impacts – Minimum of eight inches of wood chips installed in the area to be protected. Chips shall be removed upon completion of work.

- Light Impacts Only – Installation of ¾ inch of plywood or boards, or equal over the area to be protected.

The builder or its agent may not change grade within the tree protection zone of a preserved tree unless such grade change has received final approval from the Planning Board. If the grade level is to be changed more than six (6) inches, trees designated to be preserved shall be welled and/or preserved in a raised bed, with the tree well a radius of three (3) feet larger than the tree canopy.

**60.** All landscaping shown on the site plans shall be maintained in a vigorous growing condition throughout the duration of the use of this site. Any plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season.

**61.** Prior to the commencement of any site work, including the removal of trees, the applicant shall install the soil erosion and sedimentation control as required by the Planning Board. Prior to the authorization to proceed with any phase of the site work, the Town of Orangetown Department of Environmental Management and Engineering (DEME) shall inspect the installation of all required soil erosion and sedimentation control measures. The applicant shall contact DEME at least 48 hours in advance for an inspection.

**62.** The contractor's trailer, if any is proposed, shall be located as approved by the Planning Board.

**63.** If the applicant, during the course of construction of any required public improvements or private sanitary or storm sewer improvements, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant (or the applicant's engineer) shall submit their recommendations as to the special treatment or design modification to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's (applicant's engineer's) recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's (applicant's engineer's) disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Federal Wetlands - U.S. Army Corps of Engineers).

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TOWN OF ORANGETOWN

**PB #23-07: East Coast BLR Site Plan      Permit #BLDC -2053-22**  
**Preliminary Site Plan Approval Subject to Conditions**  
**Neg. Dec.**

**Town of Orangetown Planning Board Decision**  
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64. Permanent vegetation cover of disturbed areas shall be established on the site within thirty (30) days of the completion of construction.

65. Prior (at least 14 days) to the placing of any road sub-base, the applicant shall provide the Town of Orangetown Superintendent of Highways and DEMA with a plan and profile of the graded road to be paved in order that these departments may review the drawings conformance to the approved construction plans and the Town Street Specifications

66. The Planning Board shall retain jurisdiction over lighting, landscaping, signs and refuse control.

The foregoing Resolution was made and moved by. Michael McCrory and seconded Andrew Andrews and carried as follows: Thomas Warren – Chairman, aye; Denise Lenihan, aye; Michael Mandel-Vice Chairman, aye; Kevin Farry, aye; Michael McCrory, aye; Lisa DeFeciani, aye; Tarra Heidger (alternate member), not voting, and Andrew Andrews, aye.

The Clerk to the Board is hereby authorized, directed and empowered to sign this **DECISION** and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

Dated: June 28, 2023  
Cheryl Coopersmith  
Town of Orangetown



TOWN OF ORANGETOWN  
2023 JUL 18 P 2:09  
TOWN CLERK'S OFFICE



**State Environmental Quality Review Regulations  
NEGATIVE DECLARATION  
Notice of Determination of Non-Significance**

**PB #23-07: East Coast BLR Site Plan      Permit #BLDG -2053-22  
Preliminary Site Plan Approval Subject to Conditions  
Neg. Dec.**

**Town of Orangetown Planning Board Decision  
June 28, 2023**

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Regulation) of the Environmental Conservation Law.

The PLANNING BOARD, TOWN OF ORANGETOWN, as Lead Agency, has determined that the proposed action described below will not have a significant impact on the environment and a Draft Environmental Impact Statement will not be prepared.

**NAME OF ACTION: East Coast BLR Site Plan**

SEQR STATUS: Type I \_\_\_\_\_ Unlisted XXXXXX  
CONDITIONED NEGATIVE DECLARATION: Yes \_\_\_\_\_ No XXXXXX

**DESCRIPTION OF ACTION: Preliminary Site Plan Approval Subject to Conditions**

**LOCATION:** The site is located at 11 Kings Highway, Orangeburg, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.11, Block 2, Lot 4 in the LIO zoning district.

**REASONS SUPPORTING THIS DETERMINATION:**

The Orangetown Planning Board, as Lead Agency, determined that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared. The reasons supporting this determination are as follows:

The project will not have a significant impact upon the environment and a DEIS need not be prepared because the proposed action does not significantly affect air quality, surface or ground water quality, noise levels or existing external traffic patterns. In addition, it will have no impact upon the aesthetic, agricultural or cultural resources of the neighborhood. No vegetation, fauna or wildlife species will be affected as a result of this proposed action. The proposed action is consistent with the Town of Orangetown Master Plan and will not have any adverse economic or social impacts upon the Town or its businesses or residences.

If Conditioned Negative Declaration, the specific mitigation is provided on an attachment.

For Further Information contact:

Office of Building, Zoning and Planning  
Administration and Enforcement  
Town of Orangetown  
20 Greenbush Road, Orangeburg, NY 10962  
Telephone Number: 845-359-5100

For Type I Actions and Conditioned Negative Declarations, a copy of this notice is sent: - Commissioner, New York State Department of Environmental Conservation, - Region 3 Headquarters, NYSDEC, - Town Supervisor, Applicant, Involved Agencies

2023 JUN 28 11:11 AM  
TOWN OF ORANGETOWN

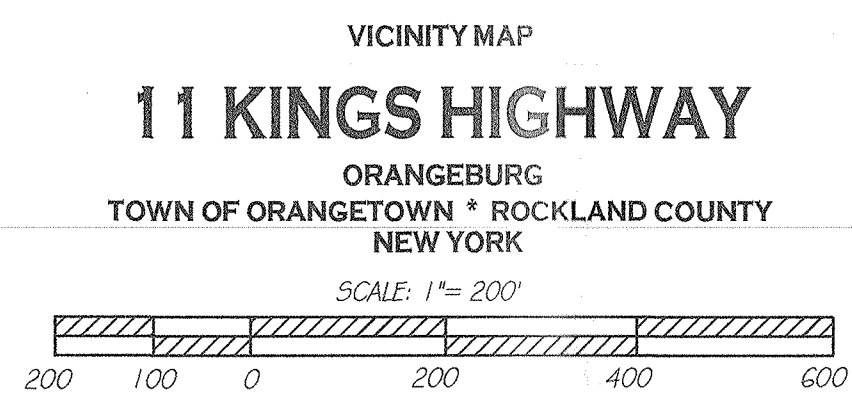
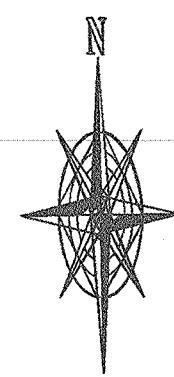
# EAST COAST BLR 1993 LLC

## 11 KINGS HIGHWAY

### ORANGEBURG, NEW YORK



DISTRICTS:  
 SCHOOL DISTRICT: SOUTH ORANGETOWN  
 FIRE DISTRICT: ORANGEBURG  
 SEWER DISTRICT: ORANGETOWN  
 POSTAL DISTRICT: ORANGEBURG  
 WATER DISTRICT: VEDUA



**LIO ZONE**  
 SECTION 74.11, BLOCK 2, LOT 4

EAST COAST BLR 1993, LLC  
 3 REUTEN DRIVE  
 CLOSTER, NEW JERSEY 07624  
 OWNER, THOTA NAGARAJA  
 (201) 981-8320

ZONING BOARD OF APPEALS  
 Meeting Of:  
**OCT 4 2023**  
 Town Of Orangetown

RECEIVED  
 AUG 29 2023  
 TOWN OF ORANGETOWN  
 LAND USE DEPARTMENT

BART M. RODI - ENGINEER  
 RESIDENTIAL & COMMERCIAL  
 234 SOUTH GRANT AVE  
 CONGERS, NEW YORK 10920  
 (845) 268-6663

*[Signature]*  
 EAST COAST BLR 1993 LLC  
 PLEASE VOID ONLY IF BEHIND

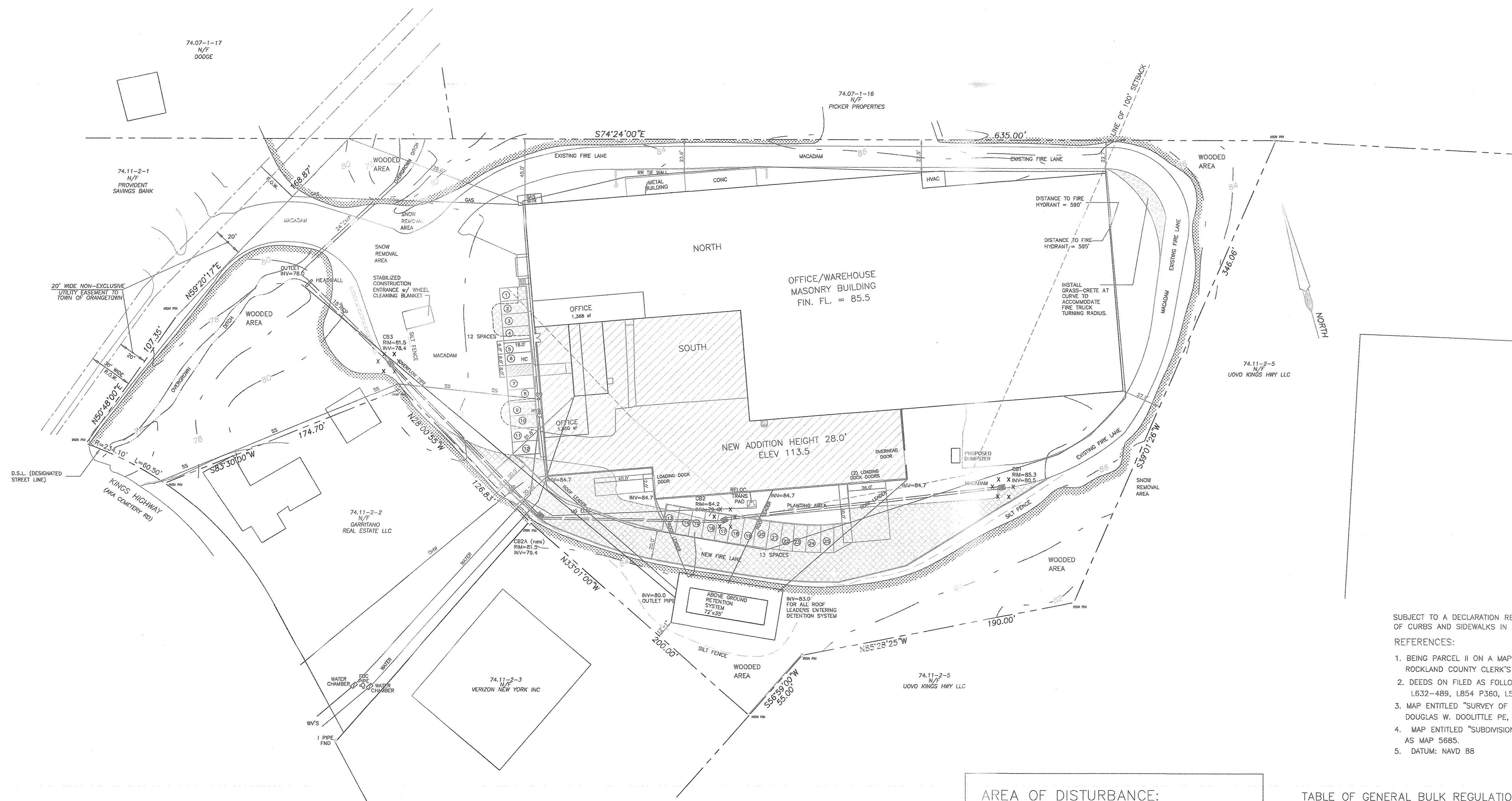
DO NOT SCALE PRINTS

TITLE PAGE  
 VICINITY MAP

EAST COAST BLR 1993, LLC  
 11 KINGS HIGHWAY  
 TAPPAN, NEW YORK 10983

DATE:	3 NOVEMBER 2022
SCALE:	AS NOTED
SHEET:	T-1
REVISIONS:	
REVISIONS:	2 MAY 2023

	NEW CURB		CONCRETE SIDEWALK		INLET PROTECTION DURING CONSTRUCTION
	PROPERTY LINE		PARKING LOT STRIPING		ADDITION
	PARKING LINES		NEW MACADAM		
	EXISTING CONTOUR LINES				
	NEW DRAINAGE PIPING				
	SILT FENCE				
	CATCH BASIN		DETENTION AREA		



SUBJECT TO A DECLARATION REGARDING INSTALLATION OF CURBS AND SIDEWALKS IN L857 P217.

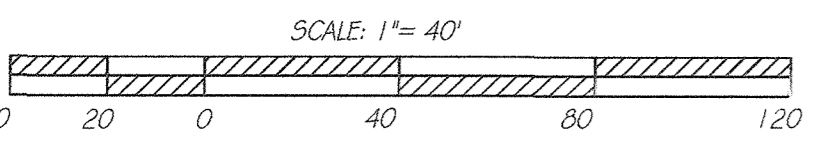
REFERENCES:

1. BEING PARCEL II ON A MAP ENTITLED, "MINOR SUBDIVISION FOR IRVING MAIDMAN", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP 3823.
2. DEEDS ON FILED AS FOLLOWS: LIBER 985 PAGE 286, INST# 2007-11984, INST# 2014-27314, L632-489, L854 P360, L564 P1959.
3. MAP ENTITLED "SURVEY OF SECTION 81, BLOCK 761, LOT 37-2", PREPARED BY DOUGLAS W. DOOLITTLE PE, LS. (3-11-91)
4. MAP ENTITLED "SUBDIVISION FOR NICE-PAK PRODUCTS, INC", FILED IN THE ROCKLAND COUNTY CLERK'S AS MAP 5685.
5. DATUM: NAVD 88

**PROPOSED SITE PLAN**

SCALE: 1" = 40'

SITE PLAN DATA TAKEN FROM SURVEY JAY A. GREENWELL, P.L.S. LOCATED AT 34 WAYNE AVENUE, SUFFERN, NY 10901, NYS LIC NO 49676, DATED MAY 10, 2022.



**PARKING ANALYSIS**

REQUIREMENTS:  
 OFFICE: 1 SPACE PER 200 SF  
 LIGHT MANUFACTURING: 1 SPACE PER 2 EMPLOYEES

NORTH BUILDING  
 OFFICE: 1368 SF = 7 SPACES

LIGHT MANUFACTURING: 9 EMPLOYEES = 5 SPACES

SOUTH BUILDING  
 OFFICE: 1800 SF = 9 SPACES  
 LIGHT MANUFACTURING: 8 EMPLOYEES = 4 SPACES

TOTAL 25 SPACES, INCLUDING 1 HANDICAP ACCESSIBLE SPACE

AREA OF DISTURBANCE:  
44,165.0 SQUARE FEET

AREA OF PROPOSED ADDITION:  
21,105.0 SQUARE FEET  
(incl. 1,146 sf of ext'g bldg wing)

ADDITIONAL IMPERVIOUS AREA:

EXISTING IMPERVIOUS: 101,392  
 TOTAL IMPERVIOUS: 119,683  
 ADDITIONAL IMPERVIOUS: 18,291

TABLE OF GENERAL BULK REGULATIONS FOR DISTRICT L10, USE GROUP CC, FOR THE TOWN OF ORANGETOWN

	REQUIRED	EXISTING	PROPOSED
MAXIMUM FLOOR AREA RATIO	0.4	0.178	0.39
MINIMUM LOT AREA	2 ACRES	4.455 ACRES	NO CHANGE
MINIMUM LOT WIDTH	300'	480'	NO CHANGE
MINIMUM STREET FRONTAGE	150'	60.5' **	NO CHANGE
REQUIRED FRONT YARD	100'	129'	NO CHANGE
REQUIRED SIDE YARD	100'	27.1' **	NO CHANGE
		81.8' **	30.25' (V)
TOTAL SIDE YARD	200'	108.9' **	57.4' (V)
REQUIRED REAR YARD	100'	22.5' **	NO CHANGE
LAND COVERAGE	75%	52%	62%
MAXIMUM BUILDING HEIGHT: 3' PER FOOT FROM DESIGNATED STREET LINE	62'	32'	NO CHANGE

\*\* EXISTING NON-CONFORMING CONDITION  
 (V) VARIANCE REQUIRED

DO NOT SCALE PRINTS

REVISIONS:


REVISIONS:


REVISIONS:


REVISIONS:


DATE: 20 OCTOBER 2022  
 SCALE: AS NOTED  
 SHEET: SP-1

EAST COAST BLR 1993 LLC  
 11 KINGS HIGHWAY  
 TAPPAN, NEW YORK 10983

PROPOSED SITE PLAN

BART M. RODI - ENGINEER  
 RESIDENTIAL & COMMERCIAL  
 234 SOUTH GRANT AVE  
 CONGERS, NEW YORK 10920  
 (845) 268-6663

*[Signature]*  
 NYS LIC #070645  
 PLANS VALID ONLY IF SEALED

REVISIONS:

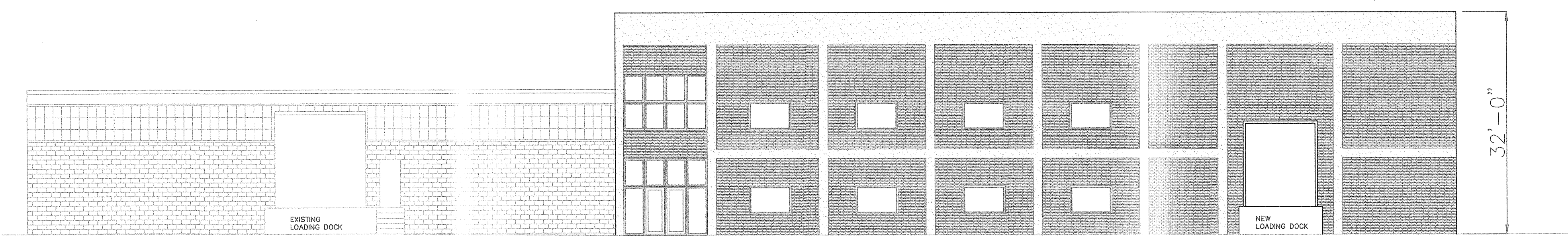
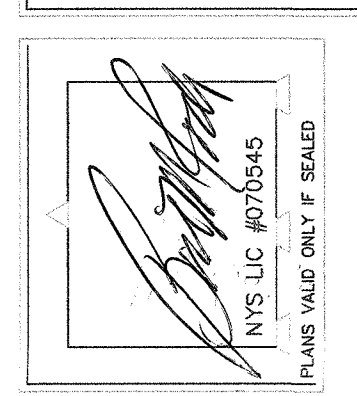
REVISIONS:

DATE: 15 SEPTEMBER 2022  
 SCALE: AS NOTED  
 SHEET: A-1

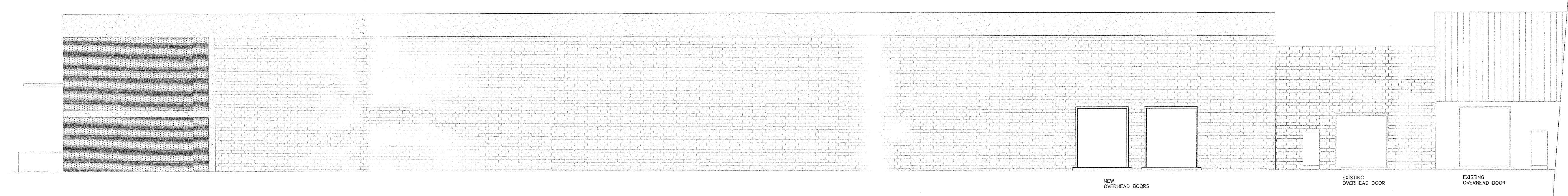
EAST COAST INTERNATIONAL  
 11 KINGS HIGHWAY  
 TAPPAN, NEW YORK 10983

PROPOSED ELEVATIONS

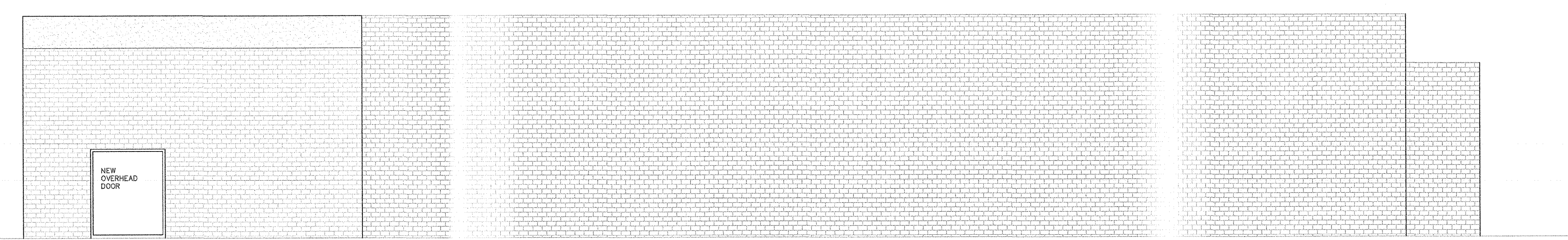
BART M. RODI - ENGINEER  
 RESIDENTIAL & COMMERCIAL  
 234 SOUTH GRANT AVE  
 CONGERS, NEW YORK 10920  
 (845) 268-6663



FRONT ELEVATION  
 SCALE: 3/32" = 1'-0"

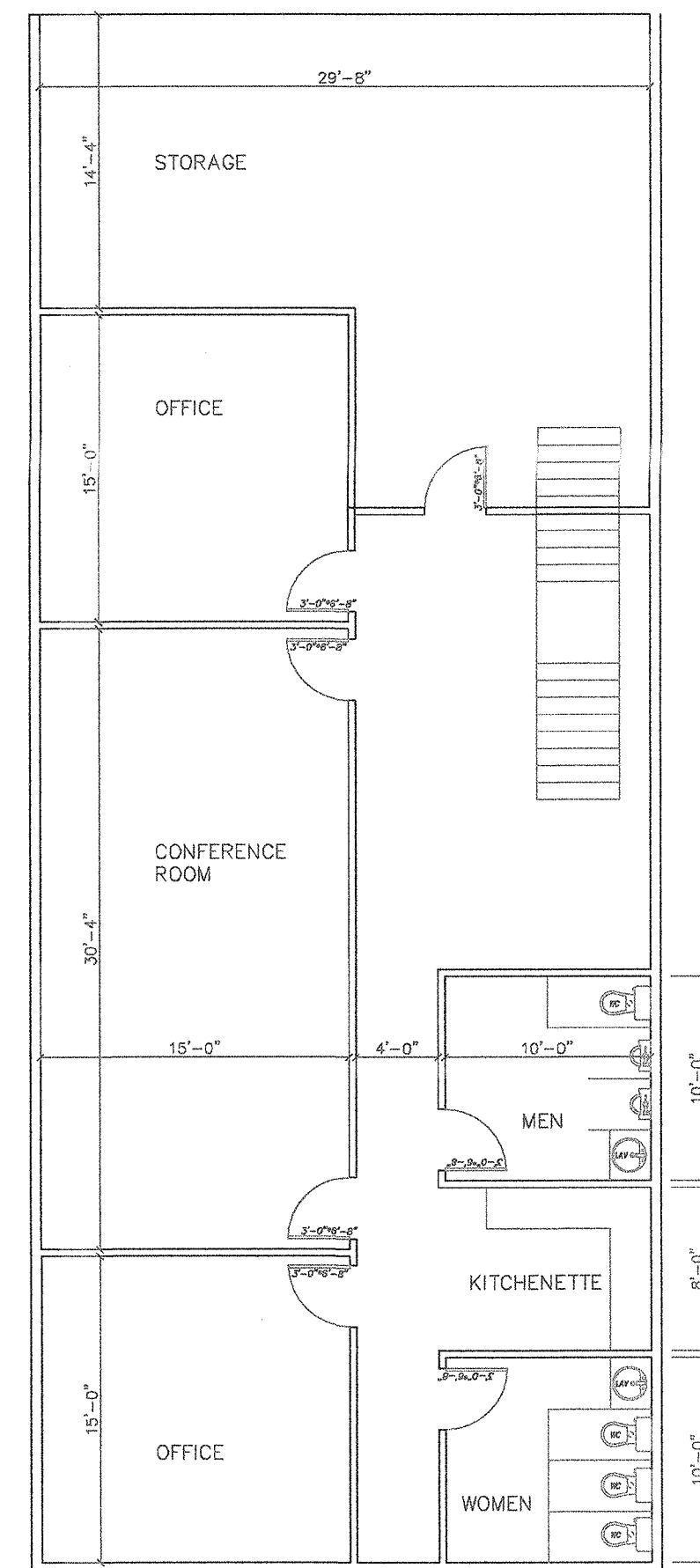


SIDE ELEVATION  
 SCALE: 3/32" = 1'-0"



REAR ELEVATION  
 SCALE: 3/32" = 1'-0"

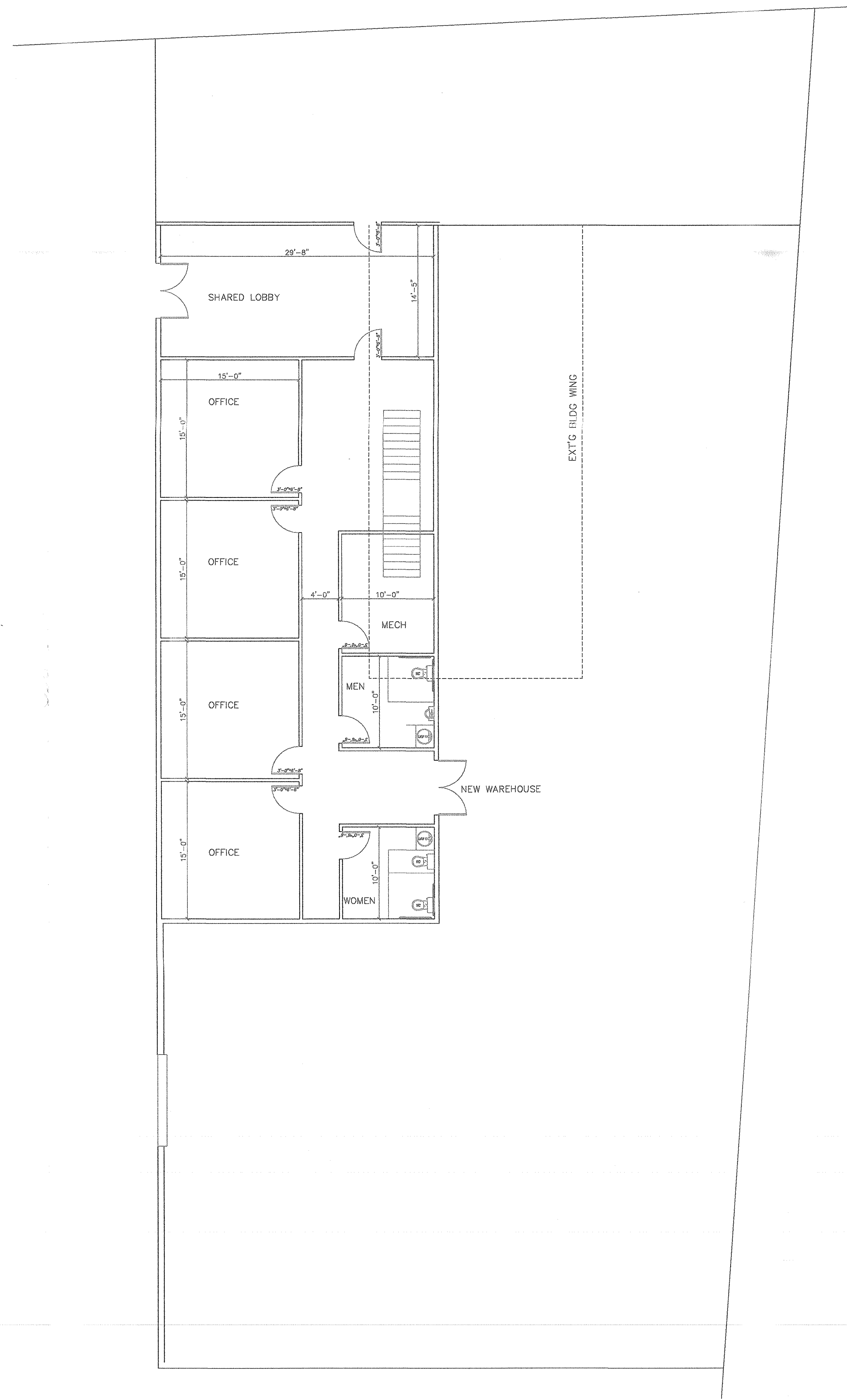
DO NOT SCALE PRINTS



MEZZANINE PLAN

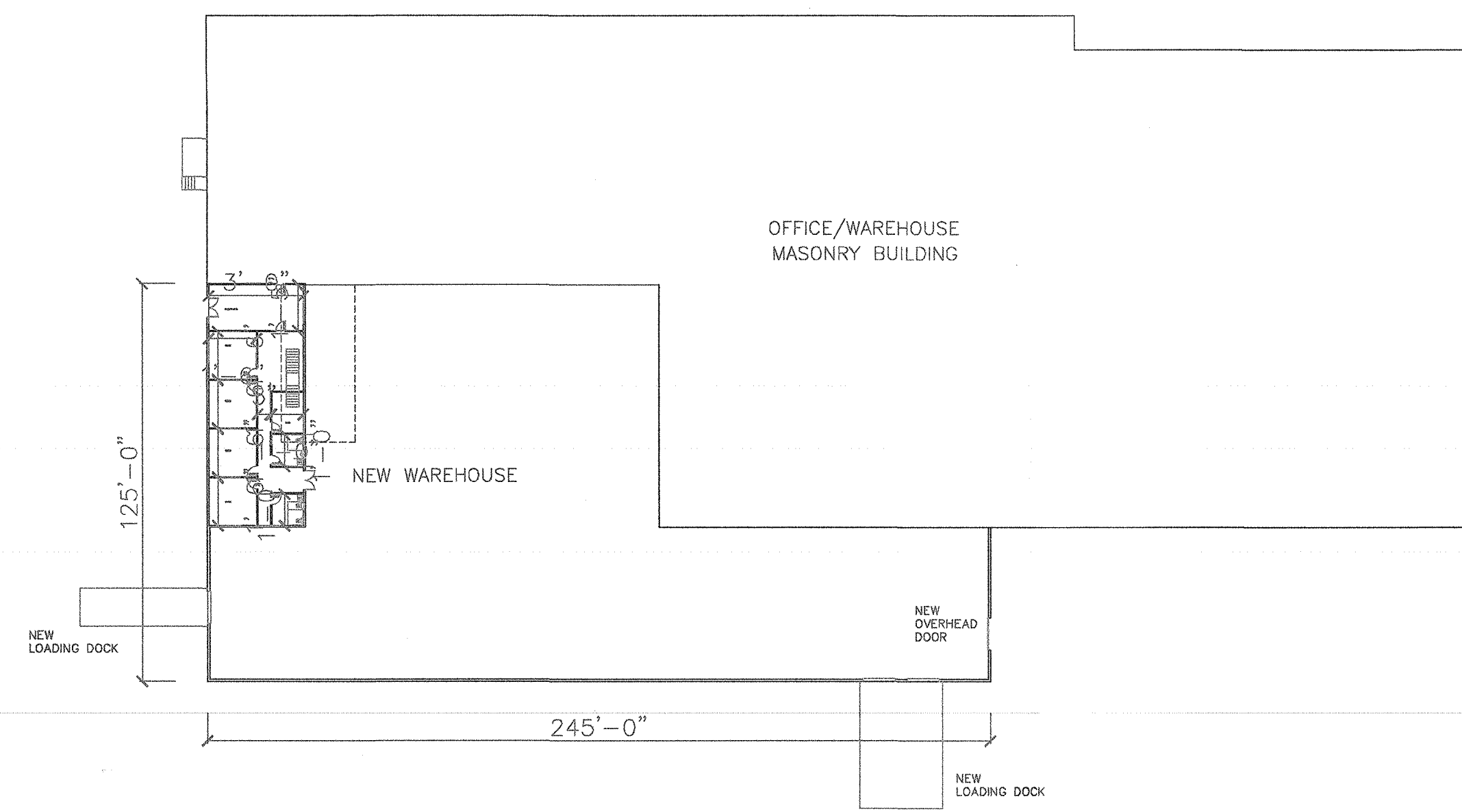
SCALE: 1/8" = 1'-0"

AREA OF PROPOSED ADDITION:  
22,672.0 SQUARE FEET  
(incl. 1,146 sf of ext'g bldg wing)



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



WAREHOUSE ADDITION PLAN

NOT TO SCALE

DO NOT SCALE PRINTS

REVISIONS:	

REVISIONS:	

DATE:	15 SEPTEMBER 2022
SCALE:	AS NOTED
SHEET:	A-2

EAST COAST BLR 1993 LLC

11 KINGS HIGHWAY  
TAPPAN, NEW YORK 10983

PROPOSED WAREHOUSE ADDITION

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*Bart M. Rodi*  
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P.E. LIC #079545  
PLANS VALID ONLY IF SEALED