

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
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PERMIT#: BLDR-3755-23
ASSIGNED
INSPECTOR: Dom

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: WEIR RESIDENCE ONE-STORY ADDITION

Street Address: 71 PINTO ROAD

Pearl River NY 10965

Tax Map Designation:

Section: 69.06 Block: 1 Lot(s): 89
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the _____ side of PINTO RD, approximately _____ feet _____ of the intersection of RETZ RD, in the Town of ORANGETOWN in the hamlet/village of PEARL RIVER.

Acreage of Parcel .47
School District Nanuet
Ambulance District _____
Water District Vesalia

Zoning District R-15
Postal District Pearl River
Fire District Pearl River
Sewer District Orangetown

Project Description: (If additional space required, please attach a narrative summary.)

ONE STORY ADDITION EXPANDING THE LIVING ROOM AND NEW COVERED STOOP

INCLUDES KITCHEN RENOVATION

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 7.1.23 Applicant's Signature: Learn Hill

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area _____

Are there streams on the site? If yes, please provide the names. _____

Are there wetlands on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? NO _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: August 9, 2023

Applicant: Weir

Address: 71 Pinto Rd, Pearl River, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-15 District, Column 2 Group M, Column 3 SFR, Column 8 Front
Yard 30' with 24.5' proposed,
One variance required

Section: 69.06 Block: 1 Lot: 89

Dear Weir:


Please be advised that the Building Permit Application, which you submitted on

August 2, 2023, has been denied. I have enclosed a Xerox copy of your application, where you will find
at the bottom the reason for denial.

**In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a
Building Inspector or Similar administrative office is thirty (30) days from the filing of such a
determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to
appear before the board.

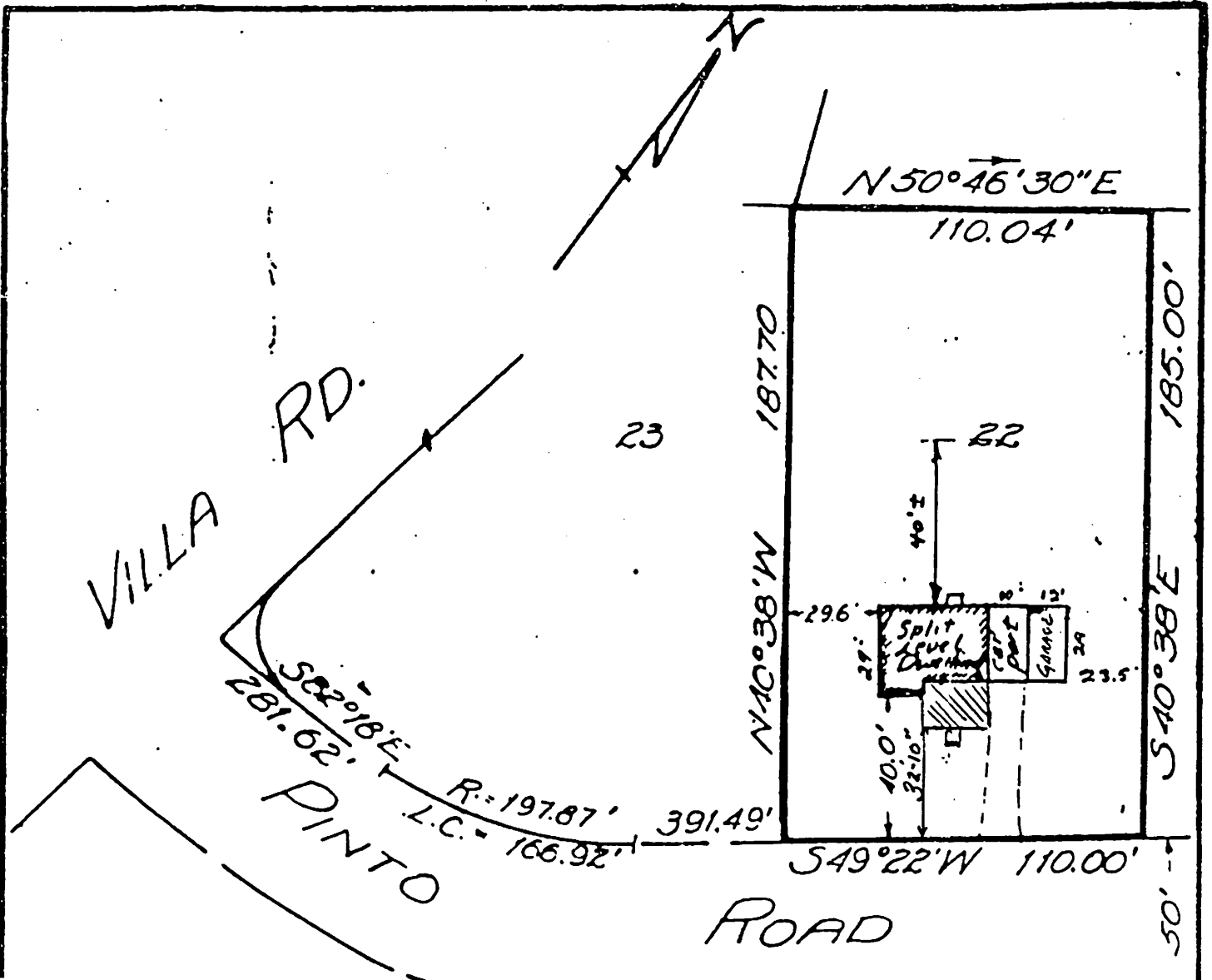
Sincerely,


Richard Oliver
Deputy Building Inspector


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

8/10/23
Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
392489	69.06-1-77	John J Paterson	86 Ablondi Rd,Pearl River, NY 10965
392489	69.06-1-78	Gerard J Bogin	94 Ablondi Rd,Pearl River, NY 10965
392489	69.06-1-79	Donna L Bogin	102 Ablondi Rd,Pearl River, NY 10965
392489	69.06-1-80	Stephen Bouton	110 Ablondi Rd,Pearl River, NY 10965
392489	69.06-1-81	Jessica Fatigate	118 Ablondi Rd,Pearl River, NY 10965
392489	69.06-1-86	Patrick Kenneally	95 Pinto Rd,Pearl River, NY 10965
392489	69.06-1-87	Michael Castano	87 Pinto Rd,Pearl River, NY 10965
392489	69.06-1-88	Jane M Flinn	79 Pinto Dr,Pearl River, NY 10965
392489	69.06-1-89	Margaret Weir	71 Pinto Rd,Pearl River, NY 10965
392489	69.06-1-90	Lawrence Frey	61 Pinto Rd,Pearl River, NY 10965
392489	69.06-1-91	Erik van der Leeuw	10 Retz Rd,Pearl River, NY 10965
392489	69.06-1-92	Donald H Orfini	4 Retz Rd,Pearl River, NY 10965
392489	69.06-1-93	Edward C Cobb	90 Pinto Rd,Pearl River, NY 10965
392489	69.10-1-7	Allan Bass	45 Pinto Rd,Pearl River, NY 10965
392489	69.10-1-8	Kenneth E Reilly	53 Pinto Rd,Pearl River, NY 10965
392489	69.10-1-9	William Hamm	70 Pinto Rd,Pearl River, NY 10965
392489	69.10-1-10	Thomas Esposito	11 Retz Rd,Pearl River, NY 10965
392489	69.10-1-16	Thomas J Clifford	60 Pinto Rd,Pearl River, NY 10965
392489	69.10-1-17	Arthur Albanese	52 Pinto Rd,Pearl River, NY 10965



BASED ON A SURVEY BY ROBERT JOST
 3-4-54 SCALE 1" = 50'

GENERAL SPECIFICATIONS

- GENERAL NOTES**
1. ALL WORK PERFORMED SHALL COMPLY WITH THE BUILDING AND ZONING ORDINANCES OF THE TOWN OF ORANGETOWN, AND THE N.Y.S. BUILDING AND ENERGY CODES.
 2. THESE PLANS ARE TO BE USED FOR PERMITS & CONSTRUCTION GUIDE ONLY. IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT, UNLESS OTHERWISE INDICATED BY ARCHITECT.
 3. CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNERS WITH CERTIFICATE OF INSURANCE.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 5. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT, BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITION.
 6. ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. ARCHITECT IS ONLY RESPONSIBLE FOR THESE WORKING DRAWINGS AND THEIR RELATED DIMENSIONS. IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORESEEN DEVELOPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
 7. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITIONS OPERATIONS AND METHODS.
 8. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES, MATCH ALL EXISTING MATERIALS, DIMENSIONS, AND CONDITIONS AS THEY APPLY.
 9. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.
 10. ALL CONSTRUCTION & MATERIALS SHALL BE NEW - UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.
 11. ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT, IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS, LICENSED BY THE STATE OF NEW YORK AND AS REQUIRED BY THE LOCAL GOVERNING AGENCY.
 12. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR AGENCIES.
 13. ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.
 14. PRIOR TO COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL TOOLS, SUPPLIES, MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE EXCEPT AS OTHERWISE NOTED BY THE OWNER.
- SITE NOTES**
15. CONTRACTOR/OWNER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANIES LINES, SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.
 16. ALL EXISTING CONDITIONS INDICATED ON THE PLANS TO BE REMOVED OR RELOCATED ARE TO BE SO EXECUTED IN A MANNER THAT WILL NOT DISTURB ADJOINING AREAS OR CONDITIONS WHICH ARE TO REMAIN.
 17. EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR TO OBSERVE ANY VARIATIONS OR UNFORESEEN DISCREPANCIES IN THE PLANS AND REPORT IMMEDIATELY TO THE OWNER.
 18. ALL FOOTINGS TO REST ON VIBRIN SOIL HAVING A MINIMUM BEARING CAPACITY OF 3,000 P.S.F. AT 2' 0" MINIMUM BELOW THE FINISHED GRADE.
 19. EARTH UNDER CONCRETE SLAB TO BE THOROUGHLY COMPACTED AND CLEANED OF DEBRIS, WATER AND OTHER MATTER. THE SUB GRADE SHALL BE BROUGHT TO A TRUE PLANE & COMPACTED TO SOLID BEARING. ALL FILL MATERIAL SHALL BE SOIL OR SOIL-ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIAL. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER SIX INCHES IN GREATEST DIMENSION AND NOT MORE THAN 15% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 3" IN GREATEST DIMENSION.
 20. DO NOT BACKFILL UNTIL MAIN FLOOR SYSTEMS, INCLUDING SLABS AND FLOOR DECKING, ARE INSTALLED.
 21. BACKFILL AGAINST Poured CONCRETE WALLS SHALL BE A MAXIMUM OF 7' 0" AND 10" CONCRETE BLOCK WALLS MAXIMUM 6' 0" ABOVE SLAB TO ADJACENT GRADE.
 22. TOP OF NEWLY GRADED AREAS IS TO BE TOP SOIL, BAKED FREE FROM DEBRIS, STICKS, STONES OVER 2" IN SIZE AND OBJECTIONABLE MATERIAL.
 23. GENERAL CONTRACTOR OR OWNER SHALL FIELD VERIFY ALL INVERT ELEVATIONS AND SEWER CONDITIONS INDICATED PRIOR TO CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEYS OR REVENUE RECORDS.
 24. FOOTING DRAINS TO BE PROVIDED WHERE REQUIRED AND APPROPRIATE THEY SHALL BE LAD IN GRAVEL BED AND PROTECTED AT TOP WITH FILTER FABRIC AND PROVIDE POSITIVE OUTFLOW TO STORM DRAIN OR DRY WELL.
 25. FINISHED GRADE AND DRIVEWAY SHALL PITCH AWAY FROM THE BUILDING, SO THAT ALL SURFACE WATER FLOWS AWAY FROM IT.
- INSTALLATION OF GAS METERS SHALL BE IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.**
- INSTALLATION OF ELECTRIC METERS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.**
- FINISHED GRADE HEIGHT SHALL BE MINIMUM 8" BELOW ADJACENT FRAMING AND MAXIMUM (IF ANY) AS PER LOCAL CODES.**

CONCRETE AND MASONRY

NEW Poured CONCRETE TO BE MINIMUM 3000 P.S.I. COMPRESSIVE STRENGTH IN 28 DAYS. 4:3 BAGS OF CEMENT PER CUBIC YARD OF CONCRETE AND MAXIMUM 3 1/4 GALLONS OF WATER PER 94 LB SACK OF CEMENT. 8 1/4 GALLONS OF WATER PER 94 LB SACK OF CEMENT FOR AIR ENTRAINED CONCRETE. SUBMIT TESTING REPORTS REFORMED BY APPROVED TESTING LABORATORY, AS REQUIRED BY LOCAL OFFICIALS.

CONCRETE DESIGN, MATERIALS, AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE STANDARDS AND PRACTICES OF THE AMERICAN CONCRETE INSTITUTE. ALL ISOLATION OR CONCRETE ANCHORS AND FASTENERS OF ANY KIND, TO BE GALVANIZED OR COATED.

BLOCK FOUNDATION WALLS TO BE REINFORCED HORIZONTALLY WITH DUB-D-WALL ERTY SECOND COURSE AND VERTICALLY WITH (4) # 4 RE-BARS EVERY FOUR FEET. JOCK SHALL BE FILLED SOLID WITH CONCRETE AROUND REINFORCING BARS. TOP CURSE OF BLOCK SHALL BE FILLED SOLID WITH CONCRETE AND 6" DIA. ANCHORS # 8'S SHALL BE PLACED 4' 0" TO 6' 0" O.C.

ENERGY CODE

TABLE R301.2 (1) INSULATION AND PENETRATION REQUIREMENTS BY COMPONENTS ROCKLAND/ORANGE CLIMATE ZONE 5.

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHTS U-FACTOR	GLAZED FENESTRATION U-FACTOR	CEILING FENESTRATION U-FACTOR	WOOD FRAME WALL R-VALUE	MASONRY WALL R-VALUE	FLOOR R-VALUE	BASEMENTS R-VALUE	SLAB R-VALUE	CRACK SPACE R-VALUE
1 except Marine 4	0.35	0.55	0.40	49	20 or 13 + 5 h	8/13	19	10/13	10.2 ft	10/13
2 and Marine 4	0.27	0.55	NR	49	20 or 13 + 5 h	13/17	30 g	15/19	10.2 ft	15/19

Table R301.2 (1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

Ground Snow Load	Wind Speed (MPH)	Seismic Design Category	SUBJECT TO DAMAGE FROM			Ice Shield Underlayment Required	Flood Hazards
			Weathering	Frost Depth	Termite		
30psf	115	B	5	36"	Mod/Heav	Yes	Yes

WEIR RESIDENCE ONE-STORY ADDITION

71 PINTO ROAD PEARL RIVER, N.Y.

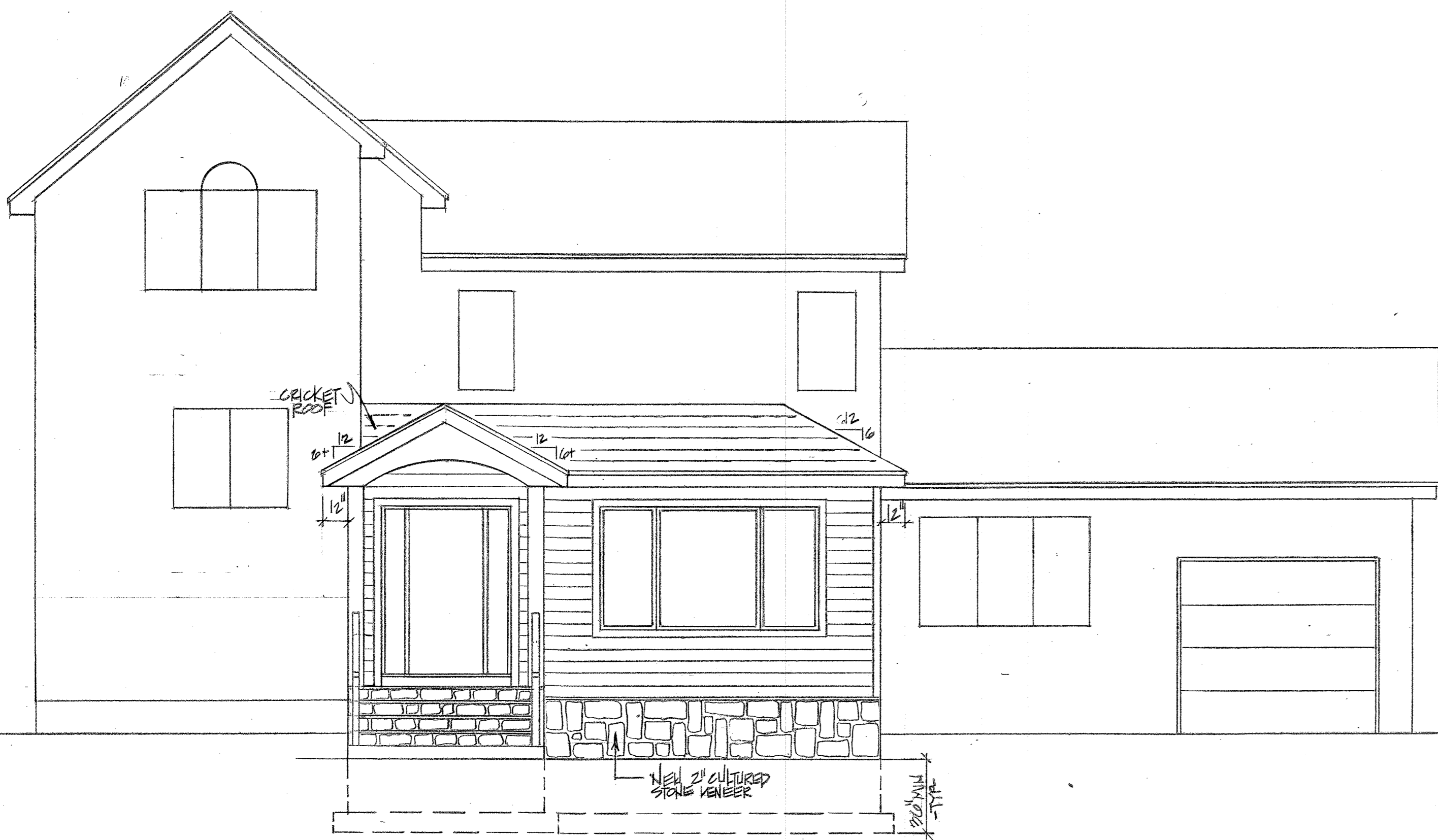
HARRY J. GOLDSTEIN ARCHITECT

4 REGINA ROAD MONSEY, NEW YORK 10952
(845) 256-7942 (914) 393-3787

N.Y.S. LICENSE NO. 222611 NOT VALID UNLESS SIGNED & SEALED

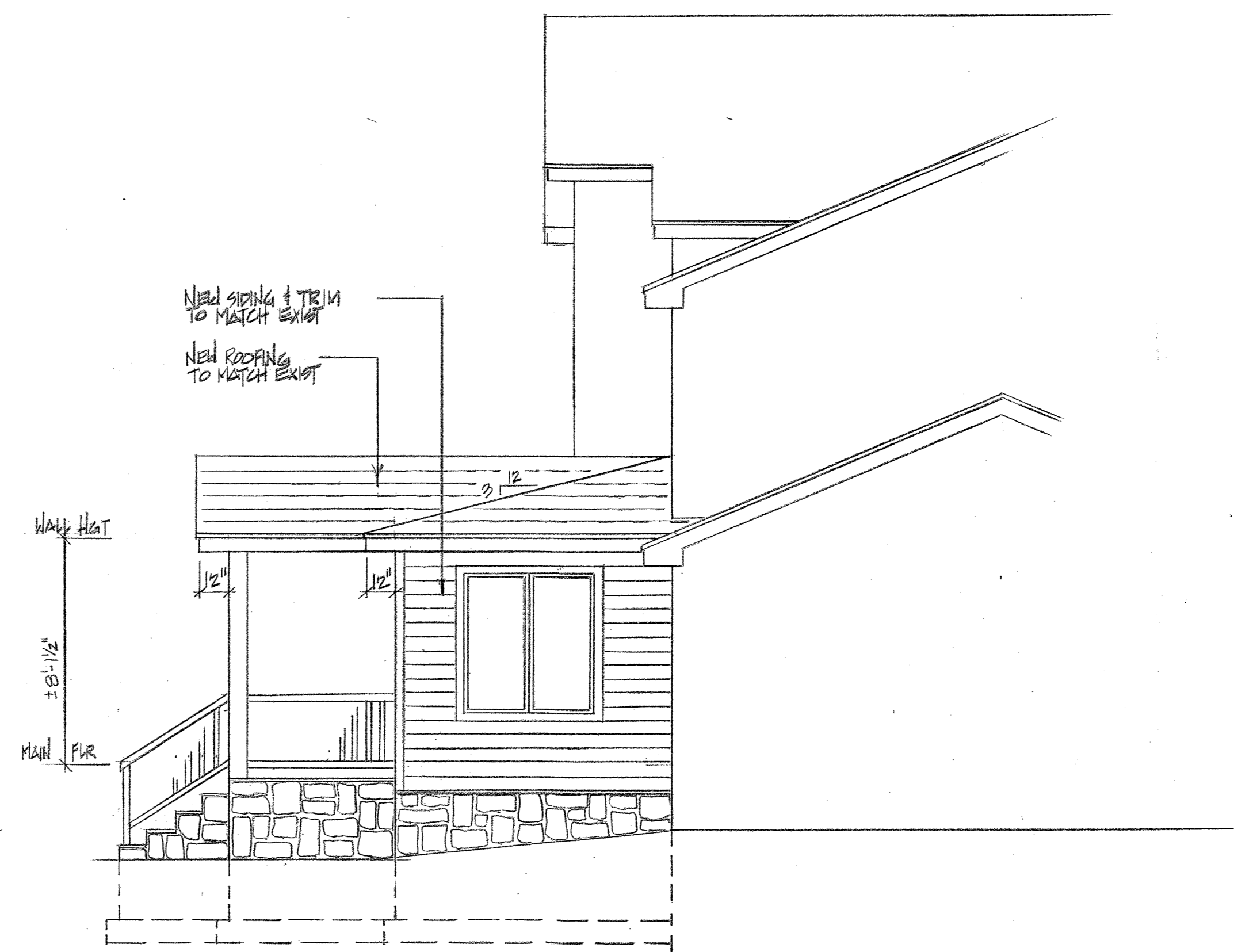
PROJECT 230418 MAY 15, 2023

1 OF 2

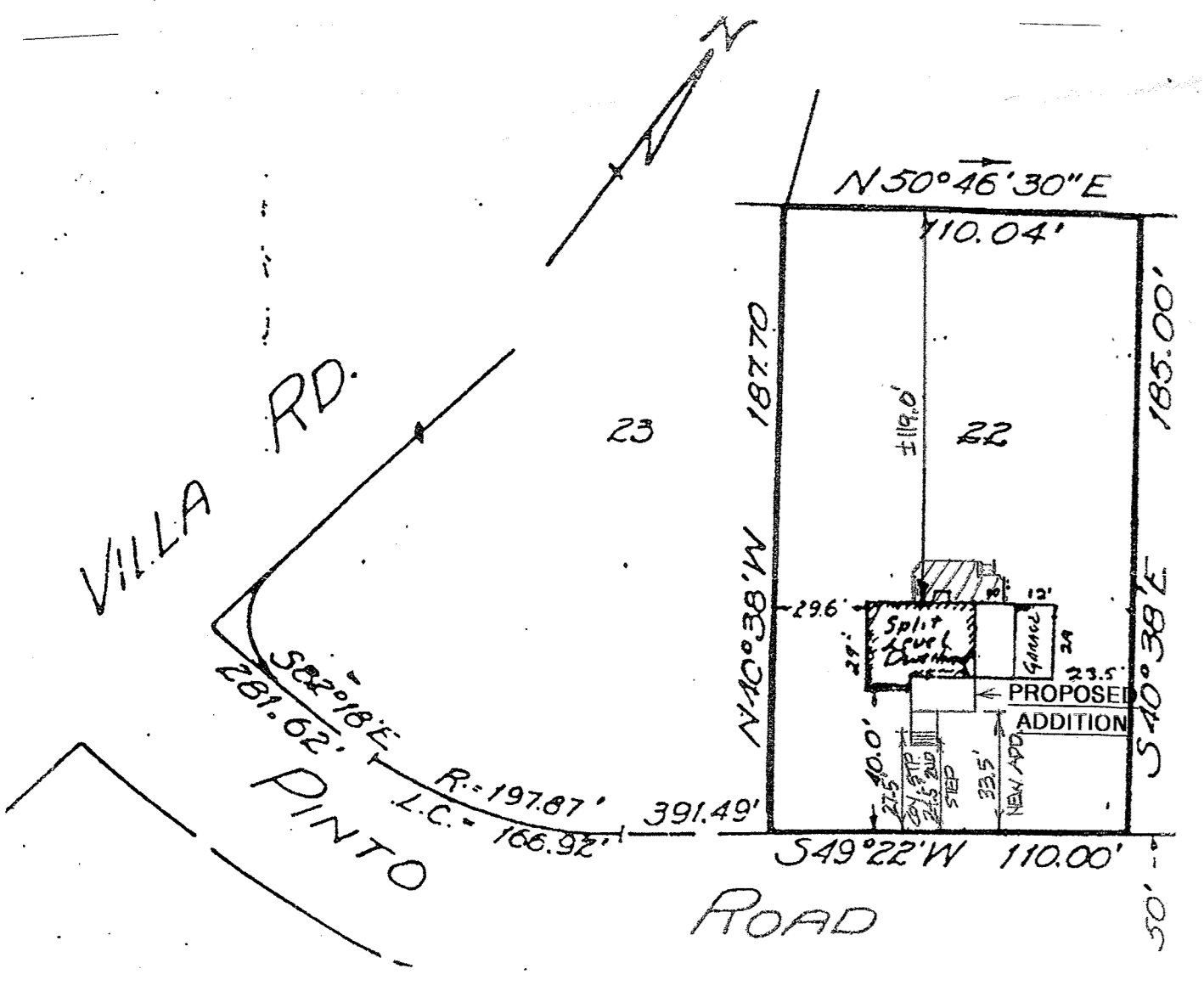


FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION



PLOT PLAN

SCALE: 1" = 50'

NOTE: THE ABOVE PLOT PLAN OF A PROPOSED ONE-STORY ADDITION IS BASED ON A SURVEY ORIGINALLY DRAWN BY ROBERT JOST LAND SURVEYOR, ON 3/4/54

BULK REGULATIONS

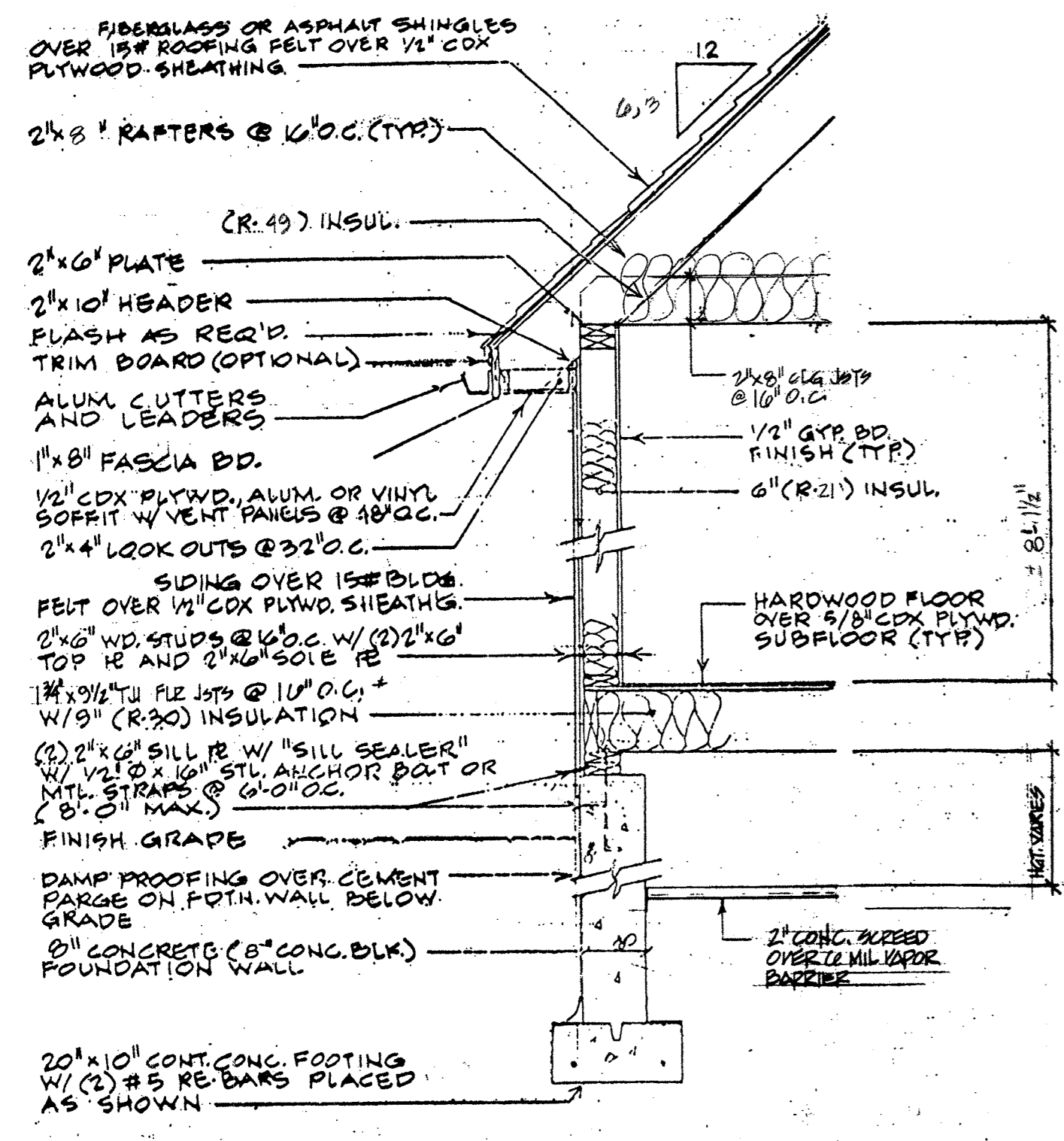
ZONING BULK REQUIREMENTS

Zone: R-15 Group: M Use: SINGLE-FAMILY RES.

	Required	Existing	Proposed
Floor area ratio	0.20	0.120 (2,401)	0.122 (2,448)
Lot area	15,000	20,500	22,500
Lot width	100	110	110
Street frontage	75	110	110
Front yard setback	30	33.0	27.5 COL. 618 PA. 5 SEP
Side yard setback	20	23.5	23.5
Total side yard setback	50	53.1	53.1
Rear yard setback	35	119.0	119.0
Maximum building height	1'-0"	6' 8 1/2"	6' 1/2" NEW

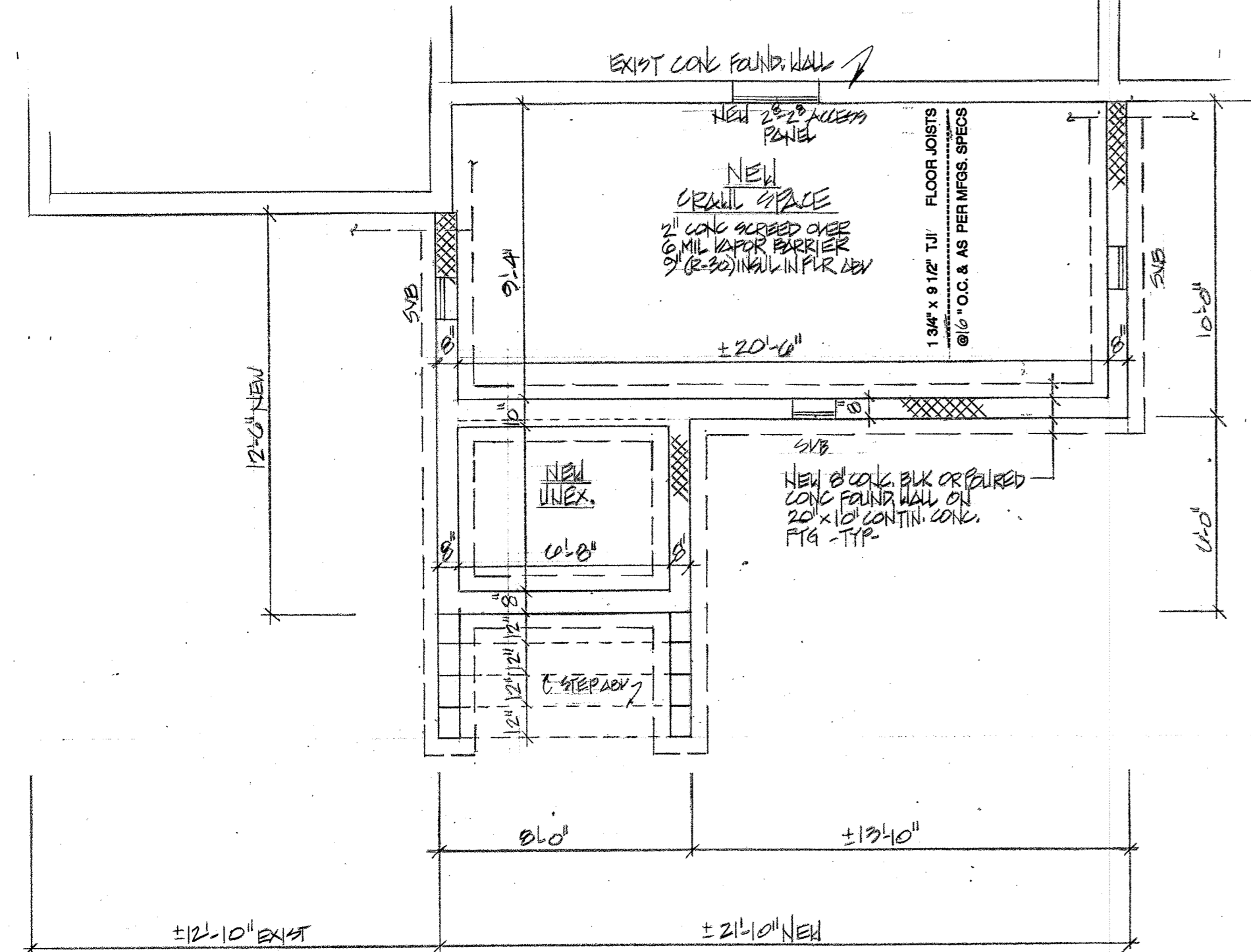
LEFT SIDE ELEVATION

ZONING BOARD OF APPEALS Meeting On: **OCT 18 2023**
Town Of Orangetown

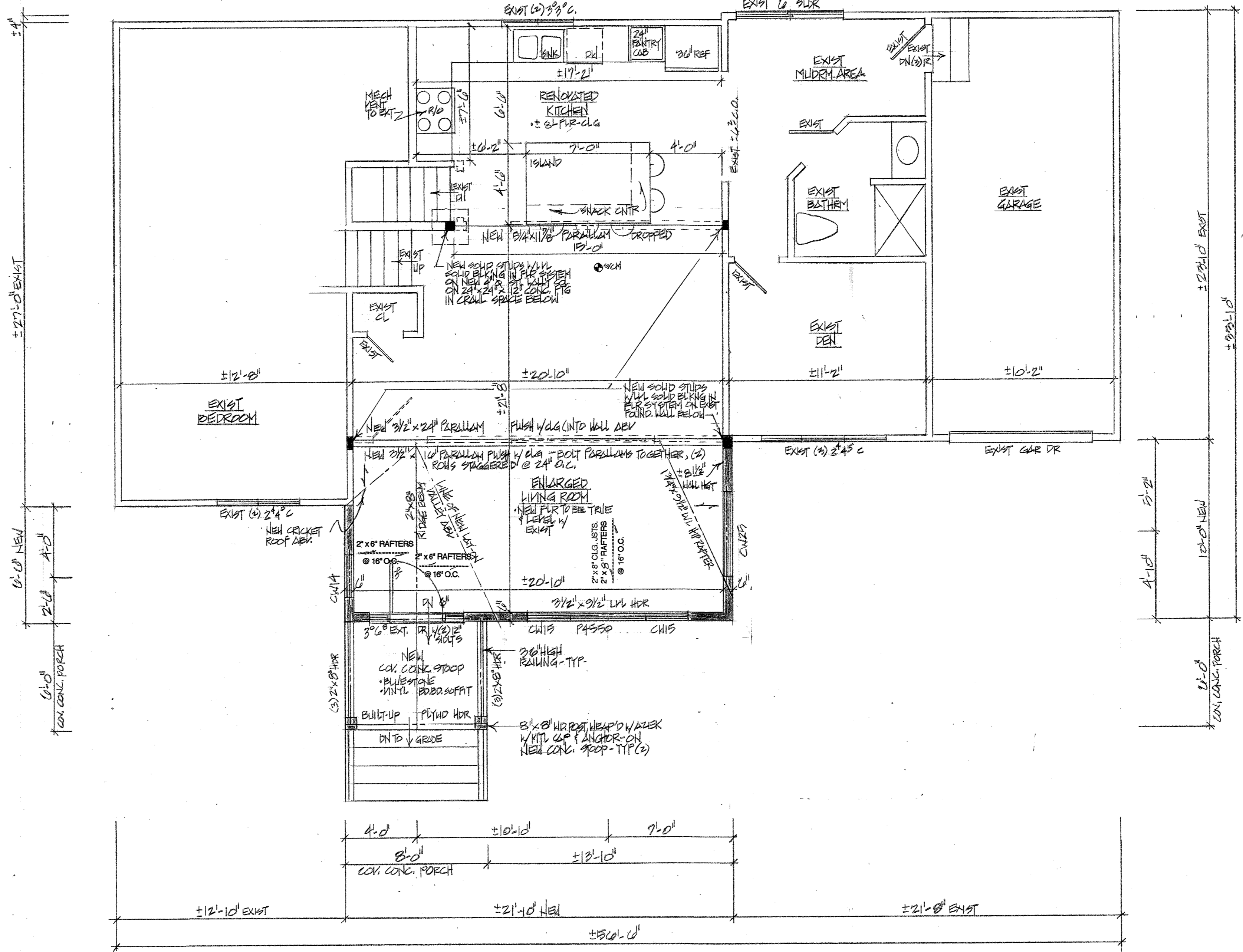


TYPICAL WALL SECTION

SCALE: 1/2" = 1'-0"



FOUNDATION PLAN



MAIN FLOOR PLAN

NOTE: ALL HEADERS ARE TO BE (2) 2"x10" UNLESS OTHERWISE INDICATED

EXIST. GARAGE S.F.: 250
NEW GOV. STOOP S.F.: 48

EXIST. S.F.: 1132; NEW S.F.: 218
TOTAL MAIN FLR. S.F.: 1350

EXIST. SECOND FLR. S.F.: 850
NEW TOTAL LIVING S.F.: 2200

SCALE: 1/4" = 1'-0"

GENERAL SPECS. CONTINUED

- MINI**
- ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL, FREE FROM ROT, LARGE AND LOOSE KNOTS, SHAKES, AND OTHER IMPERFECTIONS WHICH WEAKEN THE STRENGTH OR MAY BE HARMFUL AND OF SIZES INDICATED ON DRAWINGS.
 - DOES, SILLS, POSTS, LINTELS AND RAFTERS SHALL BE HEM-FIR (10% MAXIMUM GRADE DEFECT) UNLESS OTHERWISE NOTED IN THIS SPECIFICATION OR ON THE DRAWINGS.
 - THE MIN. UNIT STRESS FOR HEM-FIR SHALL BE:
 - FIBER STRESS (F_v) = 1500 PSI
 - HORIZONTAL SHEAR (F_v) = 90 PSI
 - MODULUS OF ELASTICITY (E) = 1,400,000 PSI
 - DOES, SILLS, POSTS, LINTELS AND RAFTERS SHALL BE HEM-FIR (10% MAXIMUM GRADE DEFECT) UNLESS OTHERWISE NOTED IN THIS SPECIFICATION OR ON THE DRAWINGS.
 - THE MIN. UNIT STRESS FOR HEM-FIR SHALL BE:
 - FIBER STRESS (F_v) = 1500 PSI
 - HORIZONTAL SHEAR (F_v) = 90 PSI
 - MODULUS OF ELASTICITY (E) = 1,400,000 PSI
 - LOCALIZED DESIGN LOADS: ADD 10 PSI DEAD LOAD ALL SPANS:
 - ROOF: 30 PSI LIVE LOAD (40)
 - FLOORS: 40 PSI LIVE LOAD (40)
 - ATTIC: 20 PSI LIVE LOAD (30)
 - DECK: 60 PSI LIVE LOAD (70)
 - ALL SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY WALLS, SLABS, ETC., SHALL BE PRESSURE TREATED LUMBER UNLESS OTHERWISE NOTED. SILL SEAL SHALL BE INSTALLED WHERE REQUIRED BY SITE CONDITIONS AND BUILDING CODES.
 - DOUBLE JOISTS SHALL BE INSTALLED UNDER ALL PARTITIONS RUNNING PARALLEL TO SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE STUDS SHALL BE INSTALLED AROUND ALL WALL OPENINGS. ONE ROW OF SOLID BRACING AT MID-HEIGHT WITH ALL TIE RODS BEARING WALLS, DOUBLE FRAMING AROUND ALL SKYLIGHTS, ROOF AND FLOOR JOISTS AND L.V.L. JOISTS-LAM TO BE RETAINED IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS. FLOOR JOISTS SHALL RECEIVE CROSSBRACING AT 7'-0" MAXIMUM SPACING.
 - INTERIOR SUBFLOOR SHALL BE 3/4" TONGUE AND GROOVE SHEATHING GLED AND JED OVER PREFABRICATED FLOOR TRUSSES) OR TWO LAYERS OF 1/2" PLYWOOD LAD PERPENDICULAR TO EACH OTHER, WITH APPROVED EQUAL. FINITE SHELD SHALL BE JLED TO FLOOR JOISTS. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD HORIZONTAL WITH VERTICAL JOISTS STAGGERED 4". ROOF SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD, UNLESS OTHERWISE NOTED.
 - INTERIOR WALLS SHALL BE 2" X 4" WOOD FRAMING. INTERIOR PARTITIONS SHALL BE 1/2" WOOD FRAMING. STUDS SHALL BE PLACED 16" ON CENTER UNLESS OTHERWISE NOTED AND RECEIVE BLOCKING AT MID-HEIGHT AS REQUIRED. STUDS AT CABLE ENDS FOR CATHEDRAL CEILING SHALL RUN FULL HEIGHT FROM SOLE PLATE TO ROOF AND ALL RECEIVE SOLID BLOCKING AT 8' ABOVE FLOOR. ALL BEARING WALLS AND PARTITIONS SHALL RECEIVE BLOCKING AT MID-HEIGHT.
 - HEADERS OVER ALL DOORS, WINDOWS, AND OTHER OPENINGS UNDER 6' SHALL BE 2" X 10" UNLESS OTHERWISE NOTED. HEADERS OVER 6' TO 8' SHALL RECEIVE 2" X 10" OR (2) 2" X 12" HEADERS IN EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR DECK SHALL BE FRAMED WITH PRESSURE TREATED LUMBER UNLESS OTHERWISE NOTED. LUMBER SHALL HAVE THE FOLLOWING MINIMUM STRESS: 1,000 PSI TO E 1,400,000 PSI AND SHALL BE SOUTHERN YELLOW PINE OR APPROVED EQUAL. GABLES NEED HEAVY DUTY POST BARS MADE OF DOUGLAS FIR OR EQUAL. ALL WOOD CEILING JOISTS SHALL RECEIVE DIAGONAL CROSS BRACE OR DIAGONAL DECKING. DECKING IS TO BE NON-TOXIC LUMBER, I.E. DOUGLAS FIR OR EQUAL. RAILINGS TO BE CONSTRUCTED AT 36" HEIGHT AND WITH MAXIMUM 6" SPHERE OPENING, AS PER IBCS.
 - ROOFING MATERIAL SHALL BE MINIMUM 30 YEAR FIBERGLASS SHINGLES (OWNERS MINING OR APPROVED EQUAL) OVER 15LB ROOFING FELT, VALLEY FLASHING AND THER APPROPRIATE FLASHING SHALL BE PROVIDED AS REQUIRED. ICE AND WATER SHED SHALL BE INSTALLED AS REQUIRED.
 - FASCIA BOARDS SHALL BE SCARFED AT A 45 DEGREE ANGLE OR 90 DEGREE ANGLE. SOIA BOARDS SHALL BE COMMON PINE WRAPPED IN ALUMINUM, UNLESS OTHERWISE NOTED.
 - ALUMINUM CUTTERS AND LEADERS SHALL BE PROVIDED AS REQUIRED. SPLASH COCKS SHALL BE PROVIDED AT OUTLETS UNLESS OTHER PROVISIONS FOR WATER DISCHARGE ARE PROVIDED. ALL WATER MUST DRAIN AWAY FROM STRUCTURE SO AS NOT TO CONTRIBUTE TO GROUND WATER SEEPAGE AT FOUNDATION.

DOORS AND WINDOWS

- 42. WINDOWS SHALL BE SIZE, TYPE AND MFG. AS INDICATED ON PLANS, WITH SCREENS AND HARDWARE PROVIDED. GLAZING LESS THAN 1" ABOVE FINISH SHALL BE TEMPERED. OPTIONS SUCH AS GLAZING, GRILLES, COLORS, ETC., SHALL BE SELECTED BY OWNER AND/OR BUILDER PRIOR TO CONSTRUCTION. HEAD HEIGHT SHALL BE 6' - 10", UNLESS OTHERWISE NOTED.
- 43. EXTERIOR DOORS TO BE OF THE MANUFACTURER, TYPE, SIZE AND STYLE AS INDICATED ON THE DRAWINGS. ANY MANUFACTURER OPTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL DOORS SHALL BE 2" - 8" HEIGHT UNLESS OTHERWISE NOTED. PROVIDE WEATHER STRIP SADDLE ON ALL EXTERIOR DOORS. PROVIDE ALUMINUM SADDLE ON ALL INTERIOR PERSONNEL GARAGE DOORS.

PLUMBING

- 44. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REQUIREMENTS AND SHALL BE SUBJECT TO THE APPROVAL OF THE PLUMBING INSPECTOR. PLUMBING WORK SHALL BE PROVIDED BY CONTRACTOR. BATHROOM FIXTURES SHALL BE KOHLER, AMERICAN STANDARD, OR APPROVED EQUAL. OWNER SHALL SELECT FIXTURES / NO COLORS. PLUMBING FIXTURES TO BE MANUFACTURED BY (OR EQUAL).

ELECTRICAL

- 45. ALL ELECTRICAL WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE N.E.C. AND LOCAL UTILITY COMPANY. GROUND FAULT INTERRUPTERS, DOUBLE RECEPTACLES, ETC., SHALL BE INSTALLED AS REQUIRED ACCORDING TO KITCHEN AND/OR BATH LAYOUTS AND CODE REQUIREMENTS.

HEATING, VENTILATING, AIR CONDITIONING

- 46. ALL HEATING AND AIR CONDITIONING WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES. THE HEATING AND AIR CONDITIONING SYSTEM SHALL MEET ALL REQUIREMENTS OF THE NEW JERSEY STATE ENERGY CONSERVATION CONSTRUCTION CODE AS THEY APPLY.

THERMAL AND MOISTURE PROTECTION

- 47. APPLY FOUNDATION DAMPROOFING OR WATERPROOFING ON ALL BACKFACE OF WALLS BELOW EARTH GRADE.
- 48. PROVIDE 15LB BUILDING FELT, "TYVEK", "TYPAR", OR EQUAL, BEHIND ALL SIDING, WIN DOWN AND DOOR CASINGS, MAIL TRIMS, ETC.
- 49. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED, CAULKED, WEATHER STRIPPED OR OTHERWISE PROPERLY SEALED.
- 50. ALL EXTERIOR WALLS AND ROOFS SHALL BE INSULATED AS INDICATED ON PLANS AND PER CODES. INSULATION SHALL BE FIBERGLASS BATT OR RIGID INSULATION. RIGID INSULATION SHALL BE INSTALLED IN CATHEDRAL CEILING AS REQUIRED.

INTERIOR

- 51. ALL GYPSUM BOARD SHALL BE SCREWED ON CEILING AND/OR NAILED TO WALLS. IT RECEIVE THREE COATS OF SPACKLE, FINISHED TO RECEIVE TWO COATS OF PAINT, AND ONE COAT OF PRIMER, COLORS BY OWNER. BATHROOMS SHALL RECEIVE WATERPROOF SHEETROCK BEHIND TILE AREAS, AND WOODBORD OR APPROVED EQUAL BEHIND TILE IN BATH AND SHOWER AREAS.
- 52. FLOORING, TRIM, CLOSET SHELVING, CABINETRY, APPLIANCES, FIXTURES, HARDWARE ETC., SHALL BE SELECTED BY OWNER AND INSTALLED BY BUILDER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- 53. INTERIOR DOORS SIZED AS INDICATED ON DRAWINGS. STYLE AND TYPE BY OWNER/CONTRACTOR.
- 54. CERAMIC TILE OR MARBLE FLOORS IN THE AREA INDICATED ON PLANS SHALL BE INSTALLED IN A "MUD" BASE.
- 55. OAK HARDWARE FLOORS SHALL BE INSTALLED MINIMUM 60 DAYS AFTER DELIVERY AND BUILDING TO BE HEATED. OAK FLOORS TO RECEIVE TWO COATS OF POLYURETHANE, GYTA SEAL OR EQUAL.
- 56. STAIRS TO BE AS INDICATED ON DRAWINGS WITH A MINIMUM OF 8" TREAD, AND A MAXIMUM RISE OF 7". MATERIAL AND STYLE BY OWNER, UNLESS OTHERWISE INDICATED. ALL SHALL BE INSTALLED AS PER STATE AND LOCAL CODES. ALL RAILINGS TO BE 30" HIGH. MINIMUM. STYLE AND MATERIAL TO BE SELECTED BY OWNER, AND SHALL CONFORM TO ALL STATE AND LOCAL CODES. (6" SPHERE MAXIMUM OPENING). ALL EXPOSED WOOD AND TRIM TO RECEIVE ONE COAT OF STAIN AND OPTIMAL TWO COATS POLYURETHANE.

STATE OF NEW YORK ADOPTED CODES AND STANDARDS

- INTERNATIONAL RESIDENTIAL CODE-NY ED, 2020
- NATIONAL ELECTRICAL CODE, 2020
- NATIONAL STANDARD PLUMBING CODE, 2020
- INTERNATIONAL ENERGY CONSERVATION CODE, 2020 (RESIDENTIAL) NY STATE
- INTERNATIONAL MECHANICAL CODE, 2020
- INTERNATIONAL FUEL GAS CODE, 2020
- 2020 RESIDENTIAL PRESCRIPTIVE PACKAGE

NOTE: TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, PLANS ARE IN COMPLIANCE WITH THE 2020 IECC & NYS ENERGY CODE

WEIR RESIDENCE
ONE-STORY ADDITION

71 PINTO ROAD
PEARL RIVER, N.Y.

HARRY J. GOLDSTEIN
ARCHITECT

HARRY J. GOLDSTEIN
ARCHITECT
DESIGN & DEVELOPMENT

4 REGINA ROAD
MONSIEY, NEW YORK 10952
(914) 356-7942 (914) 393-3787

N.Y.S. LICENSE NO. 023818
NOT VALID UNLESS SIGNED & SEALED

PROJECT 230418
MAY 15, 2023

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