

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 8/17/23

Please check all that apply:

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR 3038-23

ASSIGNED _____

INSPECTOR: Mike

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Andreozzi

Street Address: 126 East Washington Avenue
Pearl River, NY 90955

Tax Map Designation:
Section: 68.16 Block: 6 Lot(s): 23
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the left side of E Washington, approximately 4 hours feet from of the intersection of John St, in the Town of _____ in the hamlet/village of PRiver.
Acreage of Parcel 1/4 Acre Zoning District R6
School District PR Postal District PR
Ambulance District PR Fire District PR
Water District Verlisa Sewer District Orangetown

Project Description: (If additional space required, please attach a narrative summary.)
Add on to kitchen with deck

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 8/17/23 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 4.12.23 Section: 68.16 Block: 6 Lot: 23

Applicant: Andreozzi

Address: 126 East Washington Ave, Pearl River, NY

RE: Application Made at: same

Referred For:


- ***Chapter 43, Bulk Table 3.12, RG District with Article V, Section 5.2 Exceptions to Bulk Regulations, 5.21(a thru e); and Section 9.2 Non-Conforming Bulk
- ***Column 1 RG, Column 2 Group Q, Column 3 SFR, Column 9 Required Side Yard 10' w/ 7.9' proposed, Column 10 Total Side Yard 20' w/ 19.4' proposed (Section 5.21(d) applies)
- ***Section 9.2 Degree of Non-Conforming Bulk not to be increased
- ***Three variances required
- ***ENC (Existing Non-Conforming Lot Width 50'

Comments: Rear Yard Addition with Deck

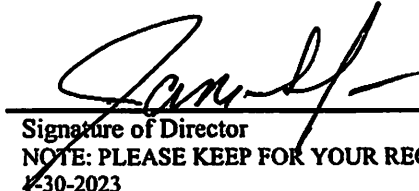
Dear Andreozzi :

Please be advised that the Building Permit Application # p23-3038, which you submitted on 4.3.23, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com.

Sincerely,


Richard Oliver
Deputy Building Inspector

4/13/23


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
4-30-2023

4/13/23
Date
Liz DeCort
Debbie Arbolino

CC:

VIS	PRINT KEY	NAME	ADDRESS
2489	68.16-5-60	Joanna Shapiro	21 Saint Lukes Pl,Beacon, NY 12508
2489	68.16-5-61	Gerald Conroy	135 E Washington Av,Pearl River, NY 10965
2489	68.16-5-62	Jean Cunney	125 E Washington Ave,Pearl River, NY 10965
2489	68.16-5-63	David B Gray	123 E Washington Ave,Pearl River, NY 10965
2489	68.16-5-64	Ronald C Lesica	298 Van Wyck Rd,Blauvelt, NY 10913
2489	68.16-5-65	Kenneth Ayres	111 N Middletown Rd Apt 1,Pearl River, NY 10965
2489	68.16-5-66	Phillip Donnelly	105 E Washington Ave,Pearl River, NY 10965
2489	68.16-5-67	Charles A Rose	101 E Washington Ave,Pearl River, NY 10965
2489	68.16-6-16	Isaias Mercado	102 E Washington Ave,Pearl River, NY 10965
2489	68.16-6-17	Ragitha M Shaji	110 E Washington Ave,Pearl River, NY 10965
2489	68.16-6-18	11 North John Street LLC	11 N John St,Pearl River, NY 10965
2489	68.16-6-19	Andrew Coughlan	14 N John St,Pearl River, NY 10965
2489	68.16-6-20	Michael Coakley	116 E Washington Ave,Pearl River, NY 10965
2489	68.16-6-21	Hernan Chumaina	120 E Washington Ave,Pearl River, NY bache
2489	68.16-6-22	Peter Lovett	124 E Washington Av,Pearl River, NY 10965
2489	68.16-6-23	Theresa A Andreozi	126 E Washington Ave,Pearl River, NY 10965
2489	68.16-6-24	Lawrence J Ayers	130 E Washington Ave,Pearl River, NY 10965
2489	68.16-6-25	Sergey G Khlebutin	134 E Washington Ave,Pearl River, NY 10965
2489	68.16-6-26	Michael Coleman	138 E Washington Ave,Pearl River, NY 10965
2489	68.16-6-27	Sally E Seitz	144 E Washington Ave,Pearl River, NY 10965
2489	68.16-6-28	Francis A Slayne	148 E Washington Ave,Pearl River, NY 10965
2489	68.16-6-29	Peter A Guarino	152 E Washington Ave,Pearl River, NY 10965
2489	68.16-6-38	Karl Ackermann	159 E Central Ave,Pearl River, NY 10965
2489	68.16-6-39	A & E MAC Realty LLC	37-37 9th St,Long Island City, NY 11101
2489	68.16-6-40	Marc W Kroenung	23 Atlantic Ave,Nanuet, NY 10954
2489	68.16-6-41	Anthony Wolanski	145 E Central Ave,Pearl River, NY 10965
2489	68.16-6-42	John & Erica Roche	84 Cedar Grove Pkwy,Cedar Grove, NJ 07089
2489	68.16-6-43	Bryan Moretto	129 E Central Ave,Pearl River, NY 10965
2489	68.16-6-44	Asgar Realty Inc	125 E Central Ave,Pearl River, NY 10965
2489	68.16-6-45	Commerce Bank	Tower B, 380 Wellington St Fl 12,London, Ontario N6A 4S4

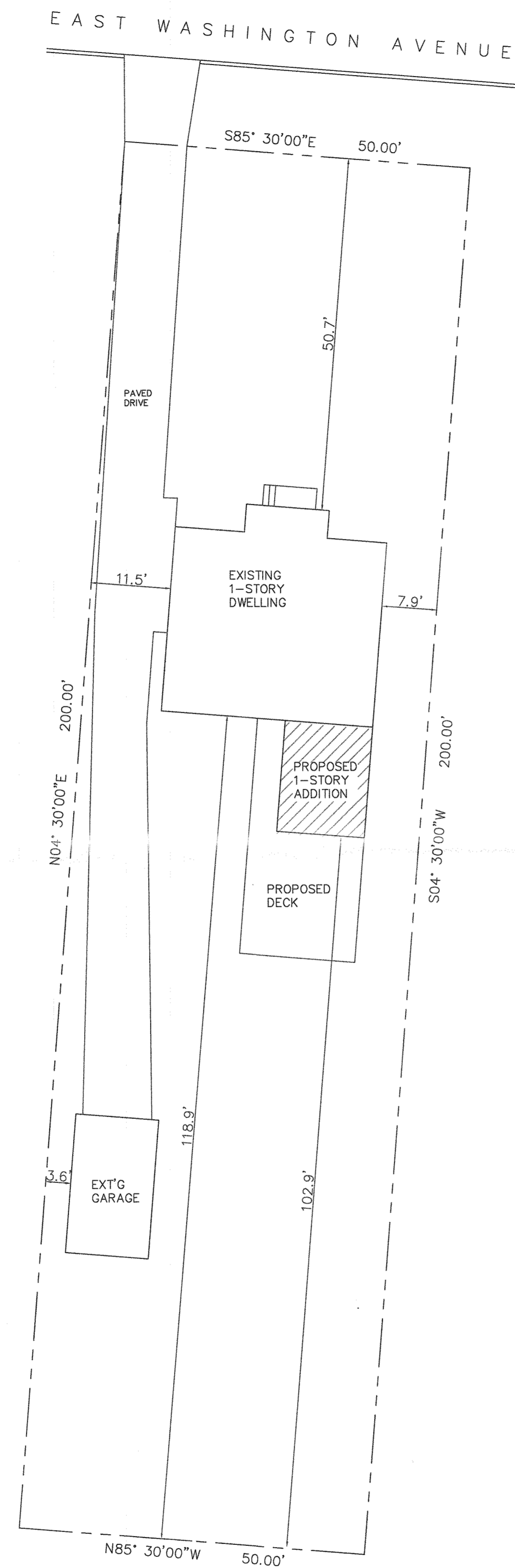


SITE PLAN

SCALE: 1" = 30'

SITE PLAN DATA TAKEN FROM SURVEY BY
ROBERT E. SORACE, P.L.S. LOCATED AT 11 THIRD
STREET, NEW CITY, NY 10956, NYS LIC NO.
49162, DATED OCTOBER 19, 1995

LOT AREA = 10,000 SQ FT
TAX LOT: SECTION 68.16 BLOCK 6- LOT 23



AREA OF IMPERVIOUS SURFACE	
PORCH TO BE REMOVED:	-196 SF
PROPOSED ADDITION:	+203 SF
NET INCREASE IN IMPERVIOUS AREA:	+7 SF

TABLE OF BULK REGULATIONS FOR DISTRICT RG, GROUP Q FOR THE TOWN OF ORANGETOWN
SECTION 5.21 UNDERSIZED LOT

	REQUIRED	EXISTING	PROPOSED
MAXIMUM FLOOR AREA RATIO	.30	.14	.6
MINIMUM LOT AREA	10,000 SF	10,000 SF	NO CHANGE
MINIMUM LOT WIDTH	75'	50' **	NO CHANGE
MINIMUM STREET FRONTAGE	50'	50'	NO CHANGE
REQUIRED FRONT YARD	25'	50.7'	NO CHANGE
REQUIRED SIDE YARD	10'	7.9' **	NO CHANGE
TOTAL SIDE YARD	20'	19.4' **	NO CHANGE
REQUIRED REAR YARD	25'	118.9'	102.9'
BUILDING HEIGHT (FEET)	20'	19'	NO CHANGE
MAXIMUM BUILDING HEIGHT IN FEET AND INCHES PER FOOT OF DISTANCE MEASURED FROM THE DESIGNATED STREET LINE IS 1'-4"			

** EXISTING NON-CONFORMING CONDITION

ZONING BOARD OF APPEALS
Meeting Of:
OCT 4 2023
Town Of Orangetown

DO NOT SCALE PRINTS

DATE:	
DATE:	
DATE:	
DATE:	
DATE:	

DATE:	17 AUGUST 2022
DATE:	19 AUGUST 2022
DATE:	25 AUGUST 2022
DATE:	2 SEPTEMBER 2022

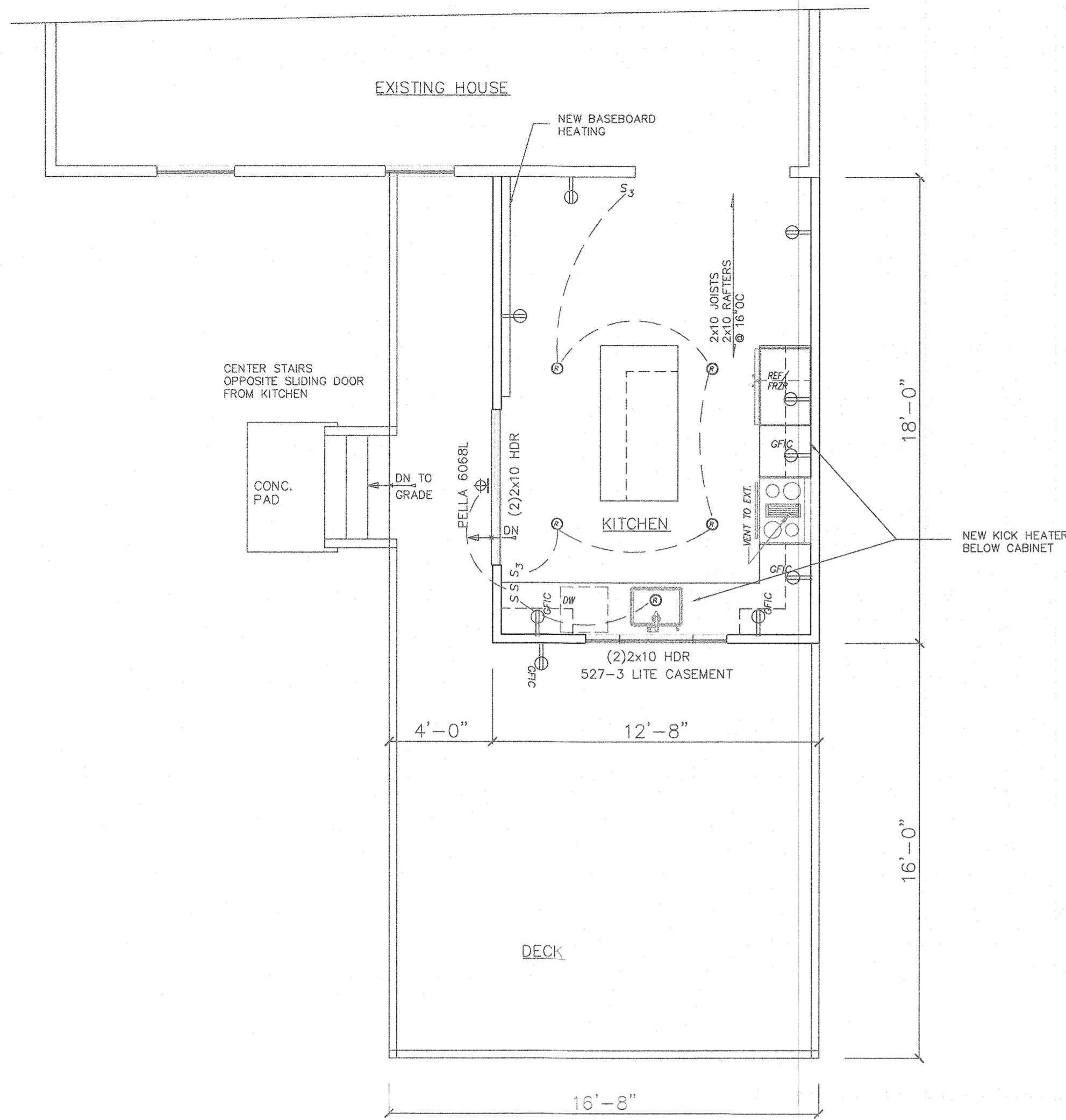
SCALE:	AS NOTED
SHEET:	SP-1

ANDREOZZI RESIDENCE
126 EAST WASHINGTON AVENUE
PEARL RIVER, NEW YORK

SITE PLAN

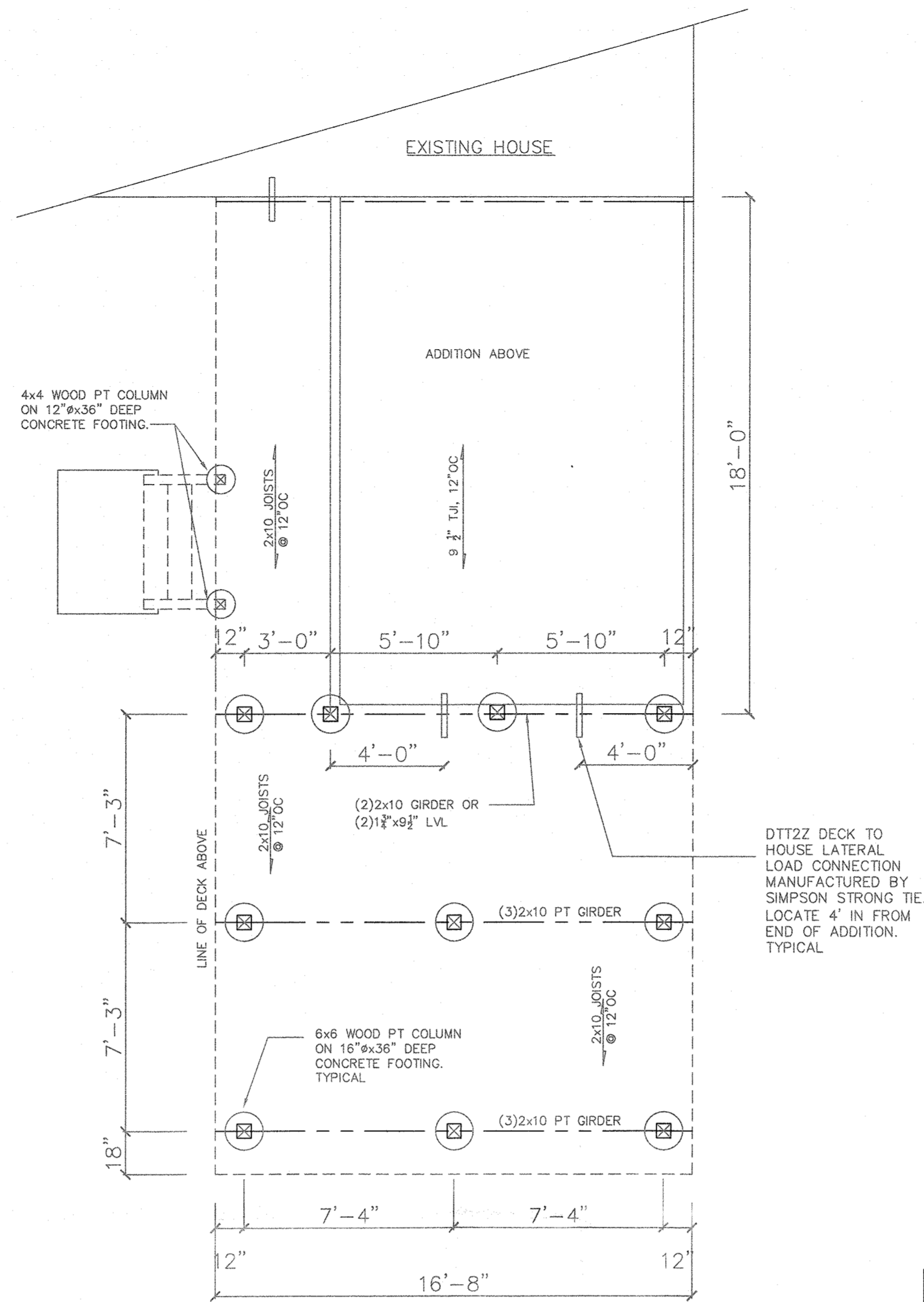
BART M. RODI - ENGINEER
RESIDENTIAL & COMMERCIAL
234 SOUTH GRANT AVE
CONGENS, NEW YORK 10920
(845) 268-6663

[Signature]
NYS LIC #070646
PLANS VALID ONLY IF SEALED

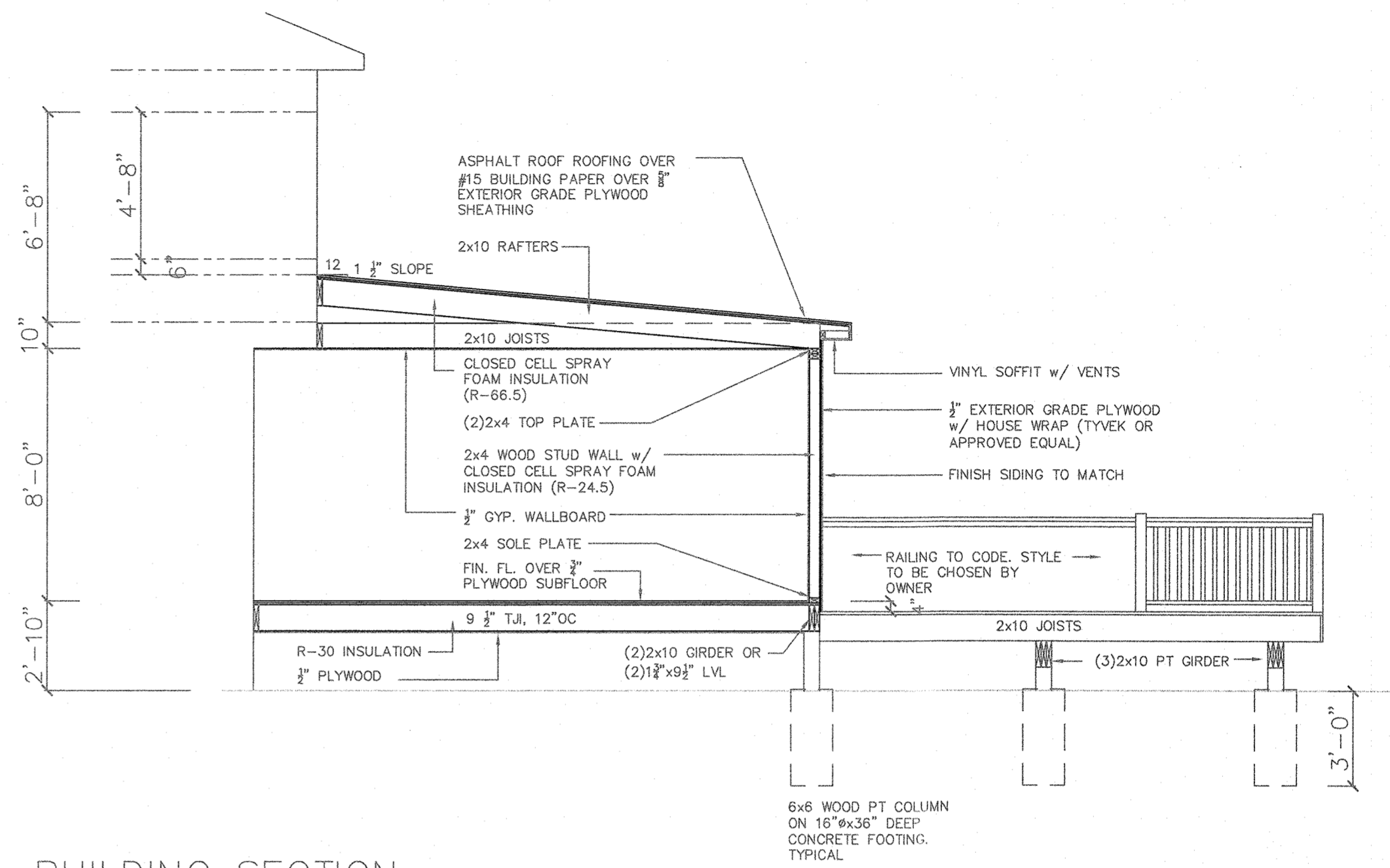


NOTE:
NEW HEATING SUPPLIED BY EXISTING BOILER.

PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



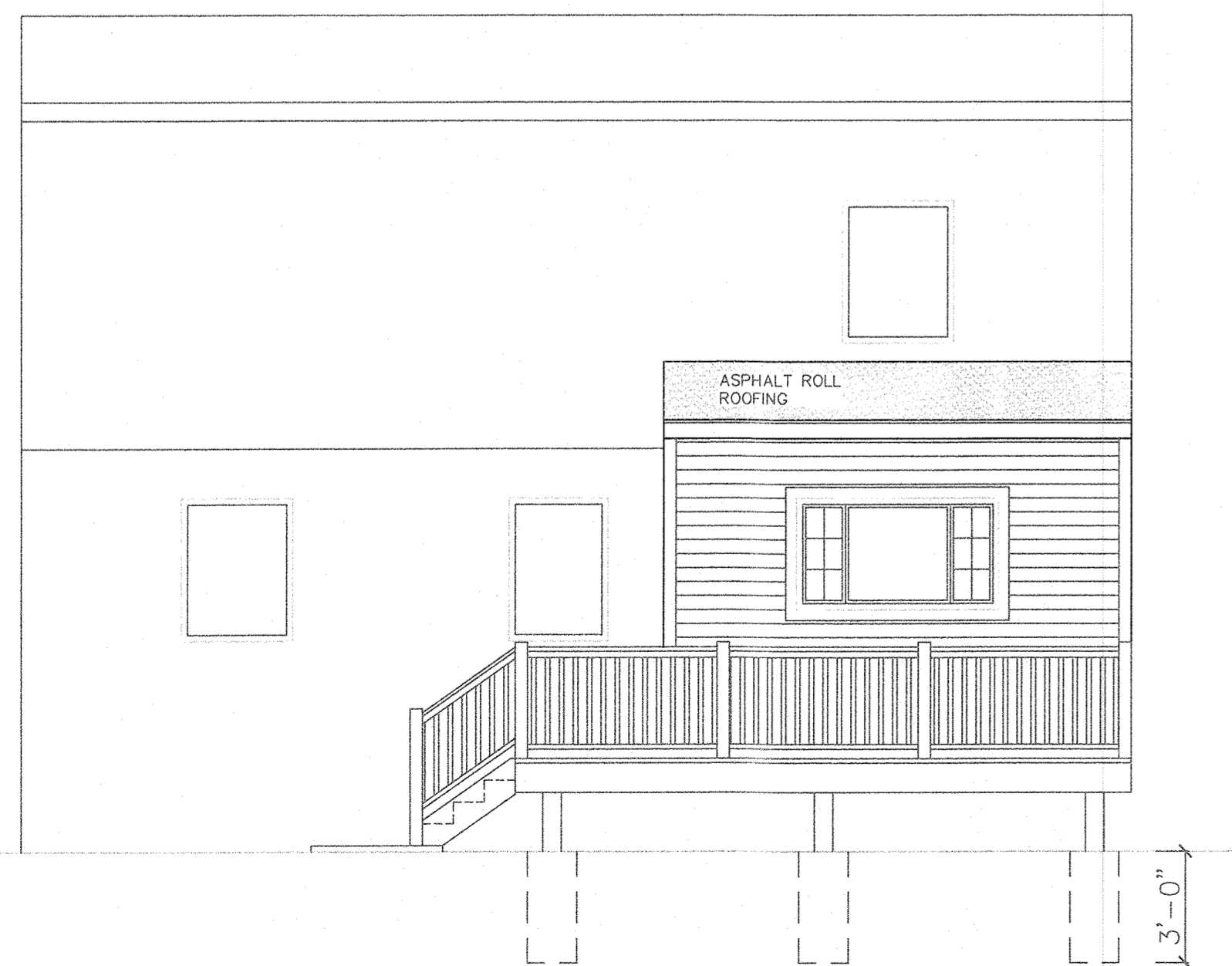
BUILDING SECTION
SCALE: 1/4" = 1'-0"

ELECTRIC FIXTURE LEGEND

- ⊖ - DUPLEX OUTLET
- ⊖_{OPIC} - GROUND FAULT CIRCUIT (DUPLEX)
- ⊕ - CEILING MOUNTED FIXTURE (150 W INCANDESCENT)
- ⊕_W - WALL MOUNTED FIXTURE (150 W INCANDESCENT)
- ⊙ - RECESSED CEILING FIXTURE
- S - SWITCH
- S₃ - THREE WAY SWITCH
- ⊖ ⊕ - SWITCH TO FIXTURE / OUTLET WIRING

ELECTRICAL NOTES

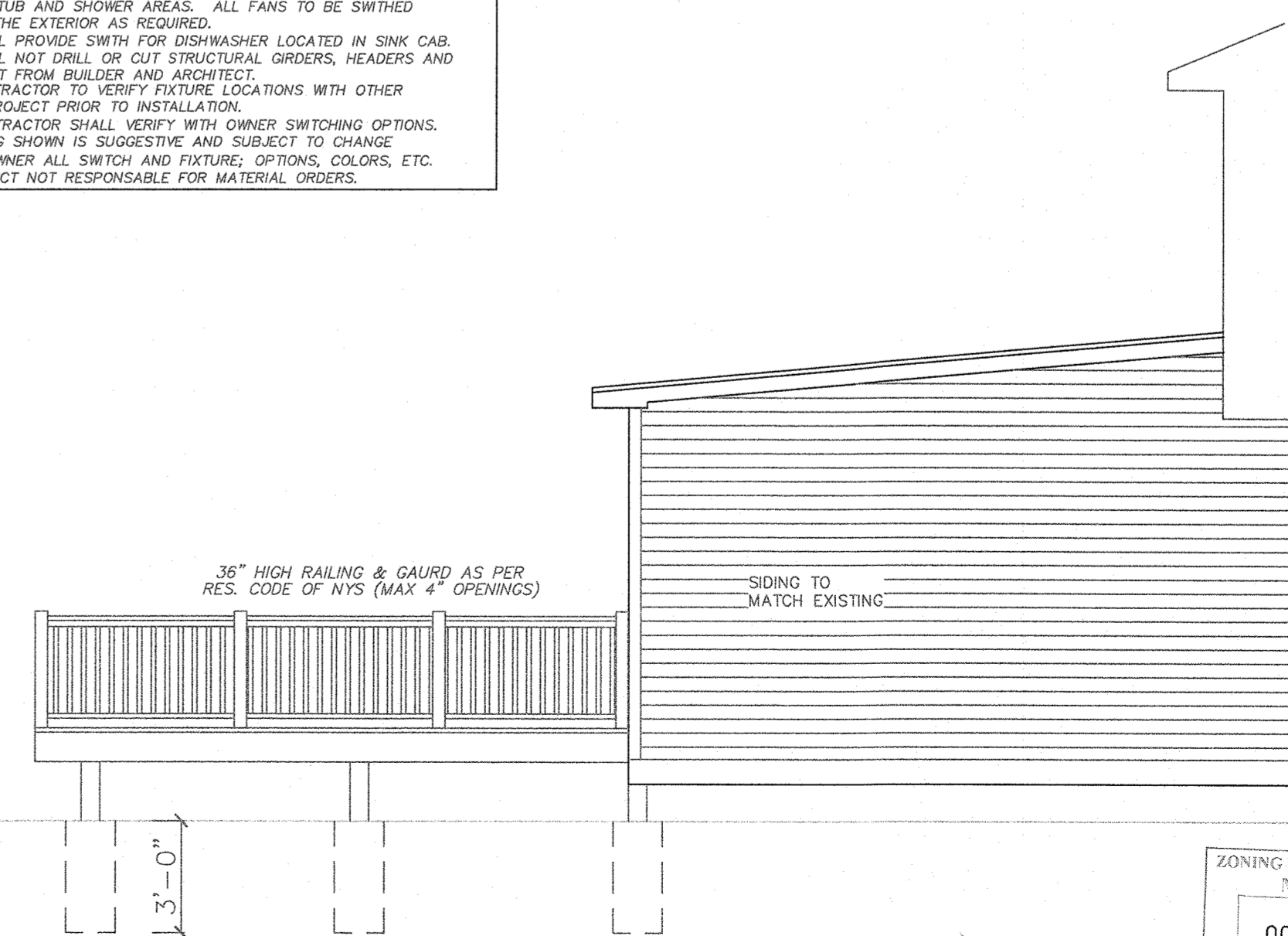
- NOTES - TYPICAL UNLESS NOTED OTHERWISE ON PLAN
- ALL OUTLETS, FIXTURES AND THEIR RESPECTIVE SWITCHES TO BE PLACED AND INSTALLED AS PER THE RESIDENTIAL CODE OF NYS AND THE LATEST EDITION OF THE NEC.
 - ALL SMOKE AND CARBON MONOXIDE DETECTORS TO BE HARDWIRED AND INTERCONNECTED WITH EACH OTHER. PROVIDE BATTERY BACK-UP TYPE DETECTORS
 - ELECTRICAL CONTRACTOR SHALL PROVIDE MECHANICAL EXHAUST FANS, FOR ALL RANGES, AND IN ALL LAUNDRY, TOILET, TUB AND SHOWER AREAS. ALL FANS TO BE SWITCHED INDIVIDUALLY AND VENTED TO THE EXTERIOR AS REQUIRED.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE SWITCH FOR DISHWASHER LOCATED IN SINK CAB.
 - ELECTRICAL CONTRACTOR SHALL NOT DRILL OR CUT STRUCTURAL GIRDERS, HEADERS AND BEAMS WITHOUT PRIOR CONSENT FROM BUILDER AND ARCHITECT.
 - BUILDER AND ELECTRICAL CONTRACTOR TO VERIFY FIXTURE LOCATIONS WITH OTHER TRADES INVOLVED WITH THIS PROJECT PRIOR TO INSTALLATION.
 - BUILDER AND ELECTRICAL CONTRACTOR SHALL VERIFY WITH OWNER SWITCHING OPTIONS.
 - RECESSED AND OTHER LIGHTING SHOWN IS SUGGESTIVE AND SUBJECT TO CHANGE
 - BUILDER SHALL VERIFY WITH OWNER ALL SWITCH AND FIXTURES, OPTIONS, COLORS, ETC. PRIOR TO ORDERING - ARCHITECT NOT RESPONSIBLE FOR MATERIAL ORDERS.



REAR ELEVATION
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"

ZONING BOARD OF APPEALS
Meeting Of:
OCT 4 2023
Town Of Orangetown

DATE	DATE
25 OCTOBER 2021	17 AUGUST 2022
27 OCTOBER 2021	19 AUGUST 2022
18 JANUARY 2022	25 AUGUST 2022
5 MAY 2022	18 JANUARY 2022
2 AUGUST 2022	2 SEPTEMBER 2022
6 AUGUST 2022	15 SEPTEMBER 2022
	10 MAY 2023

SCALE	SCALE
AS NOTED	AS NOTED
SHEET:	A-1

ANDREOZZI RESIDENCE
126 EAST WASHINGTON AVENUE
PEARL RIVER, NEW YORK

PROPOSED ADDITION

BART M. RODI - ENGINEER
RESIDENTIAL & COMMERCIAL
234 SOUTH GRANT AVE
CONGERS, NEW YORK 10920
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