

PROPERTY INFORMATION

ADDRESS: 475 KINGS HIGHWAY SPARKILL, NY 10976
 PROJECT TYPE: DEVELOPMENT OF EMPTY LOT TO PROVIDE NEW SINGLE-FAMILY WOOD-FRAME DWELLING
 LOT NUMBER: 74.20-3-5.1
 LOT WIDTH: 76.9'
 LOT DEPTH: 173.11'

LOT AREA: 10,911 SF (25A)
 ALLOWABLE F.A.R. .30 (3,273 SF)
 GROSS FLOOR AREA PROPOSED: 3,269 SF

MAXIMUM BUILDING HEIGHT: 30'-0"
 PROPOSED BUILDING HEIGHT: 24'-7"

SEE SITE PLAN FOR ALL REQUIRED SETBACKS AND PROPOSED BUILDING SETBACKS.
 MAXIMUM BUILDING HEIGHT IS EQUAL TO 1'-4" PER 1'-0" DISTANCE FROM NEAREST PROPERTY LINE.

GENERAL NOTES

THESE SIGNED & SEALED DOCUMENTS HAVE BEEN PREPARED TO ILLUSTRATE AND EXPLAIN THE SCOPE OF WORK REQUIRED FOR THE CONSTRUCTION OF A NEW SINGLE-FAMILY WOOD-FRAME DWELLING, AND ARE LIMITED TO BASIC STRUCTURAL & ARCHITECTURAL INFORMATION. NO FURTHER LIABILITY SHALL BE ASSUMED BEYOND THE CONTENTS HEREIN.

ALL MECHANICAL, ELECTRICAL, & PLUMBING INFORMATION AND SCOPE OF WORK SHALL BE PROVIDED BY OTHERS.

ALL WORK SHALL COMPLY WITH NYC BUILDING CODE, NFPA, NYC ELECTRICAL CODE & ALL OTHER APPLICABLE CODES & ORDINANCES AND IN ACCORDANCE WITH MUNICIPALITY RULES. APPLICABLE CODES INCLUDE:
 2020 INTERNATIONAL BUILDING CODE NY STATE / 2021 INTERNATIONAL RESIDENTIAL CODE
 2017 UNIFORM CONSTRUCTION CODE WITH NY STATE SUPPLEMENT
 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE WITH 2020 NYS TRENCH ENERGY CODE SUPPLEMENTS.

IN ADDITION TO WORKMAN'S COMPENSATION AND DISABILITY INSURANCE REQUIRED BY THE DEPARTMENT OF BUILDINGS, ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK IN THE PREMISES SHALL PROVIDE LIABILITY INSURANCE IN AMOUNTS DESIGNATED BY THE BUILDING OWNER.

IN THE EVENT OF CONFLICTS BETWEEN THE DOCUMENTS AND THE REQUIREMENTS OF THE BUILDING CODE, THE MORE STRINGENT REQUIREMENT GOVERNS.

IN THE EVENT OF ERRORS OR INCONSISTENCIES IN THE DOCUMENTS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. THE ARCHITECT SHALL PROVIDE CLARIFYING INFORMATION TO THE CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY STRUCTURAL CONDITIONS NOT SHOWN ON THESE PLANS.

THE INTENT OF THESE DOCUMENTS IS TO ILLUSTRATE AND INCLUDE BASIC ITEMS NECESSARY FOR THE PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL FURNISH OR CONTRACT FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND OTHER ITEMS AS MAY BE NECESSARY TO COMPLETE THE WORK CALLED FOR, SHOWN ON OR REASONABLY INFERRED BY THESE DOCUMENTS.

THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, TECHNIQUES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SINCE THESE ARE SOLELY THE GENERAL CONTRACTOR'S RESPONSIBILITY.

DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. IF UNCERTAINTY ARISES REGARDING DIMENSIONS, ALIGNMENTS, HEIGHTS, ETC. CONTACT THE ARCHITECT FOR CLARIFICATION.

THE CONTRACTOR SHALL COORDINATE THE WORK OF SEPARATE TRADES. THE CONTRACTOR SHALL COORDINATE THE FITTING AND MATCHING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE SUBCONTRACTORS OR THEIR SUPPLIERS.

THE CONTRACTOR SHALL INSURE THAT ALL WORK IS INSTALLED STRAIGHT, TRUE TO LINE, ACCURATELY FITTED AND LOCATED WITH PROPER SUPPORTS, GROUNDS, BLOCKING, HARDWARE, BACKING MATERIAL, JOINTS, SEALANT OR GROUTS AS APPLICABLE USING APPROPRIATE HARDWARE OR CONNECTION DEVICES AND FOR THE PROPER INTEGRATION OF THE WORK OF DIFFERENT TRADES, ALL ITEMS SHALL BE ANCHORED FIRMLY AS REQUIRED BY SUBSTRATE CONDITIONS, EXCEPT ITEMS REQUIRING LOOSE OR SLIP JOINTS OR CONNECTIONS TO ALLOW FOR EXPANSION AND CONTRACTION OR MOVEMENT IN THE BUILDING.

CONSTRUCTION & MATERIALS NOTES

FOR DESIGN PURPOSES, LOAD VALUES FOR THESE DOCUMENTS WERE TAKEN FROM TABLE R401.41, WITH SOILS MAINTAINING A MINIMUM LOAD-BEARING PRESSURE OF 2,000 PSF. ALL FOOTINGS AND FOUNDATION WORK SHALL ONLY BE INSTALLED ON SOIL WITH PROPER BEARING VALUE.

ALL CONCRETE WORK SHALL BE TRANSIT-MIXED STONE WITH A BEARING CAPACITY OF 3,000 PSI TESTED 28 DAYS AFTER POURING.

ALL LUMBER USED IN THE WORK SHALL BE SOUND, DRY, CONSTRUCTION GRADE DOUGLAS FIR OR KD SPRUCE WITH MINIMUM STRESS VALUES OF FB = 1,500 PSI AND E = 1,750,000.

DOOR, WINDOW, AND OPENING HEADERS FOR SPANS LESS THAN 6'-0" SHALL CONSIST OF (2) 2x10 LUMBER, UNLESS OTHERWISE NOTED. DOOR, WINDOW, AND OPENING HEADERS FOR SPANS BETWEEN 6'-0" AND 8'-0" SHALL CONSIST OF (3) 2x10 OR (2) 2x12 LUMBER IN EXTERIOR WALLS, UNLESS OTHERWISE NOTED.

PROVIDE DOUBLE FLOOR JOISTS AT ALL LOCATIONS WHERE PARTITIONS RUN PARALLEL WITH JOIST SPAN.

STAIRS TO BE CONSTRUCTED AND DIMENSIONED AS PER NEW YORK STATE CODE REQUIREMENTS.

MAXIMUM RISER HEIGHT: 8.25"
 MINIMUM TREAD DEPTH: 9"
 MINIMUM NOSING DEPTH: 3/4"
 HANDRAIL HEIGHT: 36" ABOVE FINISHED FLOOR
 MAXIMUM SPINDLE GAP: 4"

STRUCTURAL DESIGN LOADING CHART			
LOCATION	LIVE LOAD REQUIRED	DEAD LOAD APPLIED	TOTAL LOAD VALUE
ATTIC	20 LBS / SF	10 LBS / SF	30 PSF
GUARDRAIL & HANDRAIL	200 LBS / SF	20 LBS / SF	220 PSF
PASSENGER VEHICLE GARAGE	20 LBS / SF	10 LBS / SF	30 PSF
NON-SLEEPING ROOMS	40 LBS / SF	10 LBS / SF	50 PSF
SLEEPING ROOMS	30 LBS / SF	20 LBS / SF	50 PSF
STAIRS	40 LBS / SF	10 LBS / SF	50 PSF
DECKS & PORCHES	40 LBS / SF	10 LBS / SF	50 PSF

THERMAL & FIRE SAFETY NOTES

INSTALL HARD-WIRED SMOKE/CO2 DETECTORS IN ALL BEDROOMS, HALL AREAS NEAR BEDROOMS, ATTICS, AND BASEMENT AND AS PER BUILDING & FIRE SAFETY CODE-MANDATED REQUIREMENTS.

BUILDING THERMAL ENVELOPE SHALL BE PROPERLY SEALED AND SECURED TO LIMIT AIR & MOISTURE INFILTRATION. REFER TO SECTION N102.4.1 OF THE NEW YORK STATE RESIDENTIAL CODE FOR DETAILED INFORMATION REGARDING CAULKING, WEATHERSTRIPPING, & OTHER AIR/VAPOR BARRIER MATERIALS AND INSTALLATIONS.

PROVIDE VAPOR RETARDERS AS PER NEW YORK STATE RESIDENTIAL CODE N1102.5 CLASS 1 (ROCKLAND COUNTY / ZONE 5). AT BASEMENT AND GARAGE STUD WALLS, PROVIDE SHEET POLYETHYLENE, NON PERFORATED ALUMINUM FOIL.

TABLE N1102.1 CLIMATE ZONE #5		
LOCATION	PERFORMANCE REQUIRED	PERFORMANCE SPECIFIED
CEILING	R-49	R-49
WALL	R-21	R-21
FLOOR	R-30	R-30
GLAZING	U-35	U-30
BASEMENT WALL	R-15	N/A
ON-GRADE SLAB EDGE	R-10	N/A
CRAWL SPACE	R-15	N/A

NOTE: ALL WINDOW & DOOR MODEL NUMBERS REFERENCED APPLY TO TO ANDERSEN WOOD-FRAME WINDOW LINE. SEE MANUFACTURER SPECIFICATIONS FOR MORE INFORMATION.

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED*	FLOOD HAZARDS	AIR FREEZING INDEX*	MEAN ANNUAL TEMP*
	SPEED (MPH)*	TOP-GRAPHIC EFFECTS*	SPECIAL WIND REGION*	WIND-BORNE DEBRIS ZONE*		WEATHERING	FROST LINE DEPTH*	TERMITE*					
30 LBS/SF	115	NO	NO	NO	B	SEVERE	3'-0"	MODERATE TO HEAVY	15*	YES	ZONE X	1500 OR LESS	53.1*

NOTE: * ALL CATEGORIES MARKED WITH AN ASTERISK TO BE DETERMINED BY THE JURISDICTION, AS PER TABLE R301.2(1) FOOTNOTES, FILLED IN ABOVE TO BEST KNOWLEDGE. FLOOD HAZARD ZONE DESIGNATION INDICATED BY FEMA FLOOD MAP SERVICE CENTER MAP #36087C0193G (EFFECTIVE 3/3/2014).

NOTE: ENERGY CODE COMPLIANCE PATH DATA (RESCHECK) TO BE PROVIDED BY OTHERS.

FENESTRATION SCHEDULE (HABITABLE SPACE)

WINDOW ID	LIGHT AREA (SF)	VENT AREA (SF)	OFFICE	KITCHEN /FAMILY ROOM	DINING ROOM	MASTER BED	BED 1	BED 2	BED 3
WDH2456	9.56	4.38	4	4	4				
G536	11.3	6.6		1					
50611APLR	17.38	28.34		2					
WDH2442	7.01	4.02				4	3	3	2

FENESTRATION SCHEDULE NOTES:
 FENESTRATION SCHEDULE INCLUDES ONLY EXTERIOR WINDOW & DOORS USED TO CALCULATE LIGHT & AIR CALCULATION REQUIREMENTS BELOW. SEE PLANS FOR ALL OTHERS. ALL WINDOWS & DOORS TO BE ANDERSEN 400 SERIES OR OTHER APPROVED CODE-COMPLIANT ALTERNATE. ALL PLAN TAGS REFER TO ANDERSEN "WDH" SERIES UNLESS NOTED.

DRAWING SHEET LIST

G-101 : NOTES & SITE PLAN
 A-101 : CELLAR & FIRST FLOOR PLAN
 A-102 : SECOND FLOOR PLAN
 A-201 : EXTERIOR ELEVATIONS
 A-501 : CONSTRUCTION DETAILS

LIGHT & AIR CALCULATIONS - 1ST FLOOR

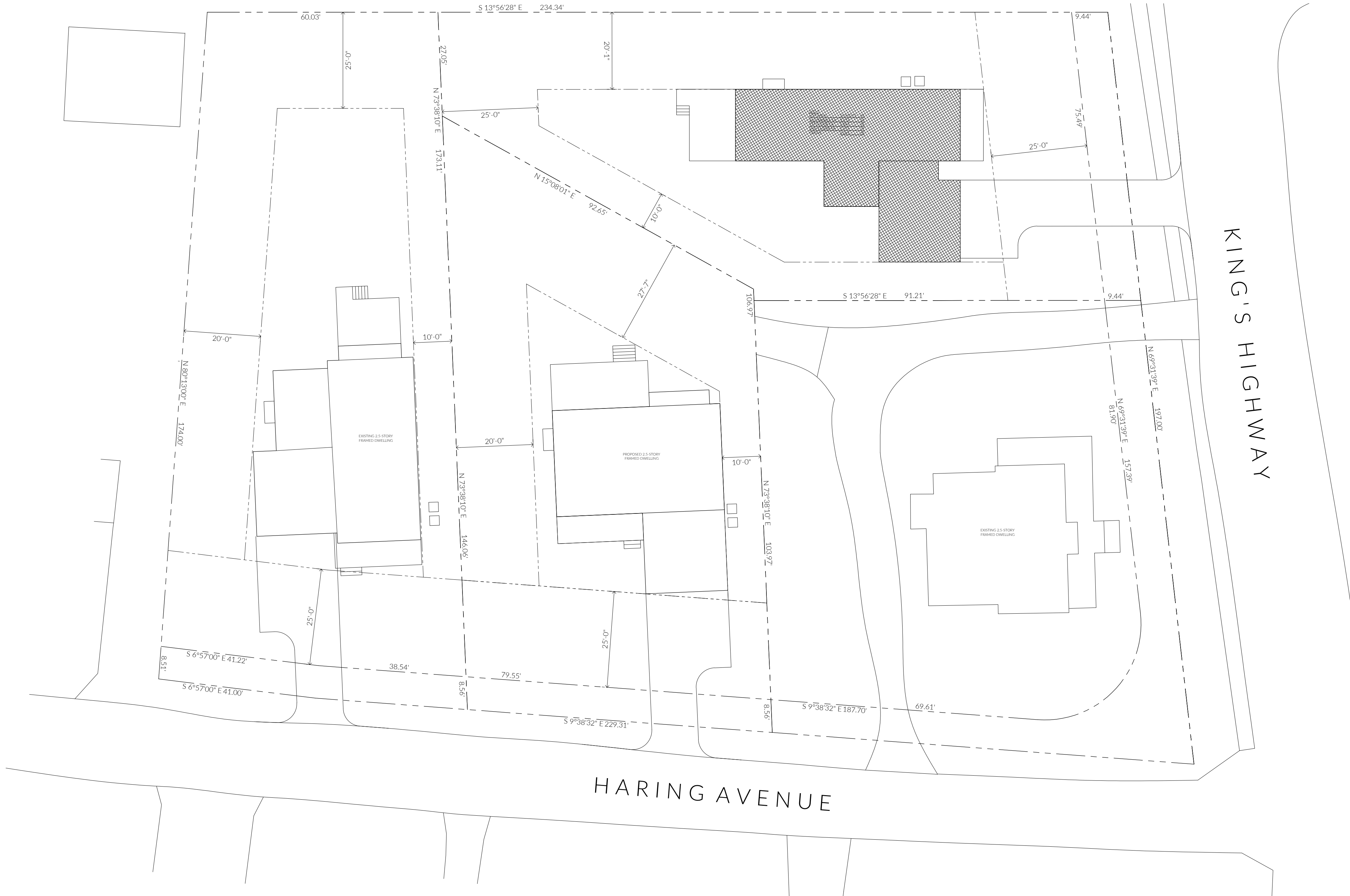
ROOM NAME	[A] ROOM AREA	[LA] LIGHT AREA REQUIRED (A x 8%)	LIGHT AREA PROVIDED	VENTILATION AREA REQUIRED (LA x 45%)	VENTILATION AREA PROVIDED
OFFICE	139 SF	12.3 SF	38.2 SF	5.5 SF	17.5 SF
KITCHEN/FAMILY ROOM	604 SF	48.3 SF	84.3 SF	21.7 SF	80.8 SF
DINING ROOM	158 SF	12.6 SF	38.2 SF	5.7 SF	17.5 SF

LIGHT & AIR NOTES:
 LIGHT & AIR REQUIREMENTS BASED ON SECTION 402 LIGHT/SECTION 403 VENTILATION.
 ALL CALCULATIONS AND AREAS SHOWN AS PER MANUFACTURER'S TECHNICAL SPECIFICATIONS FOR GLAZED AND VENTED AREAS.

LIGHT & AIR CALCULATIONS - 2ND FLOOR

ROOM NAME	[A] ROOM AREA	[LA] LIGHT AREA REQUIRED (A x 8%)	LIGHT AREA PROVIDED	VENTILATION AREA REQUIRED (LA x 45%)	VENTILATION AREA PROVIDED
MASTER BEDROOM	215 SF	17.2 SF	28.0 SF	7.7 SF	16.1 SF
BEDROOM 1	144 SF	11.5 SF	21.0 SF	5.2 SF	12.1 SF
BEDROOM 2	182 SF	14.6 SF	14.0 SF	6.6 SF	12.1 SF
BEDROOM 3	130 SF	10.4 SF	14.0 SF	4.7 SF	8.0 SF

LIGHT & AIR NOTES:
 LIGHT & AIR REQUIREMENTS BASED ON SECTION 402/SECTION 403.
 ALL CALCULATIONS AND AREAS SHOWN AS PER MANUFACTURER'S TECHNICAL SPECIFICATIONS FOR GLAZED AND VENTED AREAS.



05/27/2021
 ISSUED FOR REVIEW

10/08/2021
 ISSUED FOR REVIEW

08/05/2023
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ISSUANCE RECORD

OWNER:
 GRIFF CONSTRUCTION, LLC
 1 ROUNDHOUSE ROAD
 PIERMONT, NY 10968

ARCHITECT:
 LUKE PETROCELLI, RA
 51 STRATFORD RD, APT C3
 BROOKLYN, NY 11218

PROJECT ADDRESS:
 475 KINGS HIGHWAY
 SPARKILL, NY 10983

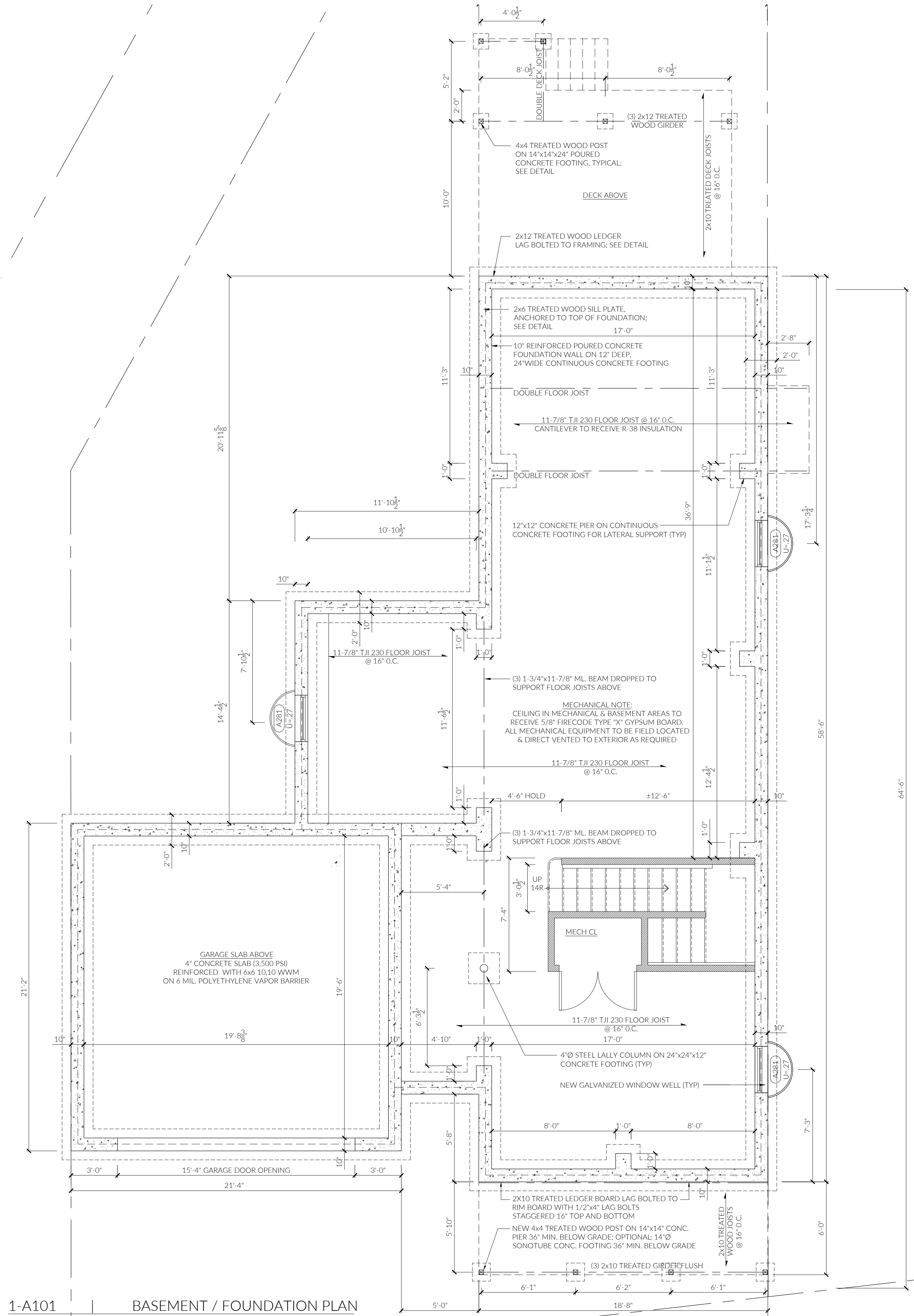
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 NOTES & PLOT PLAN

SCALE: 1/16" = 1'-0"

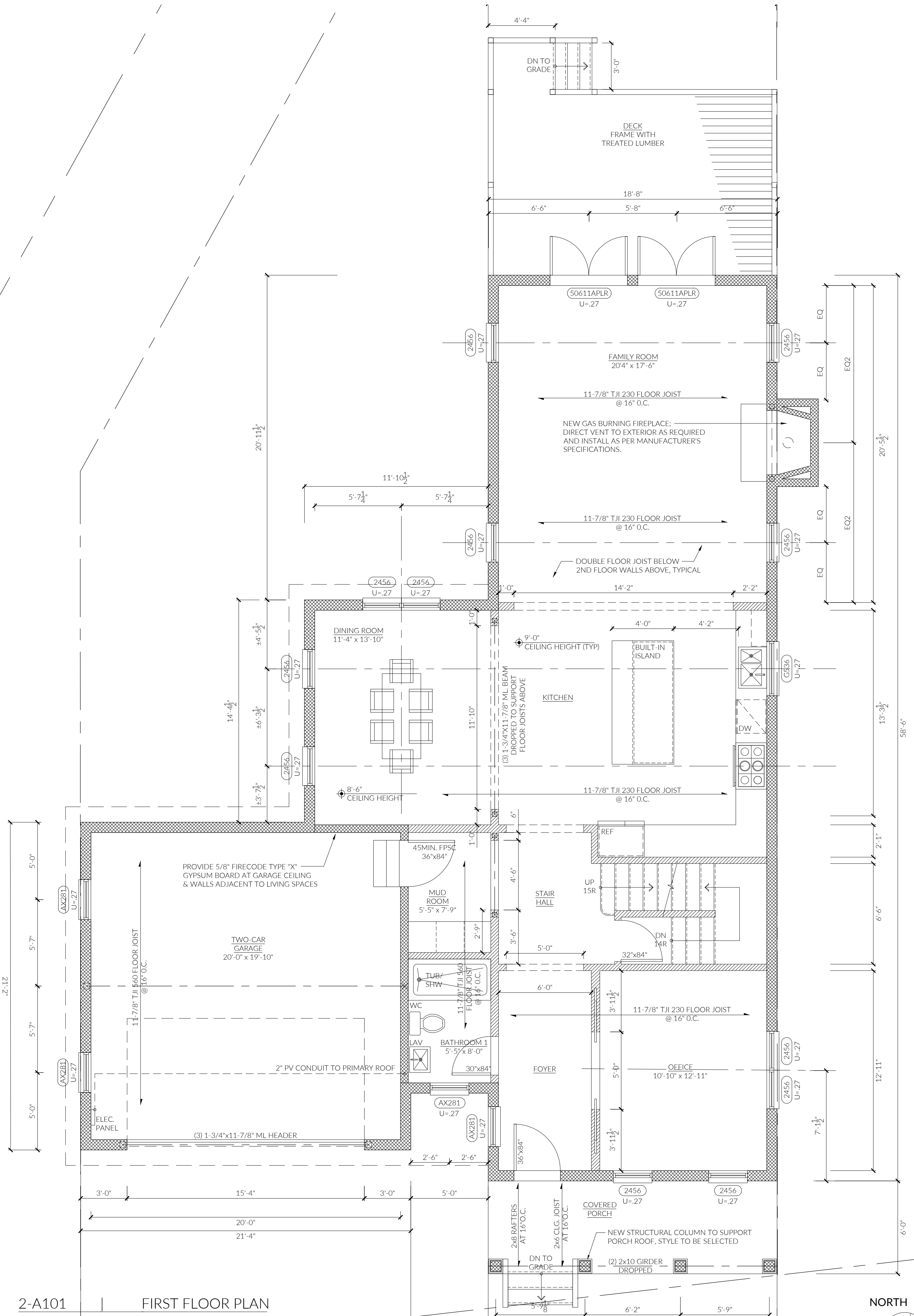


DWG. NO. 01 OF 05

G 001.00



1-A101 BASEMENT / FOUNDATION PLAN



2-A101 FIRST FLOOR PLAN

04/10/2021
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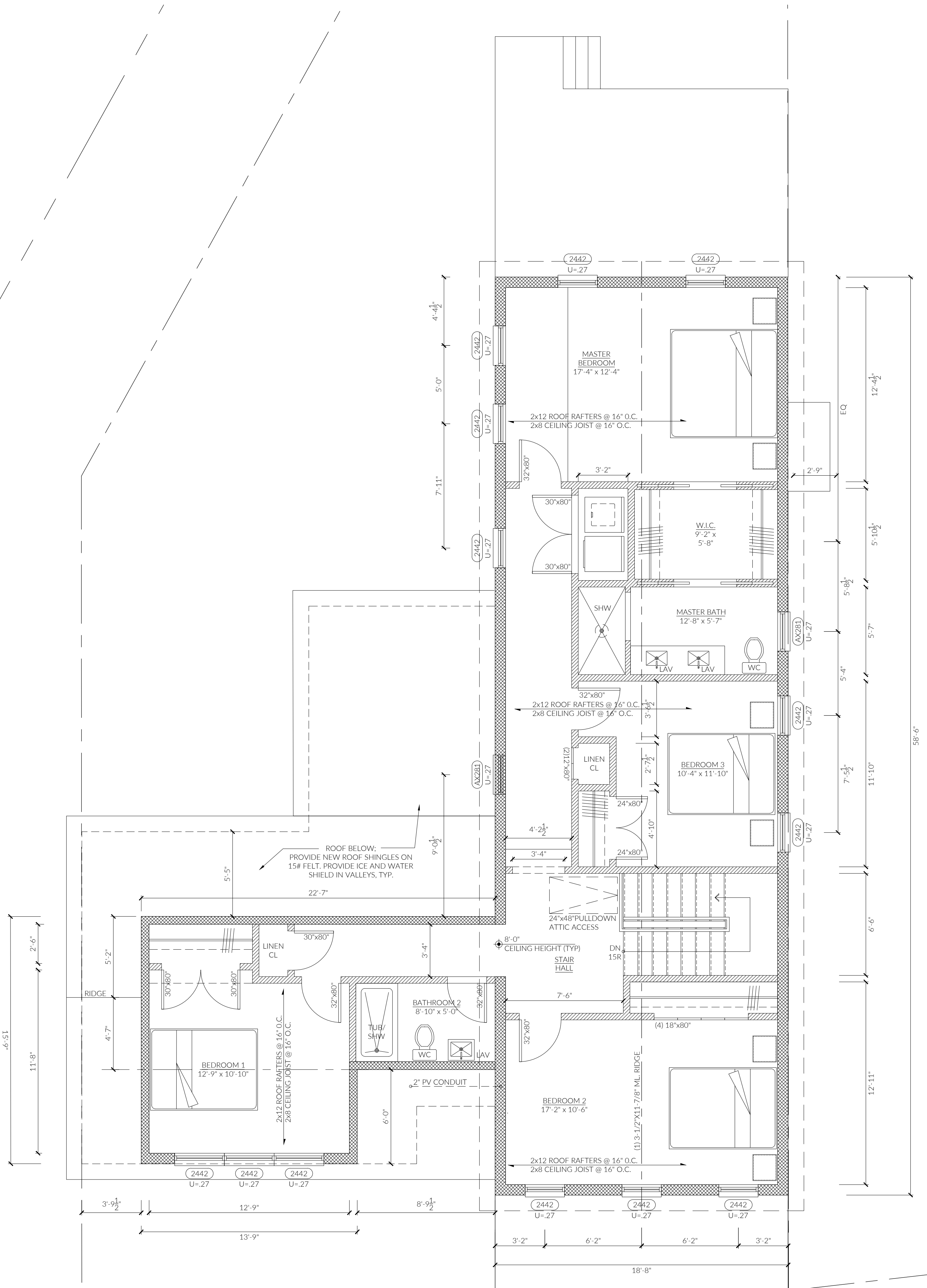
OWNER:
GRIFF CONSTRUCTION, LLC
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PIERMONT, NY 10968

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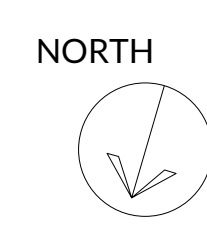
PROJECT ADDRESS:
475 KINGS HIGHWAY
SPARKILL, NY 10983

DRAWING TITLE:
CELLAR & FIRST
FLOOR PLAN
SCALE: 1/4" = 1'-0"





1-A102 SECOND FLOOR PLAN



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BROOKLYN, NY 11218

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DRAWING TITLE:
SECOND
FLOOR PLAN
SCALE: 1/4" = 1'-0"

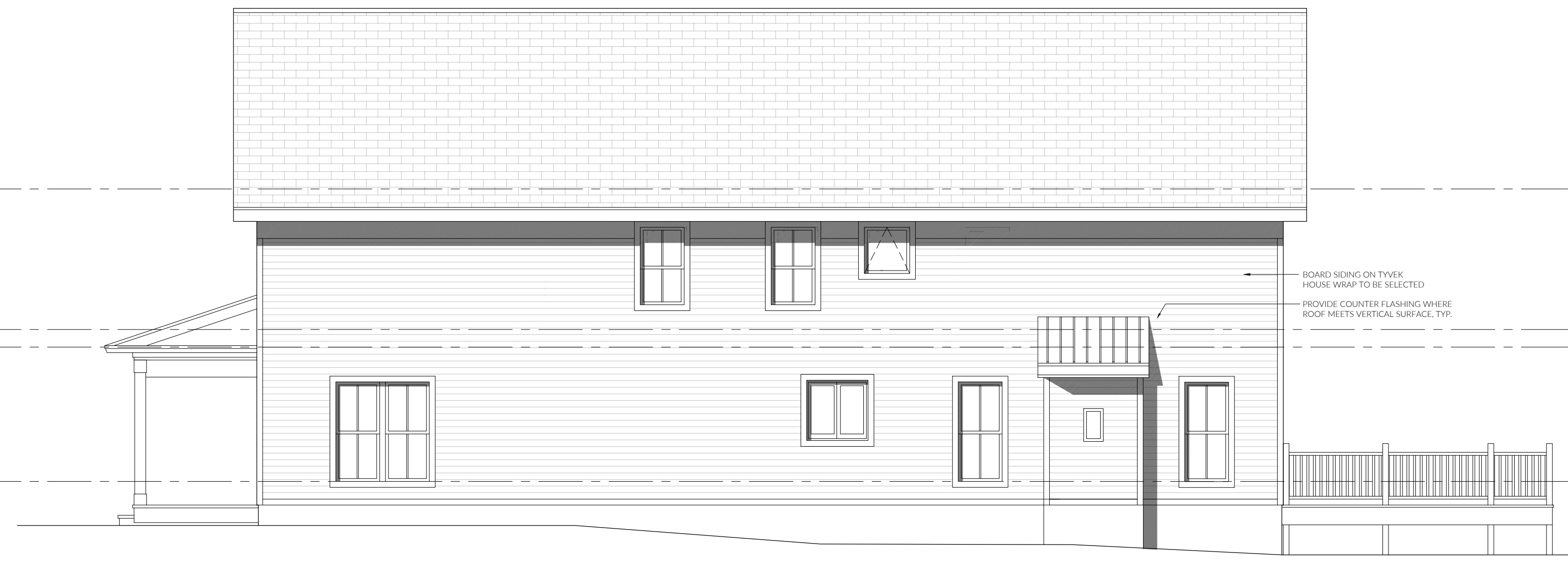


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1-A201 | NORTH (FRONT) ELEVATION



2-A201 | WEST ELEVATION



3-A201 | SOUTH (REAR) ELEVATION



4-A201 | EAST ELEVATION

02/15/2022
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10/08/2021
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ISSUANCE RECORD

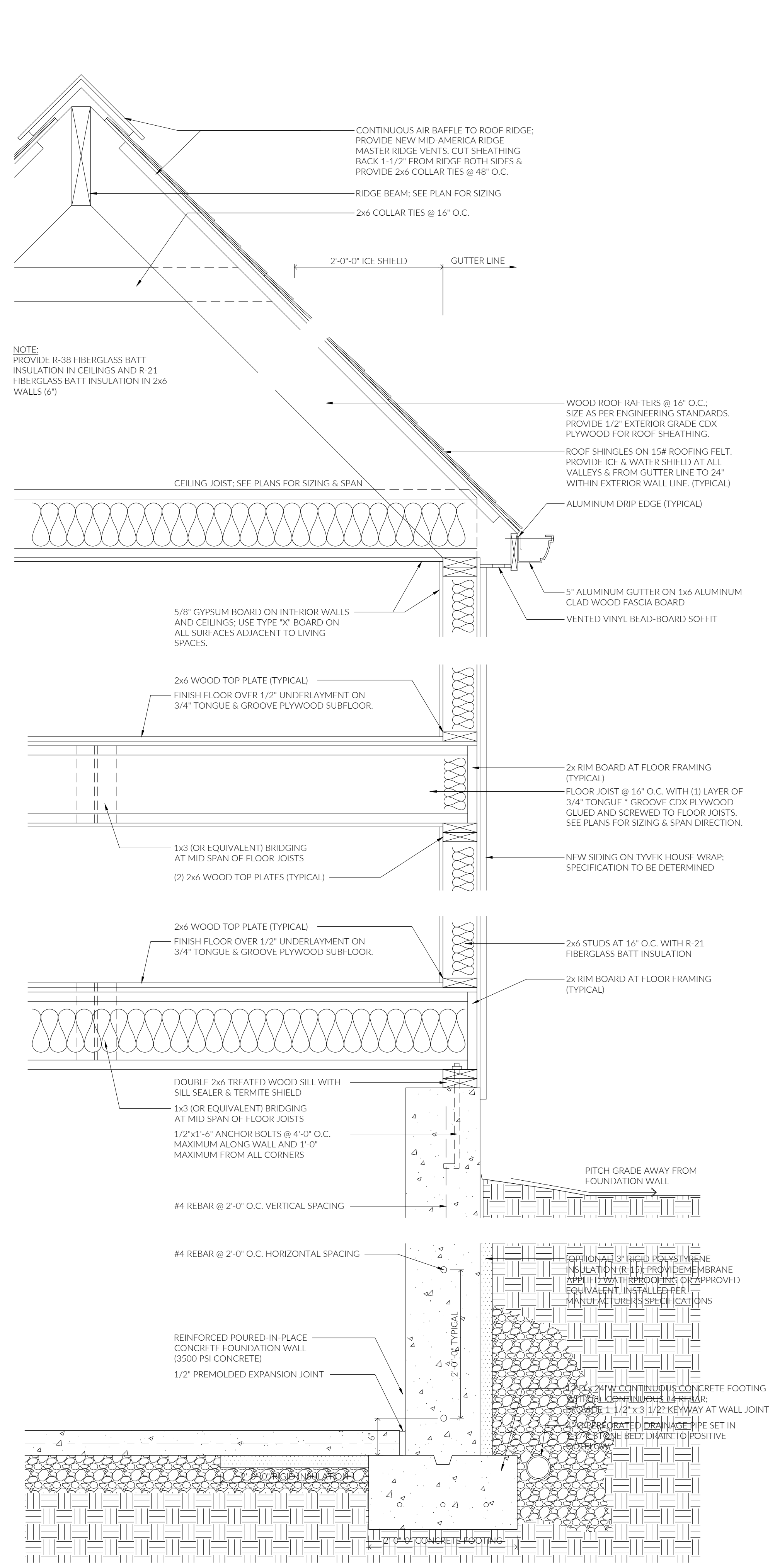
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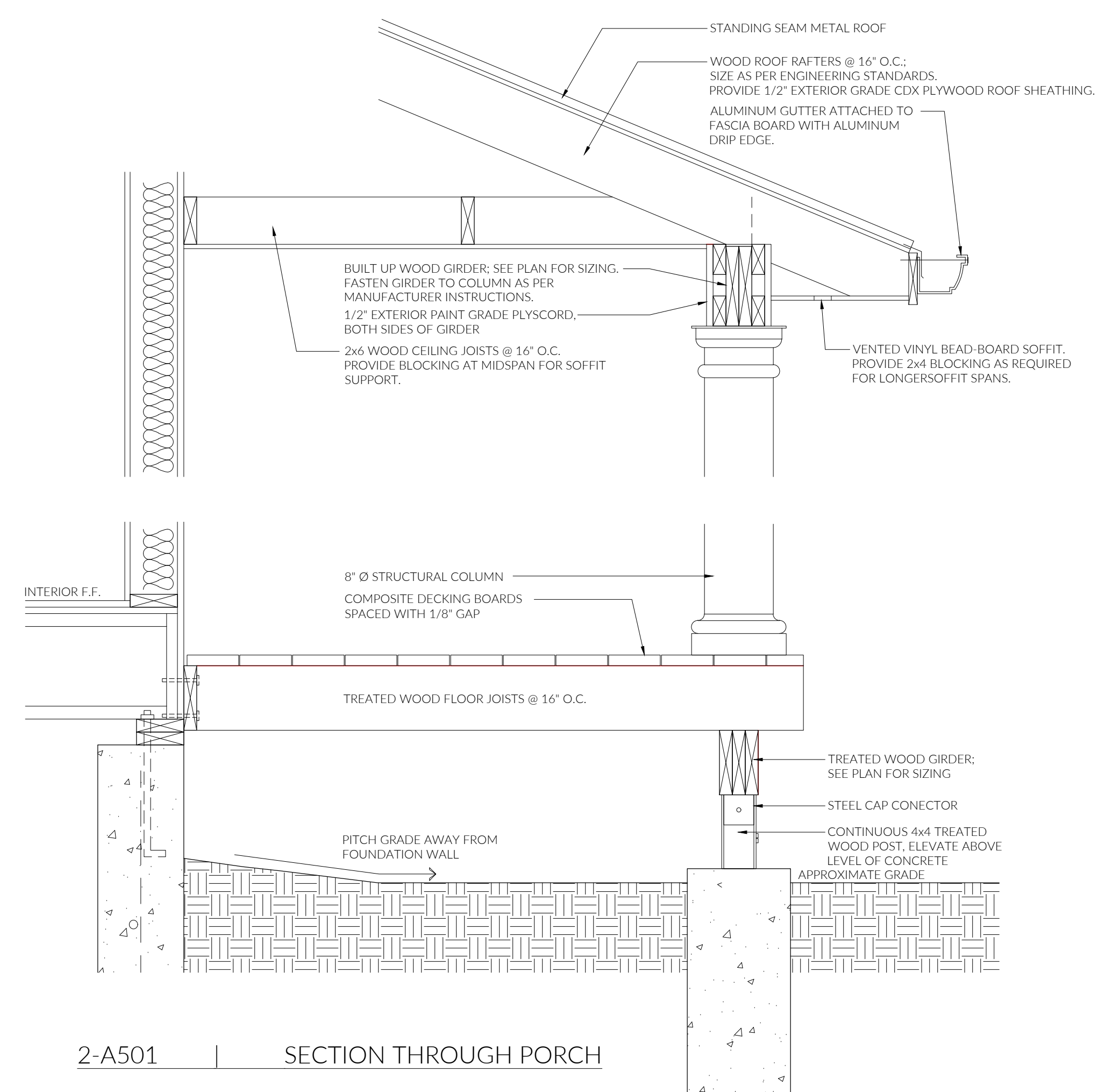
PROJECT ADDRESS:
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DRAWING TITLE:
EXTERIOR
ELEVATIONS
SCALE: 3/16" = 1'-0"

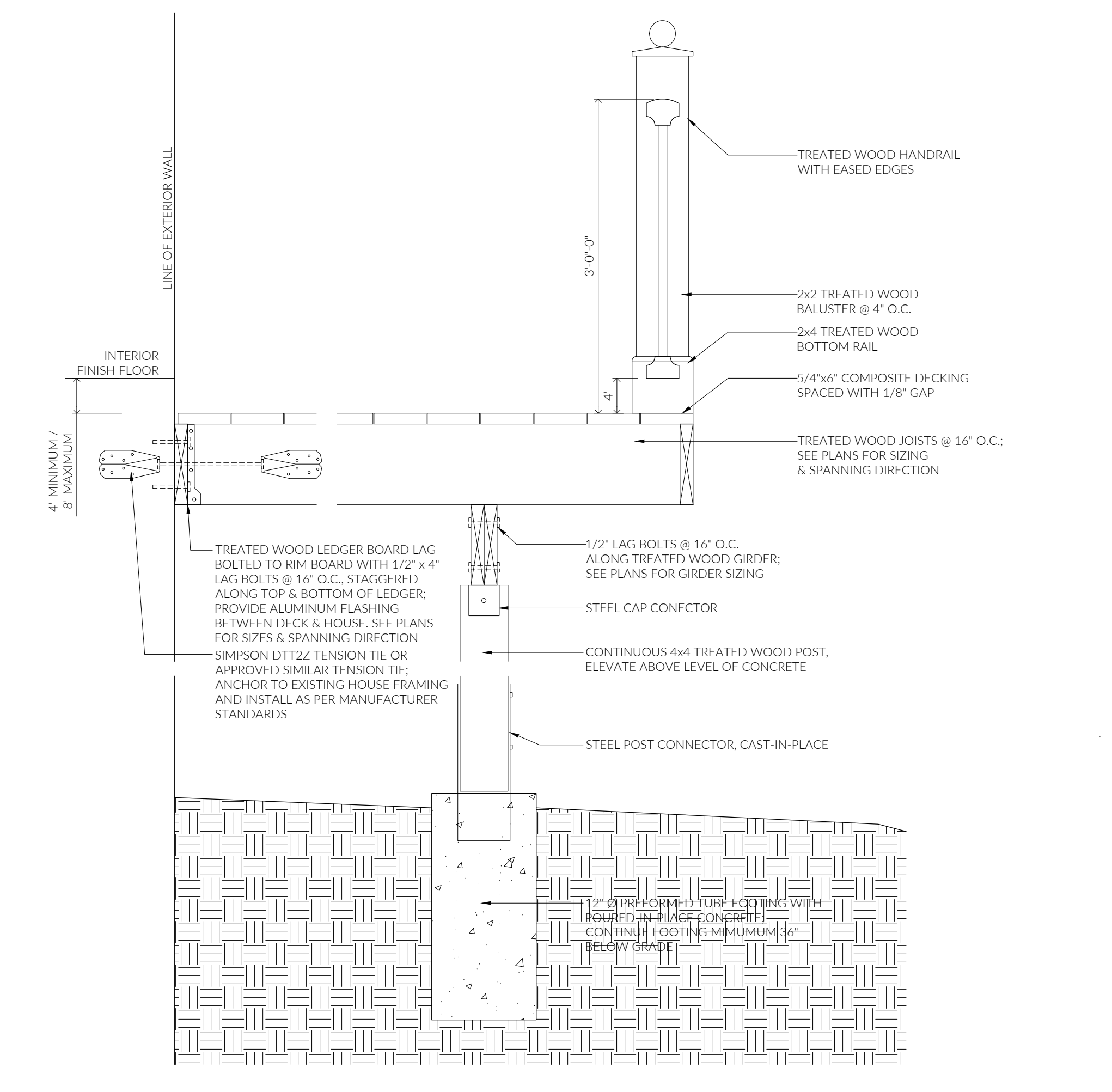




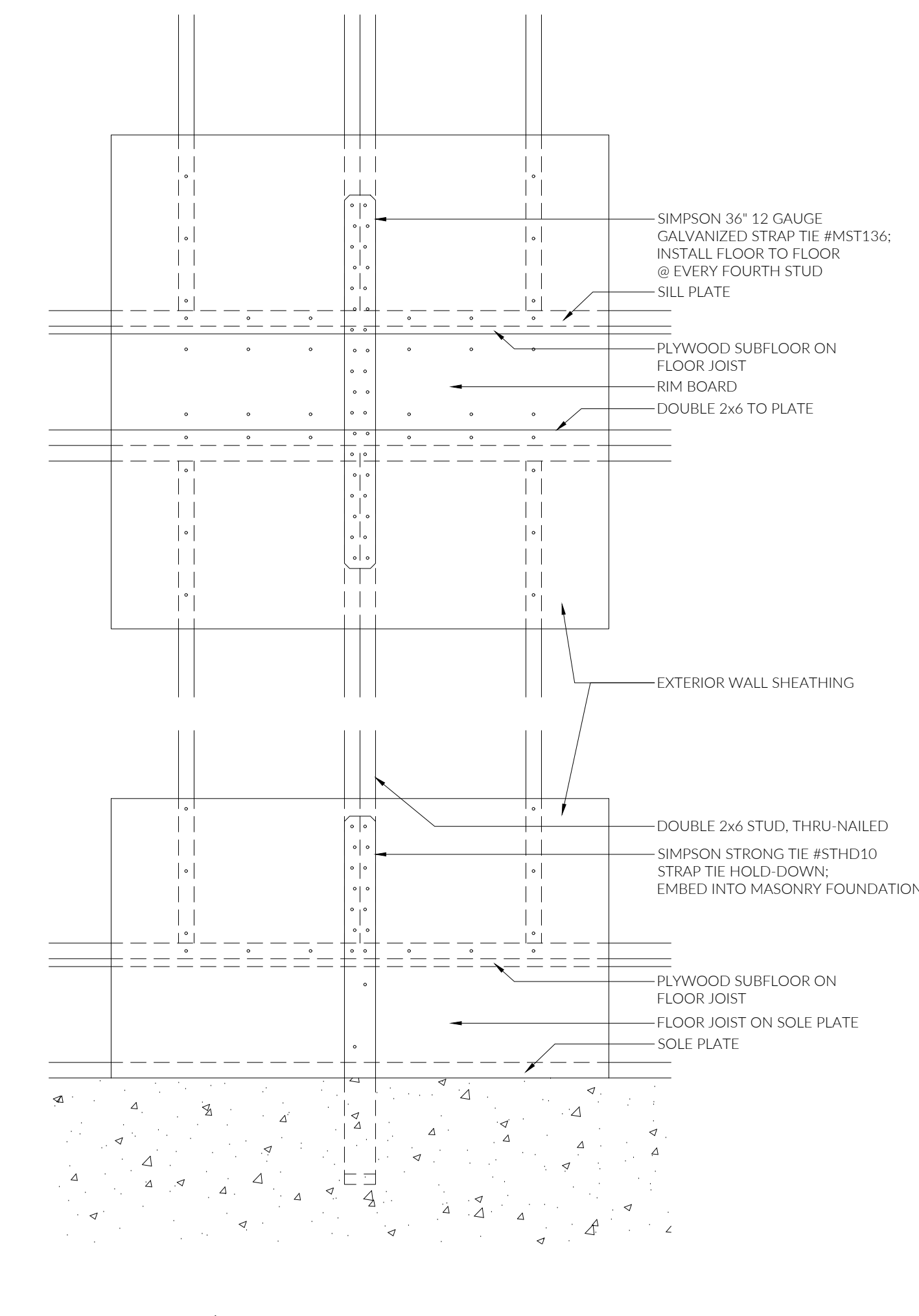
1-A501 TYPICAL WALL SECTION



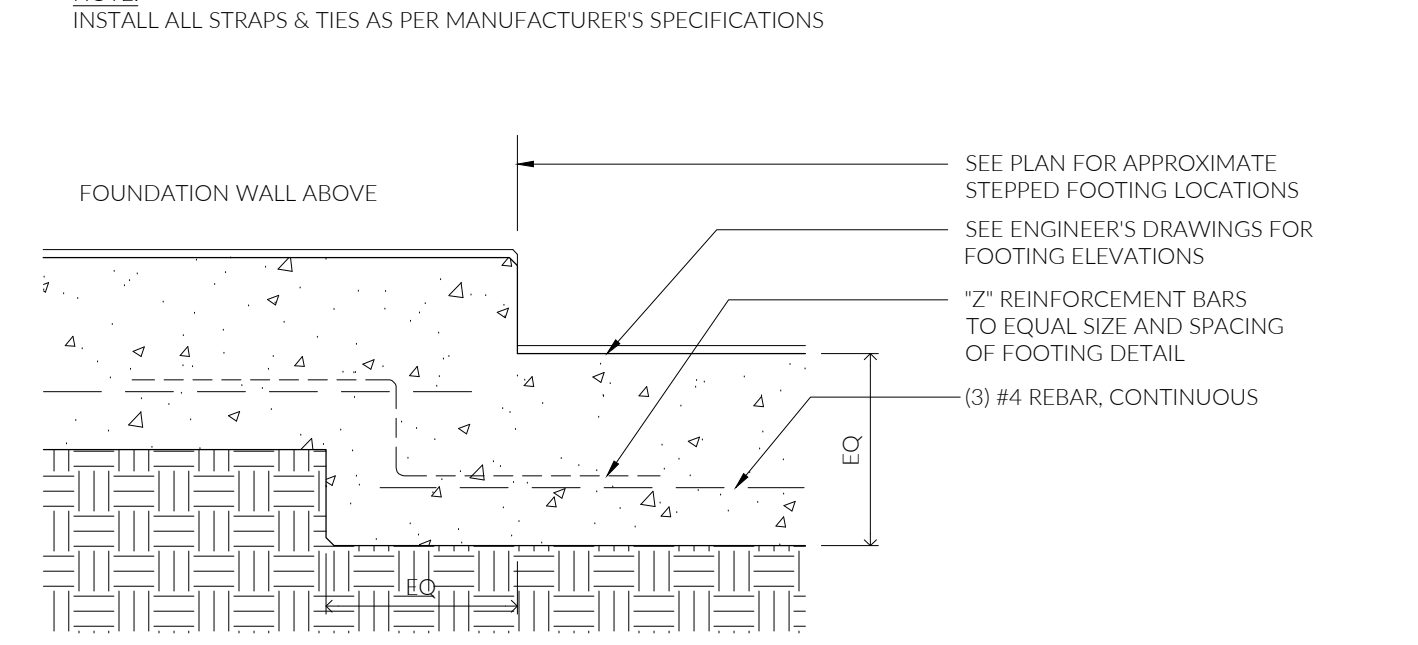
2-A501 SECTION THROUGH PORCH



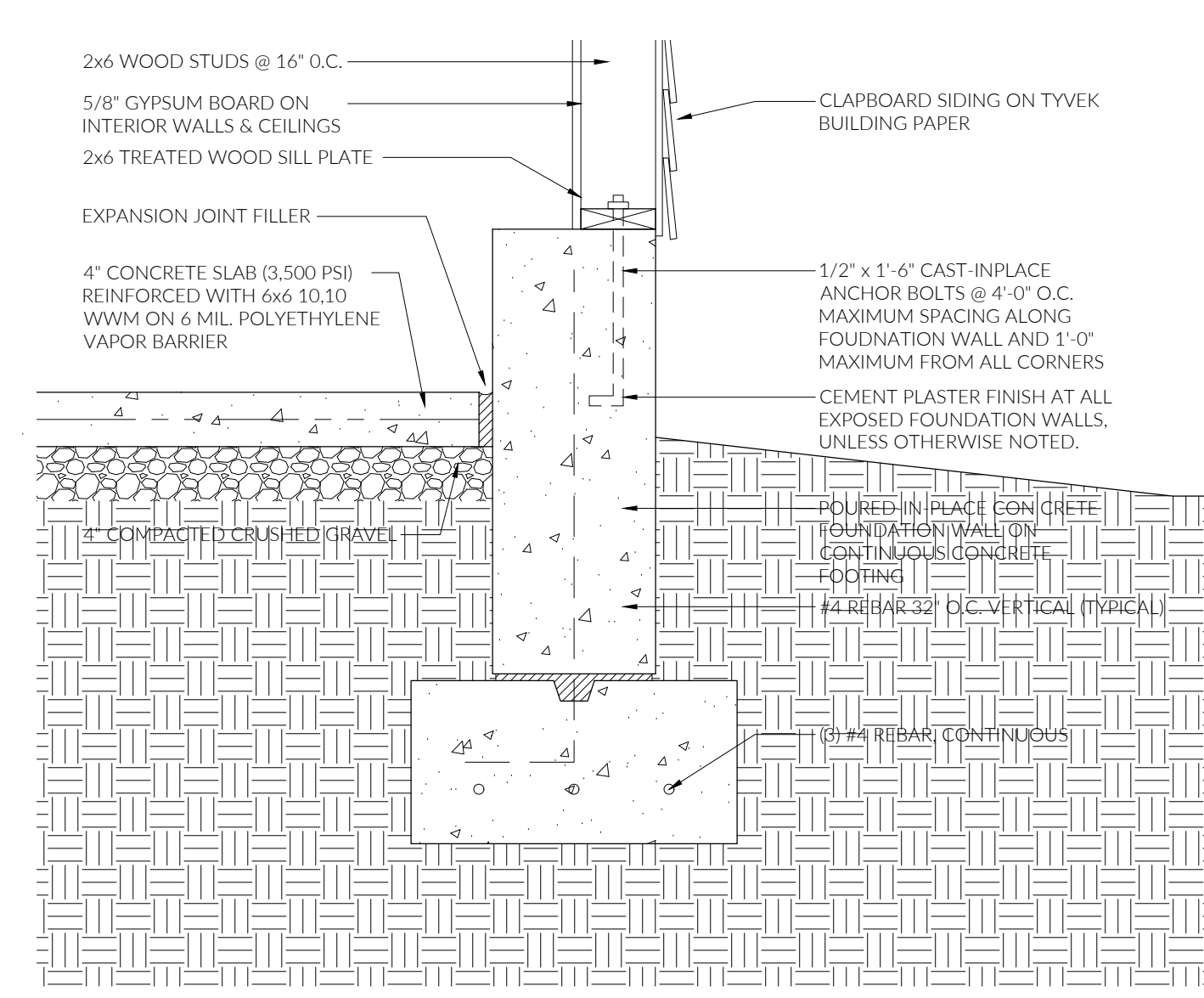
3-A501 SECTION THROUGH DECK



4-A501 TIE-DOWN FRAMING DETAIL



TYPICAL STEPPED FOOTING DETAIL (5-A501 SUPPLEMENTAL)



5-A501 SECTION THROUGH GARAGE SLAB

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DRAWING TITLE:
TYPICAL DETAILS

SCALE: 1" = 1'-0"



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