

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(914) 359-8410 (ex. 4331)

Date: August 15, 2023

TO: OBAPAE

- Environmental Management and Engineering
- ✓ Rockland County Sewer District #1
- New York State Dept. of Transportation
- Palisades Interstate Park Commission
- Orange and Rockland Utilities
- Orangetown Highway

- Rockland County Drainage ✓
- Rockland County Health ✓
- Rockland County Planning ✓
- Rockland County Highway ✓

Review of Plans: Marin Stanchu, 57 West Orangeburg Road, Orangeburg, NY
Section 74.09 Block 2 Lot 3 RG zone

This matter is scheduled for:

Chapter 43, RG District, Section 3.12, Group Q, Column 8 (Front Yard: 25' required, 20' proposed) for an addition to an existing single-family residence.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: darbolino@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: September 20, 2023

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, September 20, 2023**. **Kindly forward your completed review to this office by September 20, 2023.**

Reviewing Agency _____

Name _____ date: _____

Signature: _____

Thank you, Deborah Arbolino



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: August 8, 2023

Applicant: Marin Stanchu

Address: 57 W Orangeburg Rd. Orangeburg, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 RG District, Column 2 Group Q, Column 3 SFR, Column 8 Front Yard
25' Required w/ 20' proposed.

One Variance required

Section: 74.09

Block: 2

Lot: 3


Dear Stanchu:

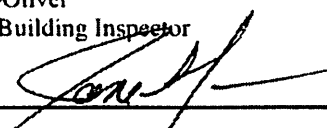
Please be advised that the Building Permit Application, which you submitted on
August 8, 2023, has been denied. I have enclosed a Xerox copy of your application, where you will find
at the bottom the reason for denial.

**In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a
Building Inspector or Similar administrative office is thirty (30) days from the filing of such a
determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to
appear before the board.

Sincerely,


Richard Oliver
Deputy Building Inspector


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

8/8/23
Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 8/15/2023

Please check all that apply:

<input type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use <input type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input type="checkbox"/> Commercial <input type="checkbox"/> Residential <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
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PERMIT#: 3793-23
 ASSIGNED
 INSPECTOR: Michael Manzare

Referred from Planning Board: YES NO
 If yes provide date of Planning Board meeting: _____

Project Name: FRONT PORCH RENOVATION (Roof over open porch portion)

Street Address: 57 W Orangeburg Rd. - ORANGEBURG NY, 10962

Tax Map Designation:

Section: 74.09 Block: 2 Lot(s): 3
 Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the Left side of Orangeburg Rd. looking WEST, approximately 420 feet of the intersection of Lester Drive, in the Town of ORANGETOWN in the hamlet/village of ROCKLAND VILLAGE.

Acreage of Parcel <u>0.31 A</u>	Zoning District <u>RG</u>
School District <u>ORANGETOWN</u>	Postal District <u>ORANGEBURG</u>
Ambulance District <u>ORANGETOWN</u>	Fire District <u>ORANGEBURG</u>
Water District <u>USDA</u>	Sewer District <u>ORANGEBURG</u>

Project Description: *(If additional space required, please attach a narrative summary.)*
Front porch renovation: To remodel existing porch creating a new entrance foyer, and constructing new gable roof over enclosed and open portion. Porch renovation was granted by DOB Permit #3548-23, roof over the open porch Permit # 3793-23 was denied.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
 Date: 08/15/2023 Applicant's Signature: _____

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? NO _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

APPLICATION REVIEW FORM

AFFIDAVIT

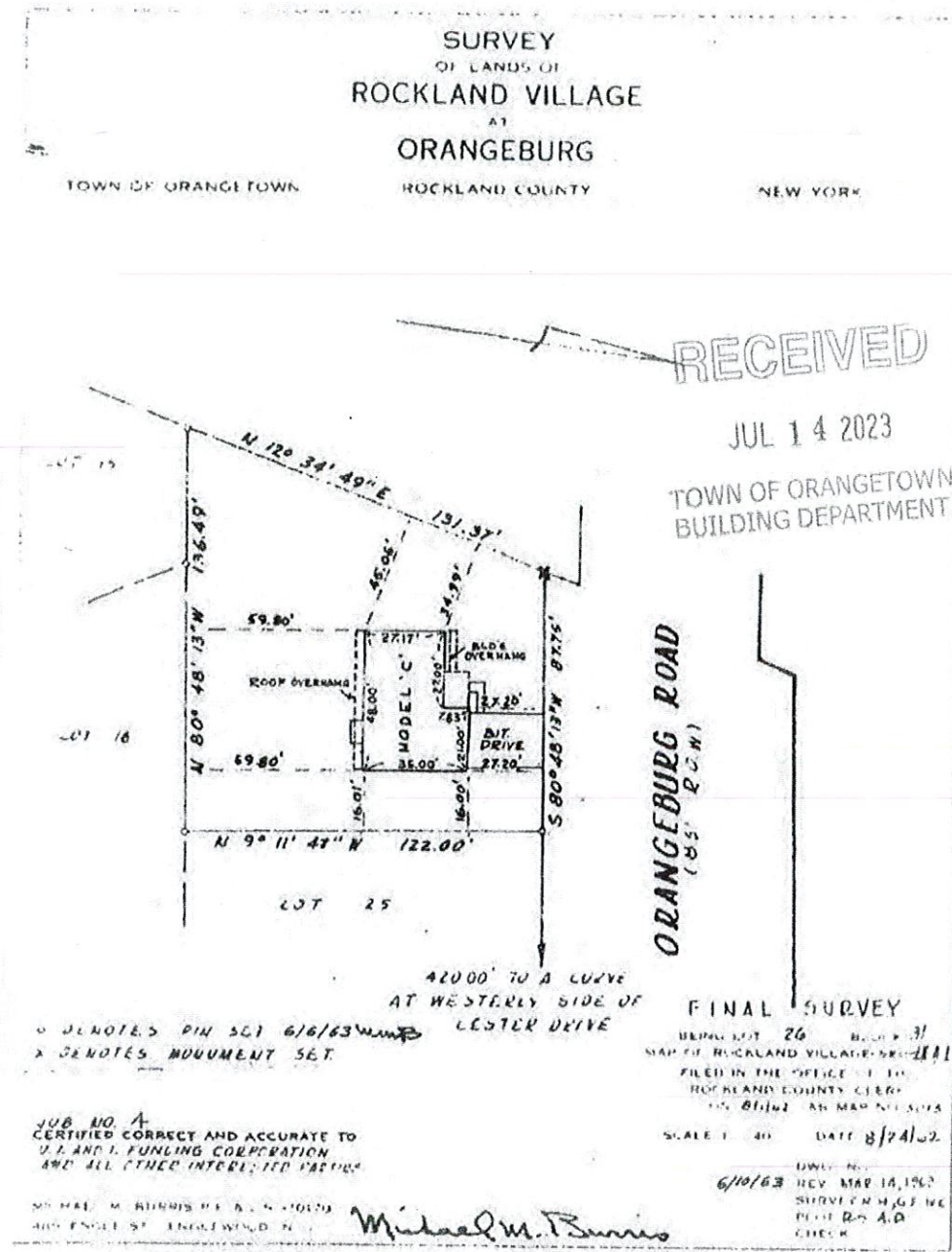
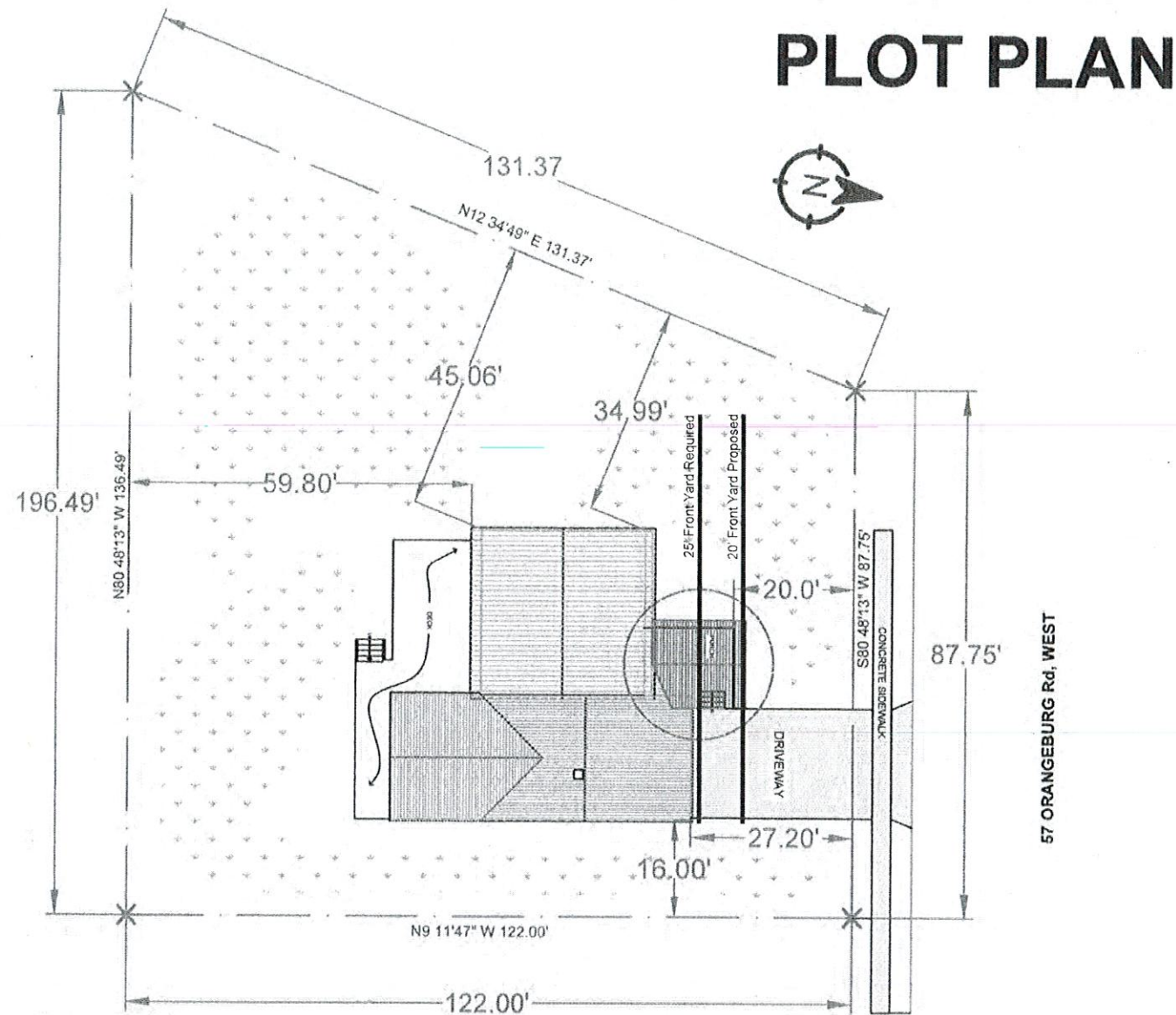
State of New York)
 County of Rockland) SS.:
 Town/Village of _____) **ORANGETOWN**

I, MARIN STANCU being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the ZBA (board) in the town/village of ORANGETOWN affecting property located at 57 W Orangeburg Rd., Rockland County, New York.

That the following are all of the owners of property 200 Ft. (distance) from the premises as to which this application is being taken.

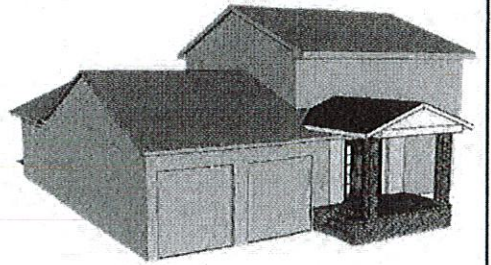
SECTION-BLOCK-LOT	NAME	ADDRESS
74.09-1-61	Lurline Ferdinand	189 Edgewood Dr. Orangeburg, NY, 10962
74.09-1-62	Michelle Golino	58 Orangeburg Rd. Orangeburg, NY, 10962
74.09-2-4	Jose F Garcia	55 Orangeburg Rd. Orangeburg, NY 10962
74.09-2-5	Claudius Lancater	53 Orangeburg Rd, Orangeburg, NY 10962
74.09-2-6	Yensy E Santana	51 Orangeburg Rd. Orangeburg, NY 10962
74.09-2-17	Boris Vilgorin	2W Fern Oval. Orangeburg, NY 10962
74.09-2-18	Robert H Lerner	4W Fern Oval, Orangeburg, NY 10962
74.09-2-19	Joseph I Craft Jr	6W Fern Oval. Orangeburg, NY 10962
74.09-2-20	Robert J Martell Jr	8W Fern Oval. Orangeburg, NY 10962
74.09-2-21	Paul & Anna Pesce	10W Fern Oval. Orangeburg, NY 10962
74.09-2-22	Daniel R Sullivan	12W Fern Oval, Orangeburg, NY 10962
74.09-2-34	Nayron Garcia	7W Fern Oval. Orangeburg, NY 10962
74.09-1-60	Manuel J Reynes	52 Orangeburg Rd. Orangeburg, NY 10962
74.09-1-63	NY State Armory	Rockland County Office Bldg, New City, NY 10956

PLOT PLAN



PROPERTY LOCATION:
57 W Orangeburg Rd.
Orangeburg NY 10962
BLOCK: 74.09
SECTION: 2
LOT: 3
ZONING: RG

AR ARCHITECT P.C.
74-02 43rd Ave. #7D
Elmhurst NY 11373
T: 718-565-5395



REV.	DESCRIPTION	BY	DATE
1	BULK REGULATION TABLE SUPPLIED-Drawing A-00	AR	07/12/23
2	Corrected the setback dimension - Drawing A-00	MS	07/12/23

STATUS:

PROJECT:
FRONT PORCH RENOVATION (170SF)

CLIENT:
Marin & Vasilica Stancu (Owners)

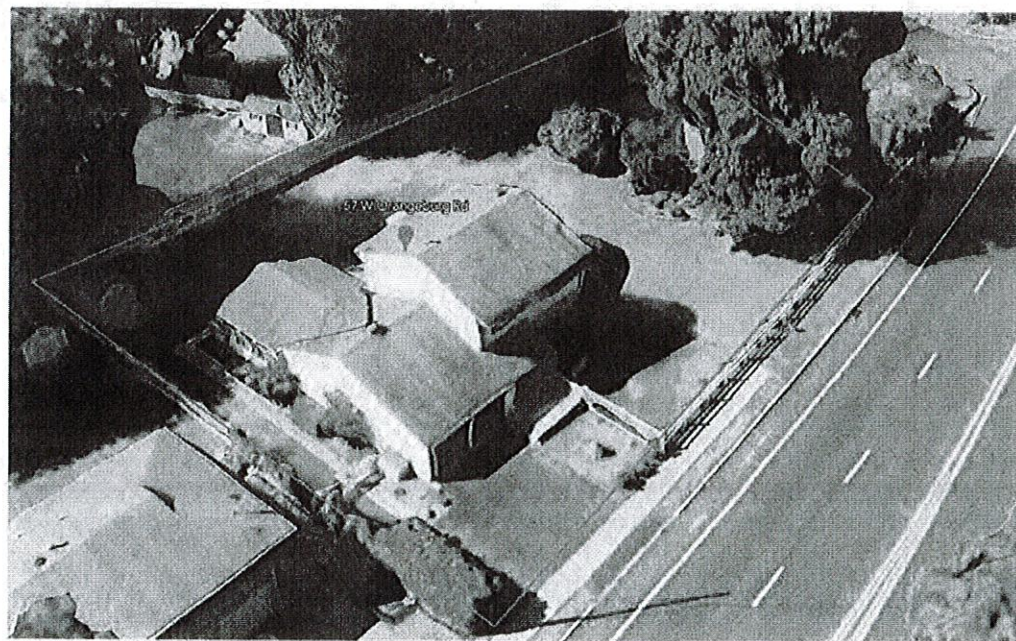
DESIGN ARCHITECT: M.Stancu, M.Arch.
T: 347-495-6236

SITE: 57 W Orangeburg Rd.
Orangeburg NY 10962

TITLE: **PLOT PLAN**

SCALE: NTS **DATE:** 04/2023 **DRAWN:** M.S. **CHECKED:** A.R.

DRAWING NO: **A-00** **REVISION:** R1



SCOPE OF WORK:
To re-model existing covered porch and create new entrance foyer enclosing partially existing concrete porch stoop.
New porch will have new gable roof over enclosed and open portion.

PROPERTY INFORMATION	
57 W Orangeburg Rd. Orangeburg, NY 10962 TOWN OF ORANGETOWN ROCKLAND COUNTY NY	Section 2 Block 74.09 Lot 3 Zone RG

BULK REGULATIONS TABLE			
DISTRICT - RG GROUP - Q	Single Family Detached Dwelling		
MINIMUM	Required	Existing	Proposed
MIN. LOT AREA	10,000 SF	13,504 SF	NO CHANGE
MIN. LOT WIDTH	75'	87.75'	NO CHANGE
MIN. FRONT YARD	20'	20'	NO CHANGE
MIN. SIDE YARD	10'	16'	NO CHANGE
TOTAL SIDE YARD	30'	51'	NO CHANGE
REAR YARD	25'	59.80'	NO CHANGE
HGT	1'-4"	12'-1.5"	13'-7"- Comply
F.A.R.	0.3	0.155	0.168- Comply

ZONING BOARD OF APPEALS
 Meeting Of:
SEP 20 2023
 Town Of Orangetown

RECEIVED

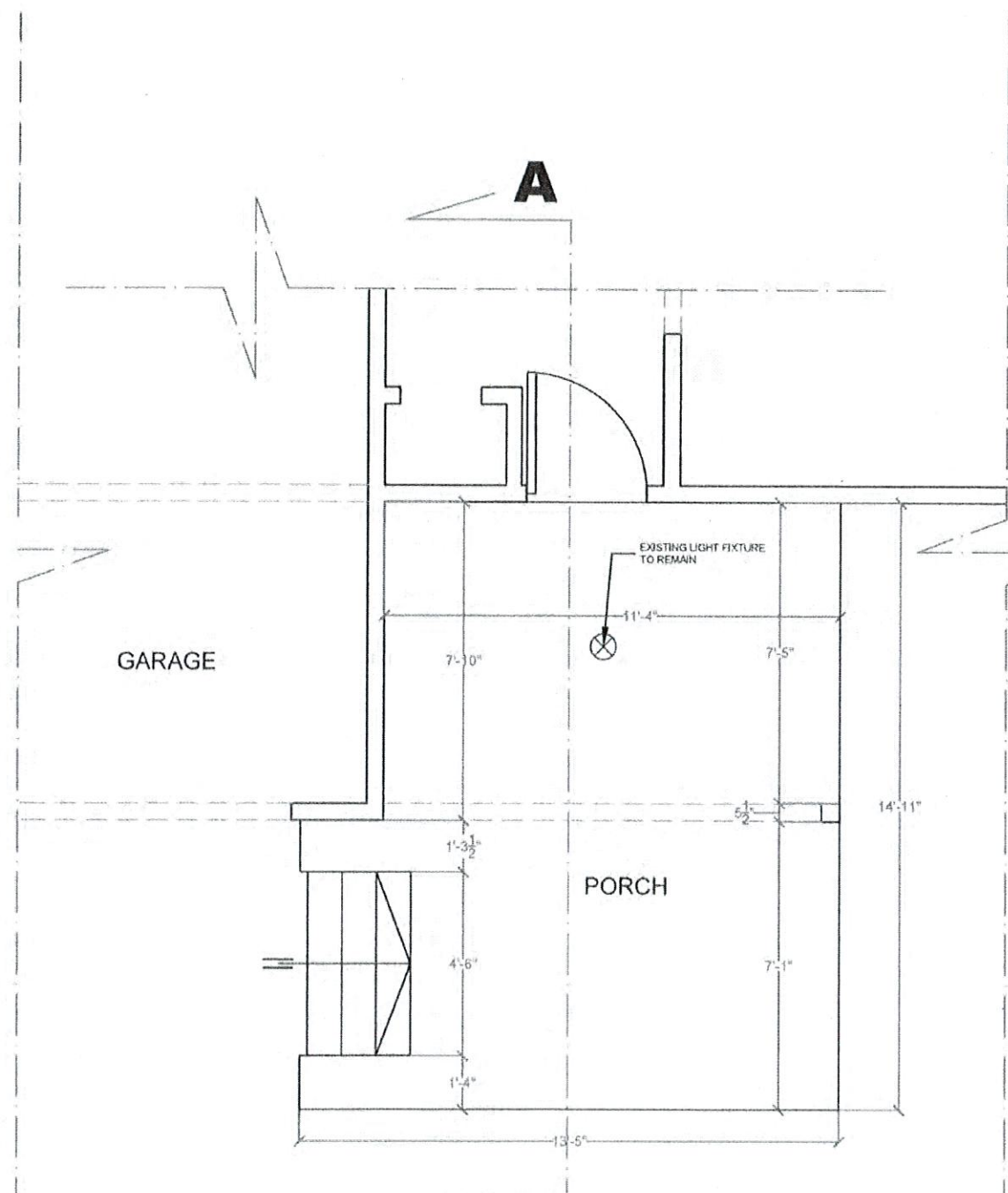
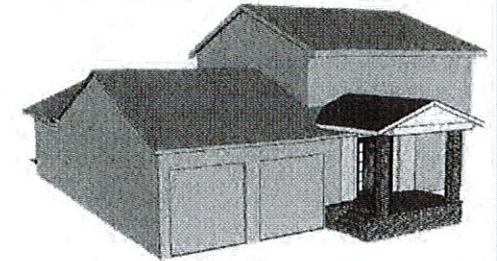
JUL 14 2023

TOWN OF ORANGETOWN
BUILDING DEPARTMENT

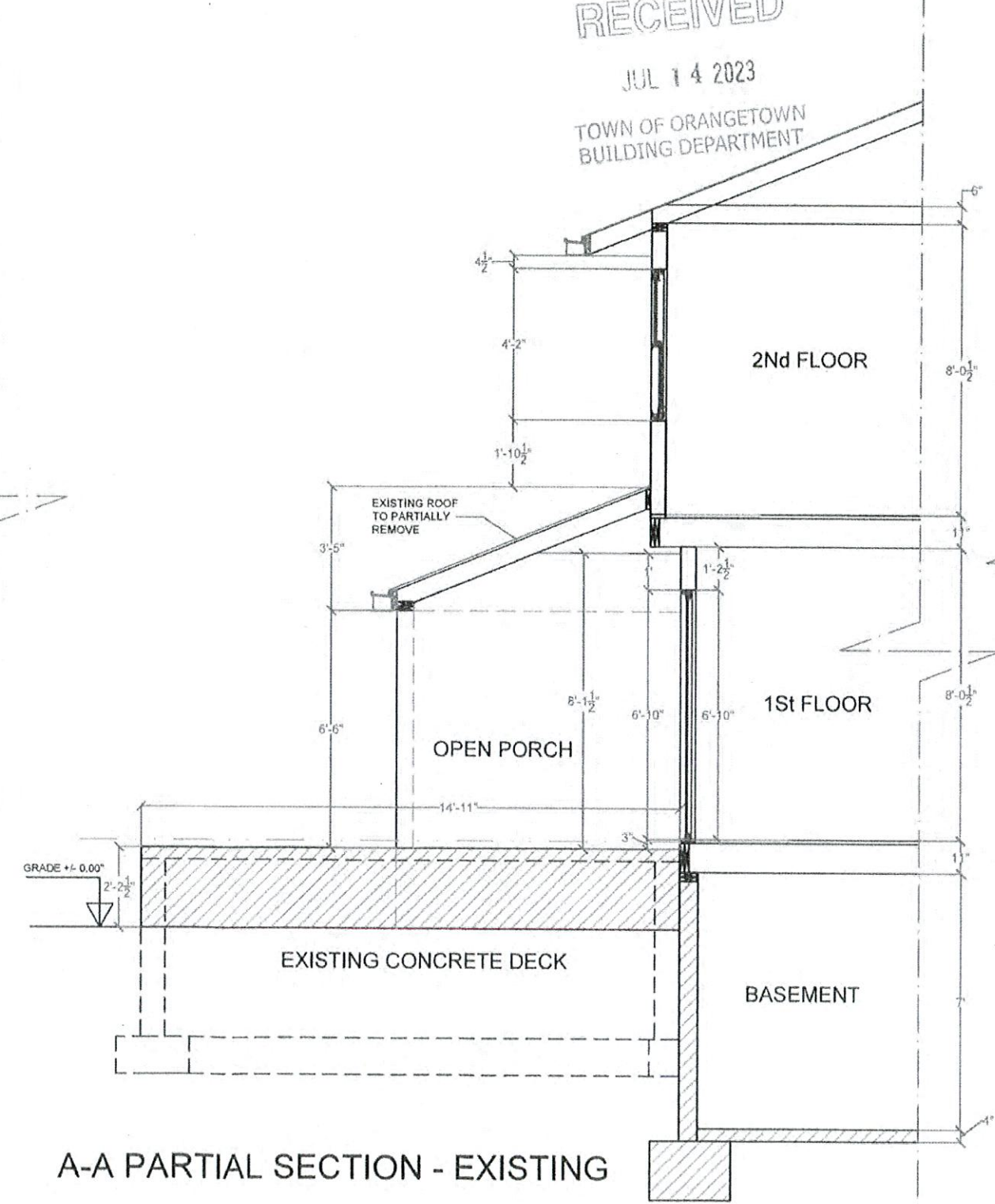
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57 W Orangeburg Rd.
Orangeburg NY 10962
BLOCK: 74.09
SECTION: 2
LOT: 3
ZONING: RG

AR ARCHITECT P.C.

74-02 43rd Ave. #7D
Elmhurst NY 11373
T: 718-565-5395



PORCH PLAN - EXISTING



A-A PARTIAL SECTION - EXISTING

EXISTING PORCH PLAN & SECTION

REV.	DESCRIPTION:	BY:	DATE:
1	BULK REGULATION TABLE SUPPLIED-Drawing A-00	AR	07/12/23
2	Corrected the setback dimension - Drawing A-00	MS	07/12/23

STATUS:

PROJECT:
FRONT PORCH RENOVATION (170SF)

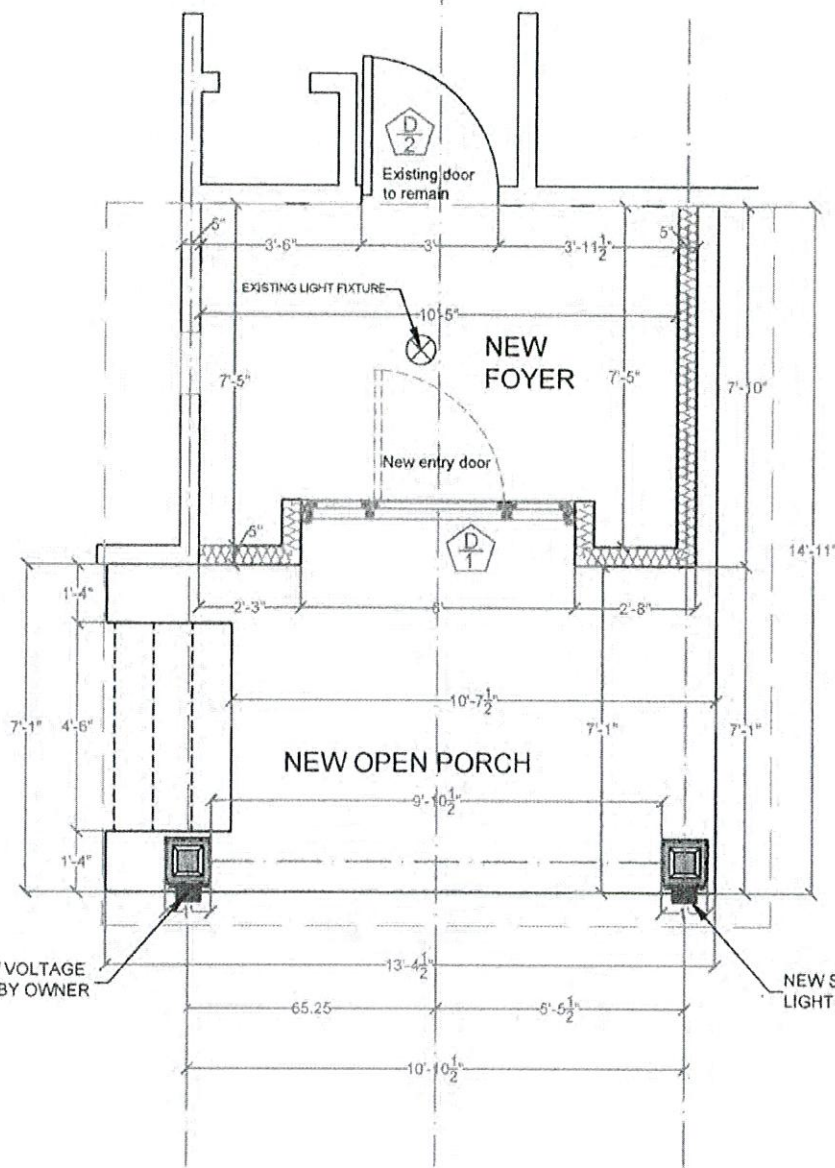
CLIENT:
Marin & Vasilica Stancu (Owners)

DESIGN ARCHITECT: M.Stancu, M.Arch.
T: 347-495-6236

SITE: 57 W Orangeburg Rd.
Orangeburg NY 10962

TITLE:
PLOT PLAN

SCALE:	DATE:	DRAWN:	CHECKED:
NTS	04/2023	M.S.	A.R.
DRAWING NO:	A-02		REVISION: R1



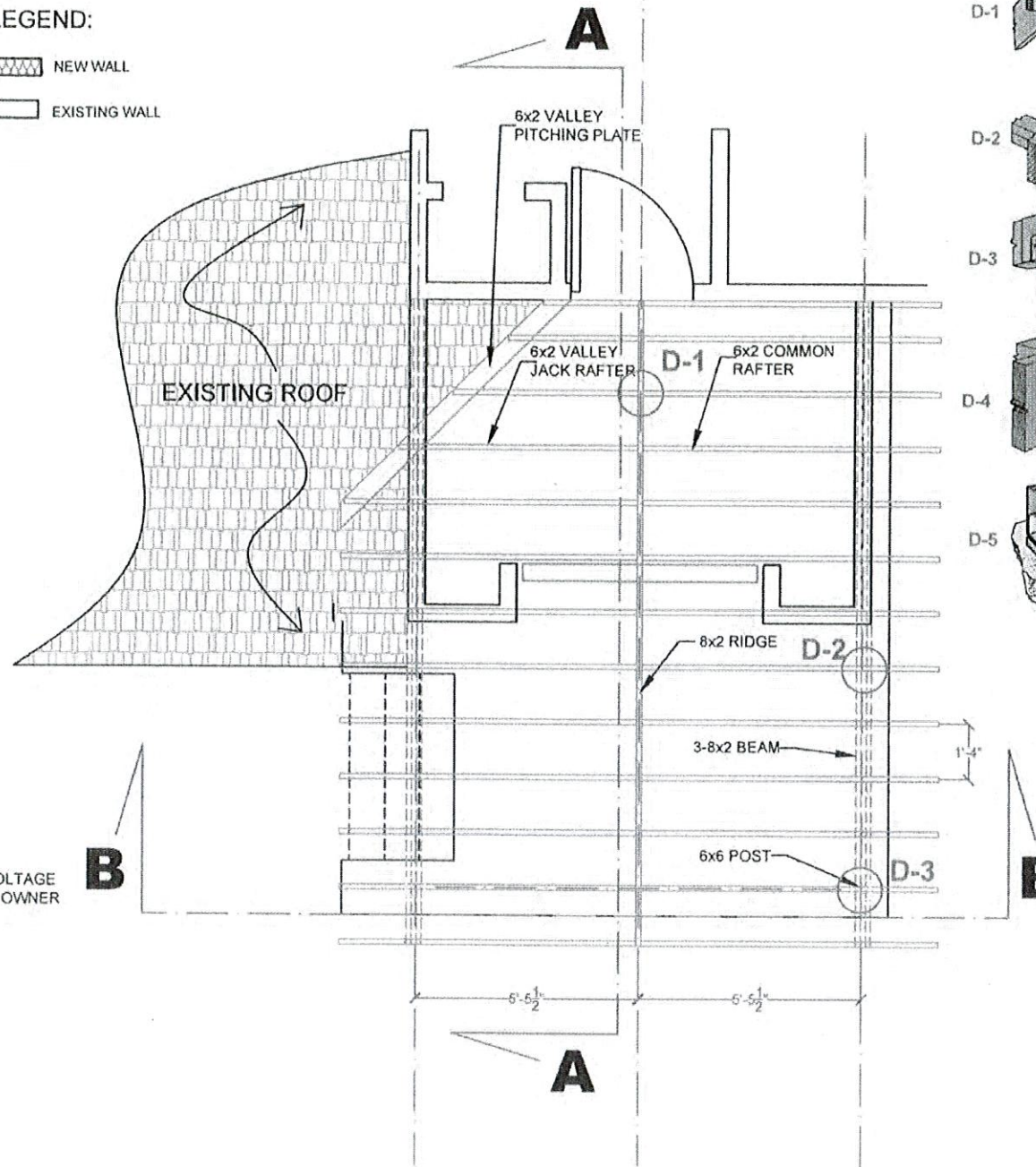
NEW PORCH PLAN



- D1-Door Specification:
- 36 in. x 80 in. Pr-ehung Door
 - Two 14 in. Sidelites, 4-9/16 in. Primed Jamb,
 - Right-Hand In-swing
 - Rough Opening of 68-1/4 in. x 82-1/8 in.

NEW PROPOSED PLAN

LEGEND:
 NEW WALL
 EXISTING WALL

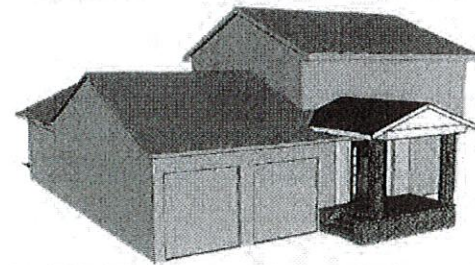


NEW ROOF FRAMING PLAN

- D-1 Face-Mount Rafter Hanger LRU26Z
- D-2 Rafter Tie H1A
- D-3 Post CAP PC6RZ
- D-4 Face-Mount Joist Hanger LU26R-18
- D-5 Post Base ABA46Z

PROPERTY LOCATION:
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 Orangeburg NY 10962
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TITLE:
PLOT PLAN

SCALE:	DATE:	DRAWN:	CHECKED:
NTS	04/2023	M.S.	A.R.
DRAWING NO:	A-03		REVISION: R1

RECEIVED
 JUL 14 2023
 TOWN OF ORANGETOWN
 BUILDING DEPARTMENT