

ZONING BOARD OF APPEALS

Town of Orangetown  
20 Greenbush Road  
Orangeburg, New York 10962  
(914) 359-8410 (ex. 4331)

Date: August 3, 2023

TO: OBAPAE

- |  |                            |
|--|----------------------------|
| Environmental Management and Engineering | ✓ Rockland County Drainage |
| ✓ Rockland County Sewer District #1      | ✓ Rockland County Health   |
| ✓ New York State Dept. of Transportation | ✓ Rockland County Planning |
| Palisades Interstate Park Commission     | ✓ Rockland County Highway  |
| Orange and Rockland Utilities            |                            |
| Orangetown Highway                       |                            |

Review of Plans: 897 Route 9W Site Plan, 897 Route 9W, Upper Grandview, NY  
Section 71.17 Block 1 Lot 13 R-22 zone

This matter is scheduled for:

Chapter 43, R-22 District, Section 3.12, Group I, Column 8 (Front Yard: 40' required, 17.5' proposed) and from Section 5.22 ( all required yards shall be unobstructed except as provided in this section; Section 5.224 ( No enclosed accessory off-street parking space, including a garage , is permitted in a required front yard. However, where, by reason of exceptional topography, it is impractical to construct an accessory garage behind the required front yard, the Board of Appeals may permit the construction of not more than two enclosed parking spaces within a required front yard accessory to a single-family residence) for a garage at an existing single-family residence.

Please review the information enclosed and provide comments. These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: [darbolino@orangetown.com](mailto:darbolino@orangetown.com) or
- Fax to the Town of Orangetown ZBA @845 359 8526

**Zoning Board Meeting Date: September 20, 2023**

- Comments attached
- No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, September 20, 2023**. **Kindly forward your completed review to this office by September 20, 2023.**

Reviewing Agency \_\_\_\_\_

Name \_\_\_\_\_ date: \_\_\_\_\_

Signature: \_\_\_\_\_

Thank you, Deborah Arbolino

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: \_\_\_\_\_

Please check all that apply:

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: \_\_\_\_\_

ASSIGNED \_\_\_\_\_

INSPECTOR: \_\_\_\_\_

Referred from Planning Board: YES / NO  
if yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: 897 Route 9W S Garage

Street Address: 897 Route 9W S  
Nyack, NY 10960

**Tax Map Designation:**

Section: 71.17 Block: 1 Lot(s): 13  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

**Directional Location:**

On the East side of Route 9W S, approximately 5280 feet North of the intersection of Broadway and 9W, in the Town of Orangetown in the hamlet/village of Nyack / Grandview / Piermont.

Acreage of Parcel <u>1.4</u>	Zoning District <u>Orangetown</u>
School District <u>Nyack Union Free CSD</u>	Postal District <u>Nyack</u>
Ambulance District <u>Orangetown</u>	Fire District <u>Orangetown</u>
Water District <u>Vedolia Water</u>	Sewer District <u>Orangetown</u>

**Project Description:** (If additional space required, please attach a narrative summary.)

Proposed two car garage

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 7/31/2023 Applicant's Signature: Edward W Peterson

AUG 1 2023

# APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

## If subdivision:

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

## If site plan:

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

If special permit, list special permit use and what the property will be used for.

\_\_\_\_\_  
\_\_\_\_\_

## Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_

Are there streams on the site? If yes, please provide the names. \_\_\_\_\_

Are there wetlands on the site? If yes, please provide the names and type: \_\_\_\_\_

## Project History:

Has this project ever been reviewed before? YES

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

Reviewed by the Planning Board: PB# 23-36. at July 26, 2023 Meeting.  
897 Route 9W Site Plan

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

See attached list with names



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
**TOWN OF ORANGETOWN**  
20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**ZONING BOARD OF APPEALS**

Date: August 2, 2023  
Applicant: 897 Route 9W Site Plan  
Address: 897 Route 9W, Upper Grandview  
Section: 71.17 Block: 1 Lot: 13  
Permit# \_\_\_\_\_

Plans Submitted: Survey dated March 10, 2016 s/s Stephen F. Hoppe, L.S.  
Architectural plans dated 04042023: Plot Plan A-1.00.00 s/s Rudolph Dupuy  
A-200.00 dated 01/05/ 2023 Floor Plans s/s Rudolph Dupuy

Project Name: 897 Route 9W Site Plan  
Date of Submittal to Land Use Board: \_\_\_\_\_  
Date of Board Meeting: TBD

TOWN OF ORANGETOWN  
BUILDING DEPARTMENT

AUG 2 2023

RECEIVED

Sincerely,

Debbie Arbolino

Administrative Aide

Date/Initial of OBZPAE Review Completed: \_\_\_\_\_



OFFICE OF BUILDING, ZONING, PLANNING  
ADMINISTRATION AND ENFORCEMENT  
TOWN OF ORANGETOWN  
20 GREENBUSH ROAD  
ORANGETOWN, N.Y. 10962

Jane Slavin, RA  
Director

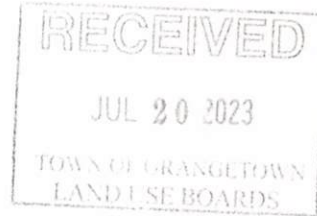
(845) 359-8410

Fax: (845) 359-8526

Date: July 6, 2023

To: Planning Board

From: Jane Slavin, RA.,  
Director O.B.Z.P.A.E.



Subject: **897 Route 9W Site Plan** **PB #23-36**  
Critical Environmental Area  
Prepreliminary/ Preliminary/ Final Site Plan and SEQRA Review  
897 Route 9W, Upper Grandview  
71.17/1/13; R-22 zoning district

Submission Reviewed:

Plot plan as prepared by Rudy Dupuy Architects, dated 4-4-23.

- 1) The applicant must submit a to scale property survey prepared by a licensed surveyor that show all of the existing conditions, setbacks and grading in the area of the proposed work.
- 2) The applicant must submit drawings that contain all information required per town code section 21A-13.
- 3) The zoning bulk table on the plot plan must show the proposed zoning setbacks to the new two car garage.
- 4) Per Chapter 43 the following variances are required;

Table 3.12, R-22 district, column 8, front yard setback required is 40 feet with 17.5 proposed.

Article V, section 5.22; "All required yards, shall be unobstructed except as provided for in this section."

Section 5.224; "no enclosed accessory off-street parking space, including a garage, is permitted in a required front yard. However, where, by reason of exceptional topography, it is impractical to construct an accessory garage behind the required front yard, the Board of Appeals may permit the construction of not more than two enclosed parking spaces within a required front yard, accessory to a single-family residence."





- 5) The applicant should utilize the DEC Mapper online program to prepare an SEAF. The SEAF must be revised as follows:
- a) Number 2 should be checked YES, and list building permit, zoning board.
  - b) Number 3, a-c must be completed.
  - c) Number 5 b should be NO.
  - d) Number 7 should be YES and state Upper Grandview & Environs, Exceptional or unique character.
  - e) Number 12a and b should be YES.
  - f) Number 13 b should be checked YES.
  - g) Number 15 should be checked YES and the Bald Eagle and Atlantic Sturgeon must be listed.
  - h) Number 20 must be noted "within 2,000 feet of remediation site #546031.
- 6) The applicant is reminded that no work can begin and no permit will be issued until all comments are met from the various agencies, all approvals are obtained, the Final Site Plan is stamped and the construction plans are reviewed and approved by the inspector.

JS 7-6-23

## Short Environmental Assessment Form

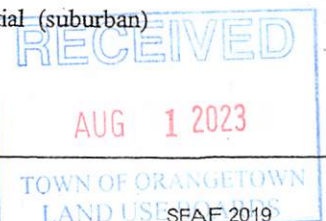
### Part 1 - Project Information

#### Instructions for Completing

**Part 1- Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1- Project and Sponsor Information			
Name of Action or Project: <b>897 Route 9W Two Car Garage PA: 23-36</b>			
Project Location (describe, and attach a location map): <b>897 Route 9W Two Car Garage, Nyack, NY 10960 (Grandview on Hudson)</b>			
Brief Description of Proposed Action: <b>Proposed two car garage</b>			
Name of Applicant or Sponsor:		Telephone: <b>845-536-1618</b>	
Address: <b>Edward Peterson 897, Route 9W S, Nyack, NY 10960</b>		E-Mail: <b>rdupuyra@gmail.com</b>	
City/PO: <b>Grandview</b>		State: <b>NY</b>   Zip Code: <b>10960</b>	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		<u>1.4</u> acres	
b. Total acreage to be physically disturbed?		<u>.1</u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u>1.4</u> acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (Specify):			
<input type="checkbox"/> Parkland			



5. Is the proposed action,		NO	YES	N/A
a.	A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	Consistent with the adopted comprehensive plan?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			NO	YES
		<input type="checkbox"/>		<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?			NO	YES
If Yes, identify: <u>Upper Grandview &amp; Environ S, Exceptional or unique character</u>		<input type="checkbox"/>		<input checked="" type="checkbox"/>
8.	a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES
	b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>		<input type="checkbox"/>
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>		<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements?			NO	YES
If the proposed action will exceed requirements, describe design features and technologies:		<input type="checkbox"/>		<input checked="" type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply?			NO	YES
If No, describe method for providing potable water:		<input checked="" type="checkbox"/>		<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities?			NO	YES
If No, describe method for providing wastewater treatment:		<input checked="" type="checkbox"/>		<input type="checkbox"/>
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		<input type="checkbox"/>	NO	YES
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input type="checkbox"/>		<input checked="" type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input type="checkbox"/>	NO	YES
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>		<input type="checkbox"/>
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:		<input checked="" type="checkbox"/>		<input type="checkbox"/>
<u>No waterbody identified in DEC Mapper</u>				

8  
7/10/23



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:  
 Shoreline    Forest    Agricultural/grasslands    Early mid-successional  
 wetland    Urban    Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?  
Bald Eagle and Atlantic Sturgeon

	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?  
If Yes,  
a. Will storm water discharges flow to adjacent properties?  
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?  
If Yes, briefly describe:  
Gutters connected to existing storm drains.

	NO	YES
a.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, darn)?  
If Yes, explain the purpose and size of the impoundment:

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?  
If Yes, describe:

	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?  
If Yes, describe: Within 3,000 feet of remediation site  
# 546031

	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Edward Peterson Date: Jul 21, 2023

Signature: Edward W Peterson Title: Homeowner

Property Owners within 200 Feet of 897 Route 9W

SWIS	PRINT KEY	NAME	ADDRESS
392401	71.78-1-1	Andrea Pecorino	1 Justin Ct, Palisades, NY 10964
392401	71.78-1-17	Stuart M Mitchell	273 River Rd, Grandview, NY 10960
392401	71.78-1-18	Janet T Martino	267 River Rd, Grandview, NY 10960
392401	71.78-1-20	Tiffany Management LTD	259-265 River Rd, Grandview, NY 10960
392401	71.78-1-21	US Bank	3217 S Decker Lake Dr, Salt Lake City, UT 84119
392489	71.17-1-10	Akram & Cui Ying Fahmi	19330 Najm Ln, Sonoma, CA 95476
392489	71.17-1-11	Akram & Cui Ying Fahmi	19330 Najm Ln, Sonoma, CA 95476
392489	71.17-1-12	Ruth B Josephs	901 Rte 9W, Nyack, NY 10960
392489	71.17-1-13	Richard J Nelson	897 Rte 9W, Upper Grandview, NY 10960
392489	71.17-1-14	Louis Wintermeyer	893 Route 9W, Nyack, NY 10960
392489	71.17-1-15.1	Lisa Aronson	17 Ridgewood Ter, Maplewood, NJ 07040
392489	71.17-1-15.2	Lisa Aronson	17 Ridgewood Ter, Maplewood, NJ 07040
392489	71.17-1-16	Judith A Schwartz	877 Rte 9W, Upper Grandview, NY 10960
392489	71.17-1-19	Suresh Ramaswamy	119 Tweed Blvd, Upper Grandview, NY 10960
392489	71.17-1-20	Timothy E Russell	117 Tweed Blvd, Upper Grandview, NY 10960
392489	71.17-1-21.1	Elsayed M Allam	111 Tweed Blvd, Upper Grandview, NY 10960
392489	71.17-1-21.2	Remano LLC c/o Reiner Nowak	20 Spear Rd, Ramsey, NJ 07446
392489	71.17-1-21.3	Lewis Saperstein	115 Tweed Blvd, Upper Grandview, NY 10960
392489	71.17-1-22	Jeffrey S Yager	27 Castle Rd, Piermont, NY 10968

Requirement #17  
 Copy For Zoning Board of Appeals

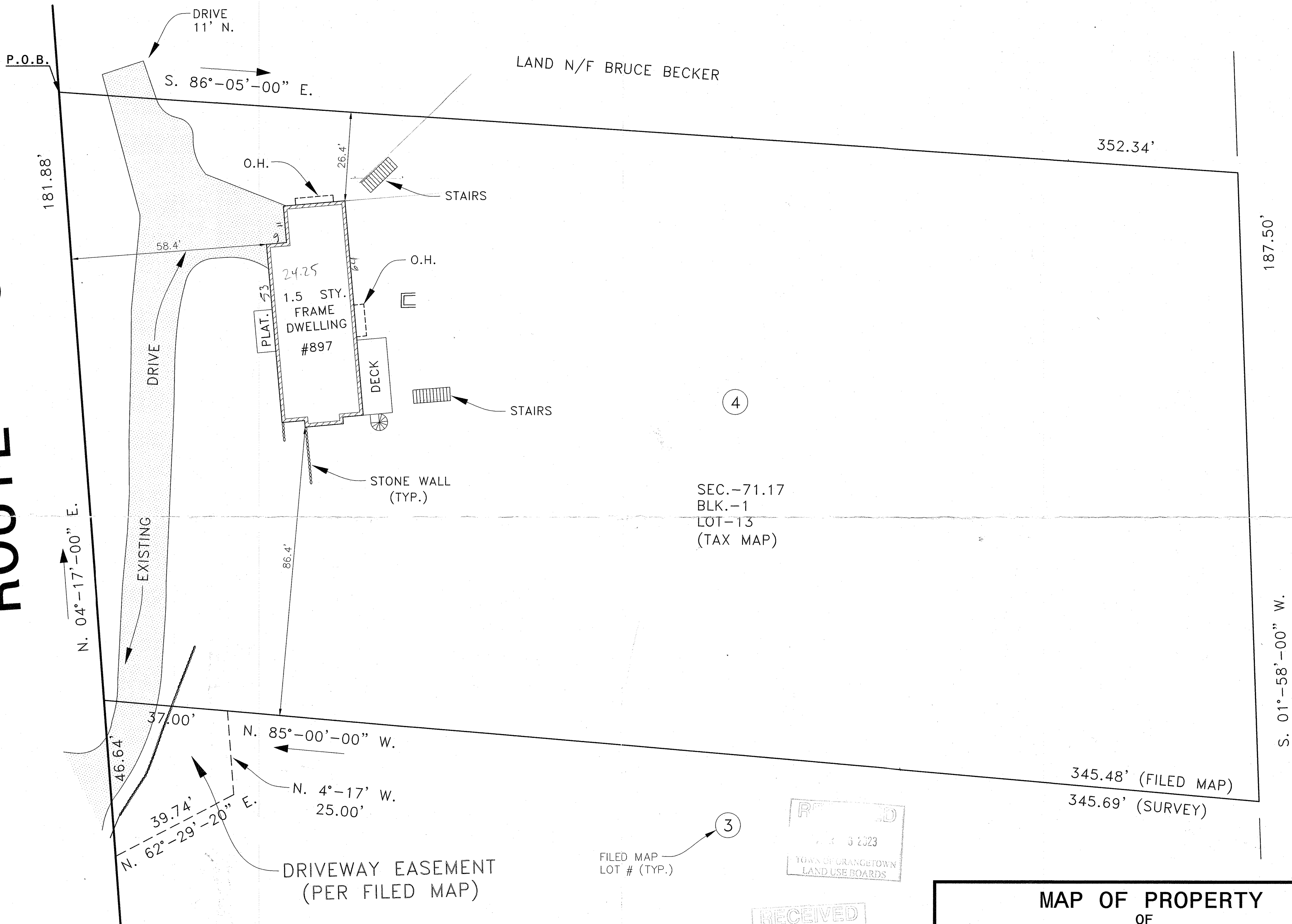
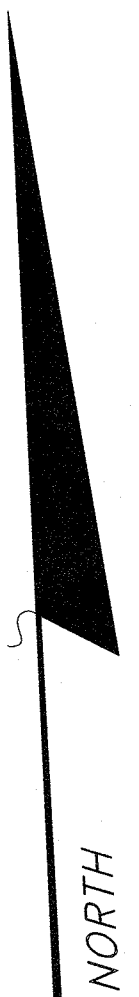


OFFSET DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION.

THIS LOCATION SURVEY WAS PREPARED FOR TITLE PURPOSES ONLY.

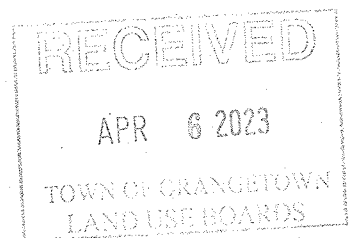
SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

# ROUTE 9W



FILED MAP LOT # (TYP.)

3



Reference: Being known as Lot 4 on a map entitled : "Miller Villa" filed in The Rockland County Clerk's Office on February 25, 1966 as Map No. 3421.

Certified to: Michael Misiorski ; Fidelity National Title Insurance Company ; Ram Abstract, Ltd. ; Wells Fargo Bank, N.A. it's successors and/or assigns.

<b>MAP OF PROPERTY</b>	
OF <b># 897 ROUTE 9W</b>	
<b>LOT 13, BLOCK 1, SECTION 71.17</b>	
<b>UPPER GRANDVIEW, ROCKLAND CO., NY</b>	
<b>STEPHEN F. HOPPE, L.S.</b>	SCALE: 1" = 30' 20"
LICENSED PROFESSIONAL LAND SURVEYOR 111 ROUTE 303 - TAPPAN, NY 10983 NY LIC. NO. 50539	DATE: MAR. 10, 2016
	FILE NO: 0193-06
L.S.	TITLE NO.- RF15173



GENERAL NOTES

- 1. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND ANY AND ALL OTHER APPLICABLE ORDINANCES, REGULATIONS, AND STANDARDS AS REQUIRED BY THE TOWN.

EXCAVATION

- 1. PROPOSED FOUNDATION DESIGNED BASED ON A MINIMUM 2 TONS PER SQ. FT. BEARING CAPACITY

CONCRETE AND MASONRY

- 1. ALL CONCRETE FOR FOOTINGS AND WALL SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS AS PER ACI CODE.

STEEL

- 1. ALL STEEL CONFORM TO ASTM A-36 AND CONNECTIONS SHALL CONFORM TO AISC (LATEST EDITION)

CARPENTRY

- 1. ALL LUMBER IN CONTACT WITH MASONRY SHALL BE PRESSURE TREATED LUMBER.

PLUMBING

- 1. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL TO SUPPLY A COMPLETE PLUMBING SYSTEM FOR THE ENTIRE HOUSE AND SHALL INCLUDE:

HVAC

- 1. HEATING AND A/C SYSTEM SHALL MAINTAIN 70 DEGREES INSIDE WHEN 0 DEGREES OUTSIDE AND 75 DEGREES INSIDE WHEN 95 DEGREES OUTSIDE.

ELECTRICAL

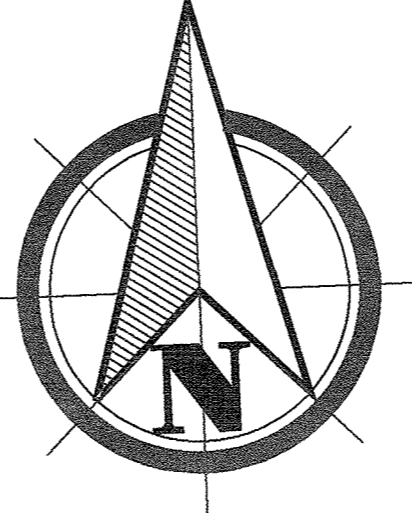
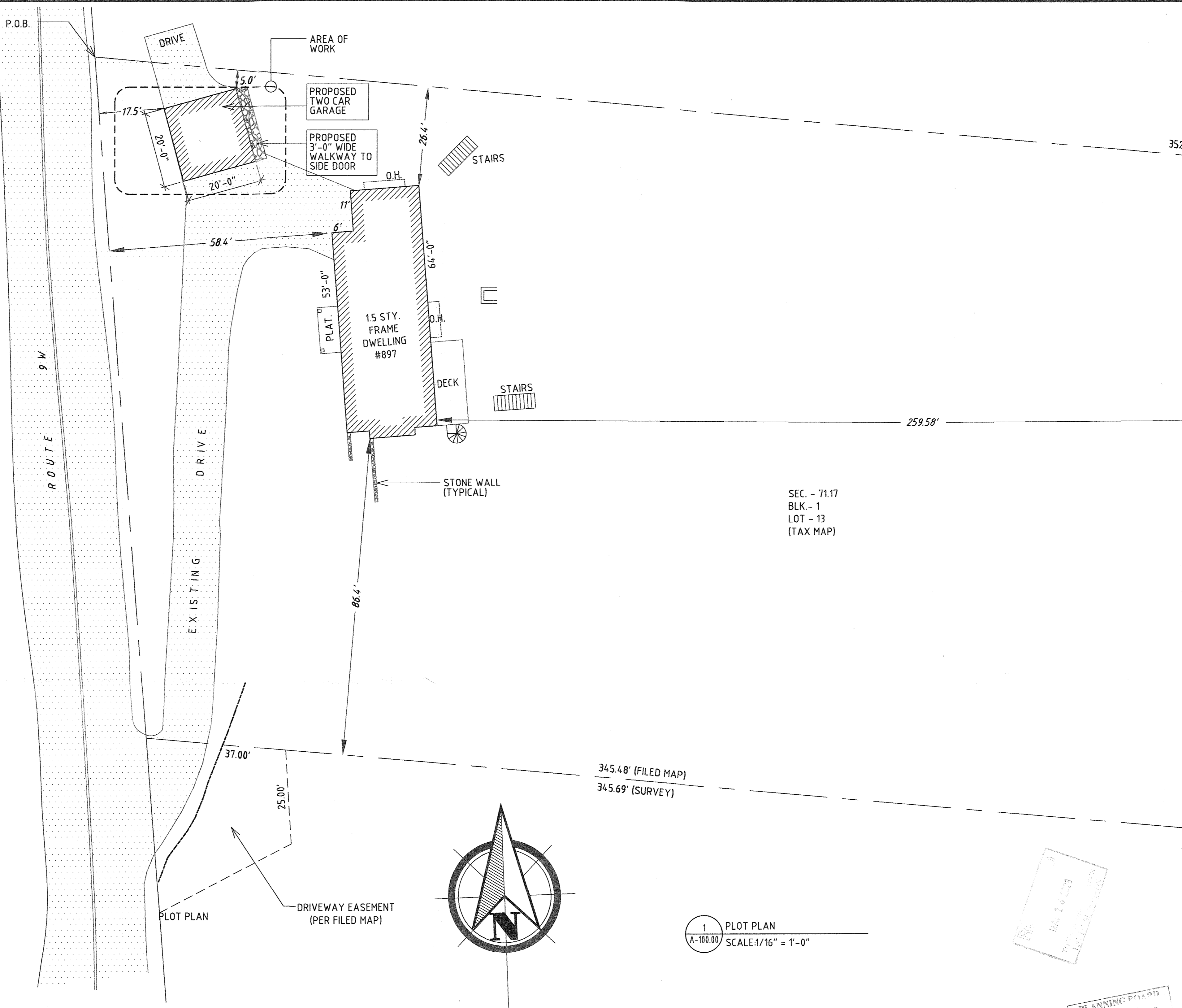
- 1. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL TO SUPPLY A COMPLETE ELECTRICAL SYSTEM FOR THE ENTIRE HOUSE AND SHALL INCLUDE:

N.Y.S. ENERGY CONSERVATION STATEMENT

I, RUDOLPH DUPUY, HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE FOLLOWING PLANS COMPLY WITH THE CURRENT NEW YORK STATE ENERGY CONSERVATION CODE.

ZONING BULK REQUIREMENTS TABLE with columns: REQUIRED, EXISTING, PROPOSED. Rows include FLOR AREA RATION, LOT AREA, LOT WIDTH, STREET FRONTAGE, etc.

NOTE: DRAINAGE REMEDIATION. THE PROPOSED GARAGE IS LOCATED ON AN EXISTING PAVED DRIVEWAY. NO ADDITIONAL IMPERVIOUS AREA IS PROPOSED, THEREFORE NO DRAINAGE REMEDIATION IS REQUIRED.



1 PLOT PLAN SCALE: 1/16" = 1'-0"

RUDY DUPUY ARCHITECTS 1 TORY CIRCLE, TAPAN, N.Y. 10983 845.536.1618 TL

ALL DRAWINGS AND WRITTEN MATERIAL CONSTITUTE ORIGINAL WORK OF RUDY DUPUY ARCHITECTS AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE FIRM.

JOB DESCRIPTION: PROPOSED TWO CAR GARAGE

Revisions table with columns: NO., REVISIONS, DATE. Row 1: 1, , 00/00/0000

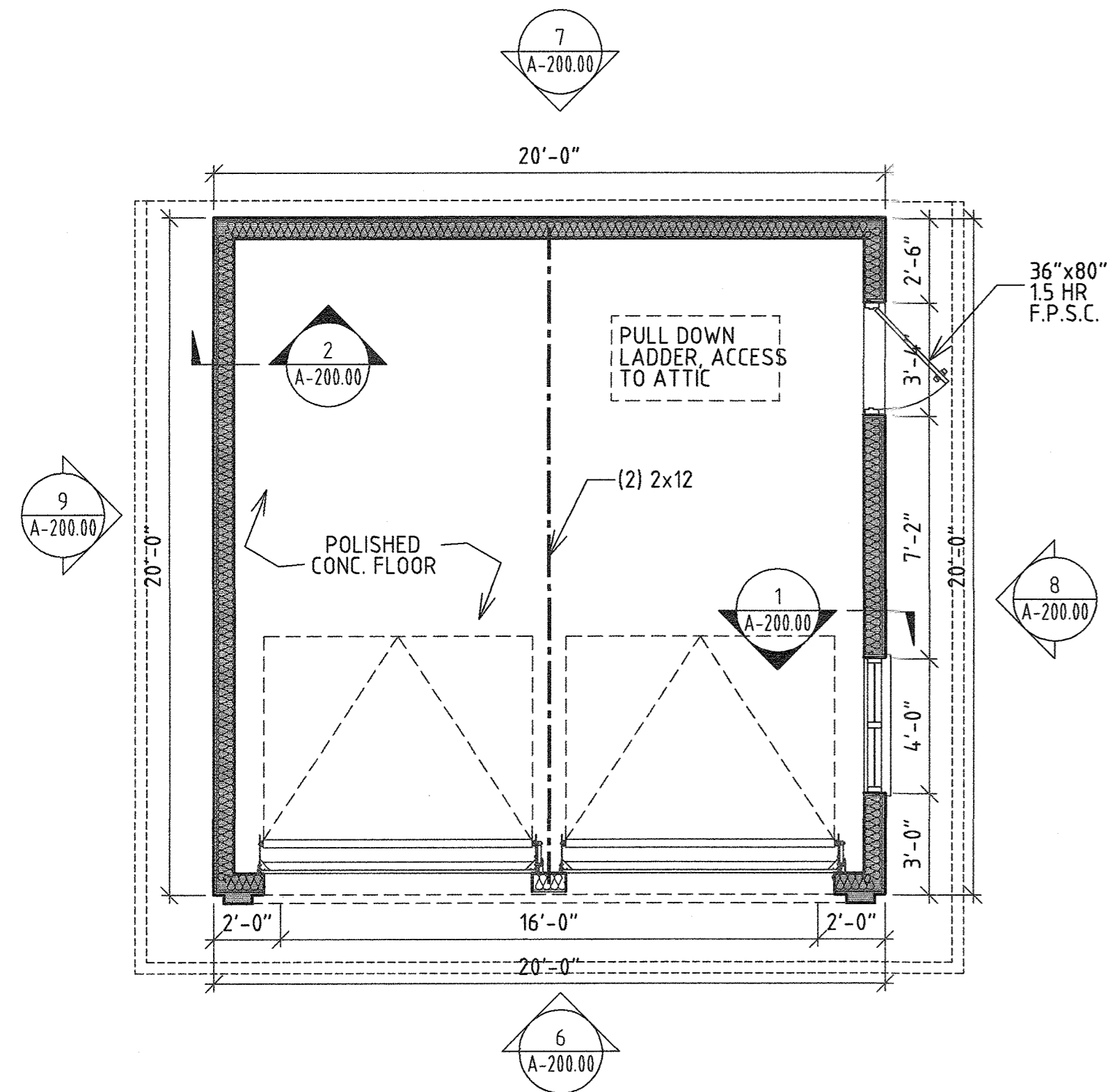
PROJECT LOCATION: 897 ROUTE 9W LOT 13, BLOCK 1 SECTION 71.17 UPPER GRANDVIEW ROCKLAND CO., NY

- PLOT PLAN - GENERAL NOTES ZONING INFORMATION

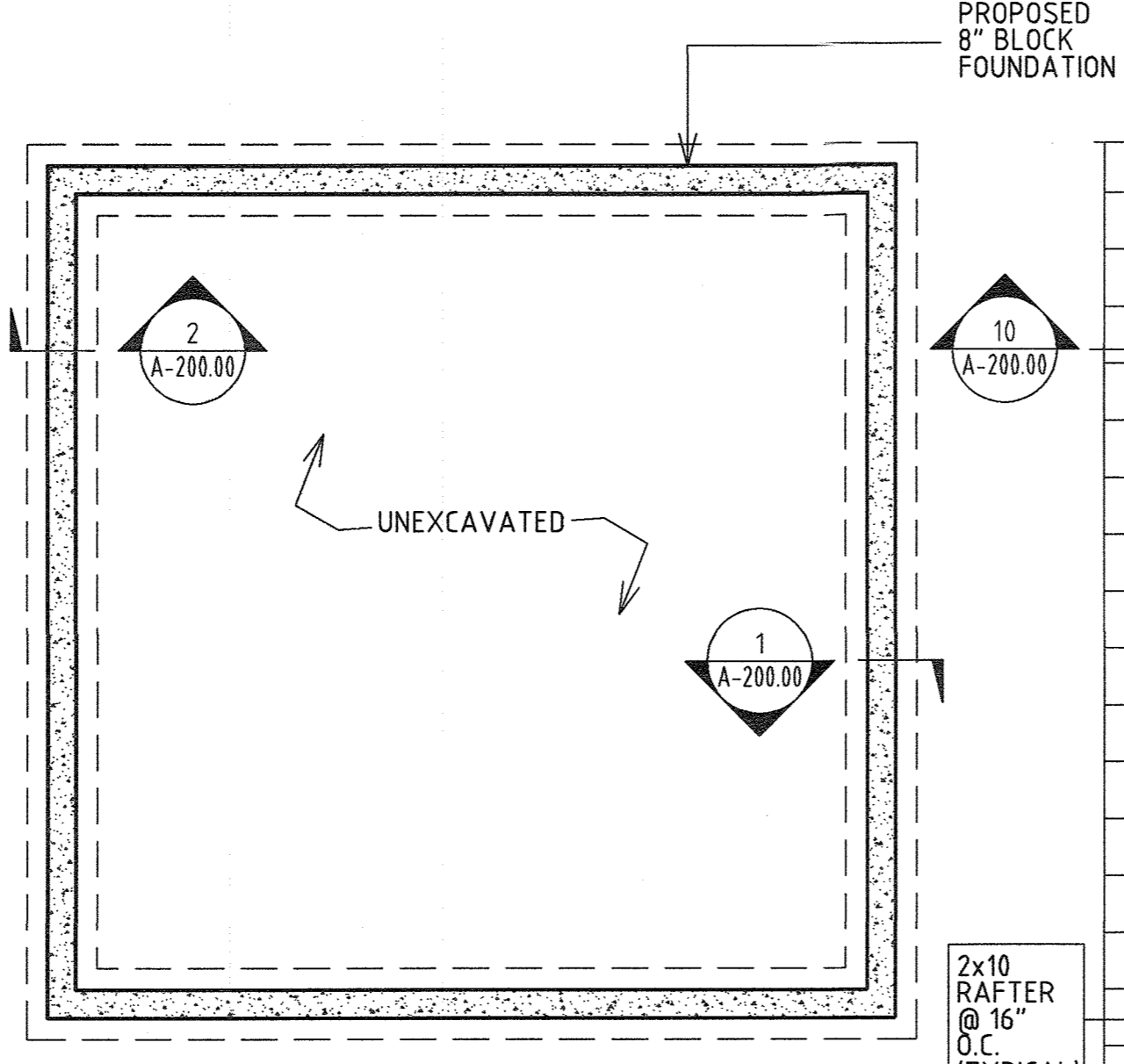
Professional seal for Rudy Dupuy, Registered Architect, No. 614023, State of New York. Includes date (04.04.2023), project number (20221209.2), drawing by (X.X.), checked by (R.D.), drawing number (A-100.00), and CAD file number (1 OF 2).

File Copy

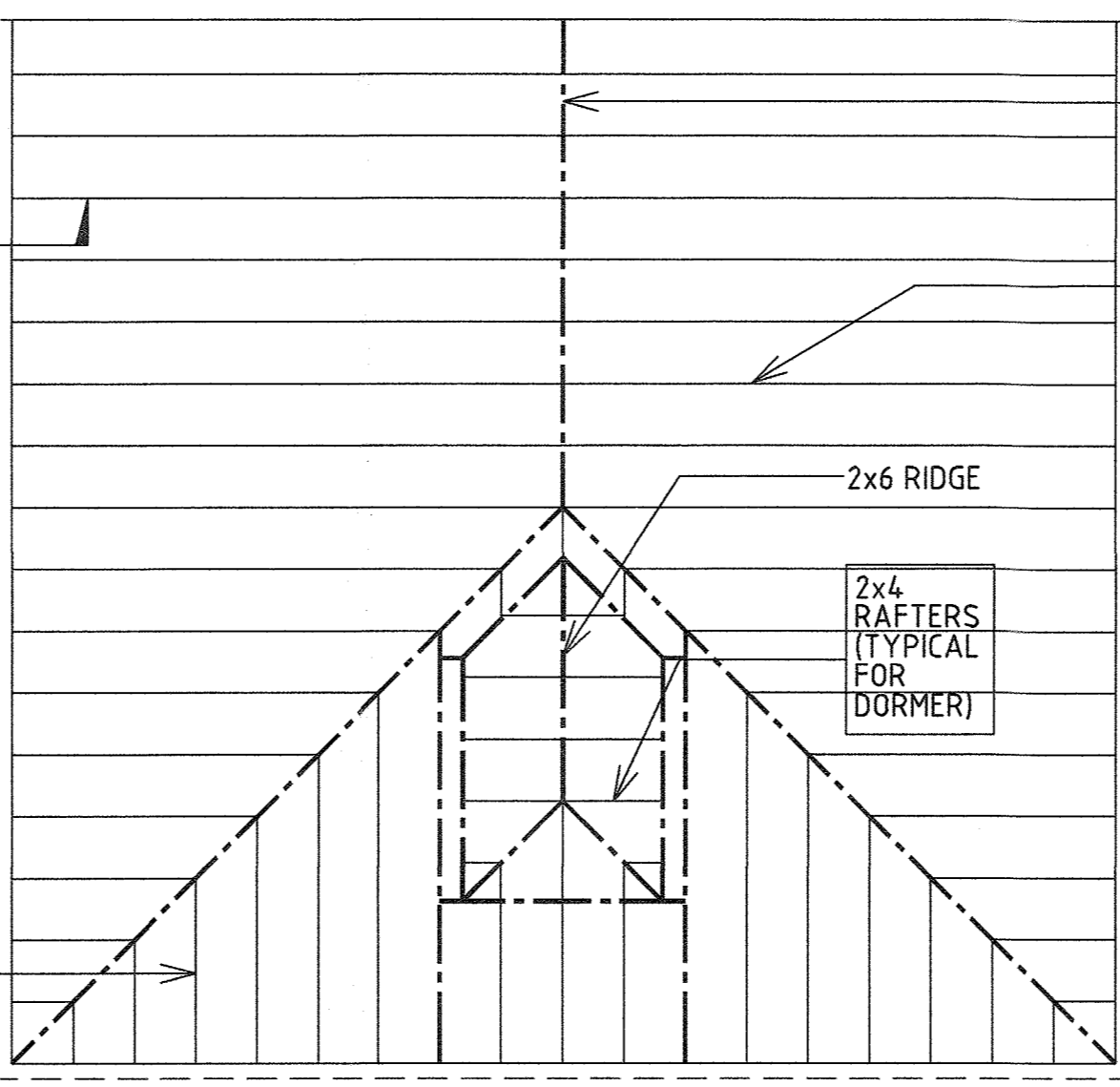




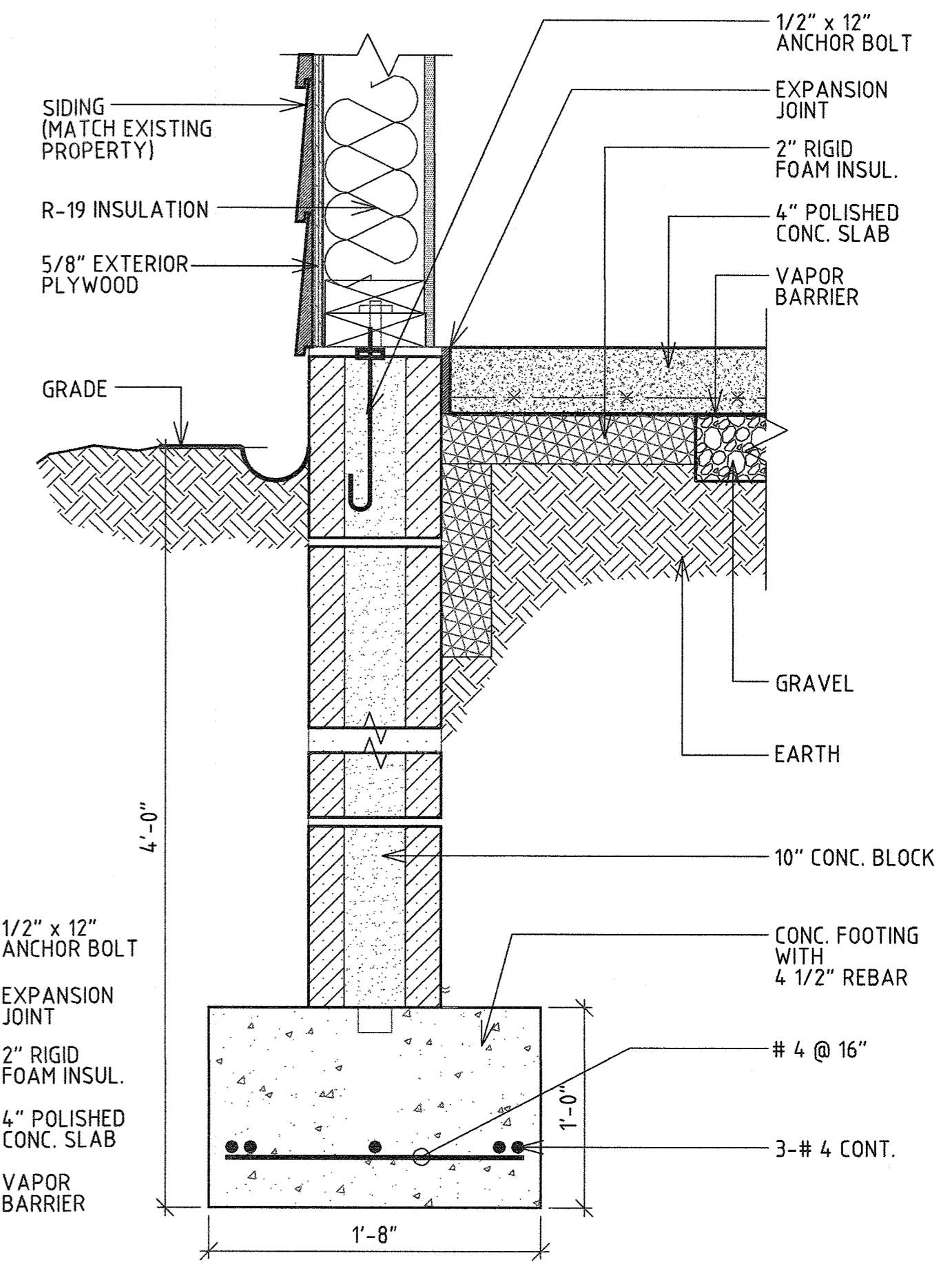
**3 PROPOSED GARAGE PLAN**  
A-200.00 SCALE: 1/4" = 1'-0"



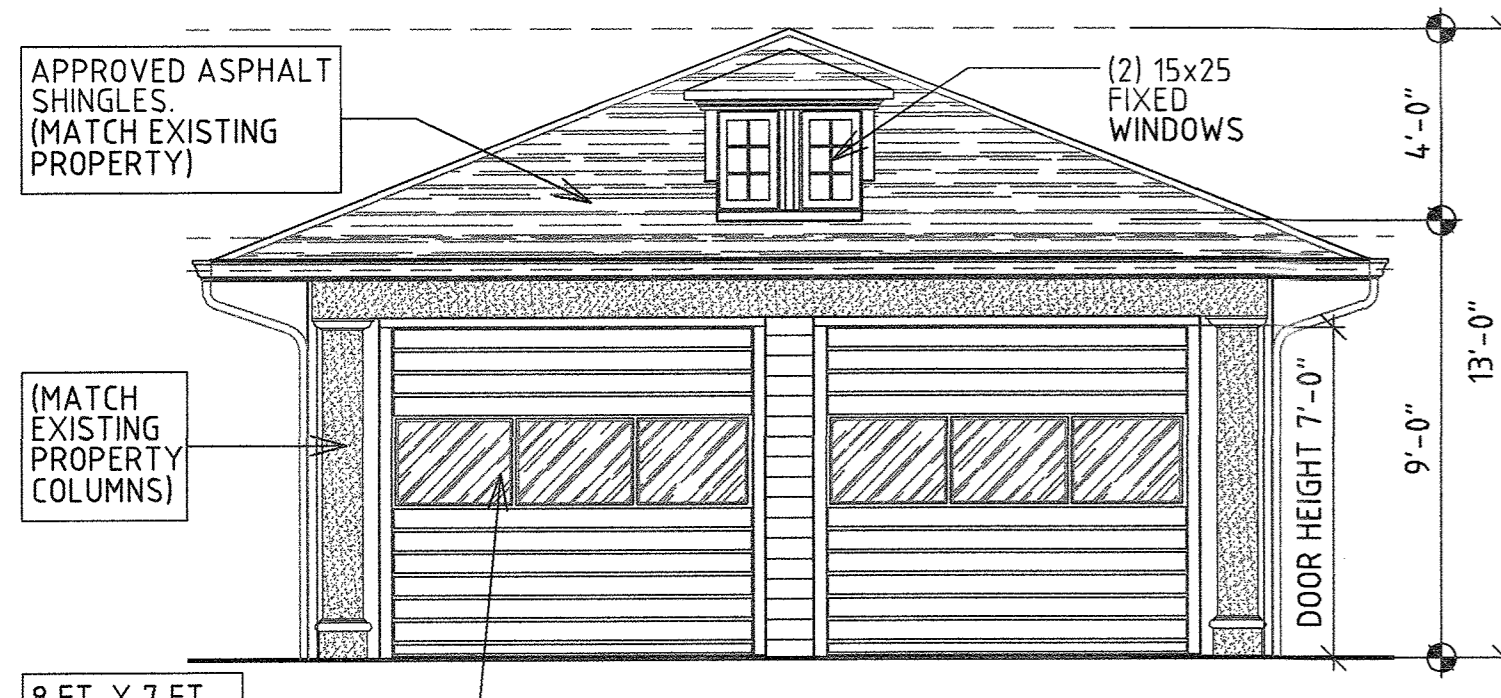
**4 PROPOSED GARAGE FOUNDATION PLAN**  
A-200.00 SCALE: 1/4" = 1'-0"



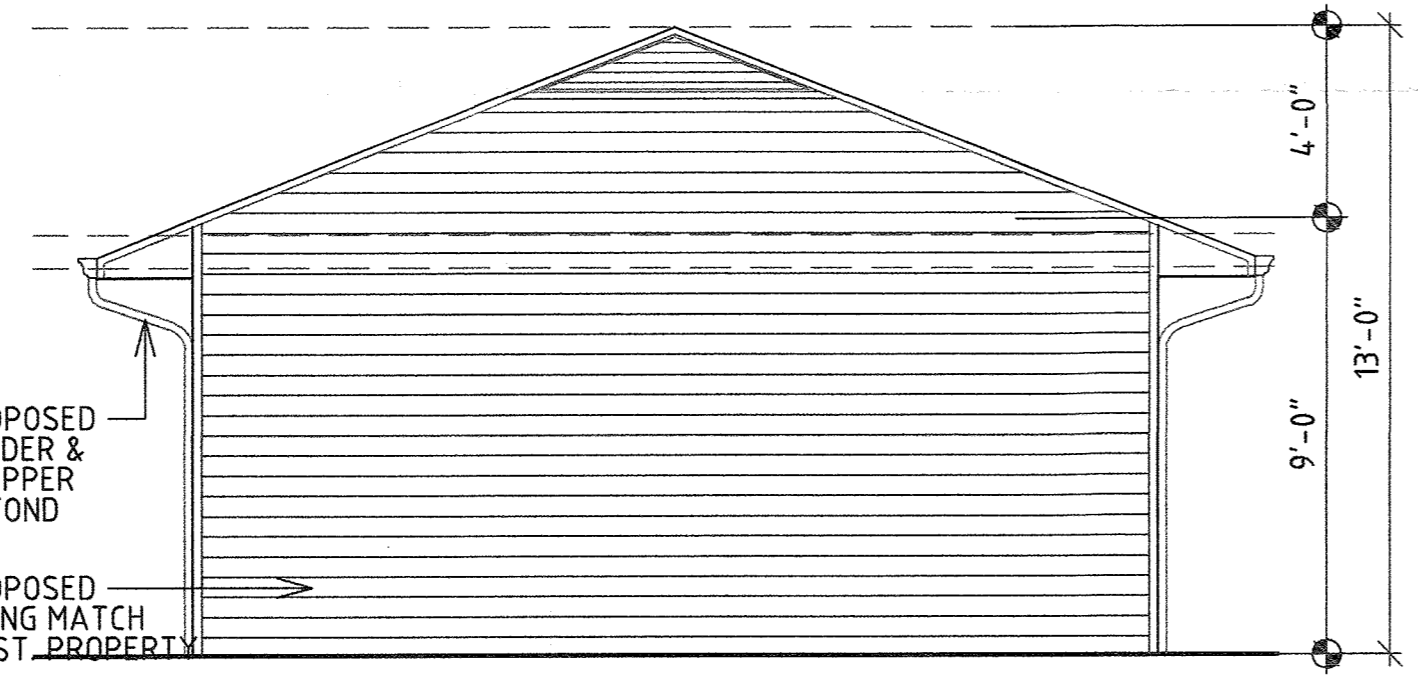
**5 PROPOSED GARAGE ROOF FRAMING PLAN**  
A-200.00 SCALE: 1/4" = 1'-0"



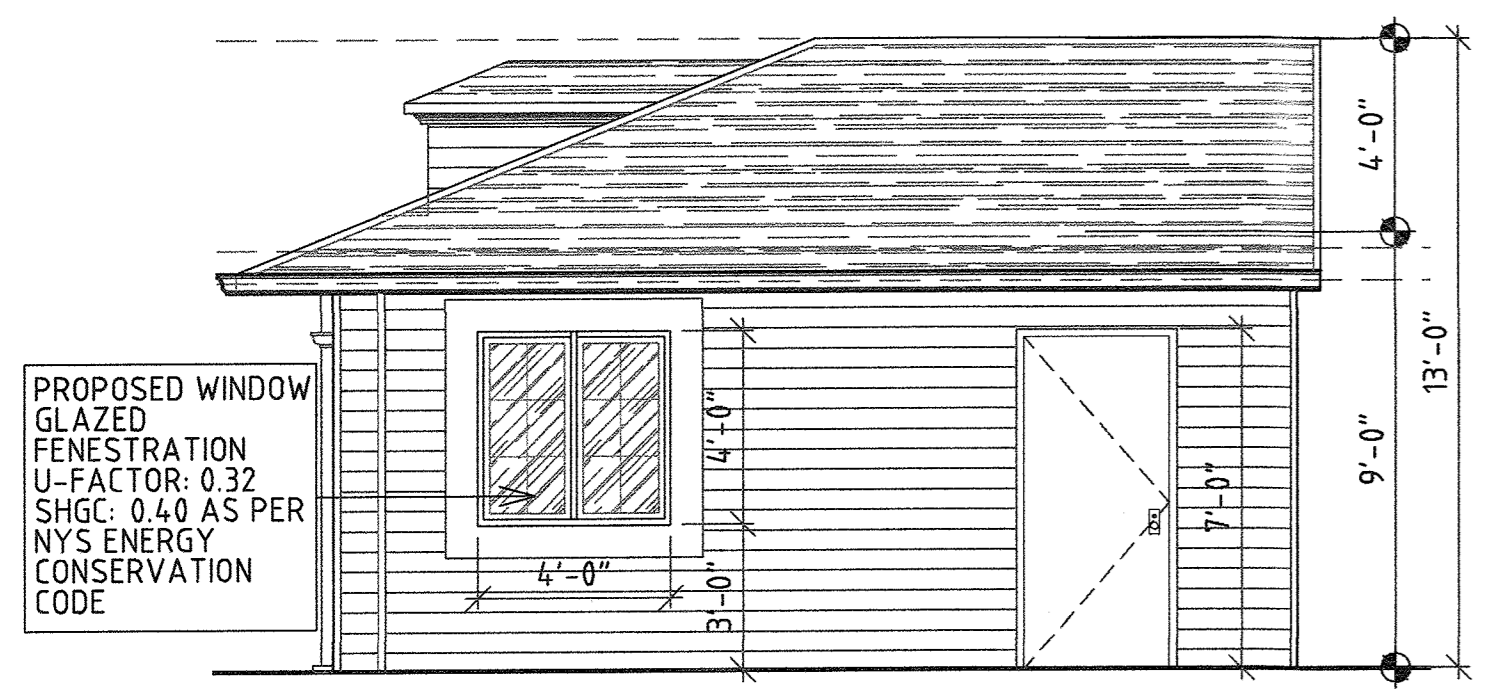
**1 WALL SECTION W/ FOUNDATION**  
A-200.00 NOT TO SCALE



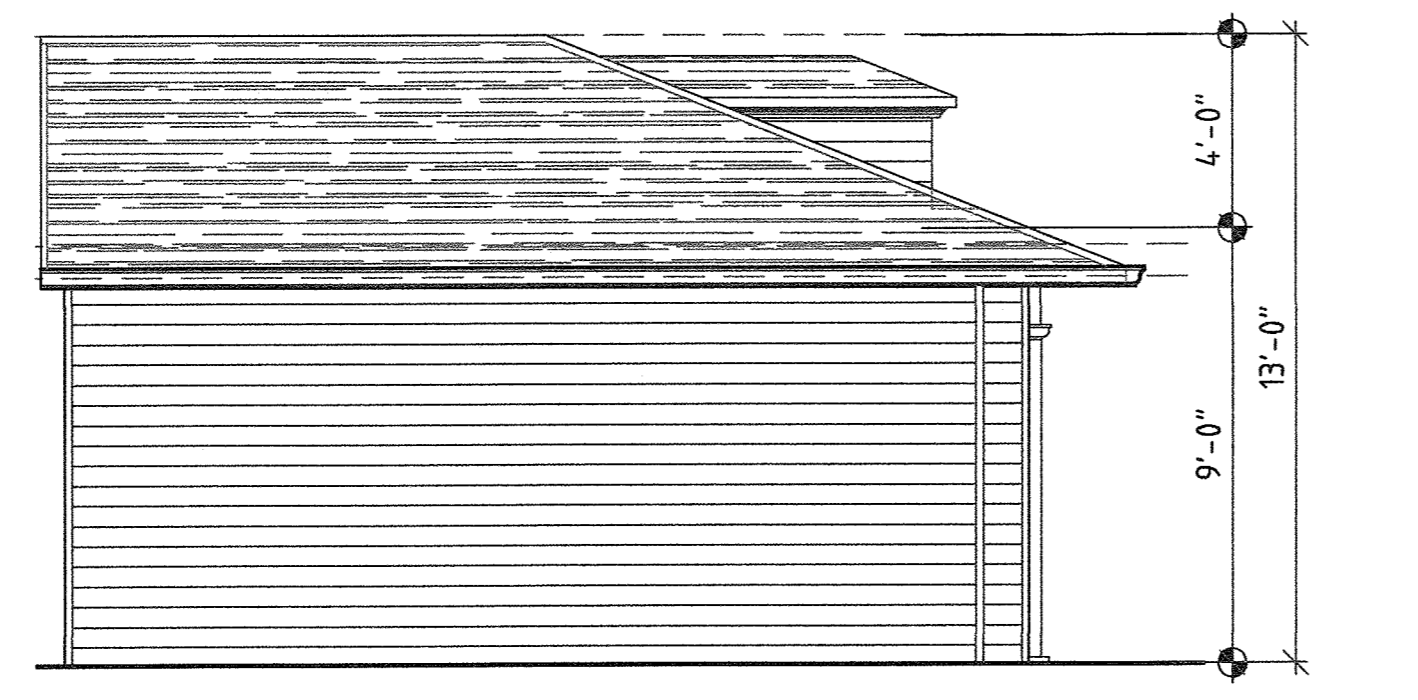
**6 PROPOSED GARAGE FRONT ELEVATION**  
A-200.00 SCALE: 1/4" = 1'-0"



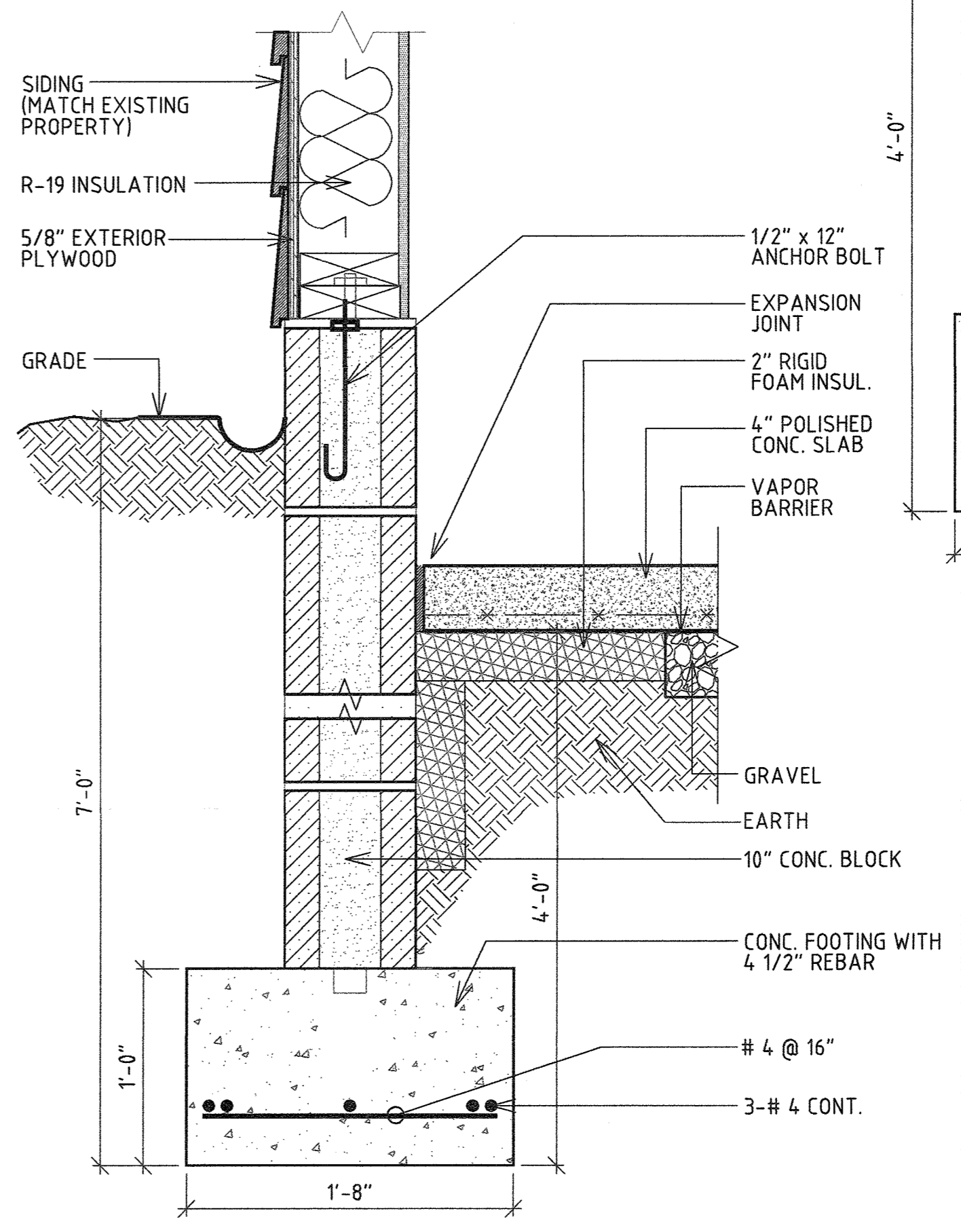
**7 PROPOSED GARAGE REAR ELEVATION**  
A-200.00 SCALE: 1/4" = 1'-0"



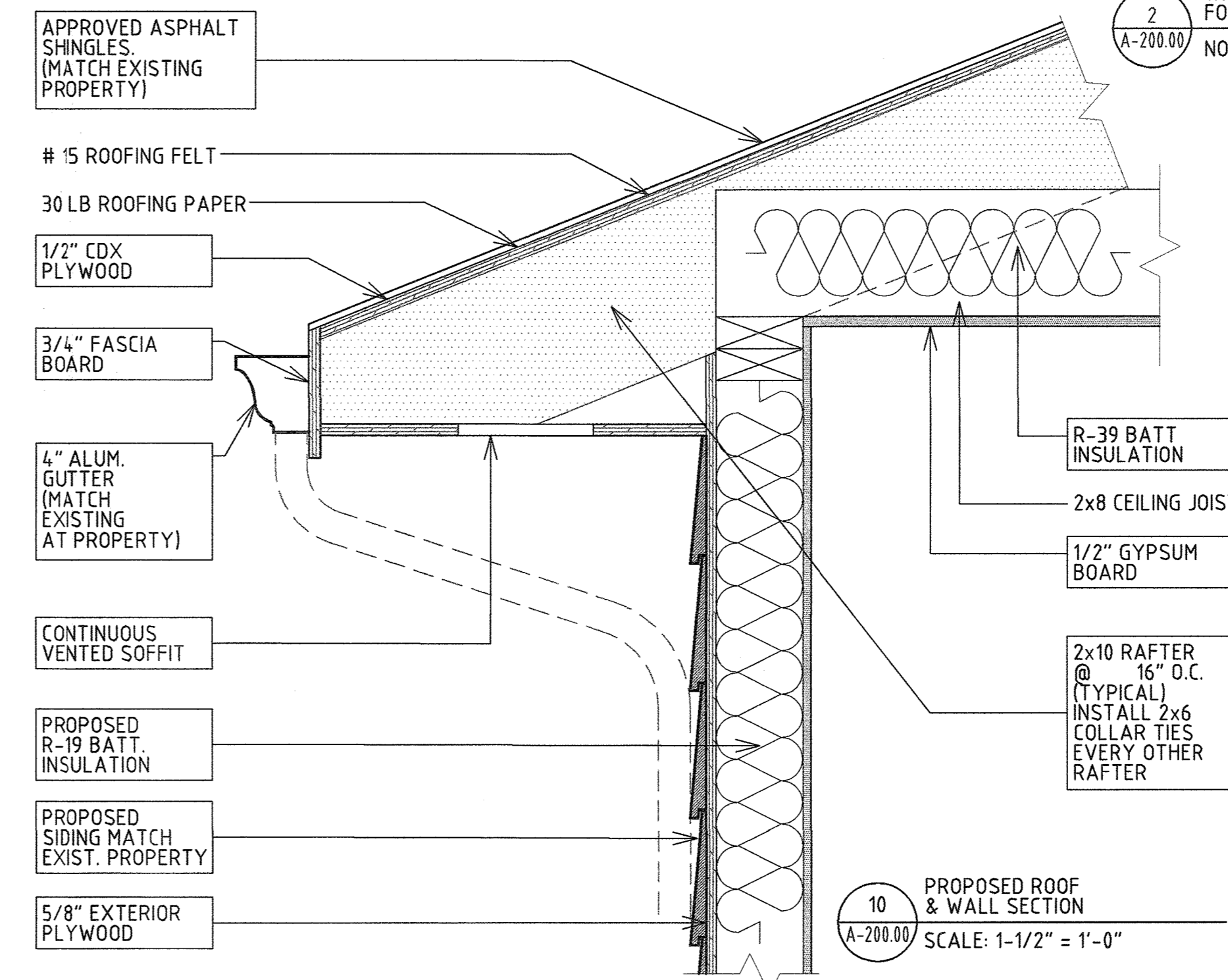
**8 PROPOSED GARAGE SIDE ELEVATION**  
A-200.00 SCALE: 1/4" = 1'-0"



**9 PROPOSED GARAGE SIDE ELEVATION**  
A-200.00 SCALE: 1/4" = 1'-0"



**2 WALL SECTION W/ FOUNDATION**  
A-200.00 NOT TO SCALE



**10 PROPOSED ROOF & WALL SECTION**  
A-200.00 SCALE: 1-1/2" = 1'-0"

**RUDY DUPUY ARCHITECTS**  
1 TORY CIRCLE, TAPAN, N.Y. 10983  
845.536.1618 TL

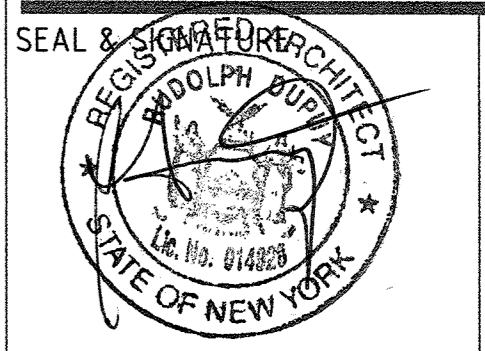
ALL DRAWINGS AND WRITTEN MATERIAL CONSTITUTE ORIGINAL WORK OF RUDY DUPUY ARCHITECTS AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE FIRM.

JOB DESCRIPTION:  
PROPOSED NEW CAR GARAGE

NO.	REVISIONS	DATE
1		00/00/0000

PROJECT LOCATION:  
**#897 ROUTE 9W  
LOT 13, BLOCK 1  
SECTION 71.17  
UPPER GRANDVIEW  
ROCKLAND CO., NY**

**- FLOOR PLAN -**  
ELEVATIONS, DETAILS



DATE: 01.06.2023  
PROJECT NO. 20221209.2  
DRAWING BY: X.X.  
CHK. BY: R.D.  
DWG NO. **A-200.00**  
CAD FILE NO. 2 OF 2