

SITE PLAN APPROVAL DRAWINGS

ORANGETOWN SHOPPING CENTER

TAX MAP SECTION 74.10 | BLOCK 1 | LOT 67
ROCKLAND COUNTY
1 ORANGEBURG ROAD
ORANGETOWN, NY 10962

JMC Drawing List:

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- SP-2 OVERALL EXISTING CONDITIONS
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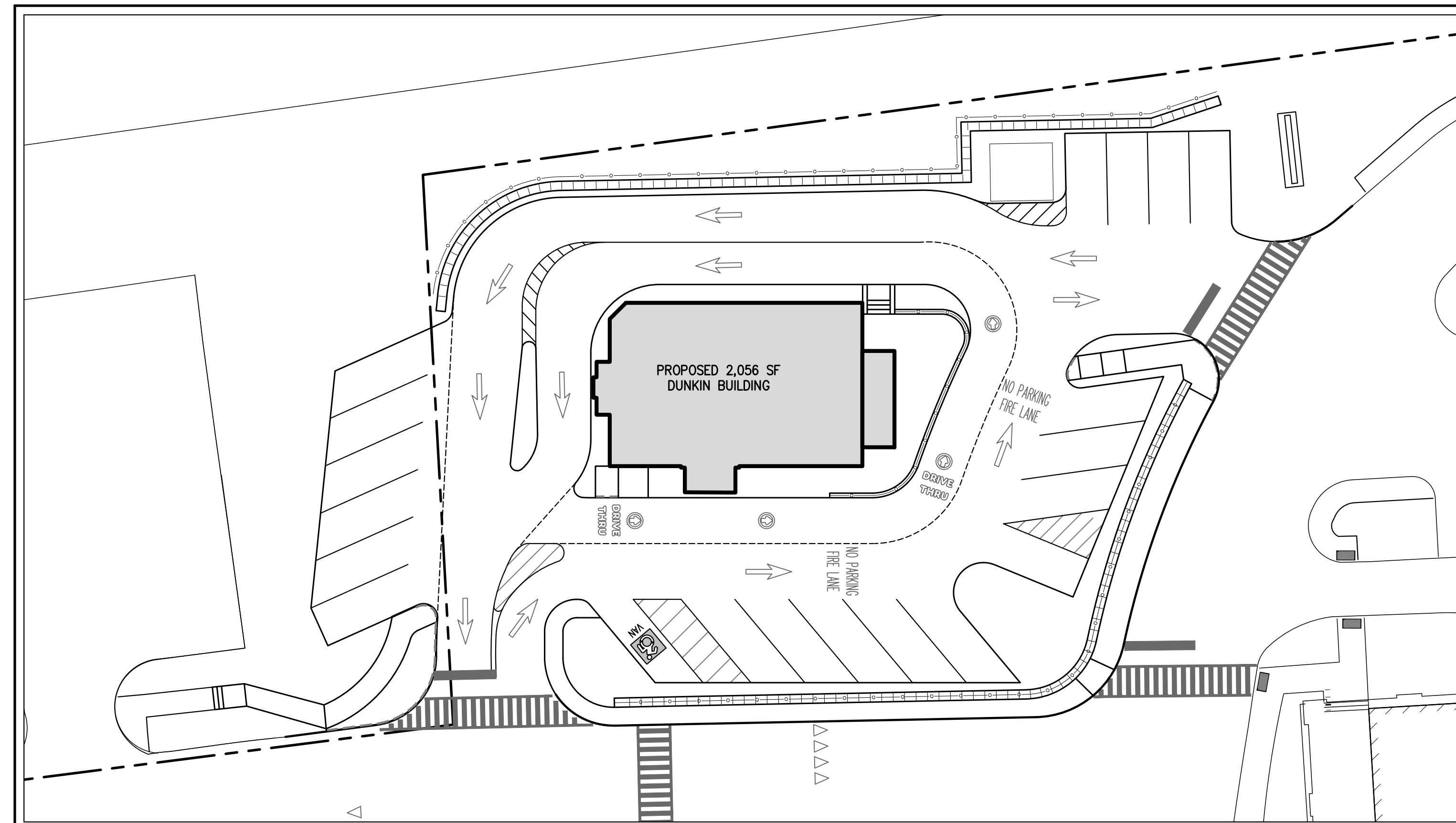
APPLICANT/OWNER:
UB ORANGEBURG, LLC.
321 RAILROAD AVENUE
GREENWICH, CT 06830
APPLICANT PHONE: (203) 803 0206

JMC **Site Planner, Civil & Traffic Engineer,**
Surveyor and Landscape Architect:
120 BEDFORD ROAD
ARMONK, NY 10504
(914) 273-5225

ATTORNEY:
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4 LAUREL ROAD
NEW CITY, NY 10956
ATTORNEY PHONE: (845) 634 4141

ARCHITECT:
GK+A ARCHITECTS
36 AMES AVENUE
RUTHERFORD, NJ 07070
ARCHITECT PHONE: (201) 896 0333

SURVEYOR:
CONTROL POINT ASSOCIATES, INC.
SURVEYOR PHONE: (908) 993 0500



AREA MAP
SCALE: 1" = 20'

TABLE OF LAND USE			
Section 74.10, Block 1, Lot 67			
Zone CS - Community Shopping			
Proposed Use: Mix Use			
Parameter	Required	Existing	Provided
Min. Lot Area (S.F.)	2,500	461,178	461,178
Maximum Floor Area Ratio	1	0.16	0.17
Min. Lot Width (Feet)	25	463	463
Min. Street Frontage			
Orangeburg Road	-	480	480
Dutch Hill Road	-	349	349
Oak Street	-	475	475
Highview Avenue	-	323	323
Total Frontage	35	1627	1627
Maximum Building Height (Stories/Feet)	2/35	1 / >35	21
Min. Yards for Building (feet)			
Front	45	31.6	34.3 ⁽¹⁾
Side	0/12	21	12
Total Side	0/25	-	-
Rear	25	N/A	N/A
Side/Rear adjacent to any 'R' District	15	24	24
Min. Yards for Wall (feet)			
Front	45	-	4.38 ⁽²⁾
Side	12	-	-
Total Side	25	-	-
Rear	25	N/A	N/A
Side/Rear adjacent to any 'R' District	15	34	34

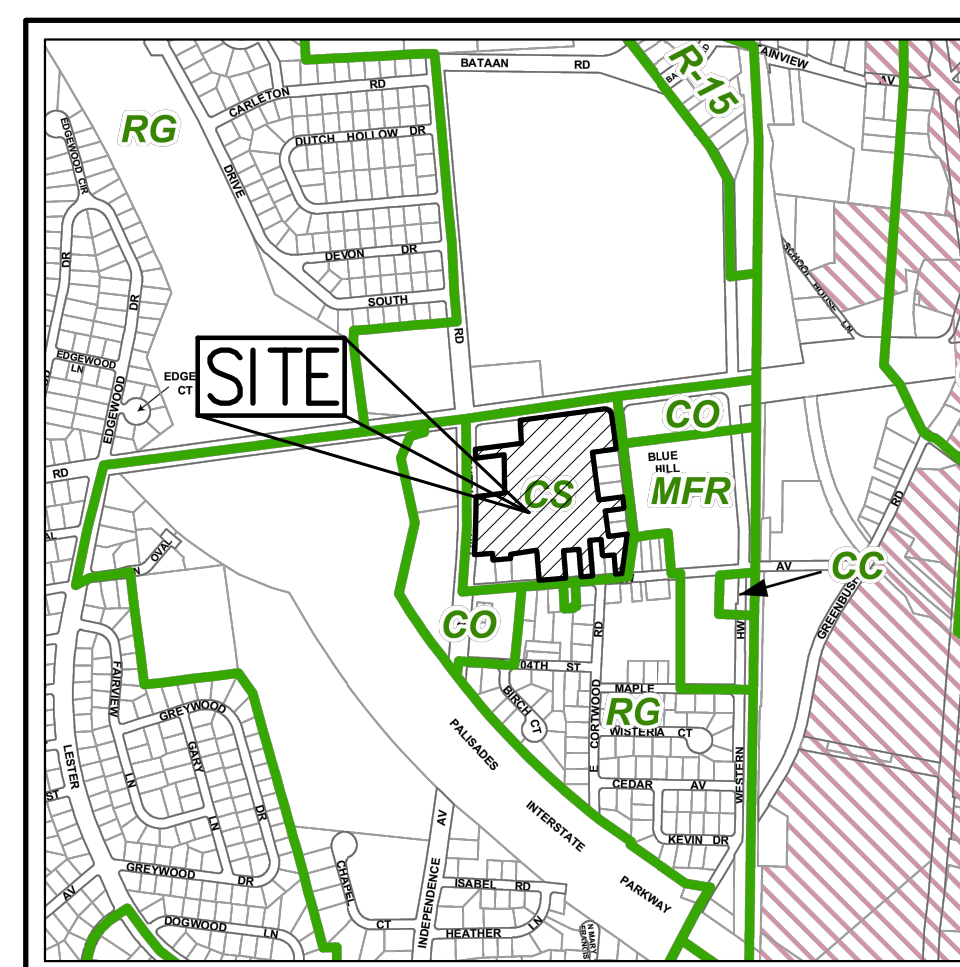
(1) Variance obtained for front yard setback of new pad building from ZBA #14-64.
 (2) Variance obtained for height of proposed retaining wall greater than 4-1/2 feet located within the required front yard of Orangeburg Road from ZBA #14-64.

Use	PARKING TABLE								
	Existing			Previously Approved			Proposed		
	SF	Spaces/SF	Required	Approved (Restaurant) 1 Space / 100 SF	Required	Approved	Proposed (Restaurant) 1 Space / 100 SF	Required	Proposed
Off-Street Parking									
Retail/office/Bank/services	65,884	1/200	61,800	309		65,884	344		
Restaurant	11,616	1/100	15,700	157		11,616	113		
Proposed Pad		1/100	2,200	22		2,056	21		
Total Parking				488		378		478	378⁽¹⁾

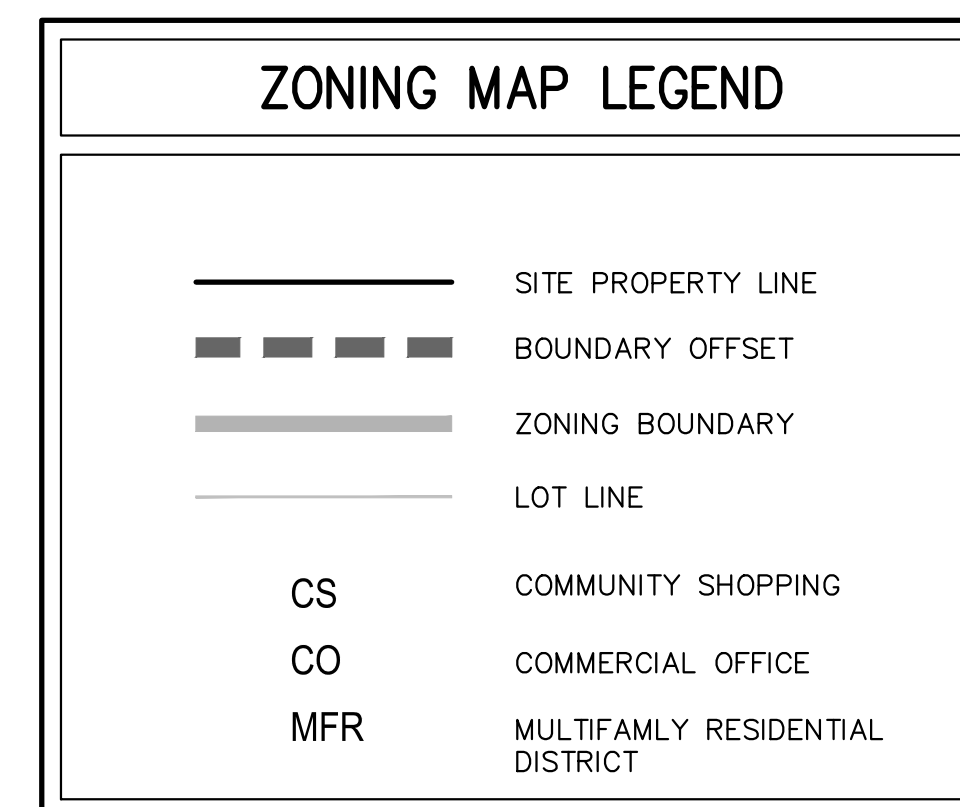
(1) Variance obtained for total parking spaces, per ZBA #14-64. The variances did not provide a breakdown by use, simply a total number of parking spaces permitted.

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

1. AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.
3. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
5. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA), AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISIONS OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
6. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
7. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.
8. THE TOWN ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY AND ALL CONSTRUCTION ON OR NEAR EXISTING AND PROPOSED SANITARY SEWER FACILITIES



ZONING MAP
SCALE: 1" = 1,000'



SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILATION OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DJG
2.	RESPONSE TO TOWN COMMENTS	04/26/2022	DJG
3.	ACABOR SUBMISSION	05/20/2022	DJG
4.	APPROVAL RESOLUTION SUBMISSION	09/19/2022	DJG
5.	REVISED RETAINING WALL LAYOUT	01/24/2023	JJ
6.	SUBMISSION TO BUILDING DEPARTMENT FOR DENIAL LETTER	06/12/2023	HS

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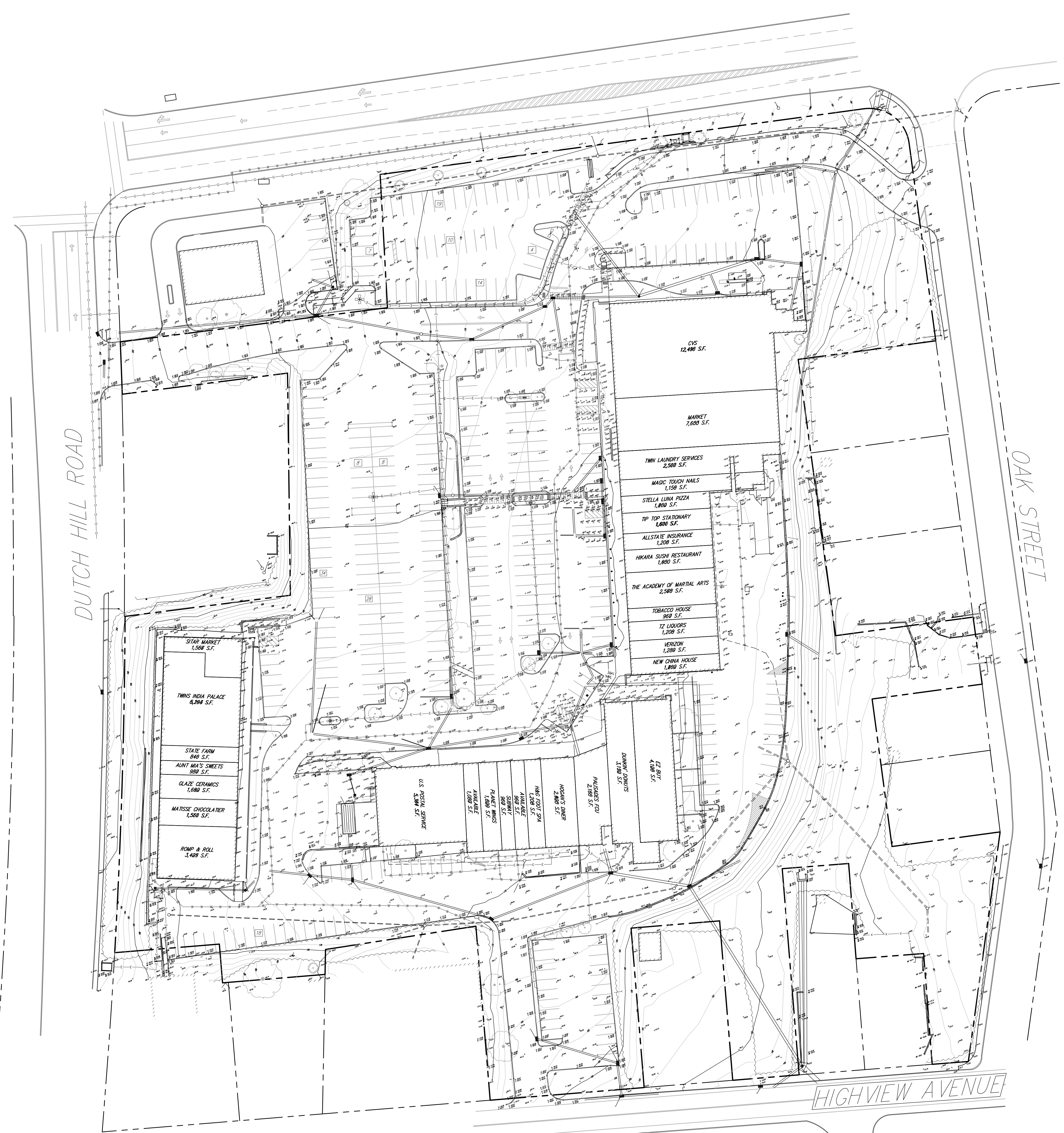
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Scale: NOT TO SCALE	
Date: 08/30/2021	
Project No: 15210	
1520-002	SP-1 COVER
Drawing No:	

SP-1

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LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	BORING LOCATION AND DESIGNATION

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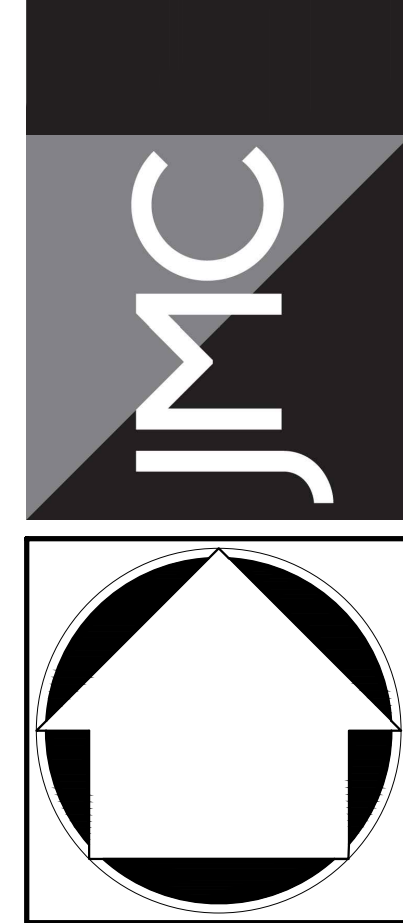
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APPLICANT: **URSTADT BIDDLE PROPERTIES**
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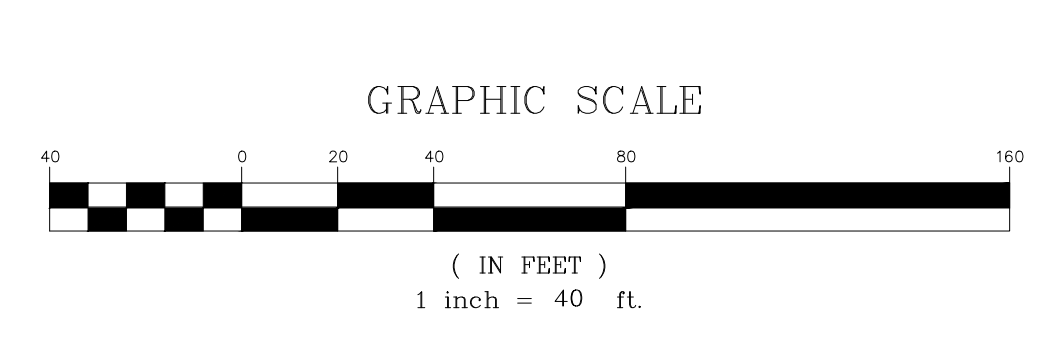
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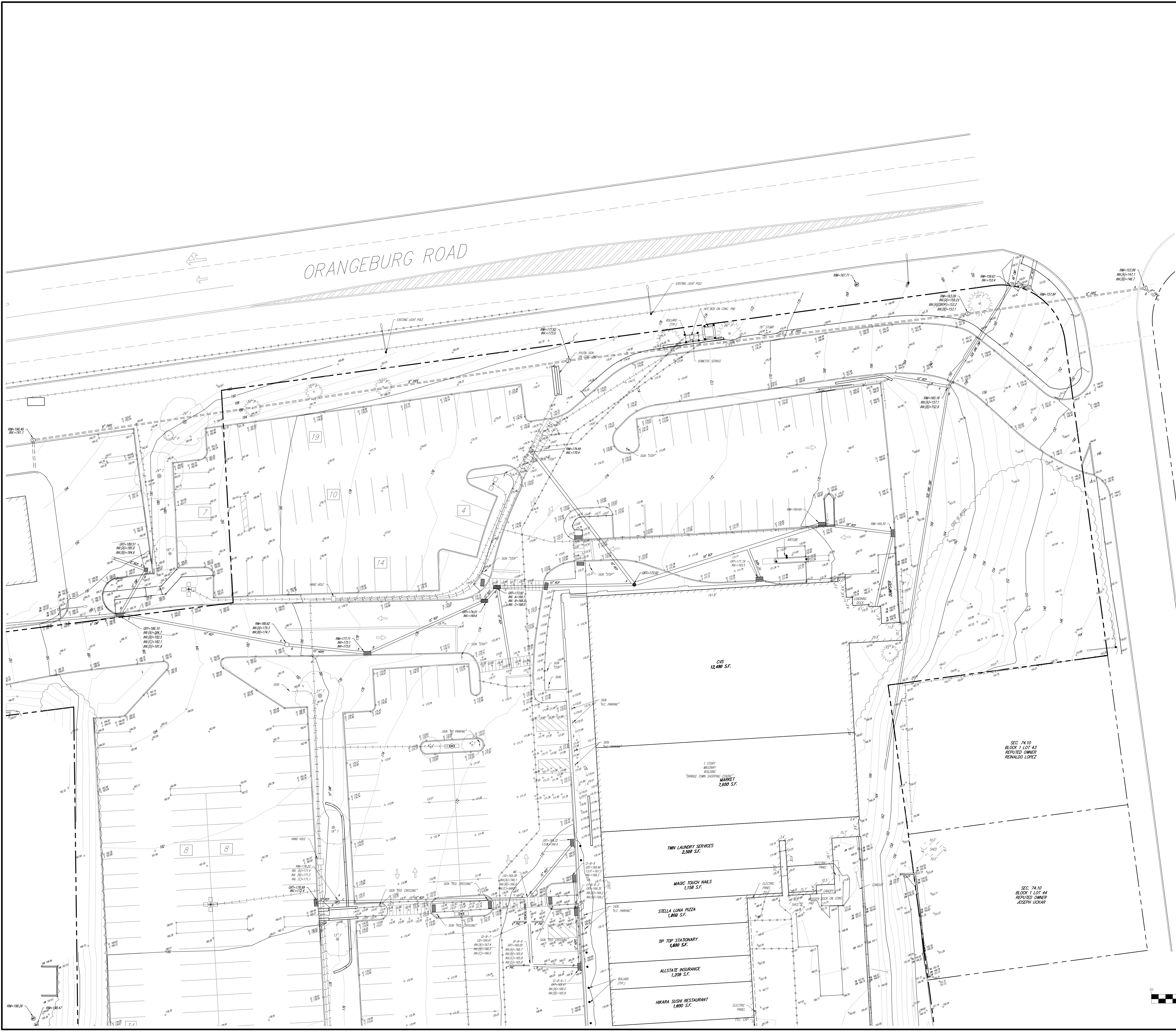
OVERALL EXISTING CONDITIONS MAP
 ORANGETOWN SHOPPING CENTER
 1 ORANGETOWN ROAD
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Scale:	1" = 40'		
Date:	08/30/2021		
Project No:	15210		
Drawing No:	SP-2	EXIST	ac
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LEGEND

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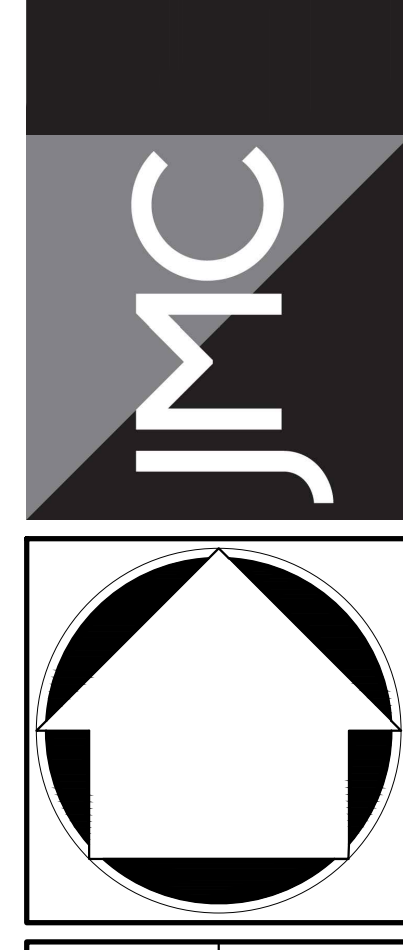
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EXISTING CONDITIONS
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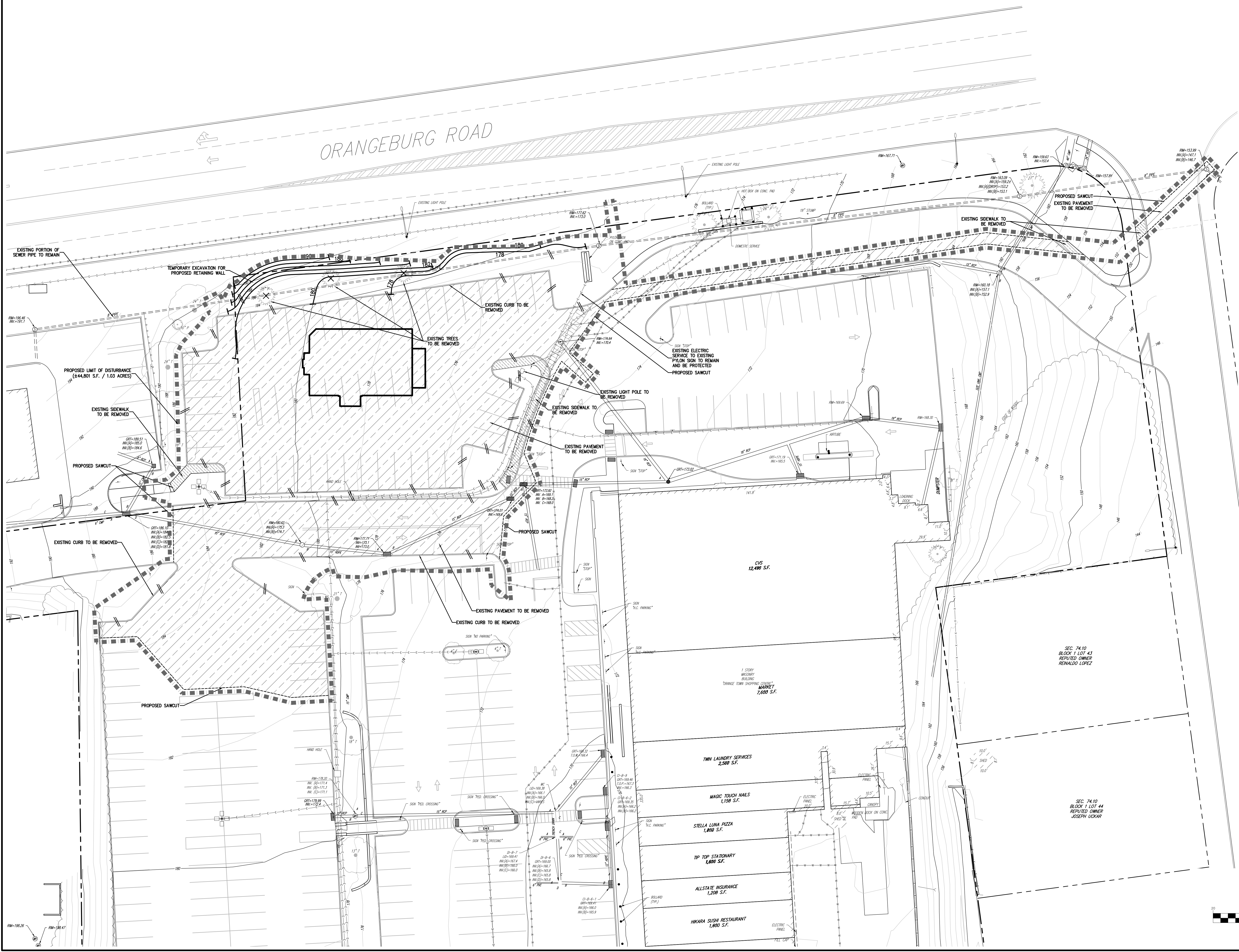
GRAPHIC SCALE
 (IN FEET)
 1 inch = 20 ft.

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 Scale: 1" = 20'
 Date: 08/30/2021
 Project No: 15210
 Drawing No: SP-3 EXIST loc

SP-3

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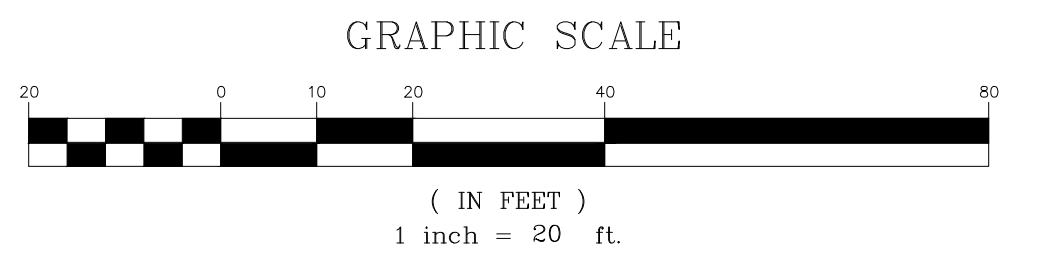
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	PROPOSED SAWCUT LINE

DEMOLITION NOTES:

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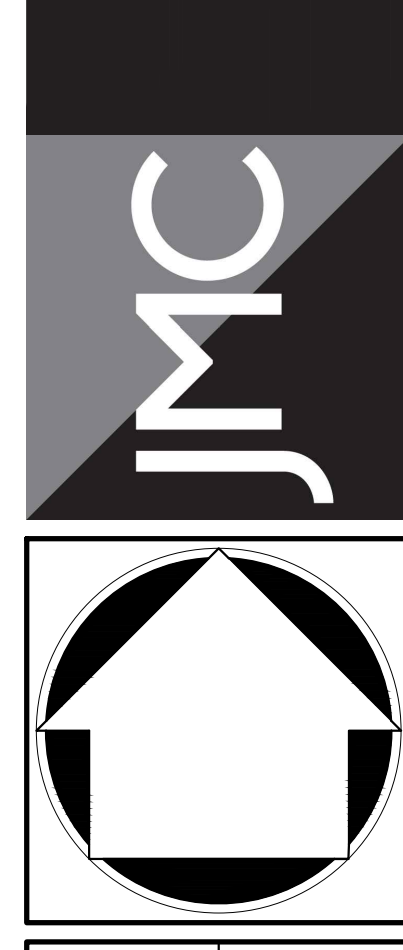
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Sheet No: SP-4	DEMOL
Drawing No: SP-4	

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OAK ST

EXISTING LIGHT POLE

EXISTING ELECTRIC SERVICE TO EXISTING Pylon SIGN TO REMAIN AND BE PROTECTED

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EXISTING CURB TO BE REMOVED

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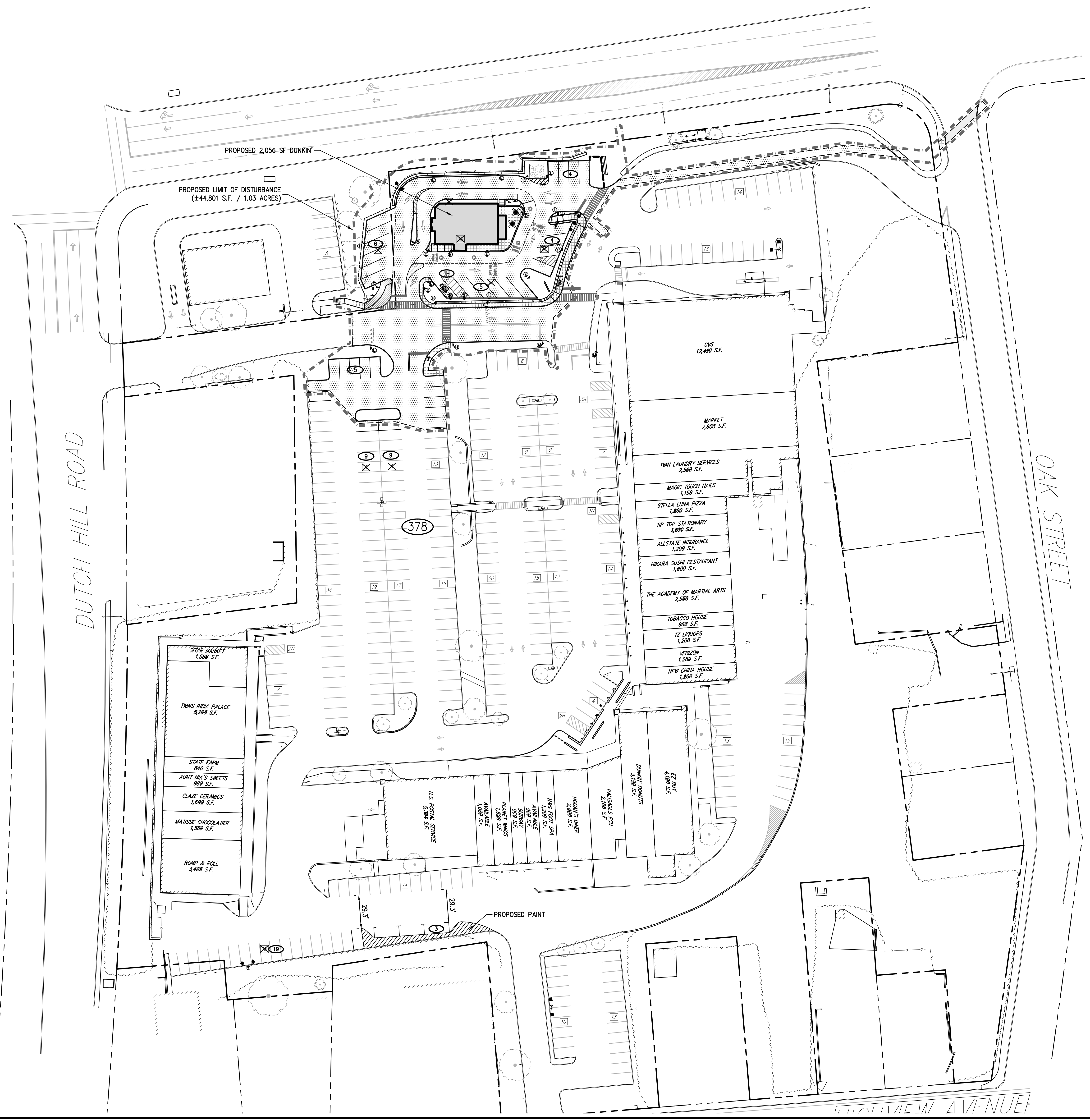
EXISTING PORTION OF SEWER PIPE TO REMAIN

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Use	PARKING TABLE							
	Existing Stores SF	Required Spaces/SF	Previously Approved			Proposed		
			Approved (Restaurant) 1 Space / 100 SF	Required Spaces	Approved Spaces	Proposed (Restaurant) 1 Space / 100 SF	Required Spaces	Proposed Spaces
Off-Street Parking								
Retail/office/Bank/services	65,884	1/200	61,800	309		65,884	344	
Restaurant	11,616	1/100	15,700	157		11,616	113	
Proposed Pad		1/100	2,200	22		2,056	21	
Total Parking				488	378		478	378⁽¹⁾

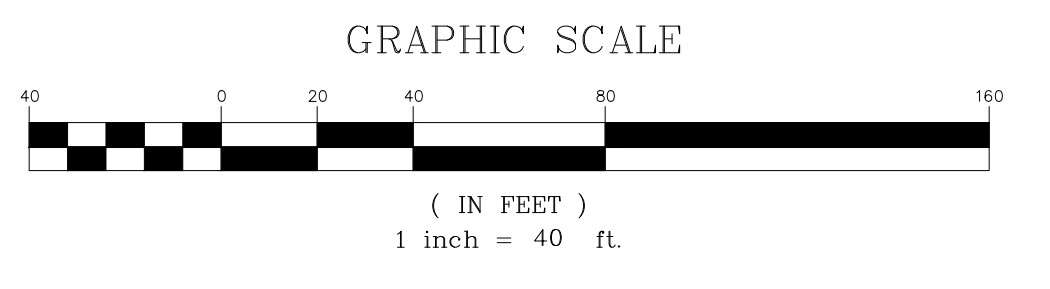
(1) Variance obtained for total parking spaces, per ZBA #14-64. The variances did not provide a breakdown by use, simply a total number of parking spaces permitted.



LAYOUT LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	SETBACK LINE
	BUFFER LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED DISTURBANCE LINE
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED CONCRETE SIDEWALK
	PROPOSED ASPHALT SIDEWALK
	PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
	PROPOSED DROP CURB AND RAMP
	PROPOSED HEAVY DUTY PAVEMENT
	PROPOSED RETAINING WALL (DESIGN BY OTHER)
	PROPOSED FENCE
	PROPOSED ARROW MARKING ON PAVEMENT
	PROPOSED WORD MARKING ON PAVEMENT
	TRAFFIC SIGN LOCATION & DESIGNATION
	PEDESTRIAN CROSSING

LAYOUT NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "PARTIAL TOPOGRAPHIC & UTILITY SURVEY," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 01/08/2016.
- ELEVATIONS ARE BASED NAVD 88 PER GPS OBSERVATION, UTILIZING KEYSTONE VRS NETWORK, AND REFERENCE AS SITE BENCHMARK, MASONRY NAIL SET IN END OF PARKING STRIPE, ELEVATION = 176.51.

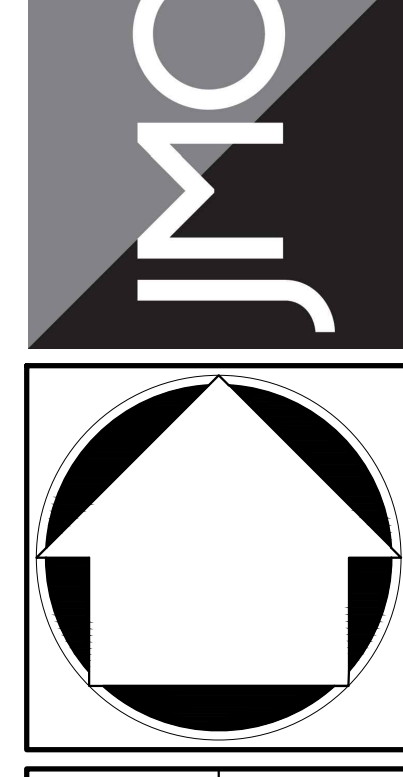


No.	Revision	Date
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022
2.	RESPONSE TO TOWN COMMENTS	04/26/2022
3.	ACAD. SUBMISSION	05/20/2022
4.	APPROVAL RESOLUTION SUBMISSION	09/19/2022
5.	REVISED RETAINING WALL LAYOUT	07/24/2023
6.	SUBMISSION TO BUILDING DEPARTMENT FOR FINAL LETTER	06/17/2023

APPLICANT: **URSTADT BIDDLE PROPERTIES**
 321 RAILROAD AVENUE
 GREENWICH, CT 06830

ARCHITECT: **STUDIO ARCHITECTURE - NEW YORK**
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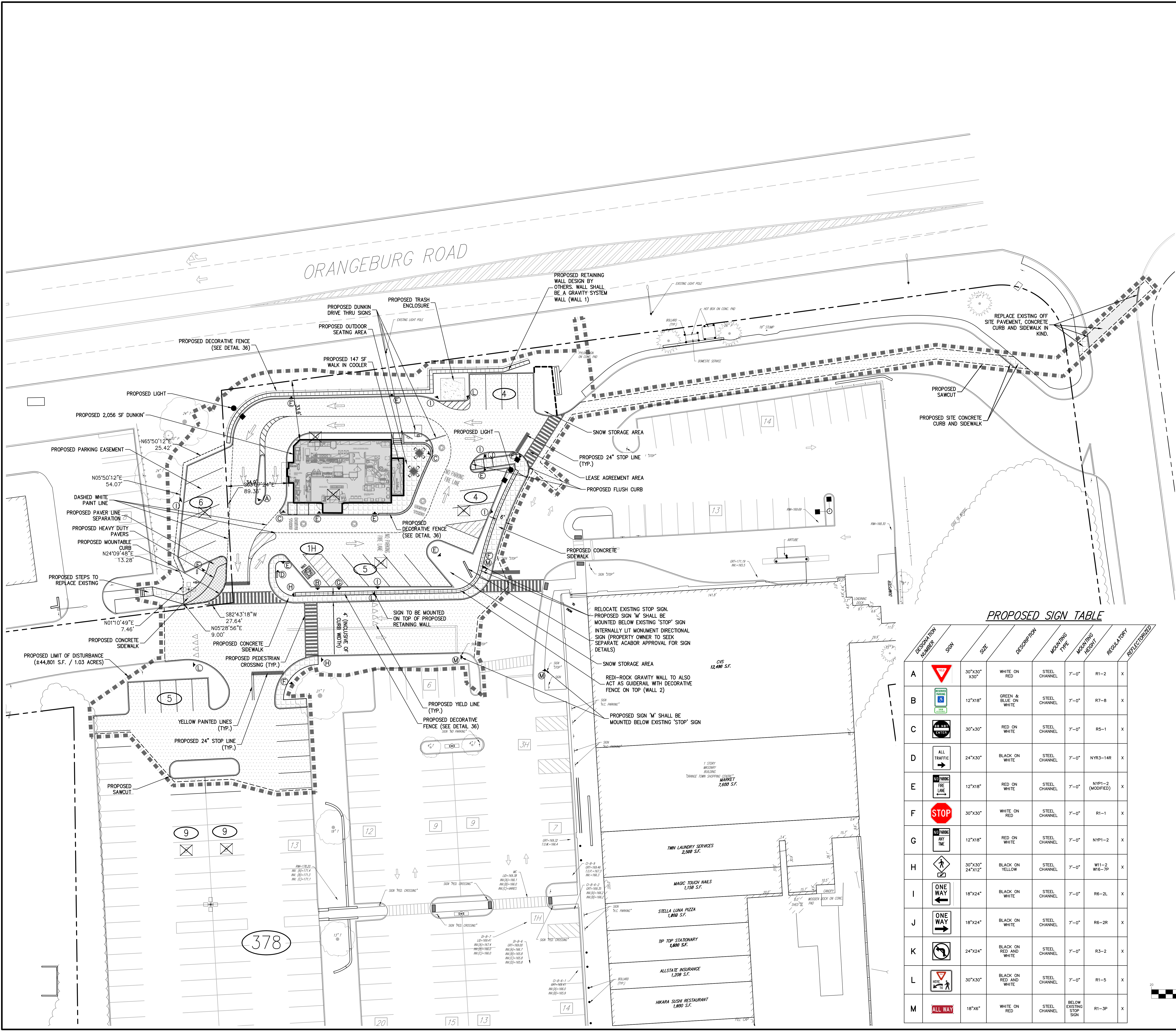


OVERALL LAYOUT PLAN
 ORANGETOWN SHOPPING CENTER
 1 ORANGETOWN ROAD
 ORANGETOWN, NY 10962

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Drawn: JJ Approved: RA
 Scale: 1" = 40'
 Date: 08/30/2021
 Project No: 15210
 1024-01E SP-5 LAT:sp
 Drawing No: **SP-5**

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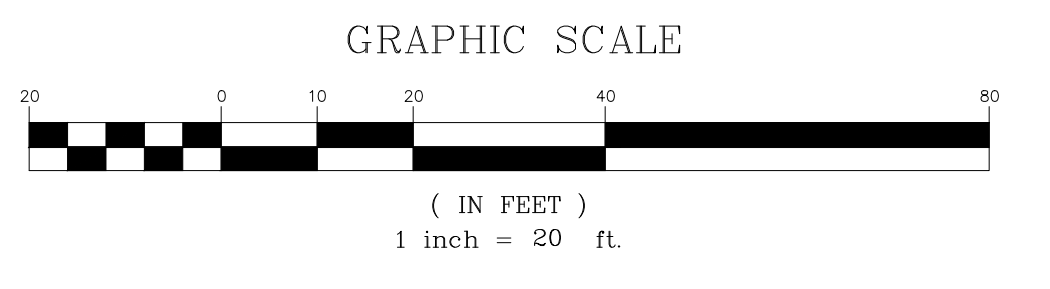
LAYOUT LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	SETBACK LINE
	BUFFER LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
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	PROPOSED HEAVY DUTY PAVEMENT
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED FENCE
	PROPOSED ARROW MARKING ON PAVEMENT
	PROPOSED WORD MARKING ON PAVEMENT
	TRAFFIC SIGN LOCATION & DESIGNATION
	PEDESTRIAN CROSSING

LAYOUT NOTES:
 1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "PARTIAL TOPOGRAPHIC & UTILITY SURVEY," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 01/08/2016.

PROPOSED SIGN TABLE

DESIGNATION NUMBER	SIGN	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY	REFLECTORIZED
A		30"x30" x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-2	X
B		12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X
C		30"x30"	RED ON WHITE	STEEL CHANNEL	7'-0"	R5-1	X
D		24"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	NYR3-14R	X
E		12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYR1-2 (MODIFIED)	X
F		30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
G		12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYR1-2	X
H		30"x30" 24"x12"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W11-2 W16-7P	X
I		18"x24"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	R6-2L	X
J		18"x24"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	R6-2R	X
K		24"x24"	BLACK ON RED AND WHITE	STEEL CHANNEL	7'-0"	R3-2	X
L		30"x30"	BLACK ON RED AND WHITE	STEEL CHANNEL	7'-0"	R1-5	X
M		18"x6"	WHITE ON RED	STEEL CHANNEL	BELOW EXISTING STOP SIGN	R1-3P	X



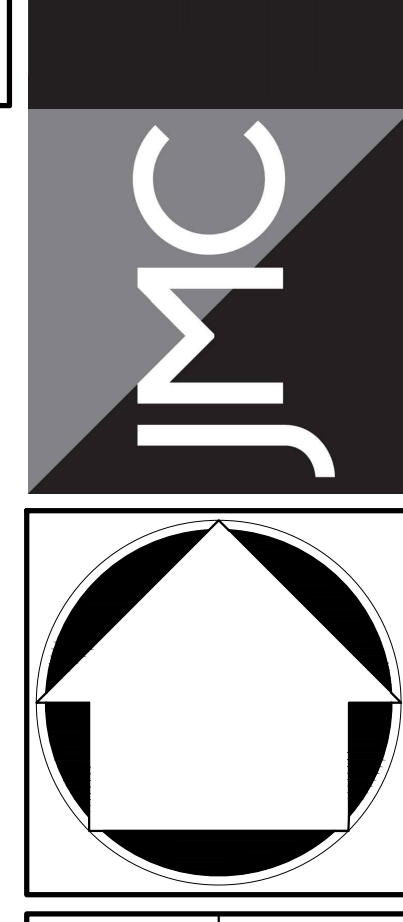
No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DAG
2.	RESPONSE TO TOWN COMMENTS	04/26/2022	DAG
3.	ACABOR SUBMISSION	05/20/2022	DAG
4.	REVISED PER ACABOR COMMENTS	07/27/2022	DAG
5.	APPROVAL RESOLUTION SUBMISSION	09/19/2022	DAG
6.	REVISED RETAINING WALL LAYOUT	01/24/2023	JJ
7.	SUBMISSION TO BUILDING DEPARTMENT FOR PERMITS LETTER	06/12/2023	RS

APPLICANT: **URSTADT BIDDLE PROPERTIES**
 321 RAILROAD AVENUE
 GREENWICH, CT 06830

ARCHITECT: **STUDIO ARCHITECTURE - NEW YORK**
 297 KNOWLWOOD ROAD, SUITE 209
 WHITE PLAINS, NY 10607

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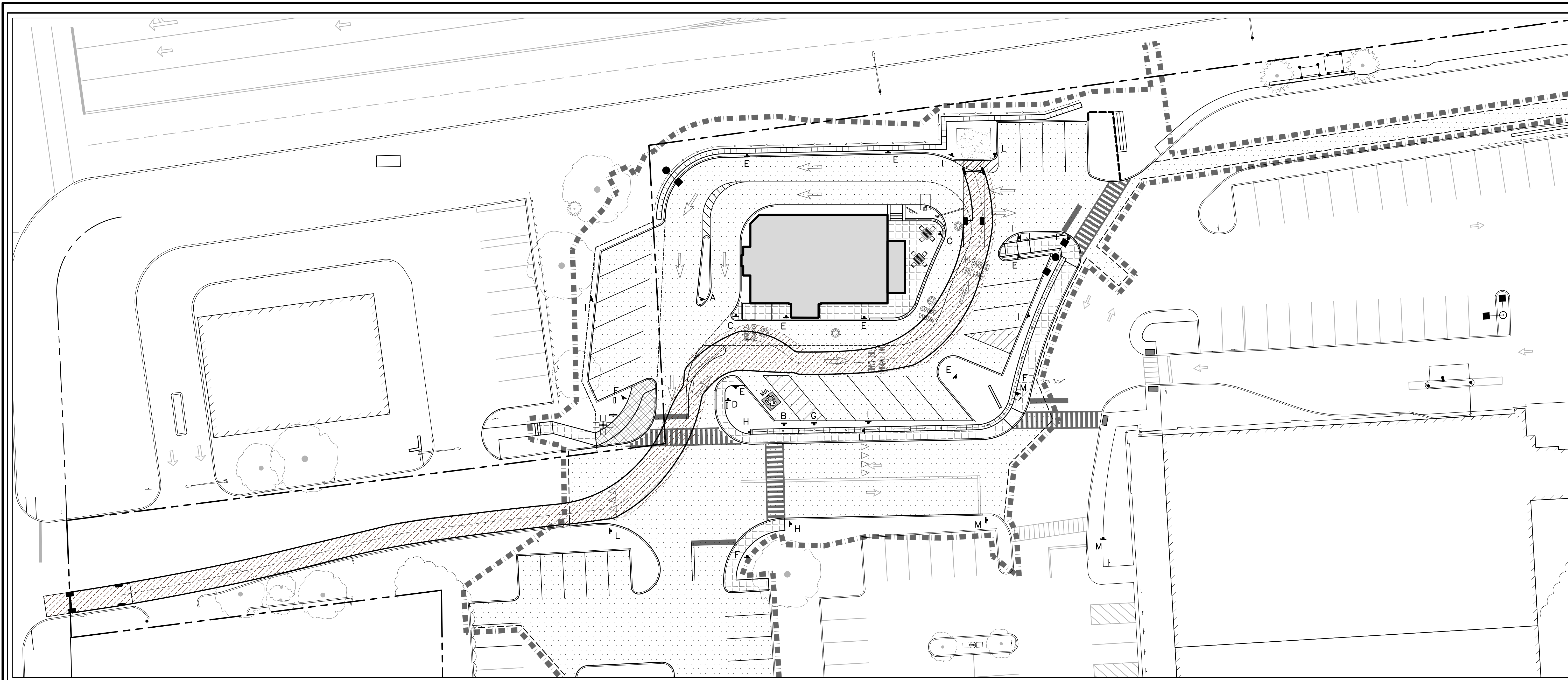
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 voice 914.273.5225 • fax 914.273.2102
 www.jmcplic.com



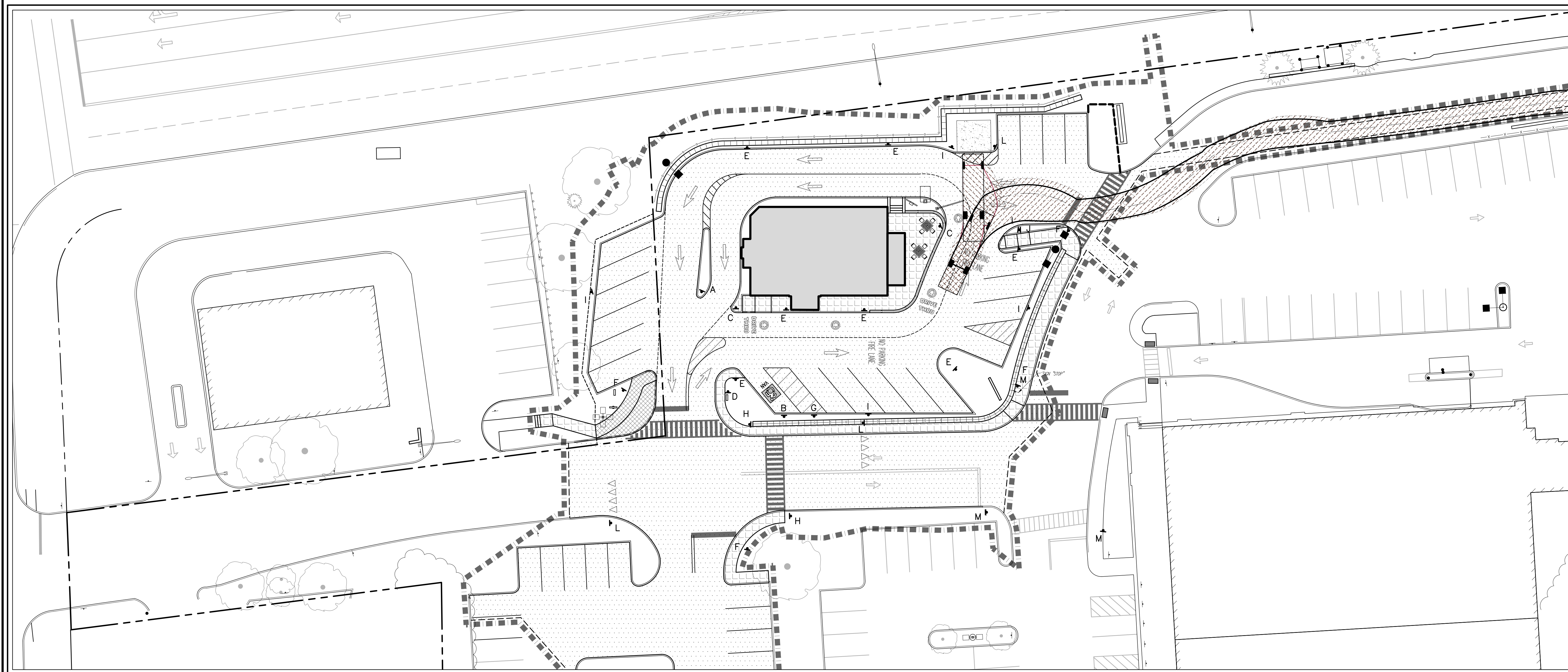
LAYOUT PLAN
 ORANGETOWN SHOPPING CENTER
 1 ORANGETOWN ROAD
 ORANGETOWN, NY 10962

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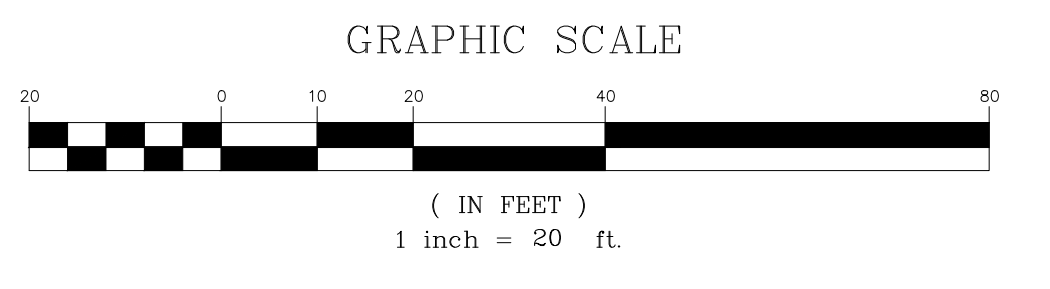
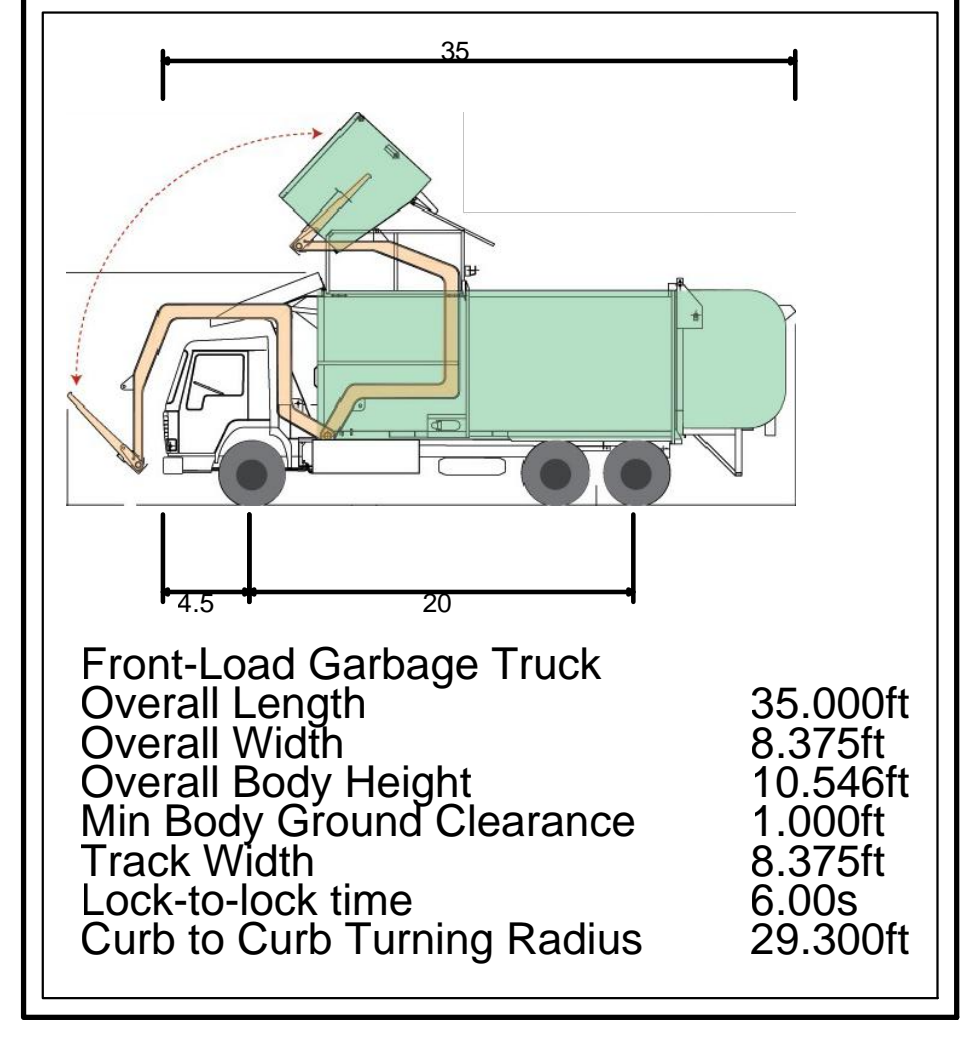
Drawn: JJ Approved: RA
 Scale: 1" = 20'
 Date: 08/30/21
 Project No: 15210
 ISDN-SIE: SP-6 LAT:sp
 Drawing No: **SP-6**



FRONT-LOADING GARBAGE TRUCK – ENTRANCE ROUTE



FRONT-LOADING GARBAGE TRUCK – EXIT ROUTE



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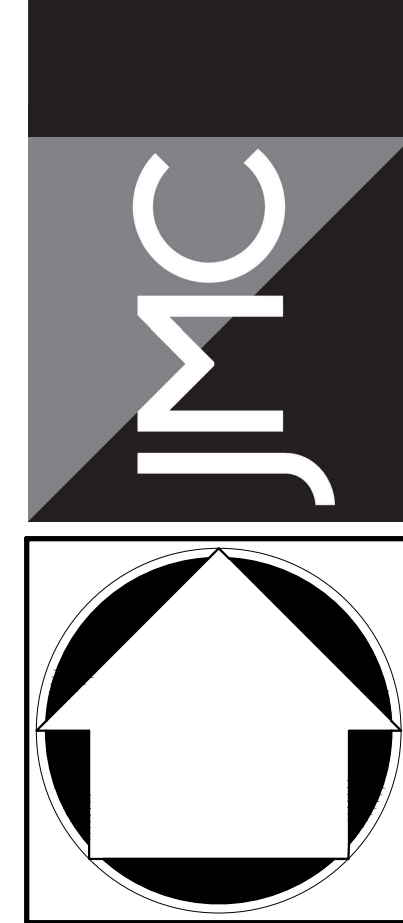
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2.	APPROVAL RESOLUTION SUBMISSION	09/19/2022	DAG
3.	REVISED RETAINING WALL LAYOUT	07/24/2023	JJ
4.	SUBMISSION TO BUILDING DEPARTMENT FOR DENIAL LETTER	06/12/2023	HS

APPLICANT: **URSTADT BIDDLE PROPERTIES**
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 GREENWICH, CT 06830

ARCHITECT: **STUDIO ARCHITECTURE-NEW YORK**
 297 KNOLLWOOD ROAD, SUITE 209
 WHITE PLAINS, NY 10607

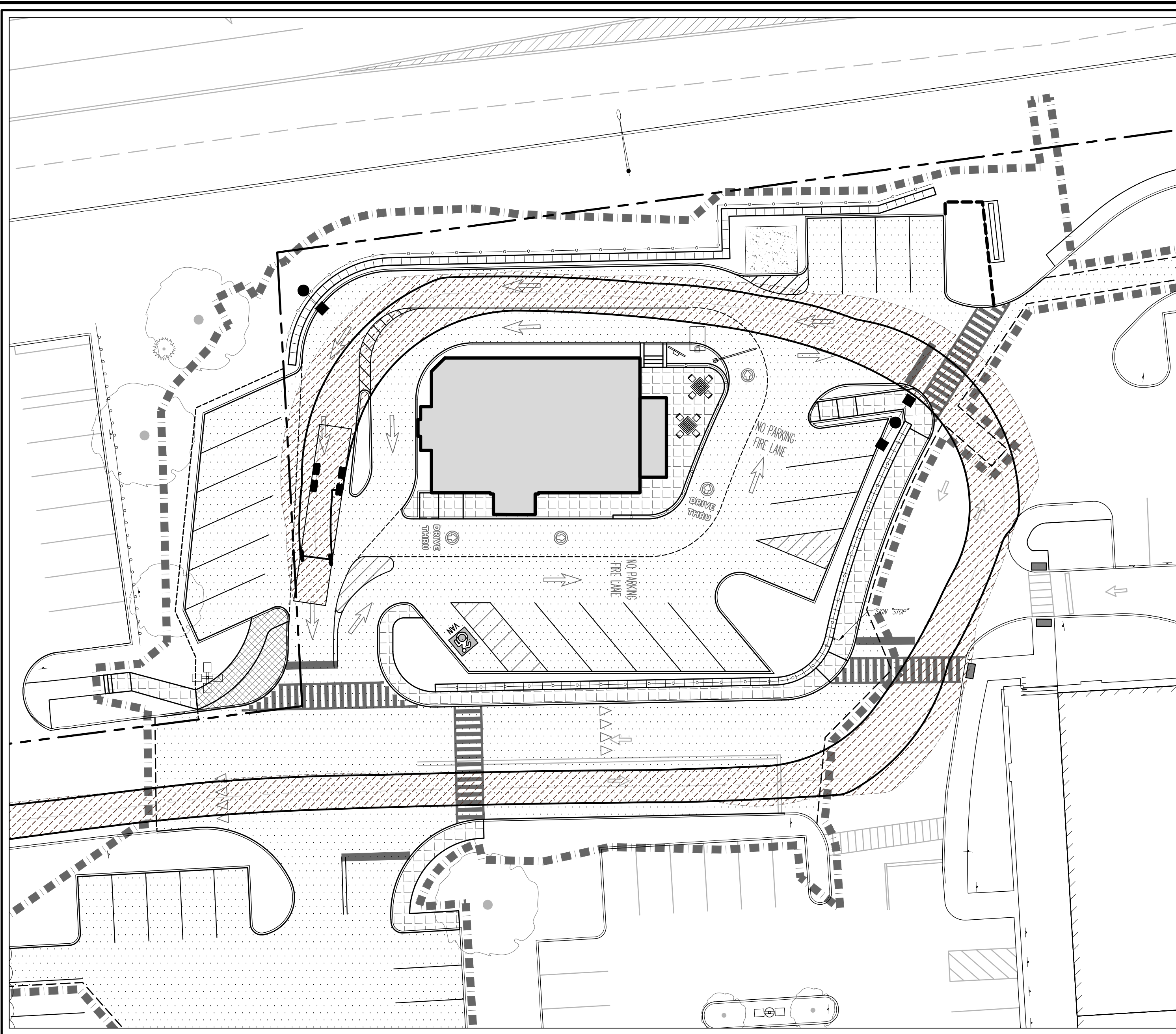
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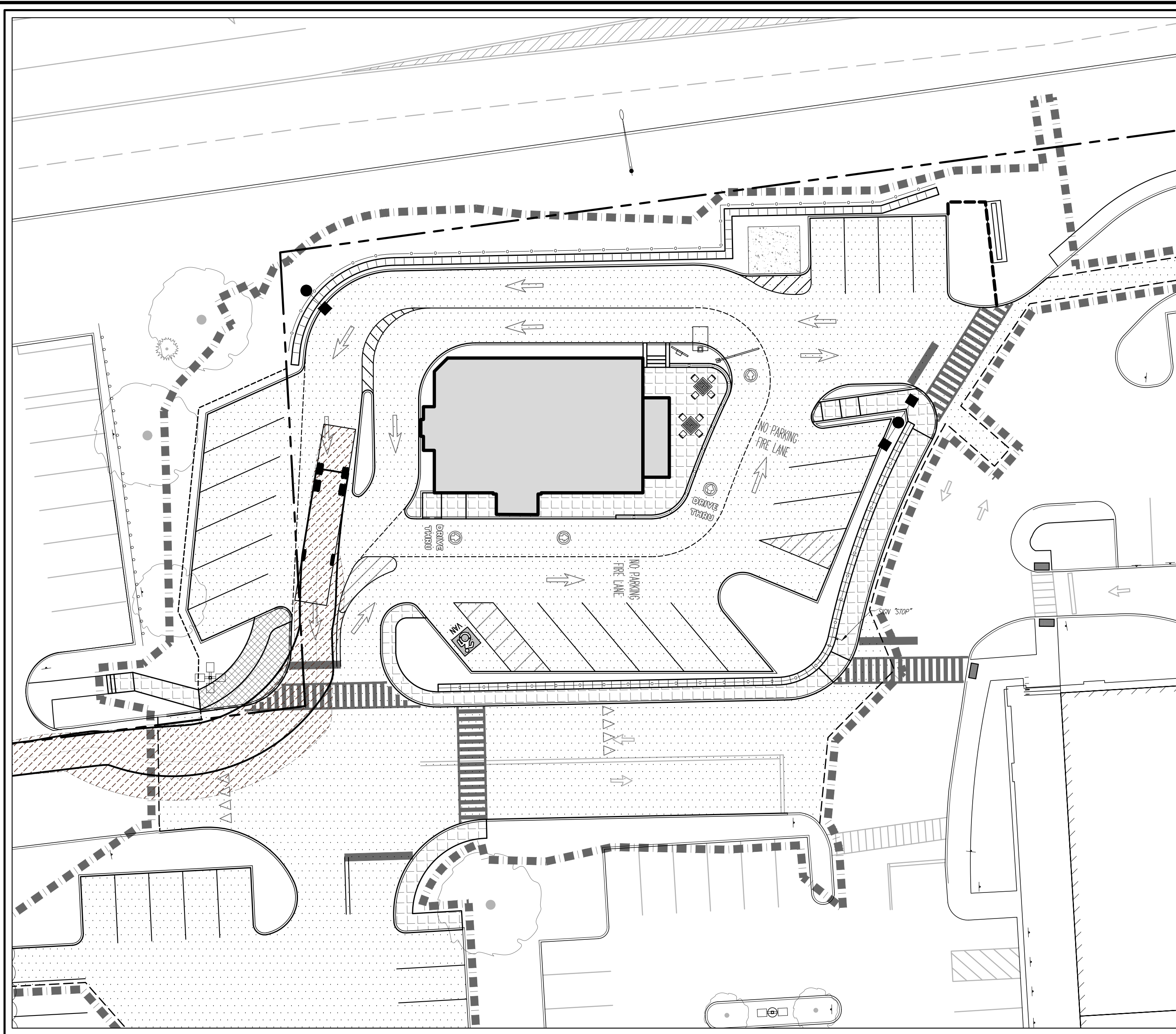
GARBAGE TRUCK TURNING MOVEMENTS PLAN
 ORANGETOWN SHOPPING CENTER
 1 ORANGETOWN ROAD
 ORANGETOWN, NY 10962

Drawn: JJ Approved: RA
 Scale: 1" = 20'
 Date: 04/21/22
 Project No: 15210
 SHEET: SP-7 TOTAL: 7

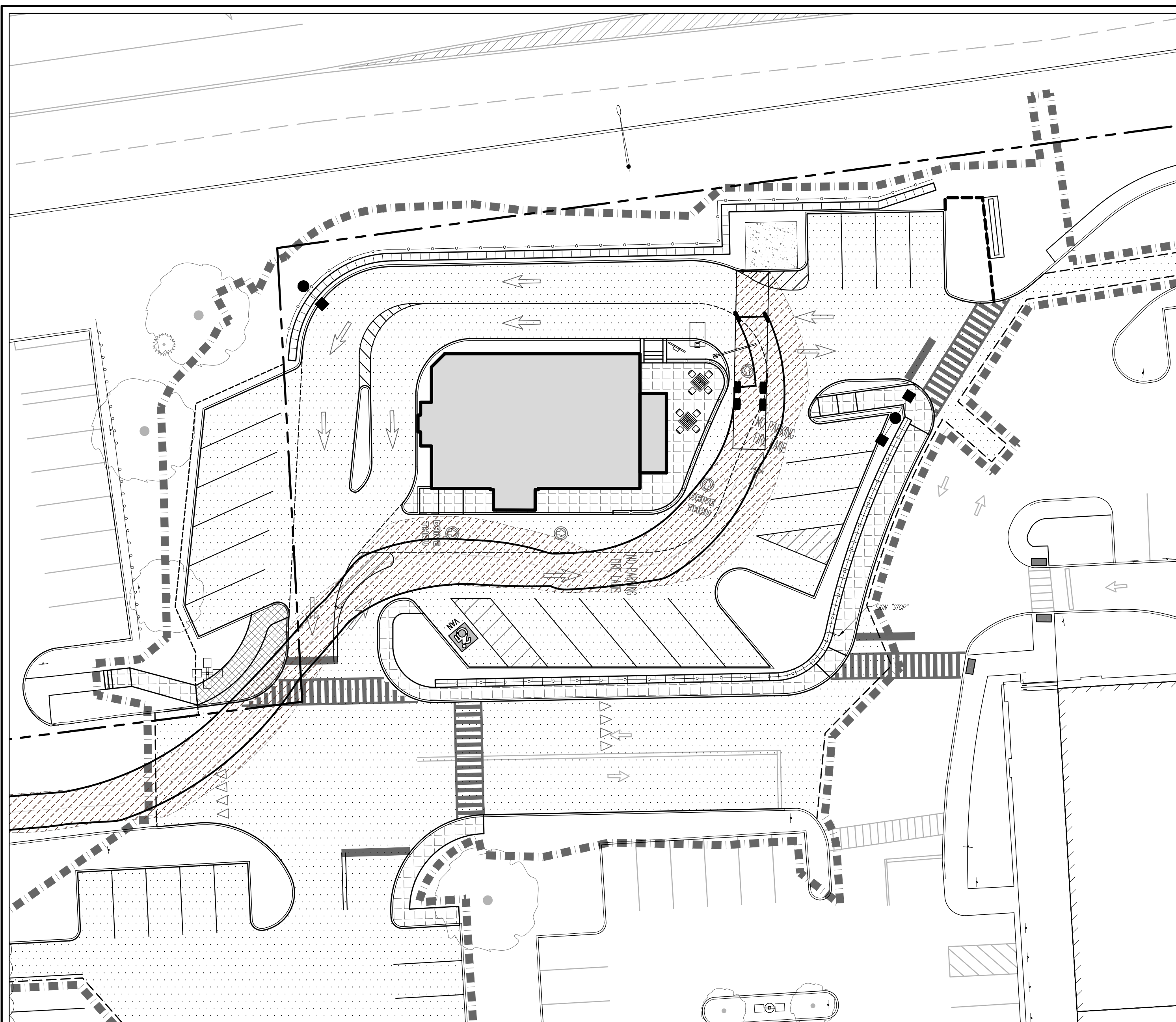
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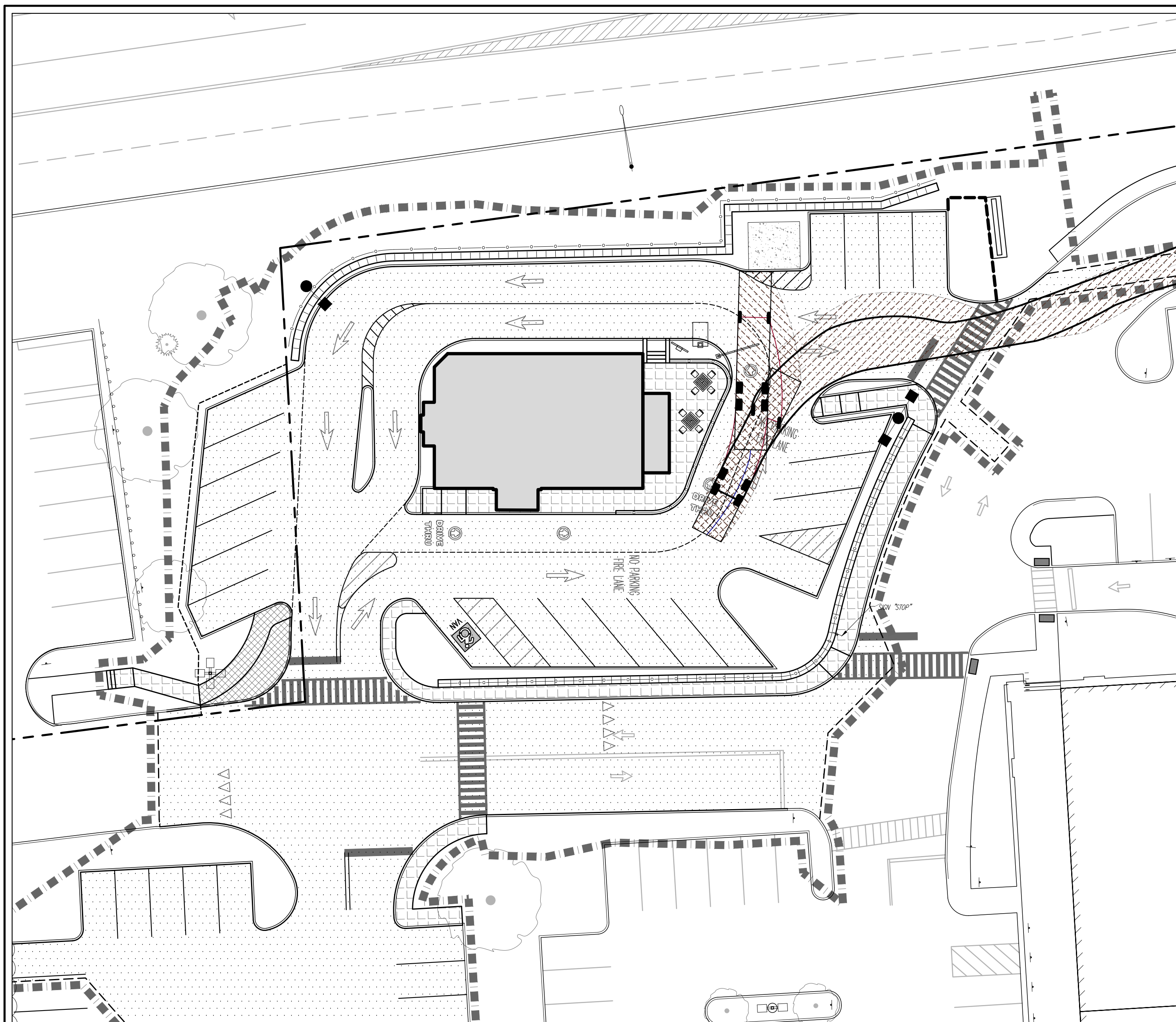
EASTERN ENTRANCE ROUTE



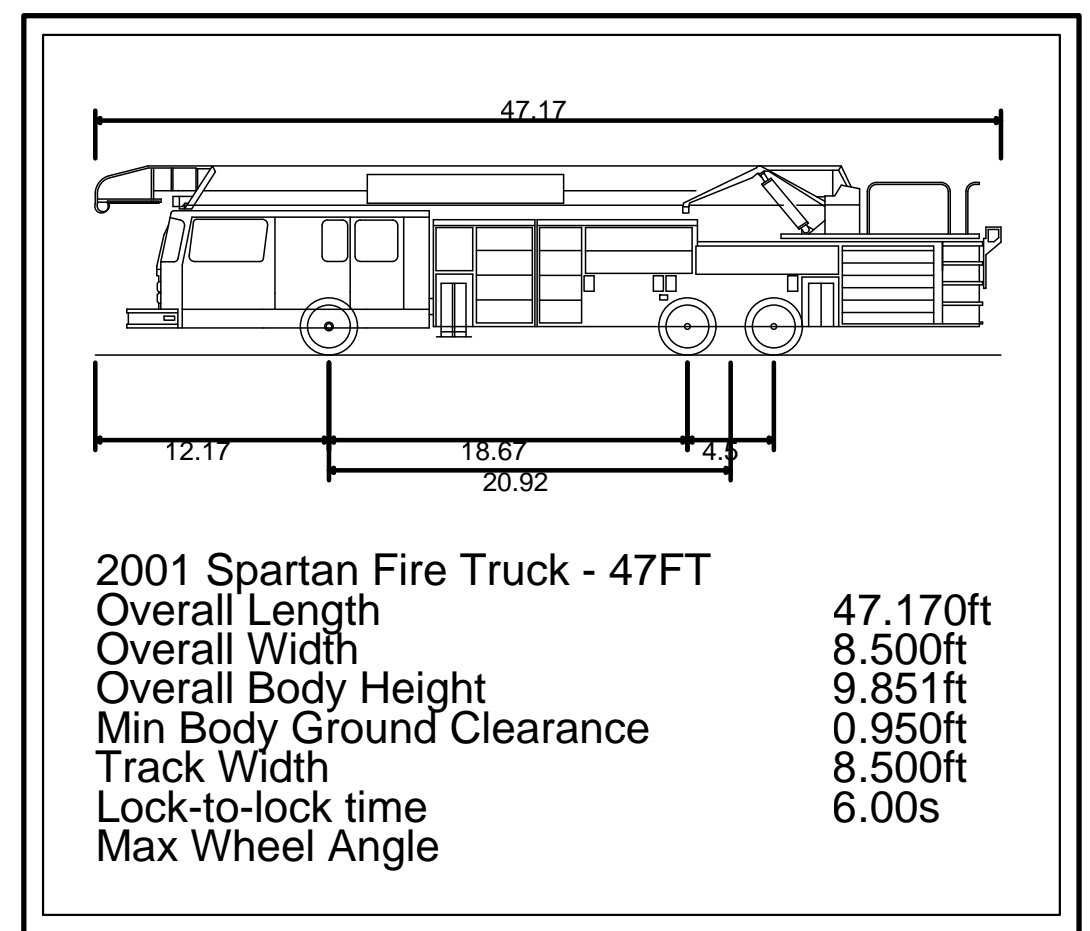
EASTERN EXIT ROUTE



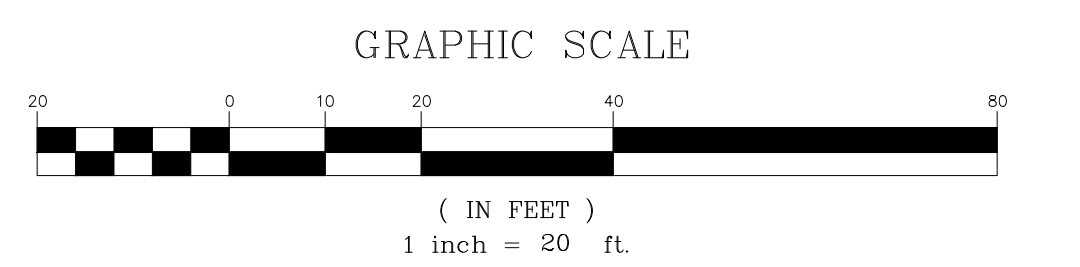
WESTERN ENTRANCE ROUTE



WESTERN EXIT ROUTE



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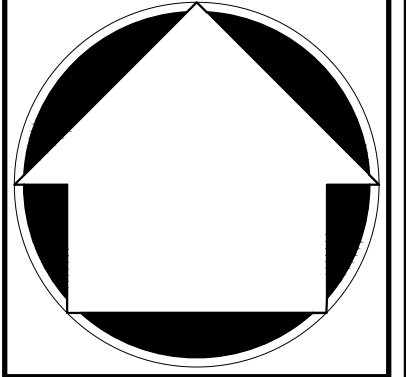
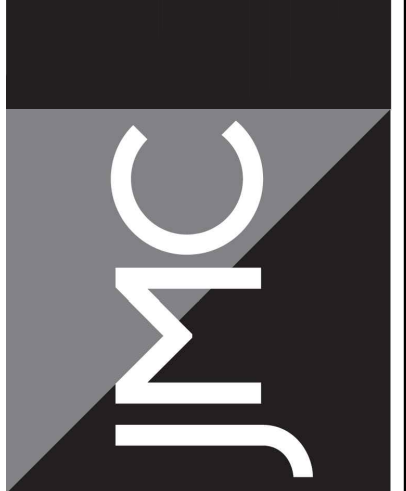
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 GREENWICH, CT 06830

ARCHITECT: **STUDIO ARCHITECTURE-NEW YORK**
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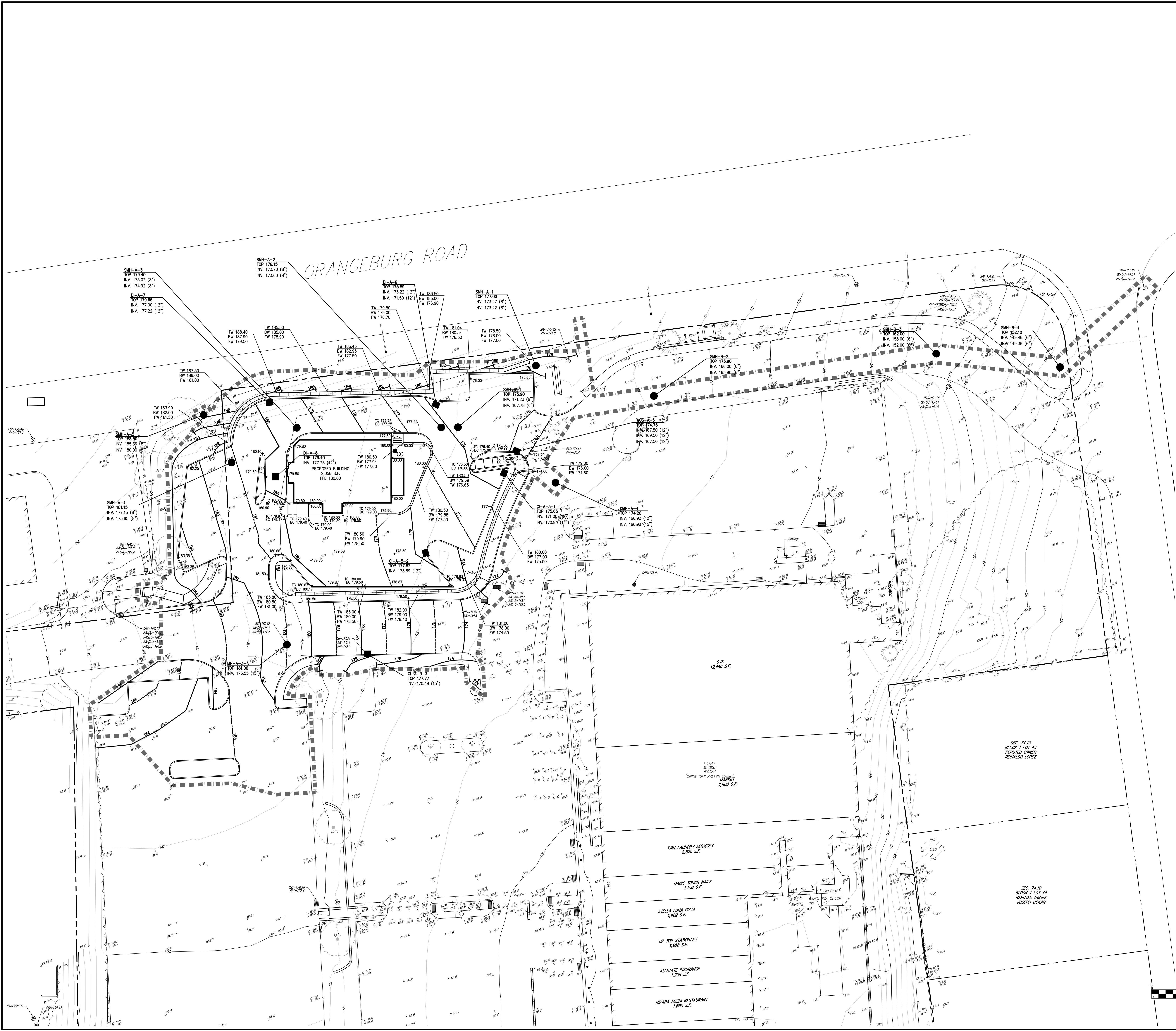
FIRE APPARATUS TURNING MOVEMENTS PLAN
 ORANGETOWN SHOPPING CENTER
 1 ORANGEBURG ROAD
 ORANGETOWN, NY 10962

Drawn: JJ Approved: RA
 Scale: 1" = 20'
 Date: 04/21/22
 Project No: 15210
 1024-01E SP-8 FIRE

Drawing No: **SP-8**

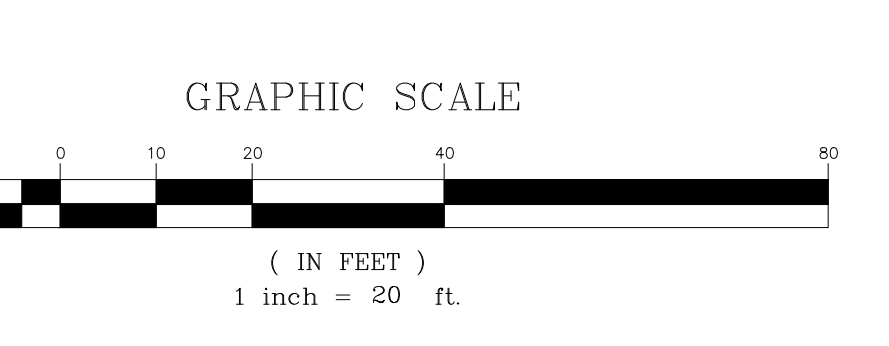
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GRADING LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE DI DRAIN INLET
	PROPOSED HYDRANT
	EXISTING BENCHMARK LOCATION
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED TRENCH DRAIN
	EXISTING FEATURE TO BE REMOVED

- GRADING NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "PARTIAL TOPOGRAPHIC & UTILITY SURVEY," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 01/08/2016.
 - ELEVATIONS ARE BASED NAVD 88 PER GPS OBSERVATION, UTILIZING KEYSTONE VRS NETWORK, AND REFERENCE #3. SITE BENCHMARK: MASONRY NAIL SET IN END OF PARKING STRIP. ELEVATION = 176.51.
 - LOT DRAINAGE SHOWN CONSTITUTE EASEMENT RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.

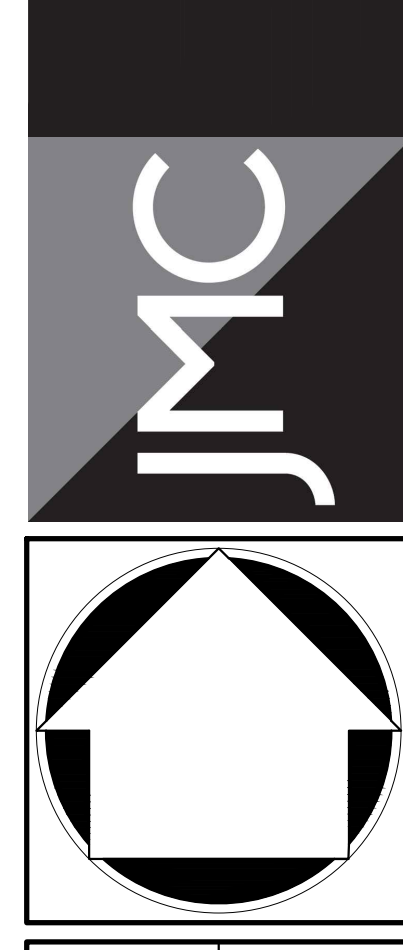


No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DJG
2.	RESPONSE TO TOWN COMMENTS	04/26/2022	DJG
3.	ACADRE SUBMISSION	05/20/2022	DJG
4.	APPROVAL RESOLUTION SUBMISSION	09/19/2022	DJG
5.	REVISED RETAINING WALL LAYOUT	07/24/2023	JJ
6.	SUBMISSION TO BUILDING DEPARTMENT FOR DEML LETTER	08/17/2023	HS

APPLICANT: **URSTADT BIDDLE PROPERTIES**
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ARCHITECT: **STUDIO ARCHITECTURE - NEW YORK**
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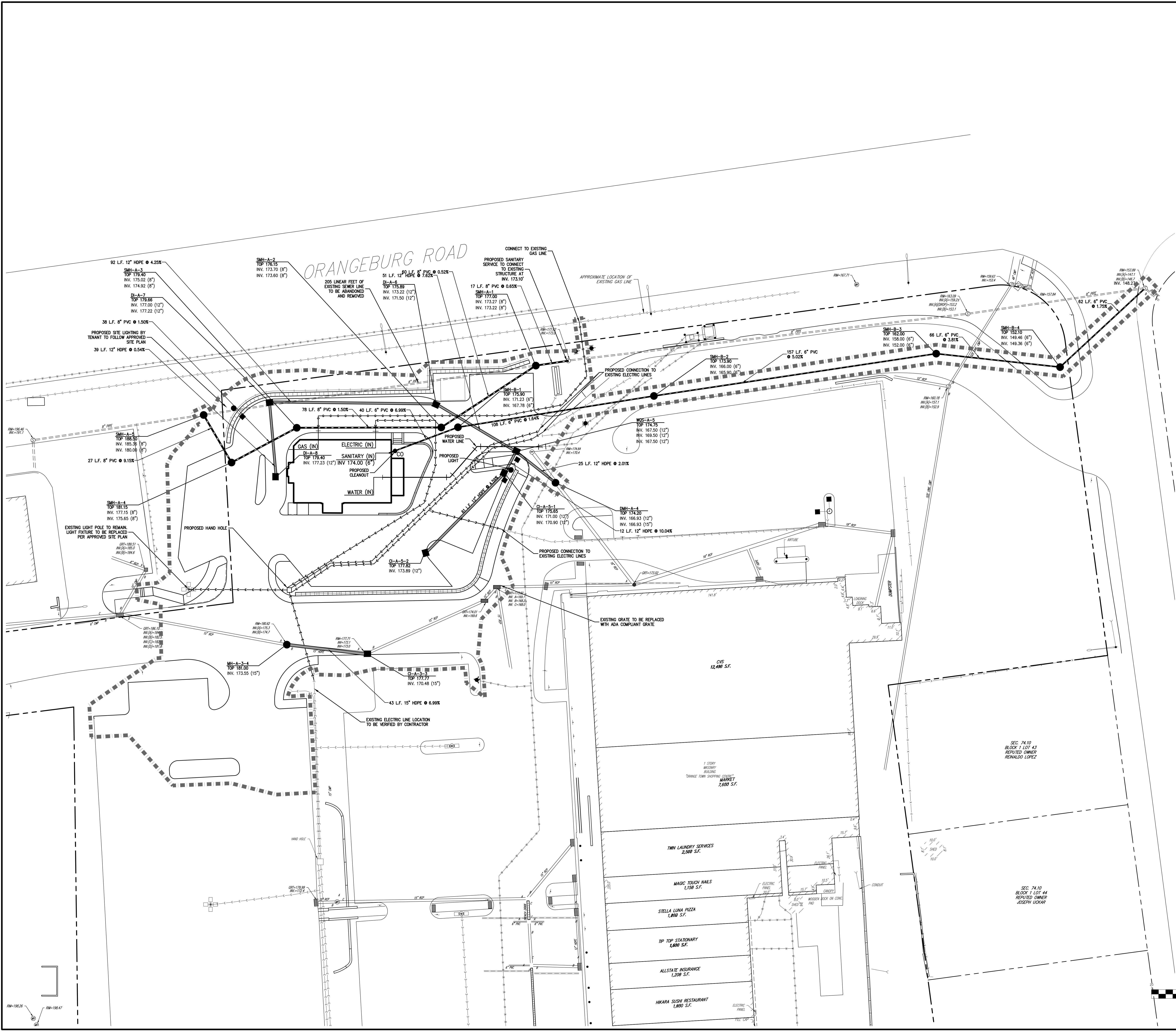


GRADING PLAN
ORANGETOWN SHOPPING CENTER
 1 ORANGEBURG ROAD
 ORANGETOWN, NY 10962

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 2209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 2209, SUBSECTION 2.

Drawn: JJ	Approved: RA
Scale: 1" = 20'	
Date: 08/27/2021	
Project No: 15210	
102N-SIE	SP-9
Drawing No:	GRAD.dwg
SP-9	

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UTILITIES LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE DI DRAIN INLET WITH UNDERDRAINS
	PROPOSED HEADWALL
	PROPOSED WATER QUALITY STRUCTURE
	PROPOSED SUBSURFACE DRAINAGE OUTLET CONTROL STRUCTURE
	PROPOSED OUTLET CONTROL STRUCTURE
	PROPOSED CLEANOUT
	PROPOSED HYDRANT
	PROPOSED STORM DRAIN LINE, SIZE, AND FLOW DIRECTION
	PROPOSED SANITARY SEWER LINE, SIZE, AND FLOW DIRECTION
	PROPOSED WATER LINE & SIZE
	PROPOSED GAS LINE
	PROPOSED ELECTRIC/TELEPHONE/CABLE
	PROPOSED CONCRETE ENCASEMENT
	PROPOSED WATER VALVE
	PROPOSED GAS VALVE
	PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	EXISTING BENCHMARK LOCATION
	PROPOSED TRENCH DRAIN
	EXISTING FEATURE TO BE REMOVED

- UTILITIES NOTES:**
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 - ELEVATIONS ARE BASED NAVD 88 PER GPS OBSERVATION, UTILIZING KEYSTONE VHS NETWORK, AND REFERENCE #1 SITE BENCHMARK; MASONRY NAIL SET IN END OF PARKING STRIPE, ELEVATION = 176.51.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2548; JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3212.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LENE DUCTILE IRON PIPE (DIP), CLASS 54, WITH PUSH-ON JOINTS IN ACCORDANCE WITH AWWA C-150, C-151, C-104 AND C-111.
 - ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
 - THE WATER MAIN MUST BE PRESSURE TESTED FOR LEAKAGE AND THE PRESSURE TESTING MUST BE IN ACCORDANCE WITH AWWA STANDARDS.
 - THE WATER MAIN MUST BE DISINFECTED WITH THE LATEST AWWA STANDARDS, WITH THE EXCEPTION OF SECTION 5.1 WHICH IS NOT APPROVED AND THE REQUIRED BACTERIOLOGICAL SAMPLING MUST BE PERFORMED. THE BACTERIOLOGICAL SAMPLE RESULT MUST BE SUBMITTED TO JMC AS PART OF THE CERTIFICATE OF CONSTRUCTION.
 - FOR EXPLORATION/INFILTRATION TESTS: LEAKAGE SHALL NOT EXCEED 100 GALLONS PER INCH OF PIPE DIAMETER PER HOUR PER DAY. WATER TESTS SHALL BE PERFORMED UNDER A MINIMUM PROGRESSIVE HEAD OF TWO (2) FEET. LOW PRESSURE AIR TESTING IS PERMITTED FOR PIPE LINES AND SHOULD CONFORM TO ASTM C-862. VACUUM TESTING IS PERMITTED FOR MANHOLES, BUT IS NOT PERMISSIBLE FOR PIPELINES.
 - ALL AREA DISTURBED TO ACCOMMODATE THE INSTALLATION OF THE PROPOSED UTILITIES SHALL BE RESTORED TO ITS EXISTING CONDITIONS.
 - UPON COMPLETION OF THE SEWER LINE RELOCATION, AS BUILT DRAWINGS AND AN ENGINEERS CERTIFICATION ARE TO BE FORWARDED TO THE ROCKLAND COUNTY DEPARTMENT OF HEALTH.
 - "LOT DRAINAGE SHOWN CONSTITUTE EASEMENT RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED"

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GRAPHIC SCALE
1 inch = 20 ft.

Scale: 1" = 20'
Date: 08/30/2021
Project No: 15210
152N-SE SP-10 UTIL User
Drawing No: SP-10

No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DAG
2.	RESPONSE TO TOWN COMMENTS	04/26/2022	DAG
3.	ACADRE SUBMISSION	05/20/2022	DAG
4.	APPROVAL RESOLUTION SUBMISSION	09/19/2022	JJ
5.	REVISED RETAINING WALL LAYOUT	07/24/2023	JJ
6.	SUBMISSION TO BUILDING DEPARTMENT FOR DEMAL LETTER	08/17/2023	HS

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JMC Site Development Consultants, LLC
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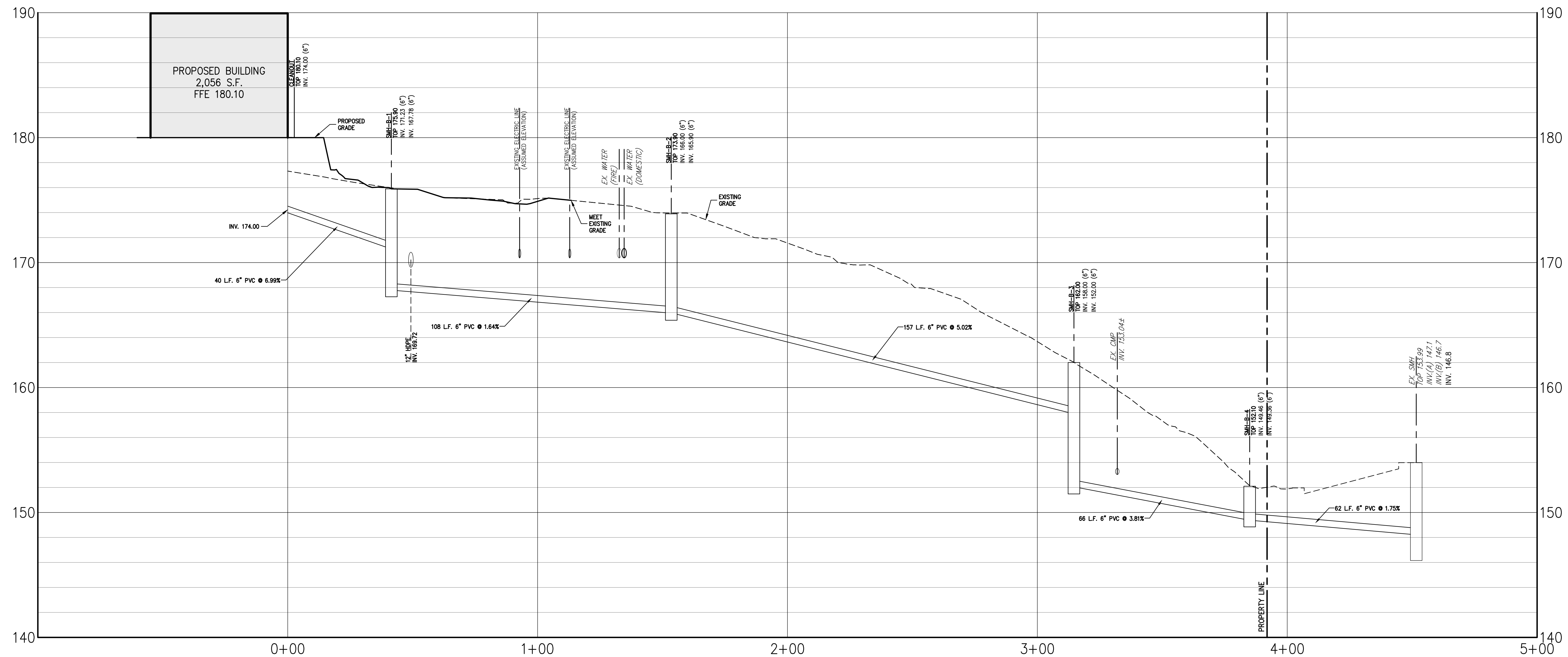
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UTILITIES PLAN

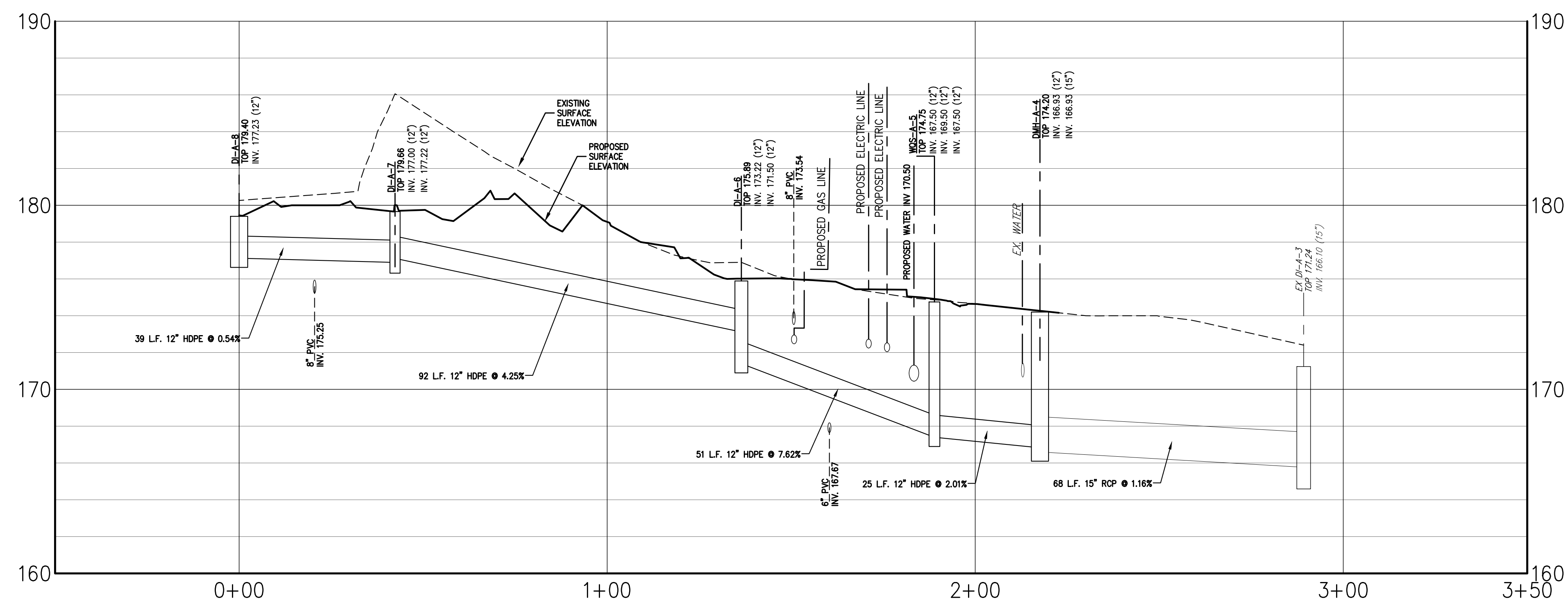
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1 ORANGEBURG ROAD
ORANGETOWN, NY 10962

Drawn: JJ Approved: RA
Scale: 1" = 20'
Date: 08/30/2021
Project No: 15210
152N-SE SP-10 UTIL User
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BLDG CONNECTION TO EX. SMH PROFILE

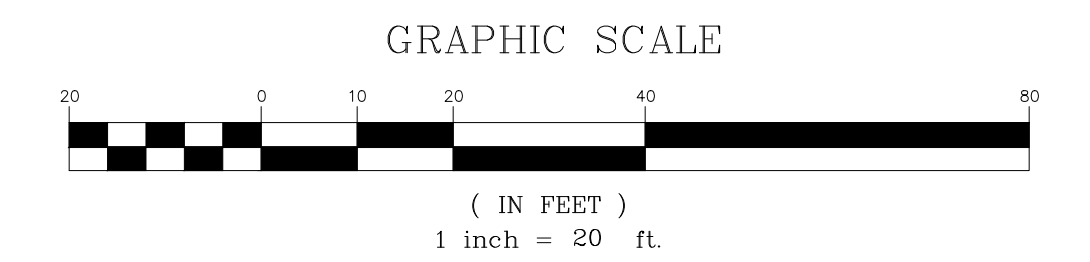
Horizontal Scale: 1" = 4'
Vertical Scale: 1" = 20'



DI-A-8 TO EX DI-A-3 PROFILE

Horizontal Scale: 1" = 4'
Vertical Scale: 1" = 20'

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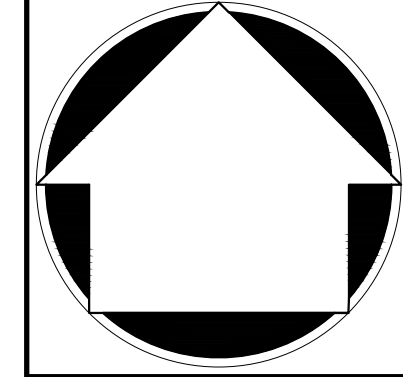


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4.	REVISED RETAINING WALL LAYOUT	07/23/2023	JJ
5.	SUBMISSION TO BUILDING DEPARTMENT FOR USUAL LETTER	06/12/2023	HS

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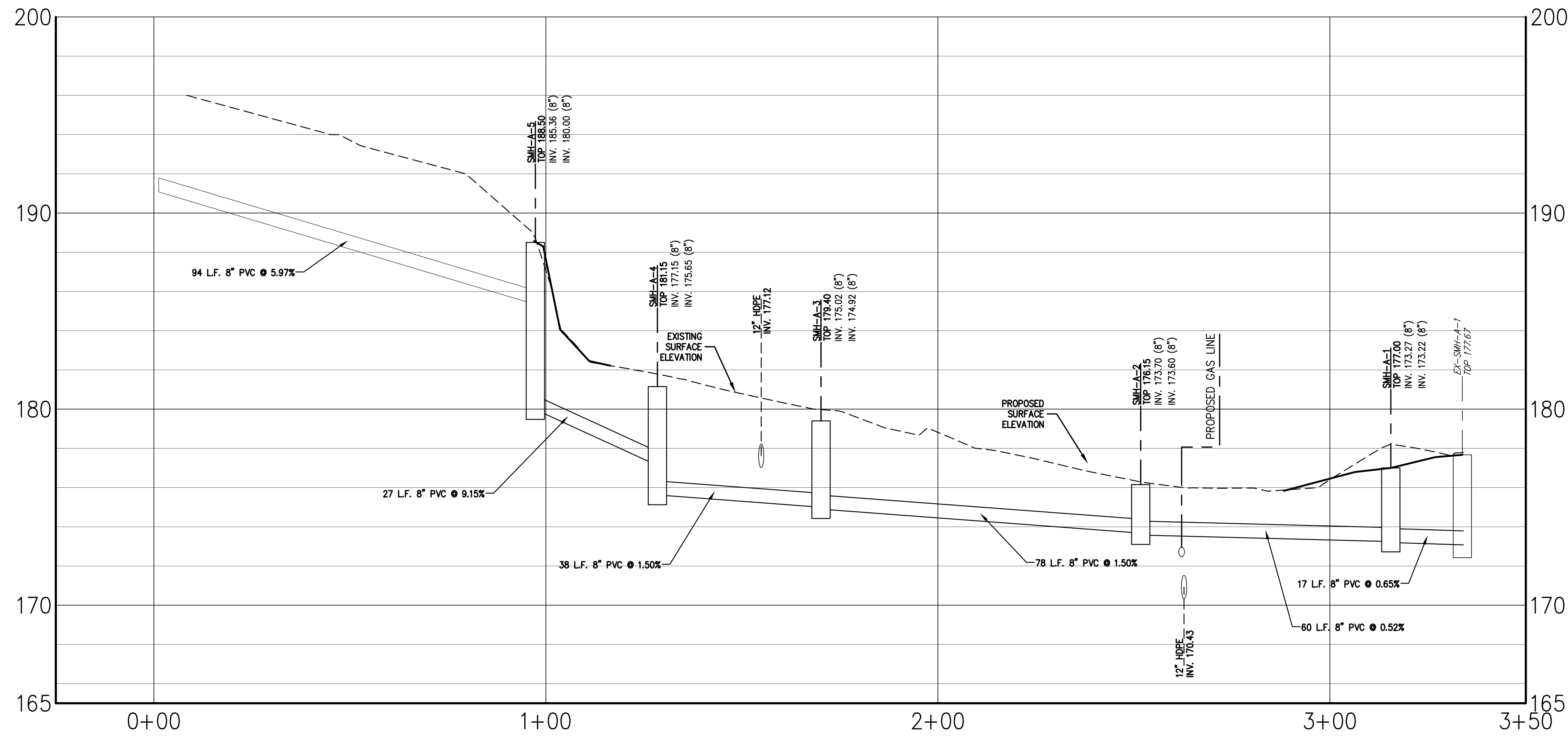
UTILITY PROFILE PLAN
ORANGETOWN SHOPPING CENTER
1 ORANGETOWN ROAD
ORANGETOWN, NY 10962

Drawn: JJ Approved: RA
Scale: 1" = 20'
Date: 08/30/2021
Project No: 15210
Sheet No: SP-11
Drawing No: UTIL-11

SP-11

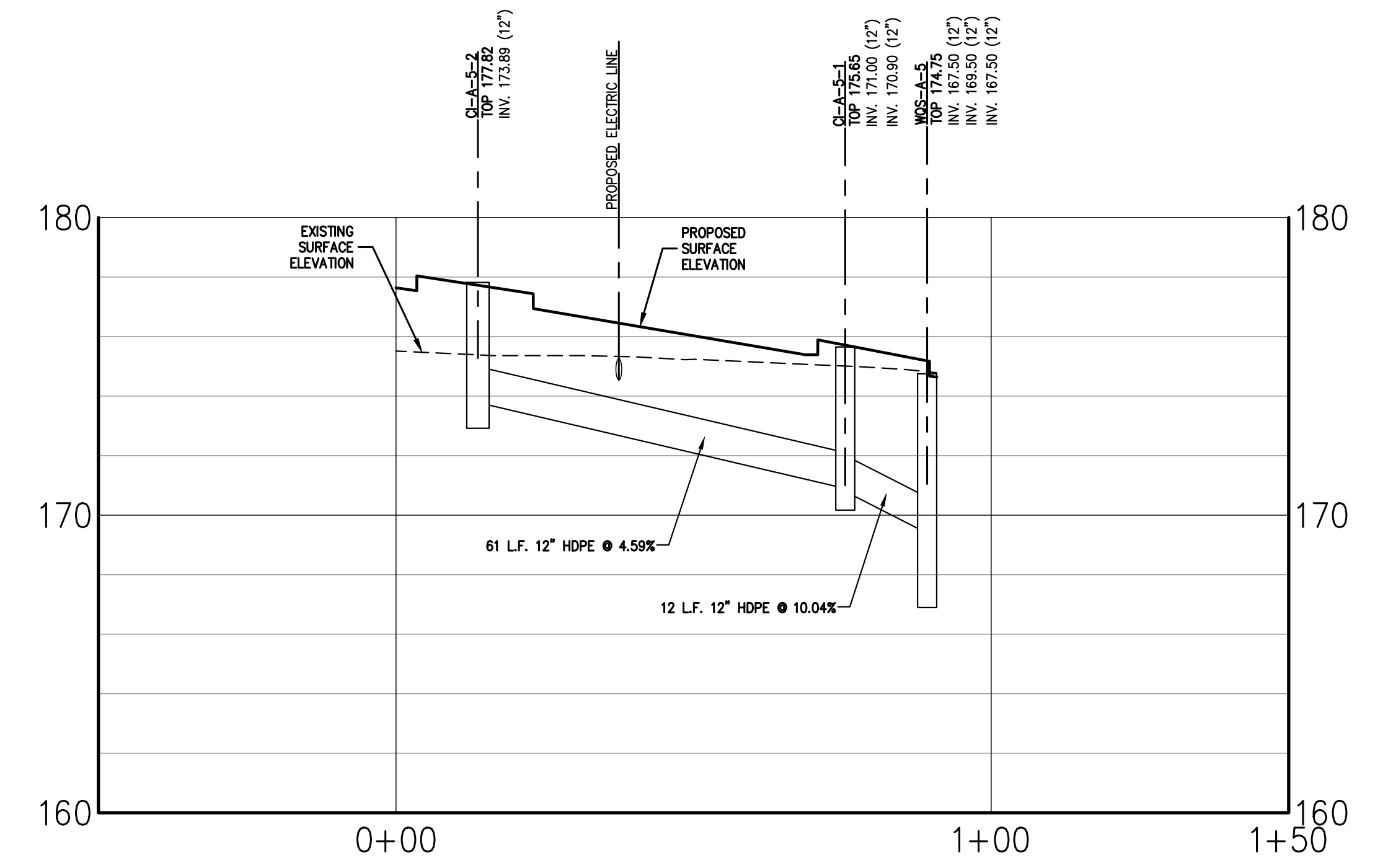
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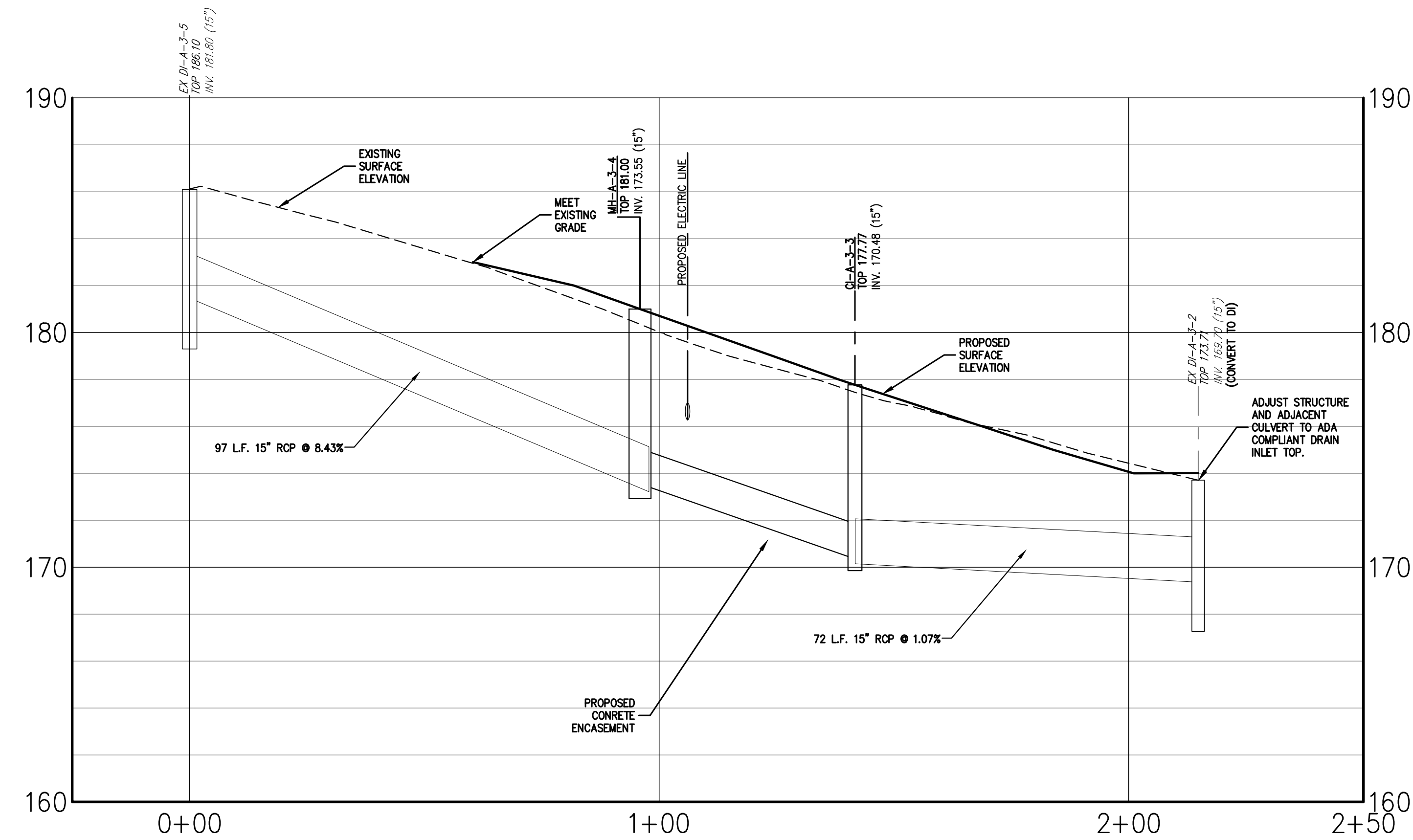
SMH-A-5 TO EX-SMH-A-1 PROFILE

Horizontal Scale: 1" = 4'
Vertical Scale: 1" = 20'



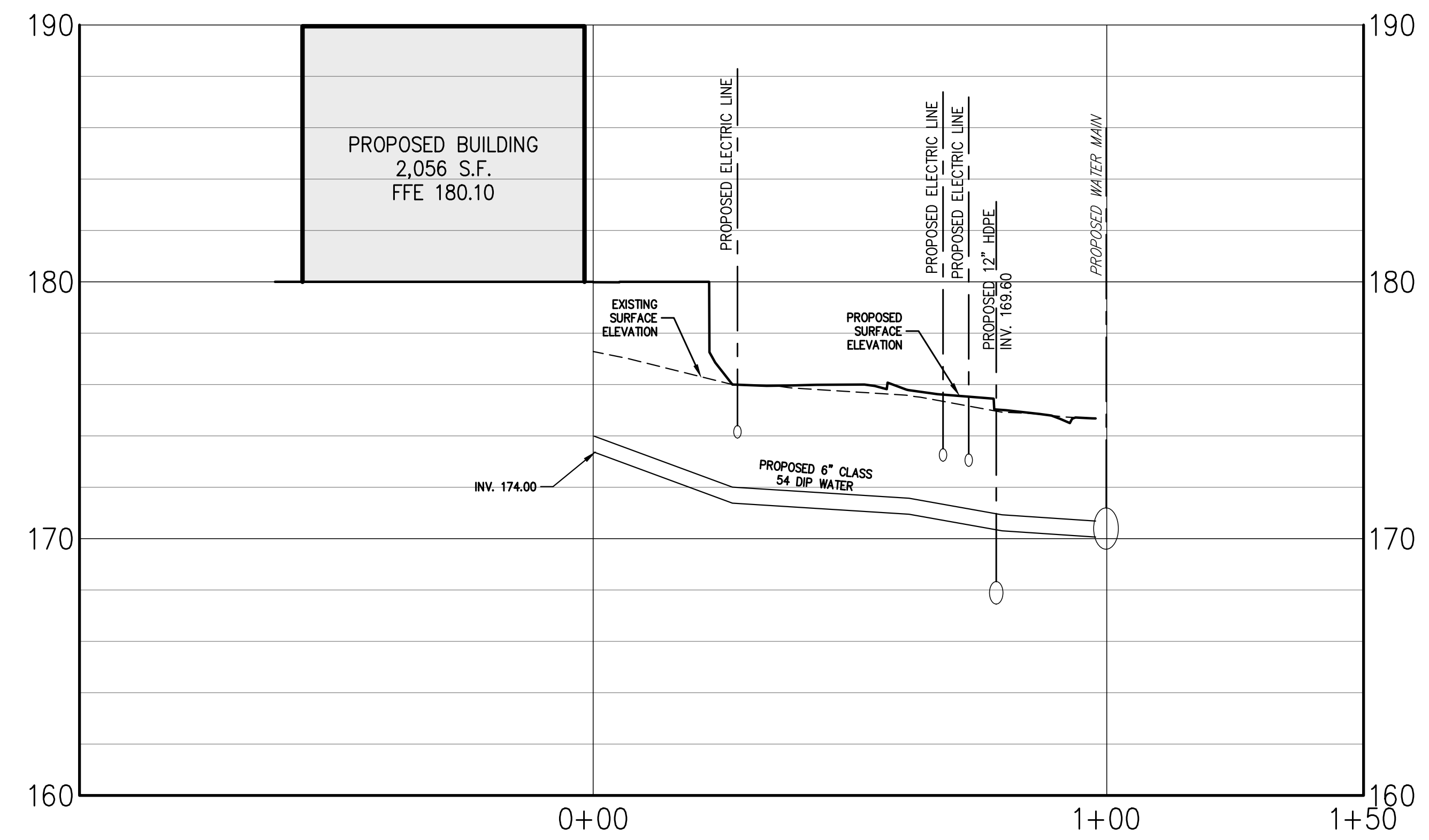
CI-A-5-2 TO WQS-A-5 PROFILE

Horizontal Scale: 1" = 4'
Vertical Scale: 1" = 20'



EX DI-A-3-5 TO EX DI-A-3-2 PROFILE

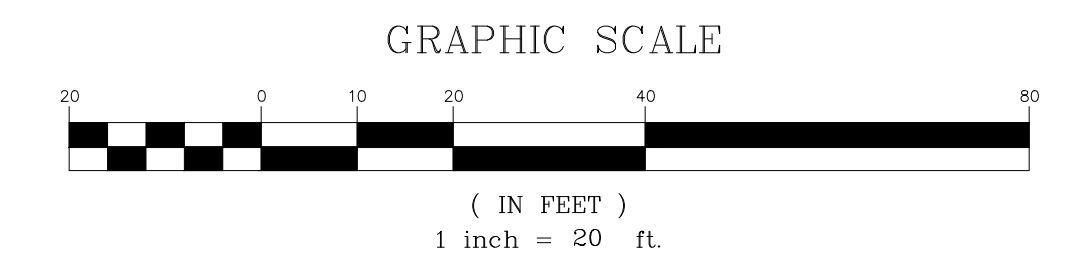
Horizontal Scale: 1" = 4'
Vertical Scale: 1" = 20'



BUILDING TO EXISTING WATER MAIN PROFILE

Horizontal Scale: 1" = 4'
Vertical Scale: 1" = 20'

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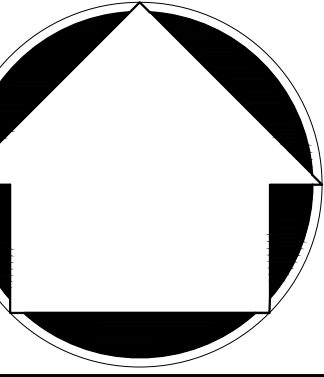
No.	Revision	Date	By
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2.	SUBMISSION TO BUILDING DEPARTMENT FOR DEMAL LETTER	06/12/2023	HS

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UTILITY PROFILE PLAN

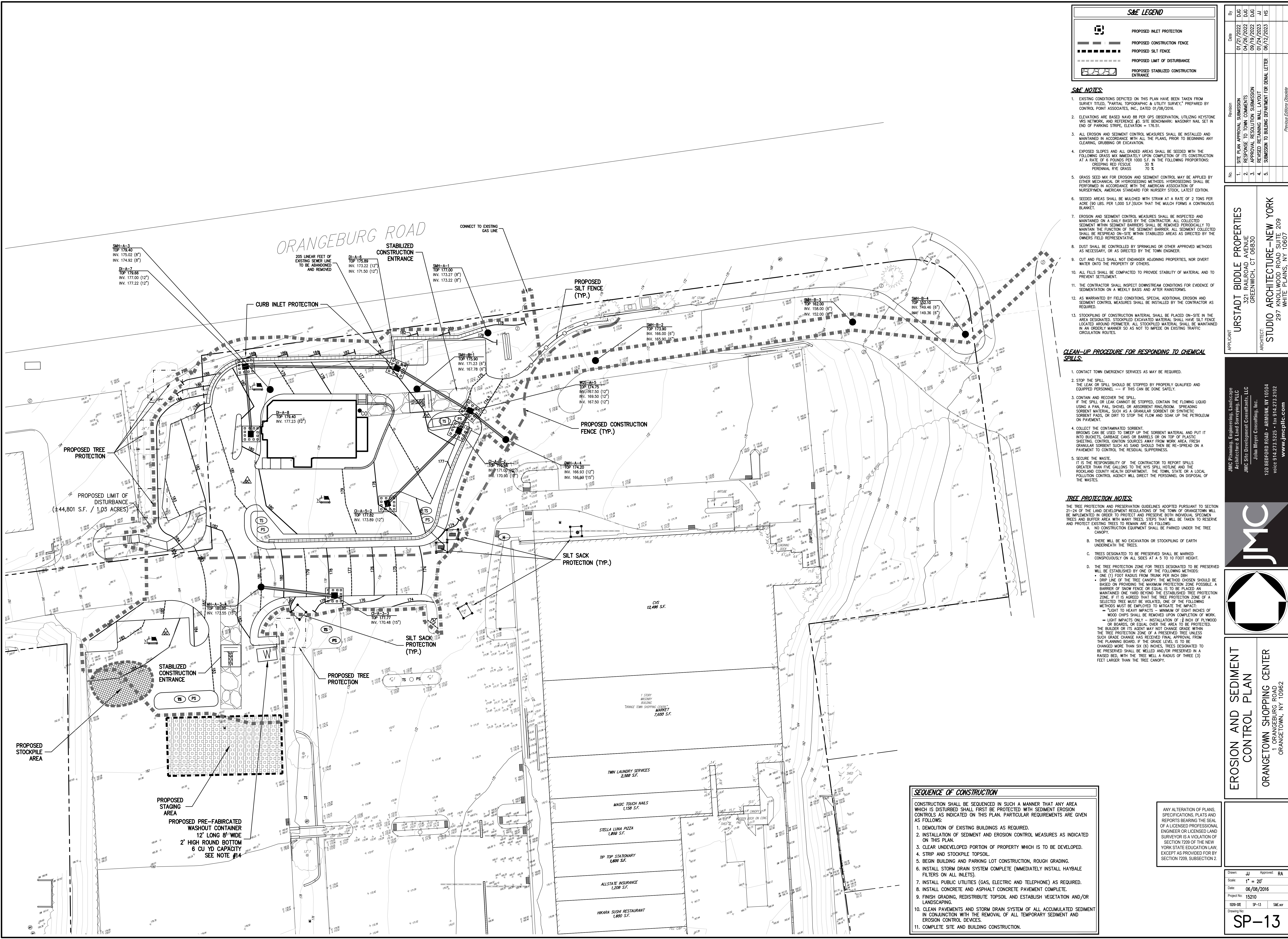
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1 ORANGEBURG ROAD
ORANGETOWN, NY 10962

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Scale: 1" = 20'
Date: 08/30/2021
Project No: 15210
Sheet: SP-12 of 12
Drawing No: UTIL-SP-12

SP-12

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S&E LEGEND

	PROPOSED INLET PROTECTION
	PROPOSED CONSTRUCTION FENCE
	PROPOSED SILT FENCE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE

- S&E NOTES:**
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 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PLANS, PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION.
 - EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEED WITH THE FOLLOWING GRASS MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF 8 POUNDS PER 1000 S.F. IN THE FOLLOWING PROPORTIONS:
CREEPING RED FESCUE 30 %
PERENNIAL RYE GRASS 70 %
 - GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 - SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 LBS. PER 1,000 S.F.) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
 - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIER. ALL SEDIMENT COLLECTED SHALL BE RESTORED ON-SITE WITH STABILIZED AREAS AS DIRECTED BY THE OWNERS FIELD REPRESENTATIVE.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE TOWN ENGINEER.
 - CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER INTO THE PROPERTY OF OTHERS.
 - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
 - THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
 - AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
 - STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED. STOCKPILED EXCAVATED MATERIAL SHALL HAVE SILT FENCE LOCATED AROUND PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPIDE ON EXISTING TRAFFIC CIRCULATION ROUTES.

- CLEAN-UP PROCEDURE FOR RESPONDING TO CHEMICAL SPILLS:**
- CONTACT TOWN EMERGENCY SERVICES AS MAY BE REQUIRED.
 - STOP THE SPILL.
THE LEAK OR SPILL SHOULD BE STOPPED BY PROPERLY QUALIFIED AND EQUIPPED PERSONNEL - IF THIS CAN BE DONE SAFELY.
 - CONTAIN AND RECOVER THE SPILL.
IF THE SPILL OR LEAK CANNOT BE STOPPED, CONTAIN THE FLOWING LIQUID USING A PAN, PAIL, SHOVEL OR ABSORBENT RING/BOTTOM. SPREADING ABSORBENT MATERIAL SUCH AS GRANULAR ABSORBENT OR SYNTHETIC ABSORBENT PADS, OR DIRT TO STOP THE FLOW AND SOAK UP THE PETROLEUM ON PAVEMENT.
 - COLLECT THE CONTAMINATED ABSORBENT.
BROOMS CAN BE USED TO SWEEP UP THE ABSORBENT MATERIAL AND PUT IT INTO BUCKETS, GARBAGE CANS OR BARRELS ON TOP OF PLASTIC SHEETING. CONTROL IGNITION SOURCES AWAY FROM WORK AREA. FRESH GRANULAR ABSORBENT SUCH AS SAND SHOULD THEN BE RE-SPREAD A PAVEMENT TO CONTROL THE RESIDUAL SLIPPERNESS.
 - SECURE THE WASTE.
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPORT SPILLS GREATER THAN FIVE GALLONS TO THE NYS SPILL HOTLINE AND THE ROCKLAND COUNTY HEALTH DEPARTMENT. THE TOWN, STATE OR A LOCAL POLLUTION CONTROL AGENCY WILL DIRECT THE PERSONNEL ON DISPOSAL OF THE WASTES.

- TREE PROTECTION NOTES:**
- THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES, STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
- NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
 - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
 - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
 - DRIP LINE OF THE TREE CANOPY. THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE WELLED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
 - LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 - LIGHT IMPACTS ONLY - INSTALLATION OF 3/4 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED. THE BARRIER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.

- SEQUENCE OF CONSTRUCTION**
- CONSTRUCTION SHALL BE SEQUENCED IN SUCH A MANNER THAT ANY AREA WHICH IS DISTURBED SHALL FIRST BE PROTECTED WITH SEDIMENT EROSION CONTROLS AS INDICATED ON THIS PLAN. PARTICULAR REQUIREMENTS ARE GIVEN AS FOLLOWS:
- DEMOLITION OF EXISTING BUILDINGS AS REQUIRED.
 - INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES AS INDICATED ON THIS PLAN.
 - CLEAR UNDEVELOPED PORTION OF PROPERTY WHICH IS TO BE DEVELOPED.
 - STRIP AND STOCKPILE TOPSOIL.
 - BEGIN BUILDING AND PARKING LOT CONSTRUCTION, ROUGH GRADING.
 - INSTALL STORM DRAIN SYSTEM COMPLETE (IMMEDIATELY INSTALL HAYBALE FILTERS ON ALL INLETS).
 - INSTALL PUBLIC UTILITIES (GAS, ELECTRIC AND TELEPHONE) AS REQUIRED.
 - INSTALL CONCRETE AND ASPHALT CONCRETE PAVEMENT COMPLETE.
 - FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION AND/OR LANDSCAPING.
 - CLEAN PAVEMENTS AND STORM DRAIN SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
 - COMPLETE SITE AND BUILDING CONSTRUCTION.

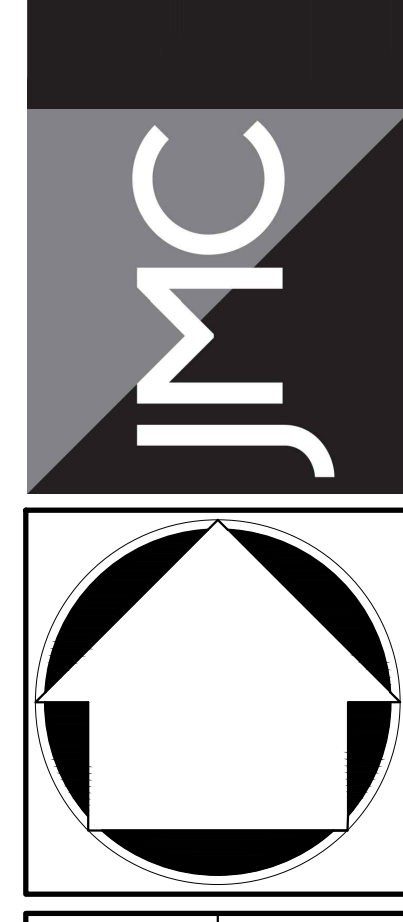
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

No.	Date	Revision
1.	07/27/2022	D&G SITE PLAN APPROVAL SUBMISSION
2.	04/26/2022	RESPONSE TO TOWN COMMENTS
3.	09/19/2022	APPROVAL RESOLUTION SUBMISSION
4.	07/24/2023	REVISED RETAINING WALL LAYOUT
5.	06/12/2023	SUBMISSION TO BUILDING DEPARTMENT FOR DEMAL LETTER

APPLICANT
URSTADT BIDDLE PROPERTIES
321 RAILROAD AVENUE
GREENWICH, CT 06830

ARCHITECT
STUDIO ARCHITECTURE - NEW YORK
297 KROLLWOOD ROAD, SUITE 209
WHITE PLAINS, NY 10607

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Mayer Consulting, Inc.



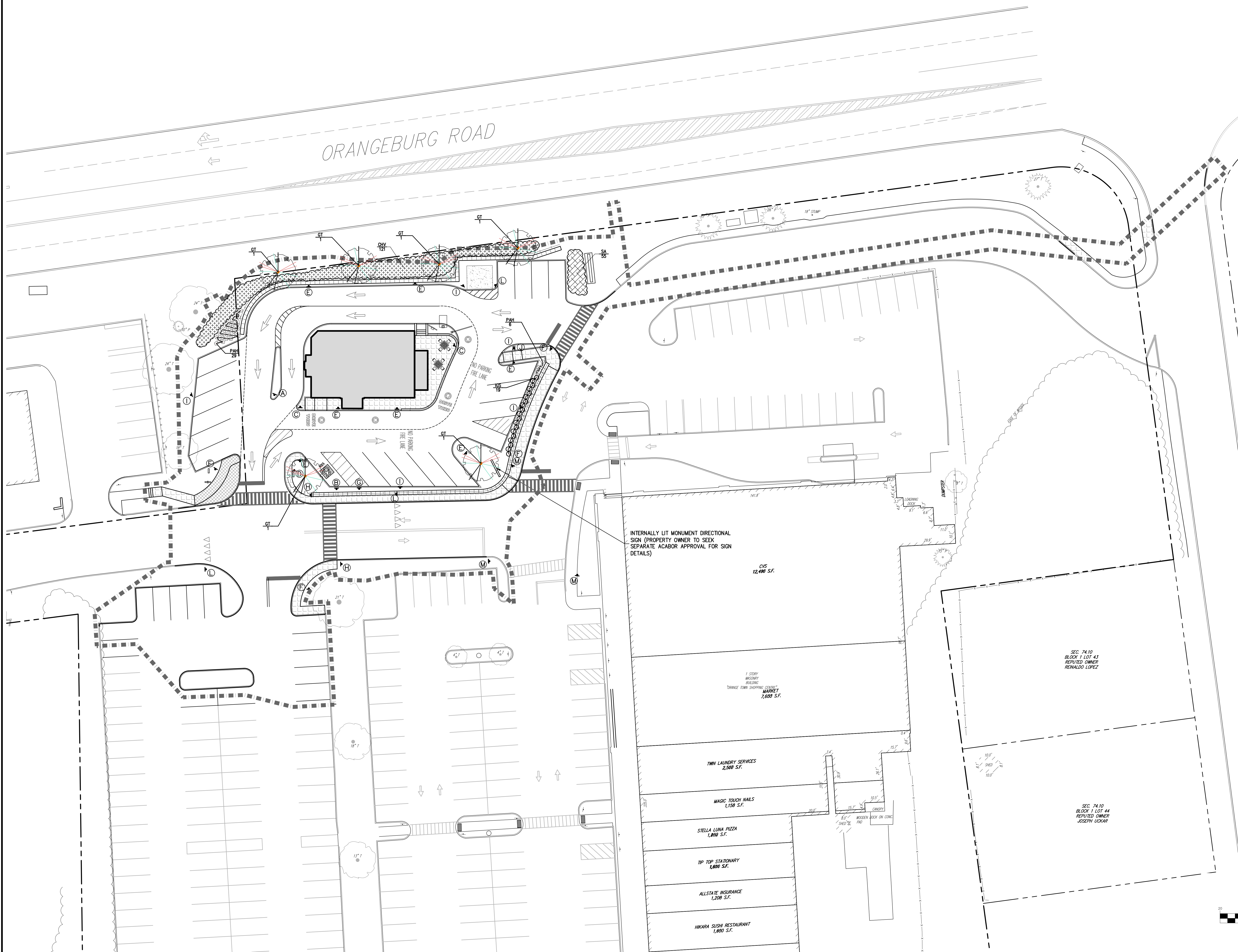
EROSION AND SEDIMENT CONTROL PLAN
ORANGETOWN SHOPPING CENTER
1 ORANGETOWN ROAD
ORANGETOWN, NY 10962

Drawn: JU	Approved: RA
Scale: 1" = 20'	
Date: 06/08/2016	
Project No: 15210	
Sheet No: SP-13	S&E.sxd
Drawing No:	

SP-13

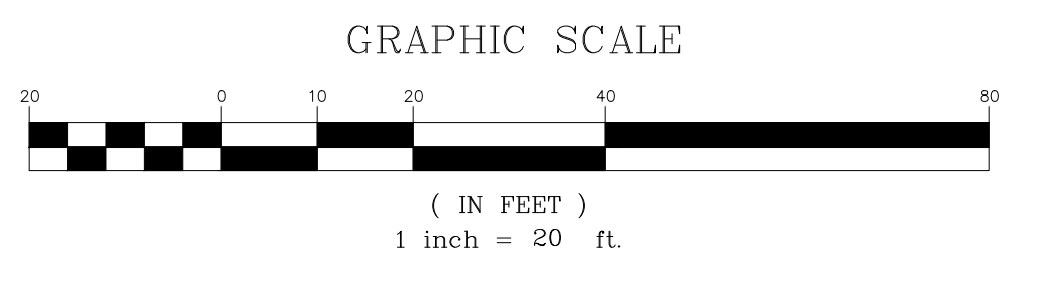
PLANT SCHEDULE					
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND.	REMARKS
GT	6	Gleditsia Triacanthos Inermis / Shademaster / Shademaster Honeylocust	3" - 3 1/2" Cal.	B & B	
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND.	REMARKS
IGS	19	Ilex glabra / Shamrock / Inkberry	3" - 4" Height	B & B	
PAH	35	Pennisetum alopecuroides / Hameln / Hameln Dwarf Fountain Grass	2 gal	Container	
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	CONT.	ROOT COND.	REMARKS
CHV	121	Cotoneaster horizontalis / Variegatus / Variegated Rock Spray Cotoneaster	2 gal	Container	
SA	55	Sedum x Autumn Joy / Autumn Joy Sedum	2 gal	Container	PERENNIALS

LANDSCAPE LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING DIRECTIONAL ARROWS
	EXISTING PAINT
	EXISTING PARKING WITH NUMBER OF SPACES
	EXISTING ACCESSIBLE PARKING WITH NUMBER OF SPACES
	EXISTING PEDESTRIAN CROSSING
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED SAWCUT LINE
	PROPOSED ACCESSIBLE PARKING WITH NUMBER OF SPACES
	PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED SIDEWALK WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED DROP CURB AND RAMP
	PROPOSED HEAVY DUTY PAVEMENT
	PROPOSED PERVIOUS PAVEMENT
	PROPOSED CONCRETE APRON
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED FENCE
	PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	2-4" WIDE YELLOW LINES 8' O.C.
	12" WIDE WHITE STOP LINE
	TRAFFIC SIGN LOCATION & DESIGNATION
	PROPOSED SHADE TREE
	PROPOSED FLOWERING TREE
	PROPOSED CONIFEROUS TREE
	PROPOSED SHRUBS
	PROPOSED SHRUB MASSING
	EXISTING FEATURE TO BE REMOVED



- LANDSCAPE NOTES:**
1. ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK, PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 2. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
 3. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-DYED, TOXIC FREE, SHREDDED HARDWOOD.
 4. PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECTS WRITTEN APPROVAL.
 5. ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
 6. ALL TREES AND SHRUBS SHALL BE WELL-BRANCHED AND WELL-SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
 7. PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY WINEES AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
 8. ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BARE-ROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
 9. ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.

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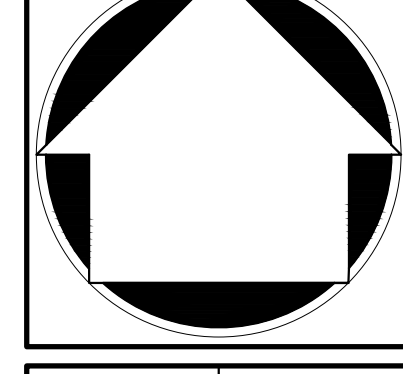
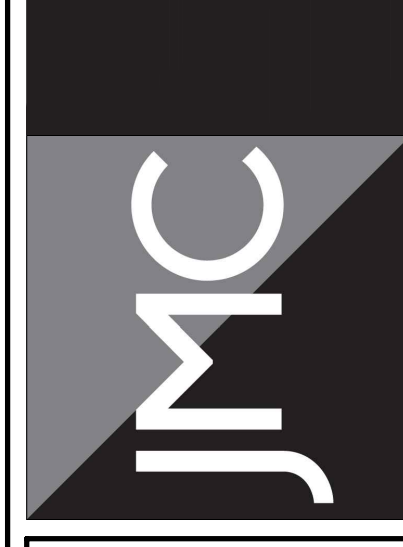


No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	07/27/2022	DAG
2.	RESPONSE TO TOWN COMMENTS	04/26/2022	DAG
3.	ACADIC SUBMISSION	05/20/2022	DAG
4.	REVISED PER ACADIC COMMENTS	07/27/2022	DAG
5.	APPROVAL RESOLUTION SUBMISSION	07/27/2022	DAG
6.	REVISED RETAINING WALL LAYOUT	07/24/2023	JW
7.	SUBMISSION TO BUILDING DEPARTMENT FOR FINAL LETTER	08/12/2023	RS

APPLICANT: **URSTADT BIDDLE PROPERTIES**
 321 RAILROAD AVENUE
 GREENWICH, CT 06830

ARCHITECT: **STUDIO ARCHITECTURE - NEW YORK**
 297 KNOLLWOOD ROAD SUITE 209
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 120 BEDFORD ROAD • ARMONK, NY 10504
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 www.jmcpilc.com



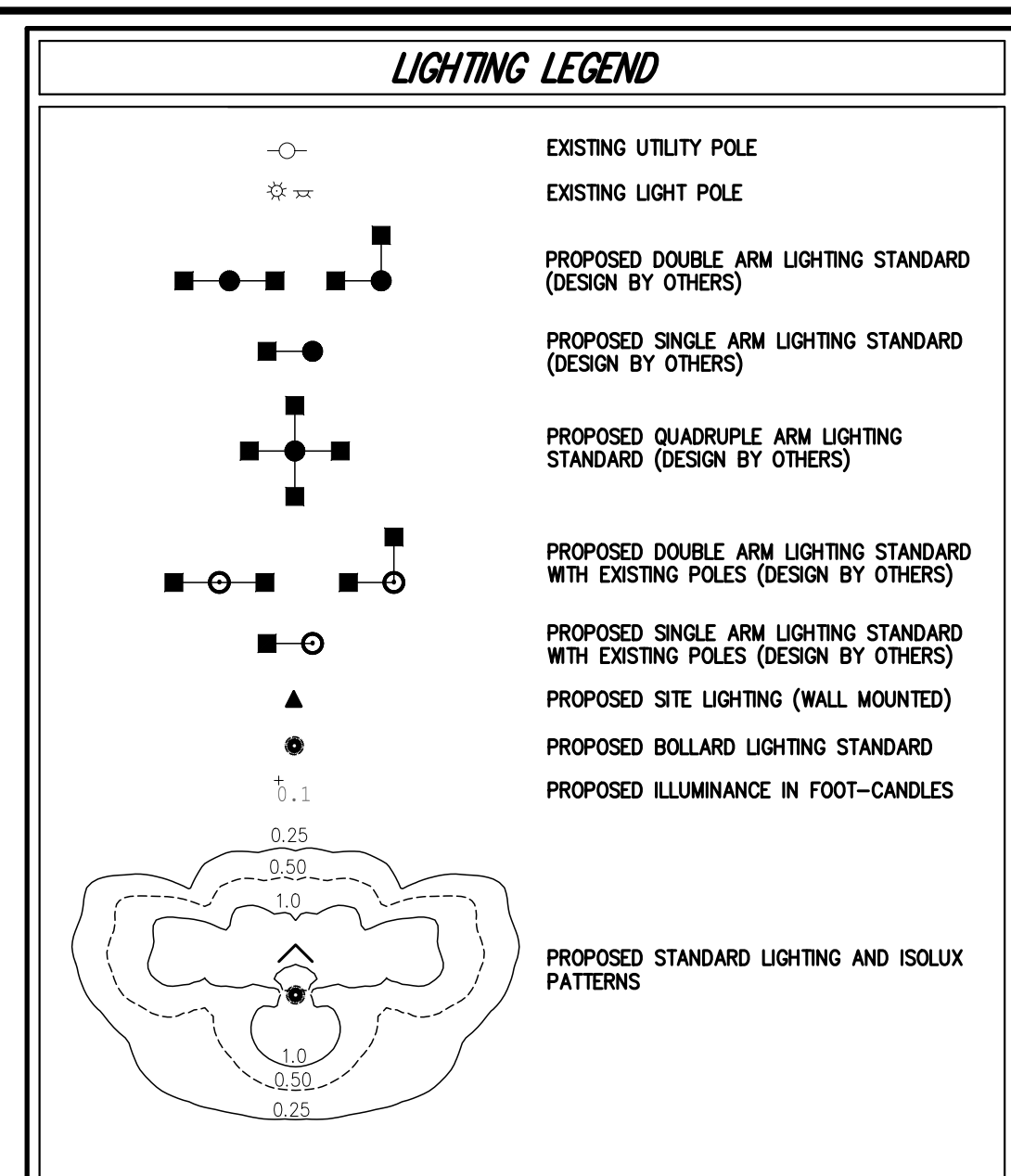
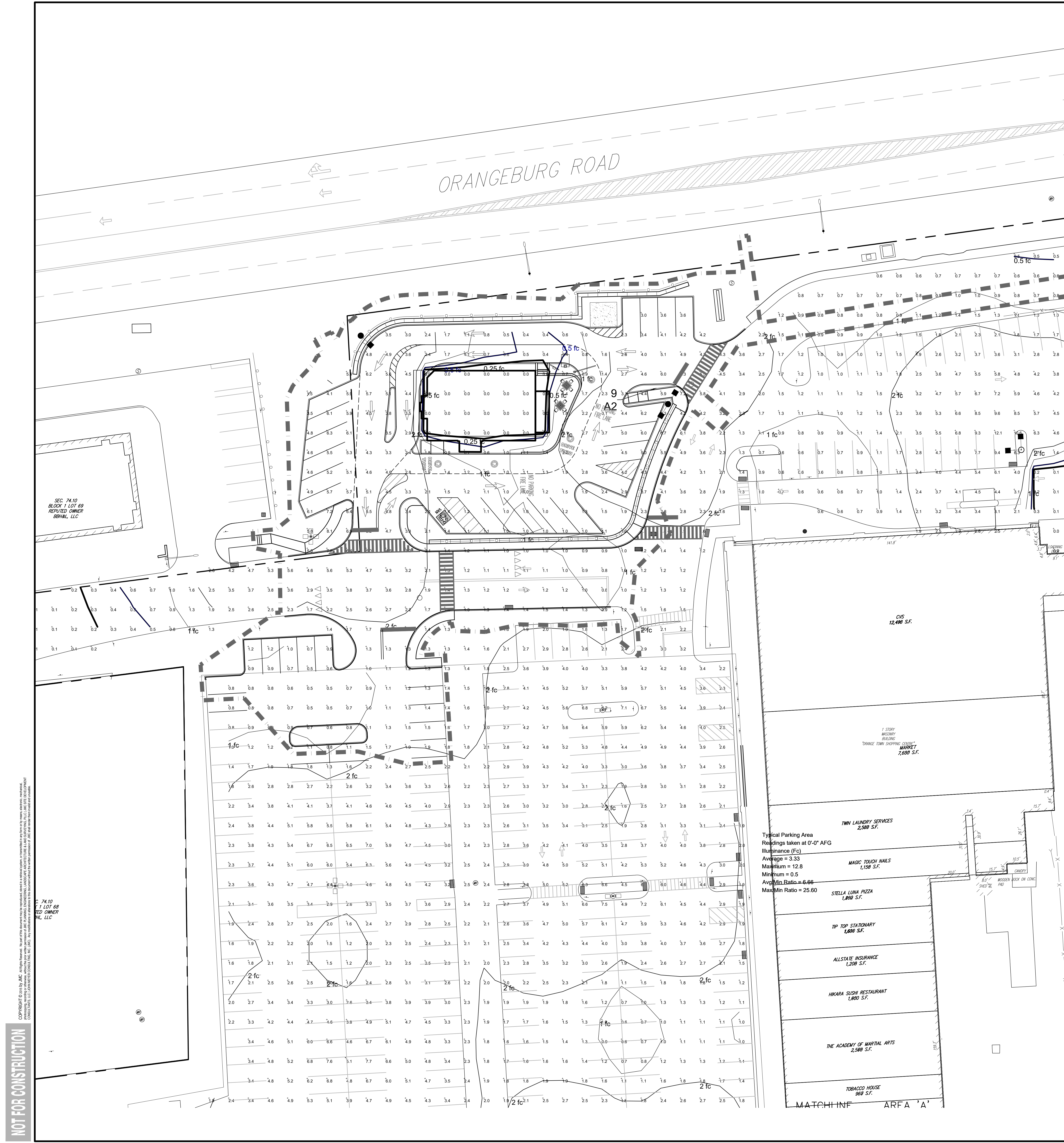
LANDSCAPE PLAN

ORANGETOWN SHOPPING CENTER
 1 ORANGEBURG ROAD
 ORANGETOWN, NY 10962

Drawn: JW Approved: RA
 Scale: 1" = 20'
 Date: 08/30/2021

Project No: 15210
 15210-LAND SP-14 LAND.scx
 Drawing No: **SP-14**

NOT FOR CONSTRUCTION



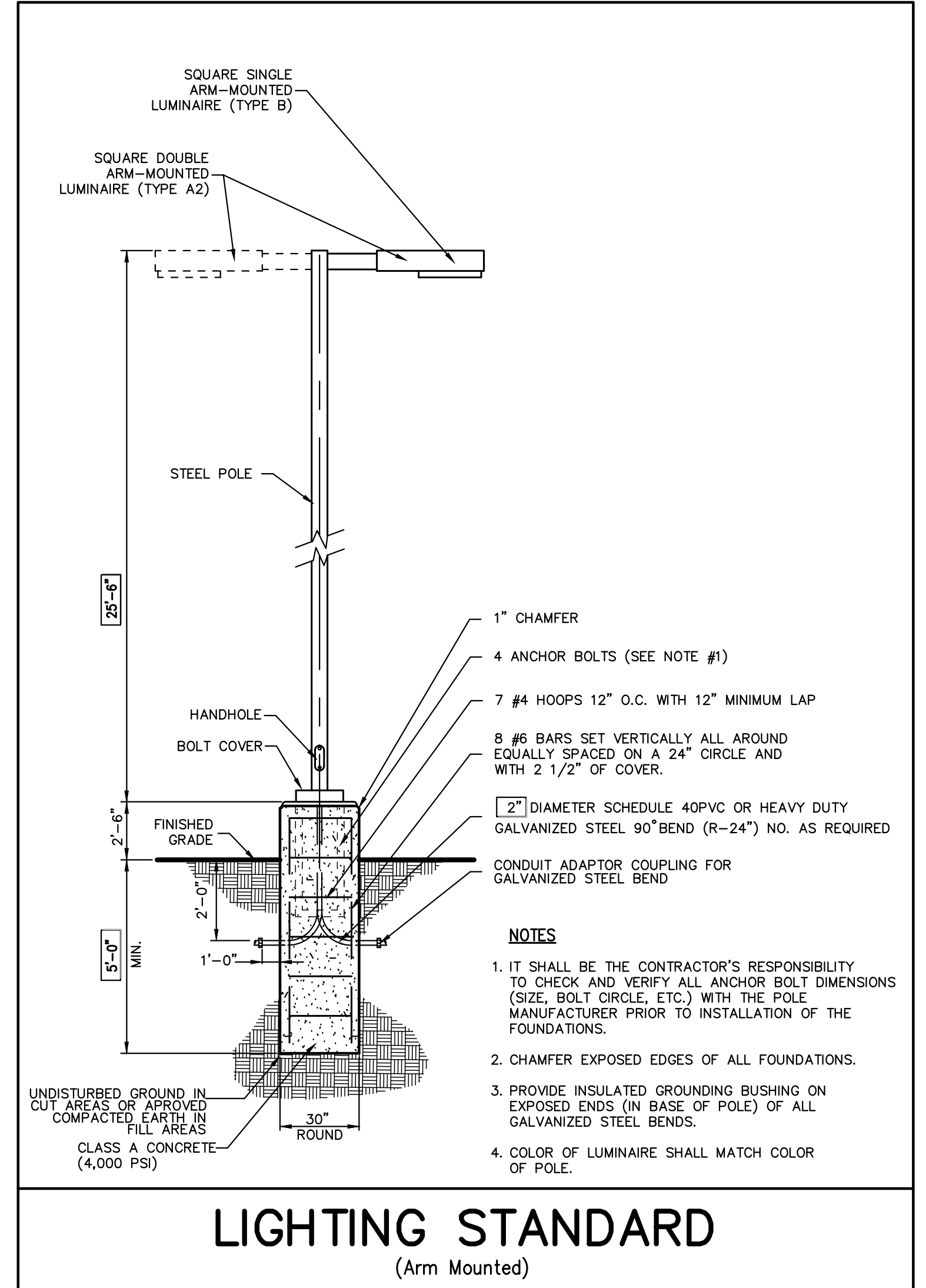
LIGHTING NOTES:

- ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.
- CIRCUIT WIRING SHALL BE #10 COPPER CONDUCTORS, TYPE XHHW. CIRCUITRY SHALL BE AS SHOWN ON THE DRAWINGS.

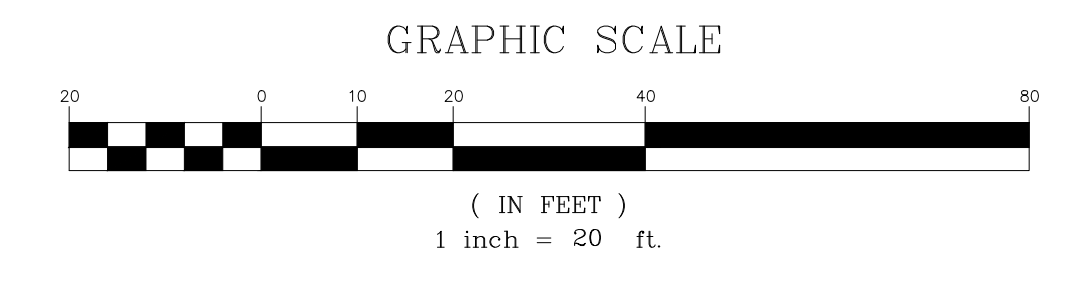
LumNo	Tag	Label	Mtg Ht	Orient
1	B	ALED3T260 D10	28	323.274
9	A2	ALED4T260 D10 x2@180°	28	65.861
9	A2	ALED4T260 D10 x2@180°	28	245.861

Tag	Qty	Label	Arrangement	Lum. Lumens	LLF	Description	Filename
A2	1	ALED4T260 D10 x2@180°	BACK-TO-BACK	27428	1.000	POLE MOUNT	ALED4T260 D10 - Cool - RAB1809.IES
B	1	ALED3T260 D10	SINGLE	28037	1.000	POLE MOUNT	ALED3T260 D10 - Cool - RAB1839.IES

Label	CalcType	Units	Avg	Max	Min	AvgMin	Max/Min	PSpctL	PSpctB
Orangetown Shopping Center	Illuminance	Fc	2.77	12.8	0.0	N/A	N/A	10	10
Typical Parking Area	Illuminance	Fc	3.33	12.8	0.5	6.66	25.60		



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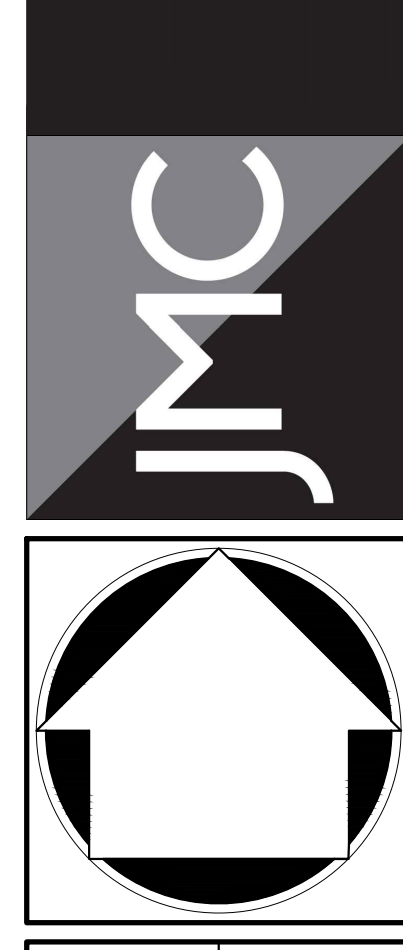
No.	Revision	Date	By
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022	DAG
2.	RESPONSE TO TOWN COMMENTS	04/26/2022	DAG
3.	ACADRE SUBMISSION	05/20/2022	DAG
4.	APPROVAL RESOLUTION SUBMISSION	09/19/2022	DAG
5.	REVISED RETAINING WALL LAYOUT	07/24/2023	JJ
6.	SUBMISSION TO BUILDING DEPARTMENT FOR DEMAL LETTER	06/12/2023	HS

APPLICANT: **URSTADT BIDDLE PROPERTIES**
321 RAILROAD AVENUE
GREENWICH, CT 06830

ARCHITECT: **STUDIO ARCHITECTURE - NEW YORK**
297 KNOXWOOD ROAD SUITE 209
WHITE PLAINS, NY 10607

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
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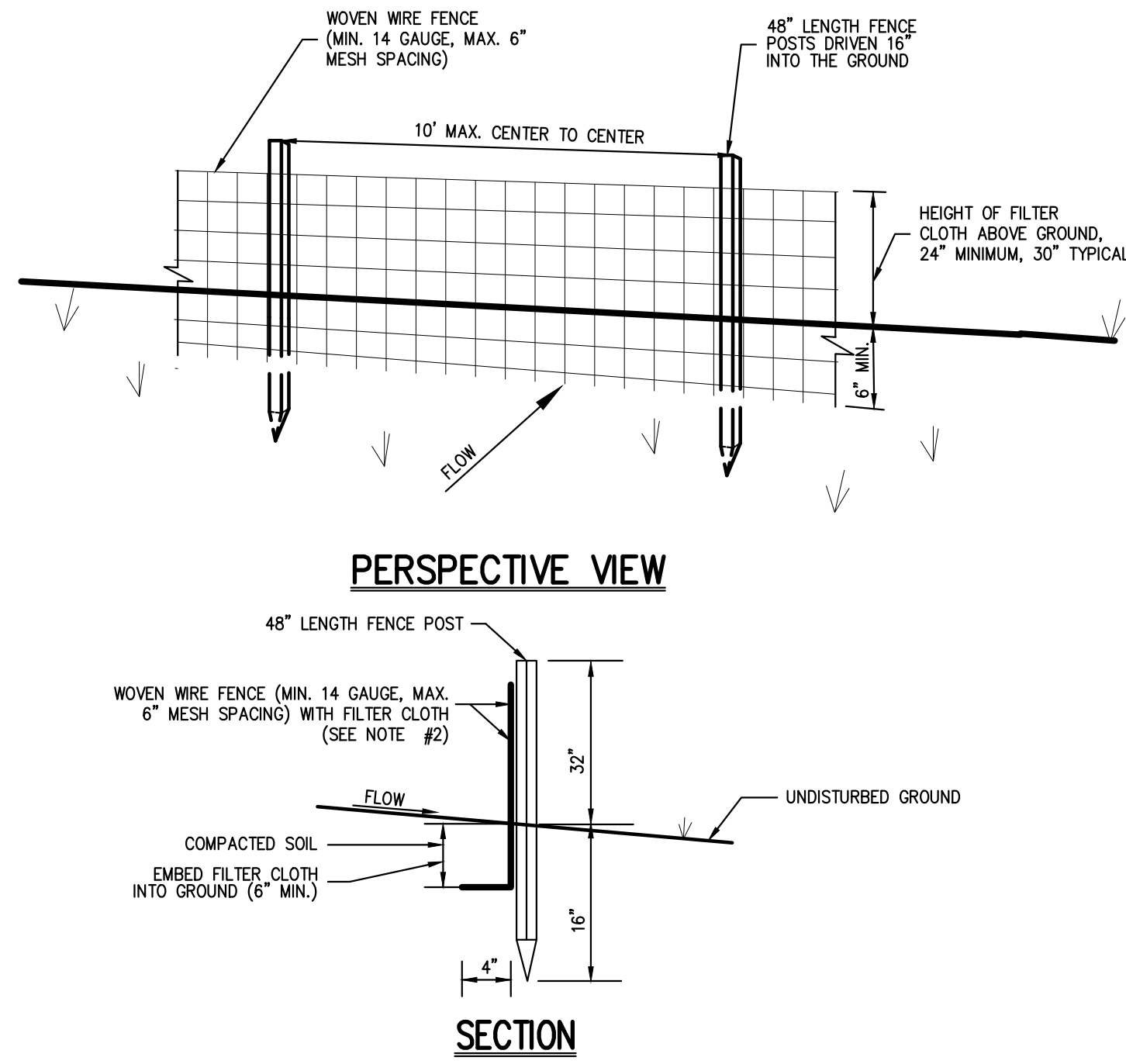
120 BEDFORD ROAD • BRIDGE PLAZA, NY 10504
voice 914.273.5225 • fax 914.273.2102
www.jmcplic.com



LIGHTING PLAN
ORANGETOWN SHOPPING CENTER
1 ORANGETOWN ROAD
ORANGETOWN, NY 10962

Drawn: JJ Approved: RA
Scale: 1" = 20'
Date: 06/07/2016
Project No: 15210
Sheet: SP-15 of 15
Drawing No: SP-15

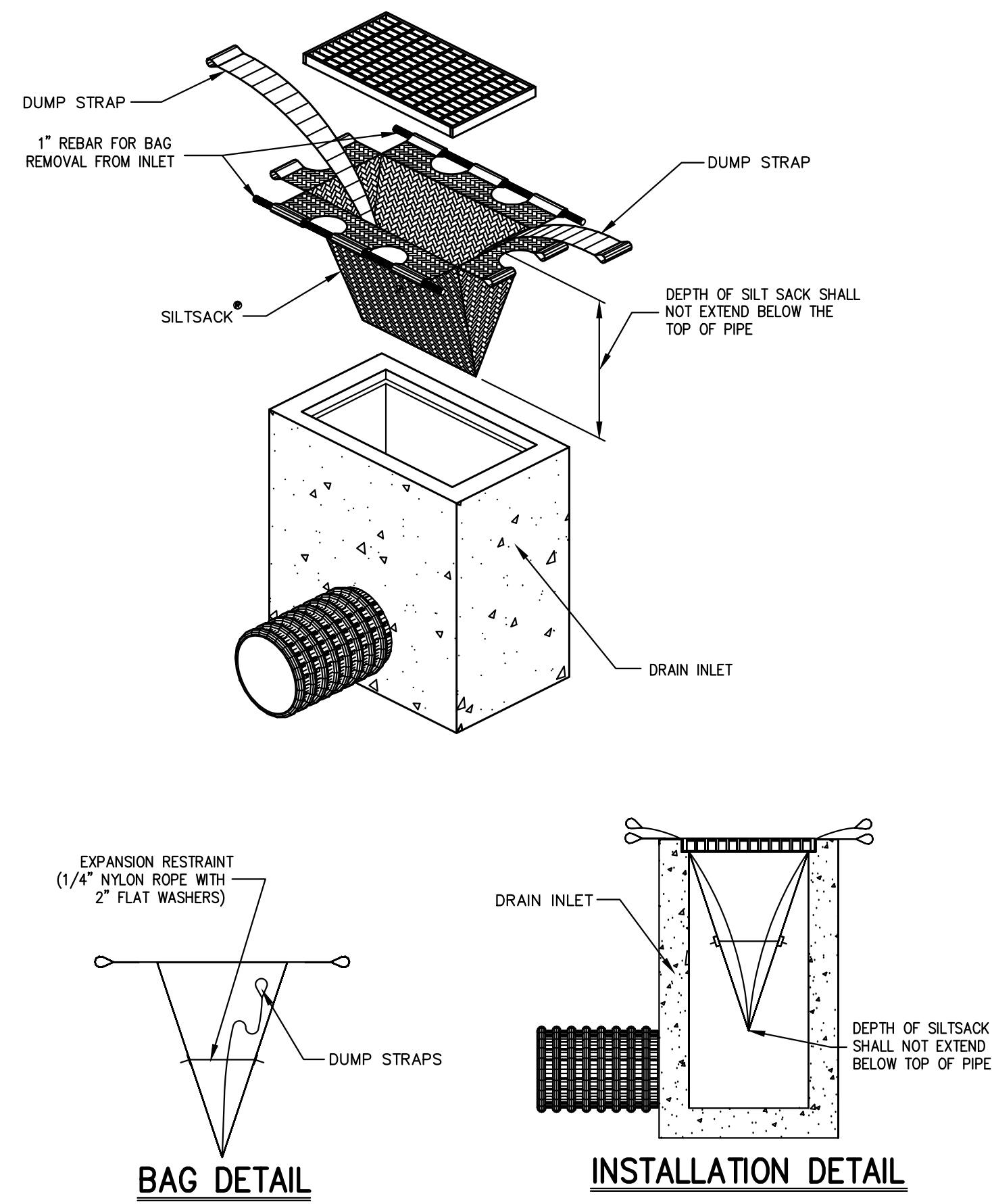
NOT FOR CONSTRUCTION



- NOTES:**
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

SILT FENCE

1

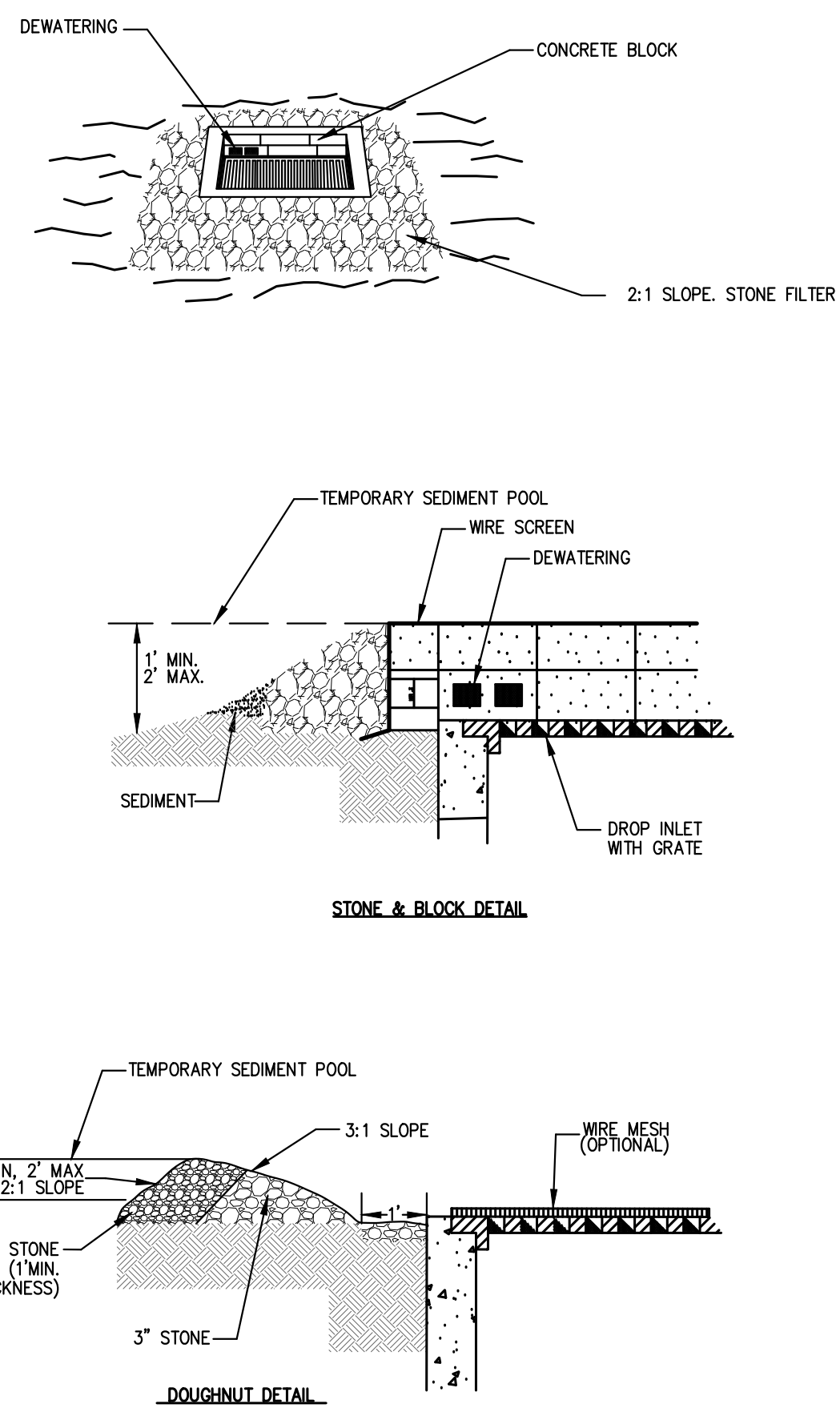


HI-FLOW SILT SACK AS MANUFACTURED BY ACF ENVIRONMENTAL OR APPROVED EQUAL® (FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4832	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4832	20 %
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4535	45 LBS
UV RESISTANCE	ASTM D-4355	90 %
APPARENT OPENING SIZE	ASTM D-4751	200 US SEIVE
FLOW RATE	ASTM D-4491	200 GAL/AN/50 FT
PERMITTIVITY	ASTM D-4491	1.5 SEC -1

SILT SACK

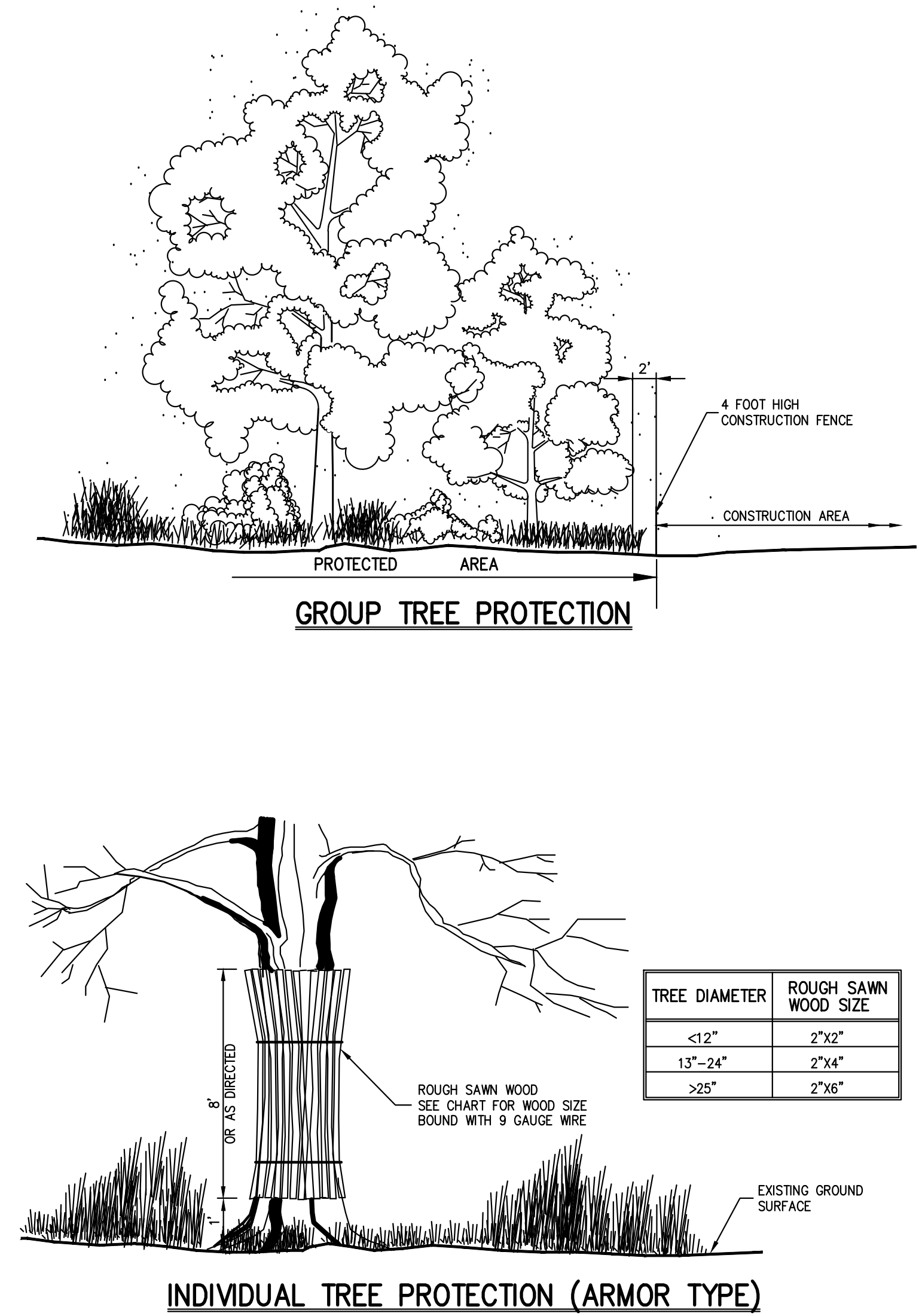
2



- NOTES:**
- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
 - HARDWARE CLOTH OR 1/2\"/>

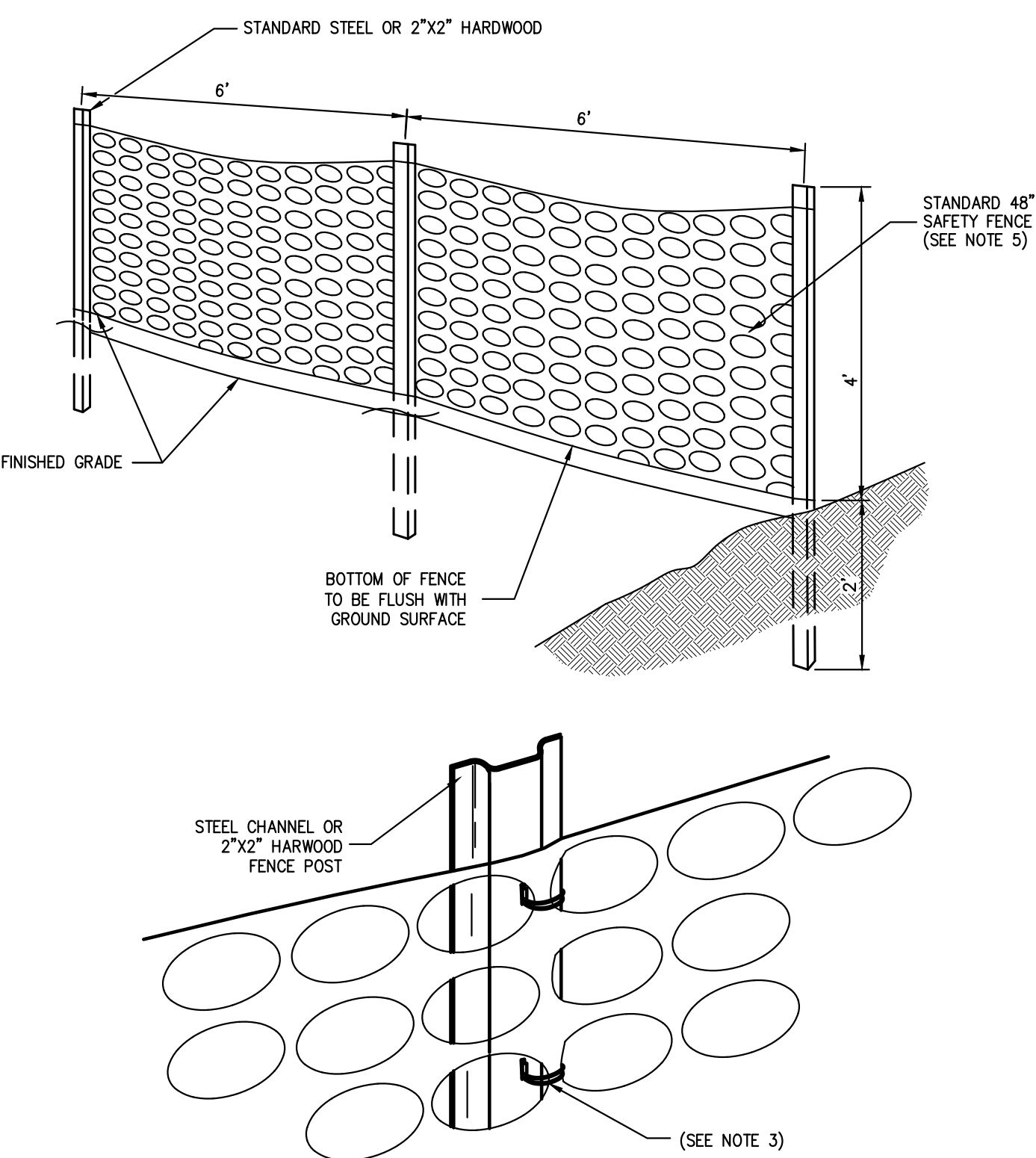
STONE & BLOCK DROP INLET PROTECTION

3



TREE PROTECTION

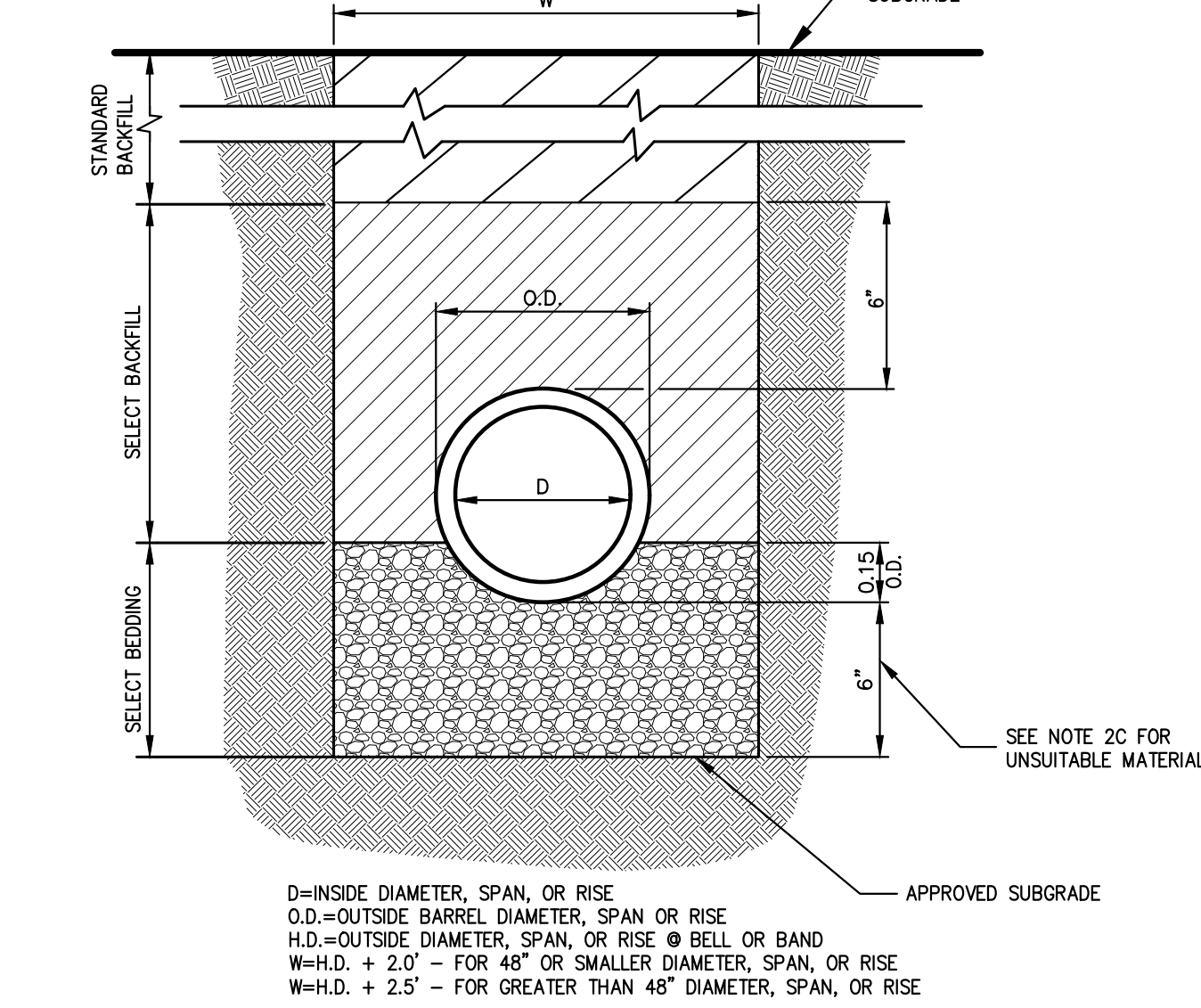
4



- NOTES:**
- SPACE SUPPORT FENCE POSTS AT 6 FOOT INTERVALS.
 - DRIVE SUPPORT POSTS 2 FEET INTO GROUND.
 - FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
 - PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
 - PLASTIC FENCE SHALL BE INTERNATIONAL ORANGE COLOR, AS MANUFACTURED BY ADRI ENTERPRISES, INC. OR APPROVED EQUAL.
 - REMOVE CONSTRUCTION FENCE AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.

CONSTRUCTION FENCE

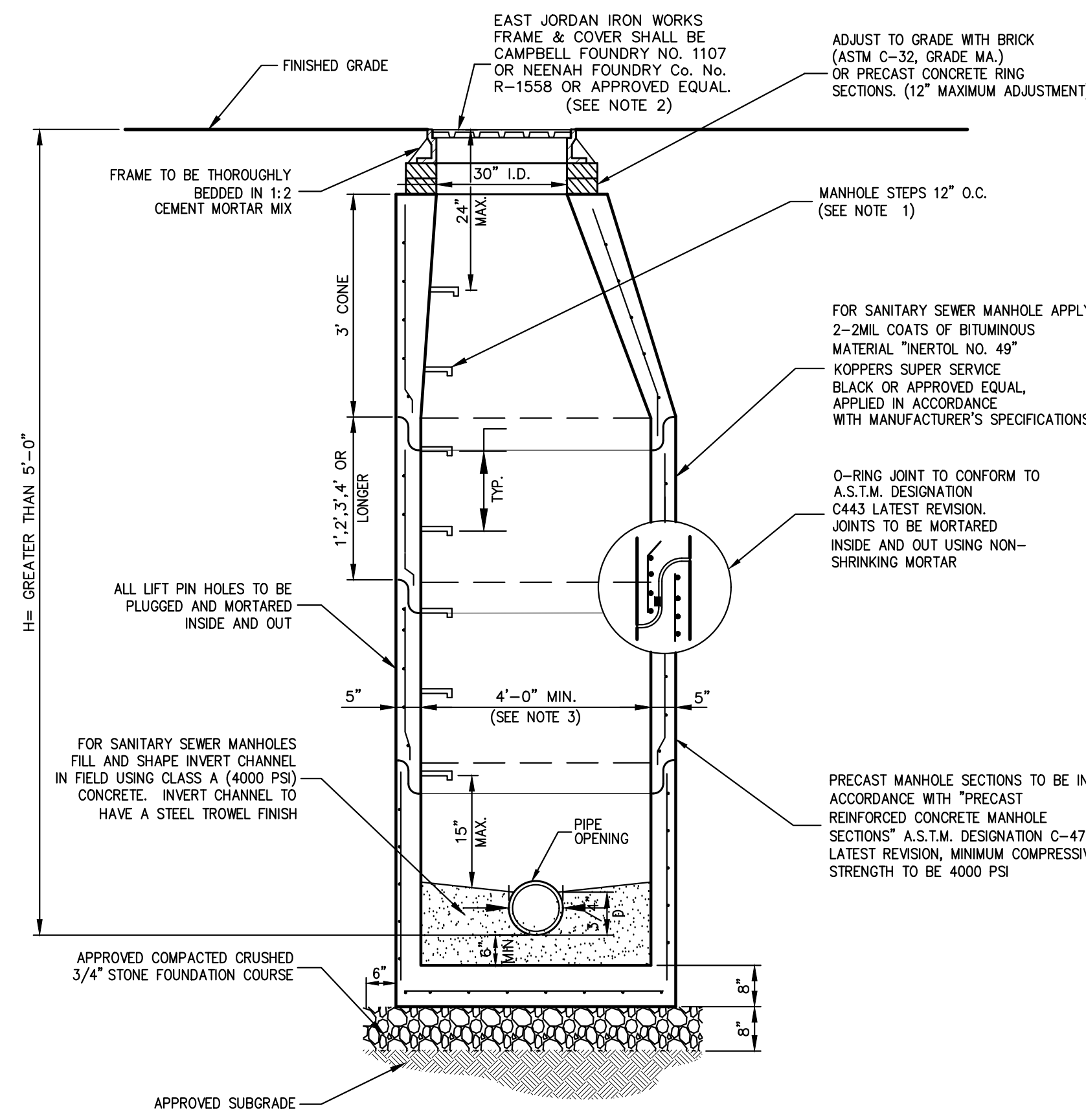
5



- NOTES:**
- FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:
 - EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.
 - 3/4\"/>
 - TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:
 - FOR ALL CORRUGATED POLYETHYLENE DRAIN PIPE (CPDP) AND PVC PIPE AND CONDUIT INSTALLATION.
 - WHEN ROCK OR HARDSPAN IS ENCOUNTERED IN BOTTOM OF TRENCH.
 - WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 4\"/>
 - FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
 - BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES, UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 95% MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

TYPE II TRENCH

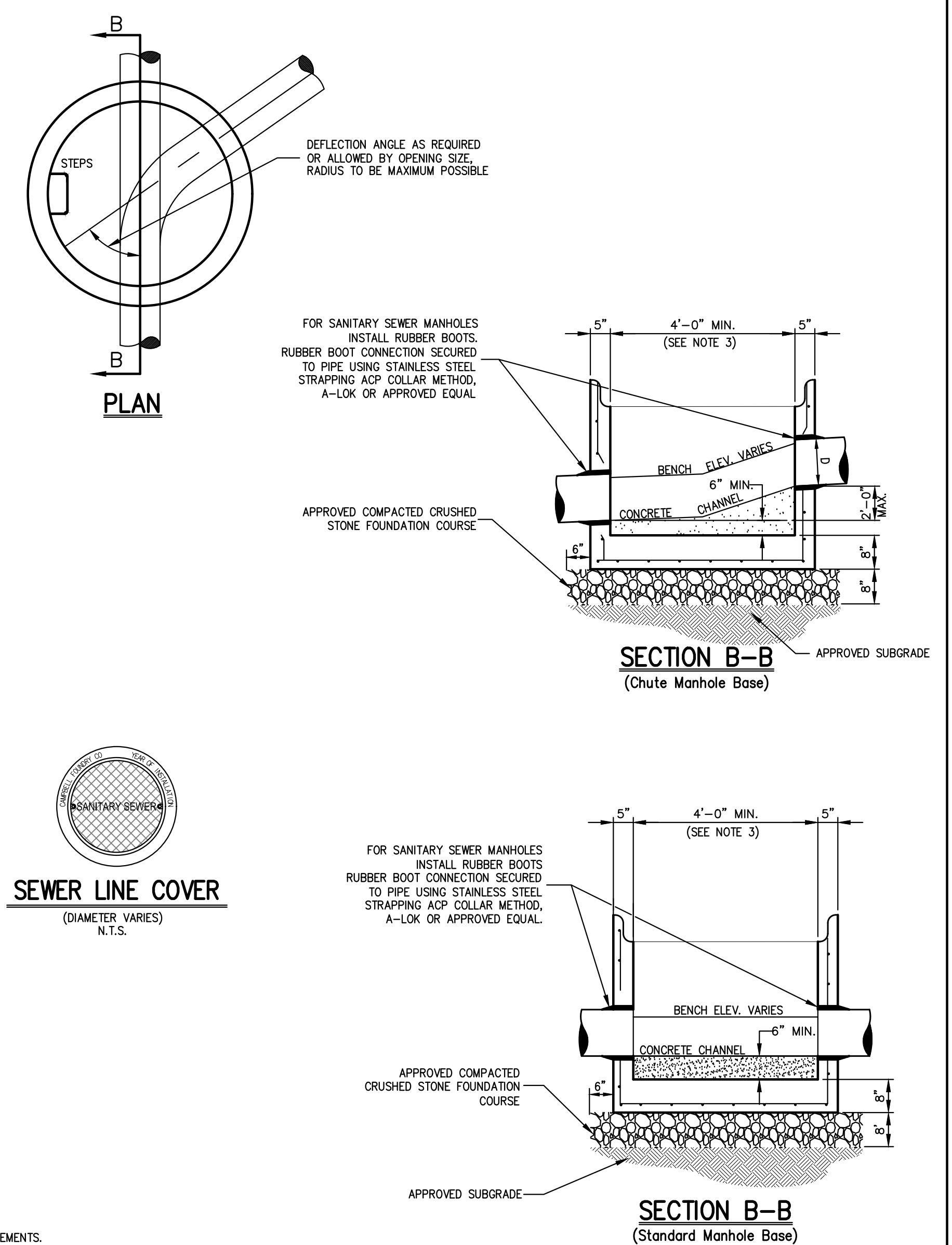
6



- NOTES:**
- MANHOLE STEPS SHALL BE CAST IRON NEEHAW NO. R-1981-0 OR CAMPBELL FOUNDRY NO. 258-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
 - UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE LETTERS "SEWER" AND STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVER. THE COVERS FOR SANITARY SEWER LINES SHALL NOT HAVE VENT HOLES.
 - MANHOLES WITH DEPTH (H) 10' OR GREATER SHALL BE FIVE (5) FEET IN DIAMETER.
 - MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
 - SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON DRAWING **SP-16**.

MANHOLE (TYPE B)
(H > 5'-0\"/>

7



No.	Revision	Date
1.	SITE PLAN APPROVAL SUBMISSION	01/21/2022
2.	RESPONSE TO TOWN COMMENTS	04/26/2022
3.	APPROVAL RESOLUTION SUBMISSION	09/19/2022
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5.	SUBMISSION TO BUILDING DEPARTMENT FOR DEMAL LETTER	06/17/2023

APPLICANT: **URSTADT BIDDLE PROPERTIES**
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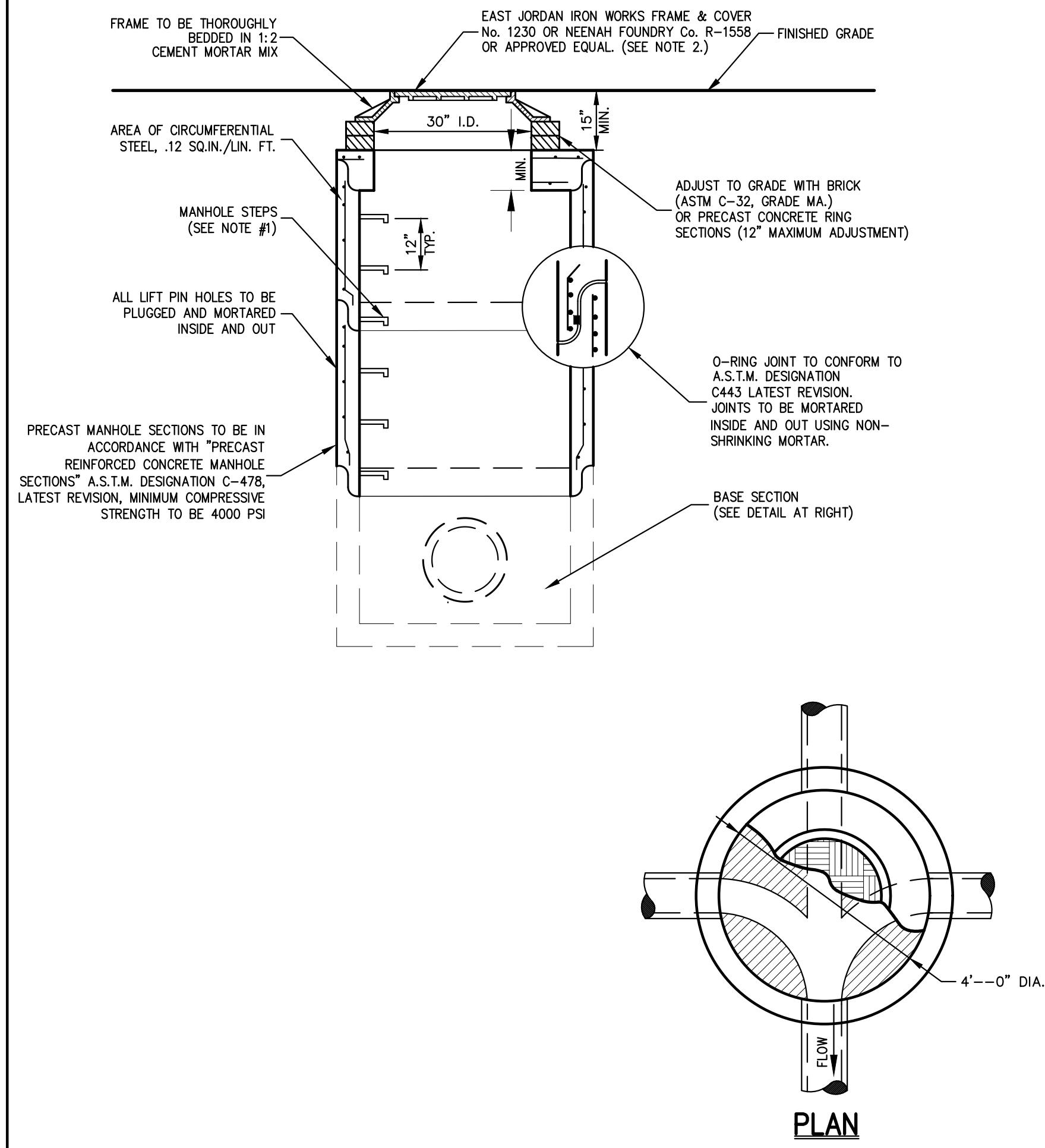
CONSTRUCTION DETAILS
ORANGETOWN SHOPPING CENTER
1 ORANGETOWN ROAD
ORANGETOWN, NY 10962

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Drawn: JJ	Approved: RA
Scale: NOT TO SCALE	
Date: 8/30/2021	
Project No: 15210	
100% DETAILS: SP-16	
Drawing No:	

SP-16

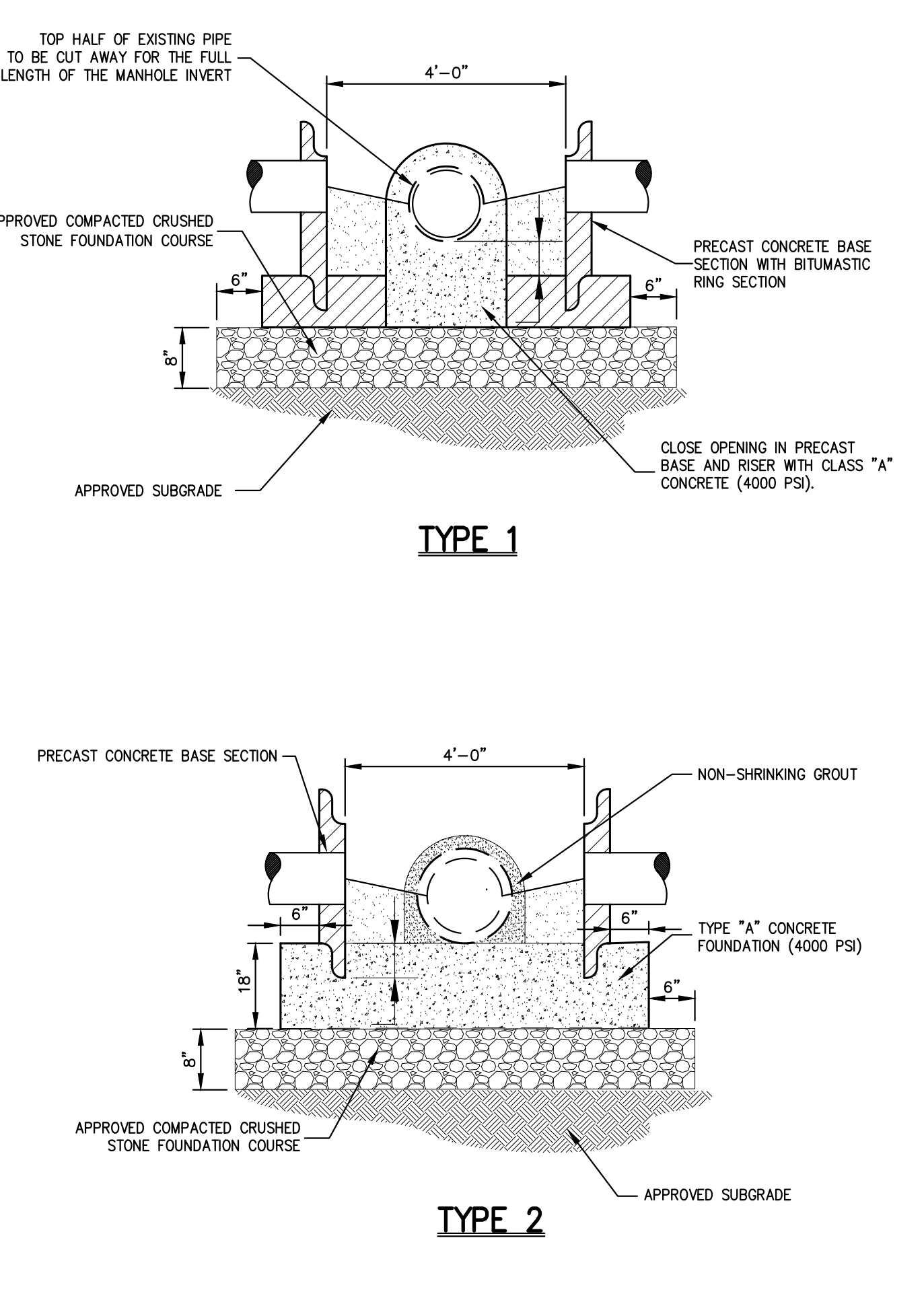
NOT FOR CONSTRUCTION



- NOTES:**
- MANHOLE STEPS SHALL BE CAST IRON NENAH No. R-1981-0 OR CAMPBELL FOUNDRY No. 2588-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
 - UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE LETTERS "S" AND "DRAIN" AND STORM DRAIN MANHOLES SHALL HAVE LETTERS "DRAIN" CAST ON COVER. THE COVERS FOR SANITARY SEWER LINES SHALL NOT HAVE HOLES.
 - MANHOLES WITH DEPTH (H) 10' OR GREATER SHALL BE FIVE (5) FEET IN DIAMETER.
 - MANHOLES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS.
 - SEE "NOTES PERTAINING TO MANHOLES" UNDER "UTILITY NOTES" ON DRAWING **SP-16**

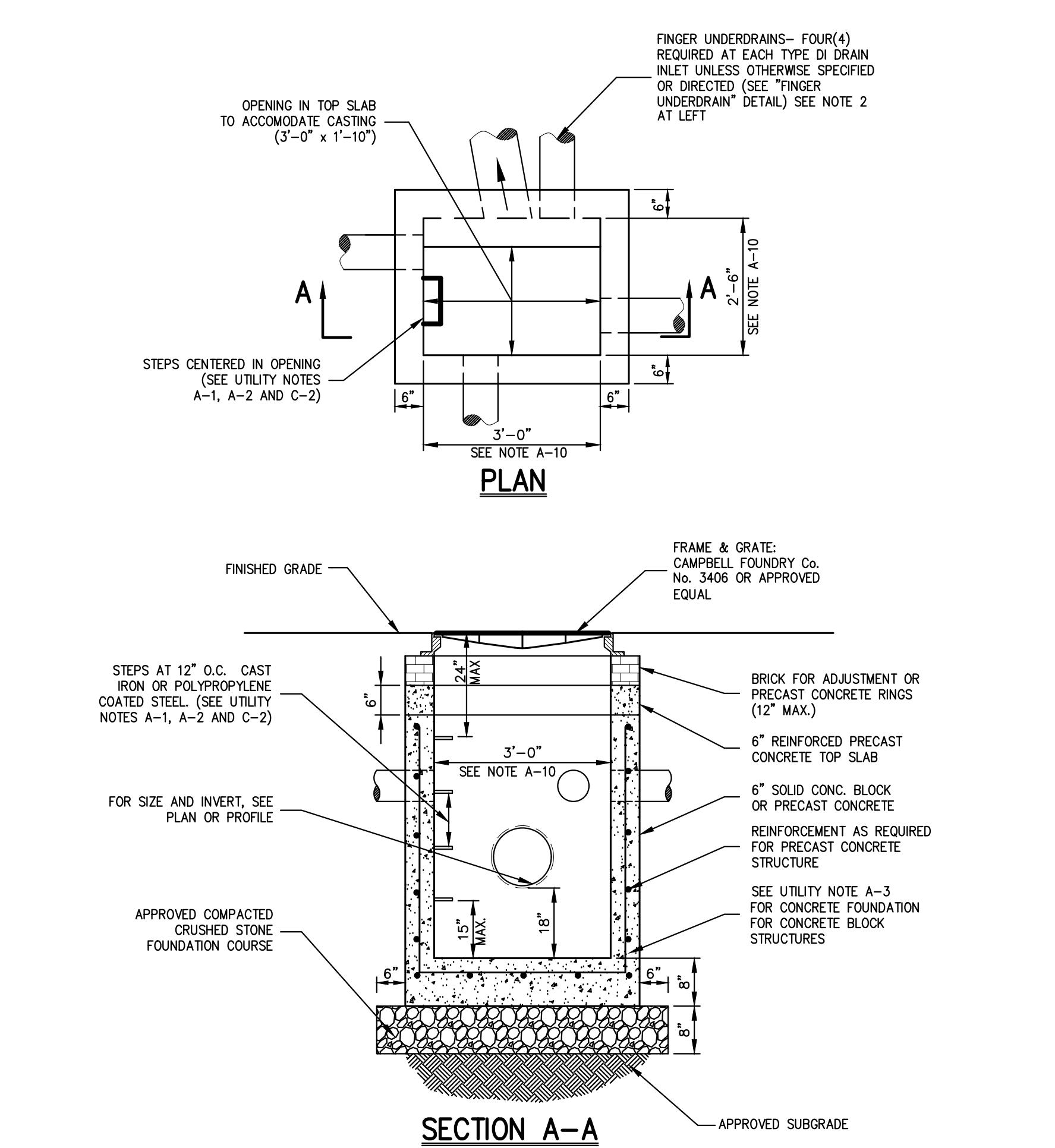
DOGHOUSE MANHOLE

8



DRAIN INLET (TYPE CI)
(with sump-with finger underdrains)

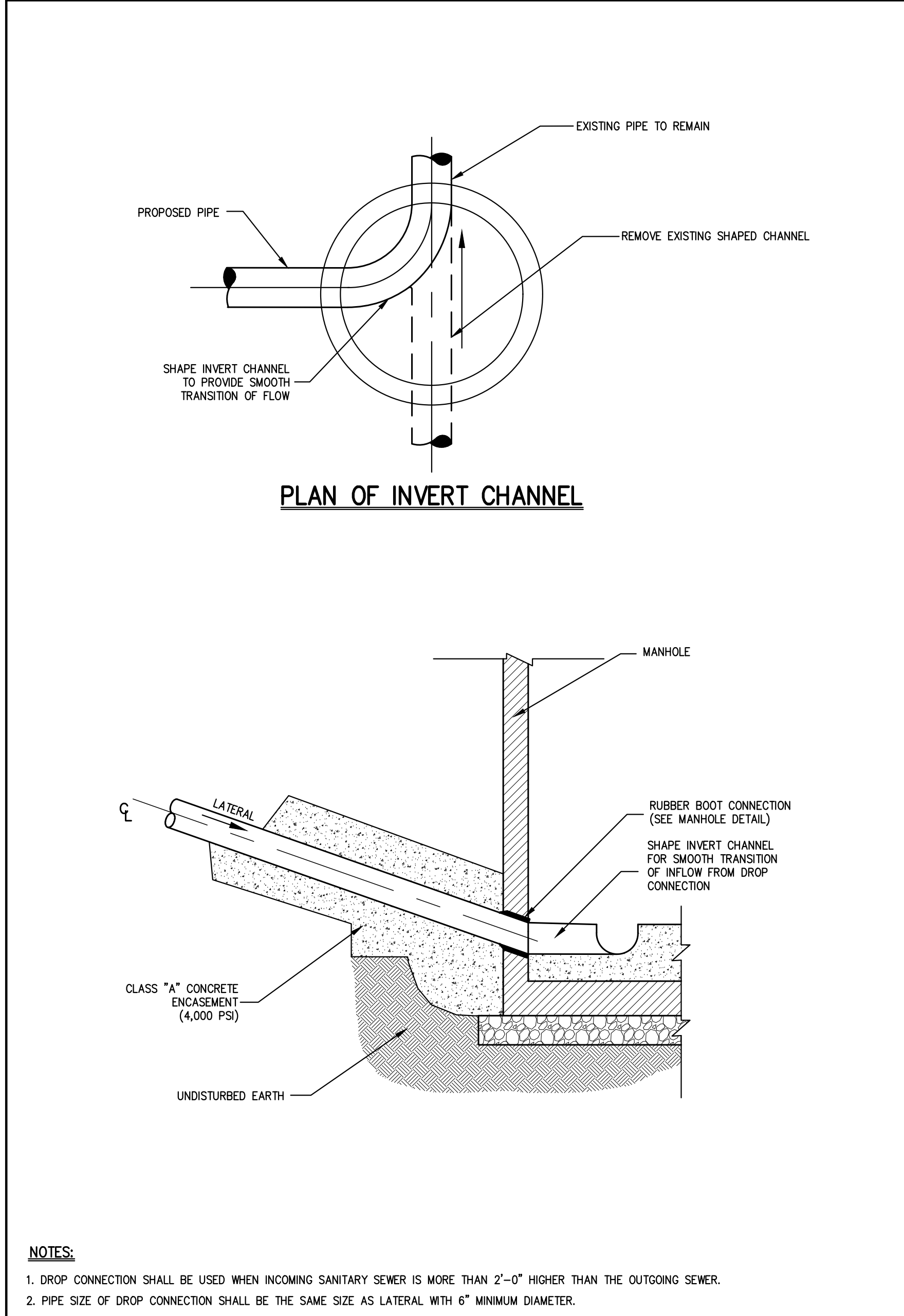
9



- NOTE:**
- LOCATIONS OF FINGER UNDERDRAINS MAY VARY FROM THAT AS SHOWN DEPENDING UPON NUMBER AND SIZE OF STORM DRAIN LINES ENTERING AND EXITING THE STRUCTURE.
 - SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES ON DRAWING **SP-18**

DRAIN INLET (TYPE DI)
(with sump-with finger underdrains)

10



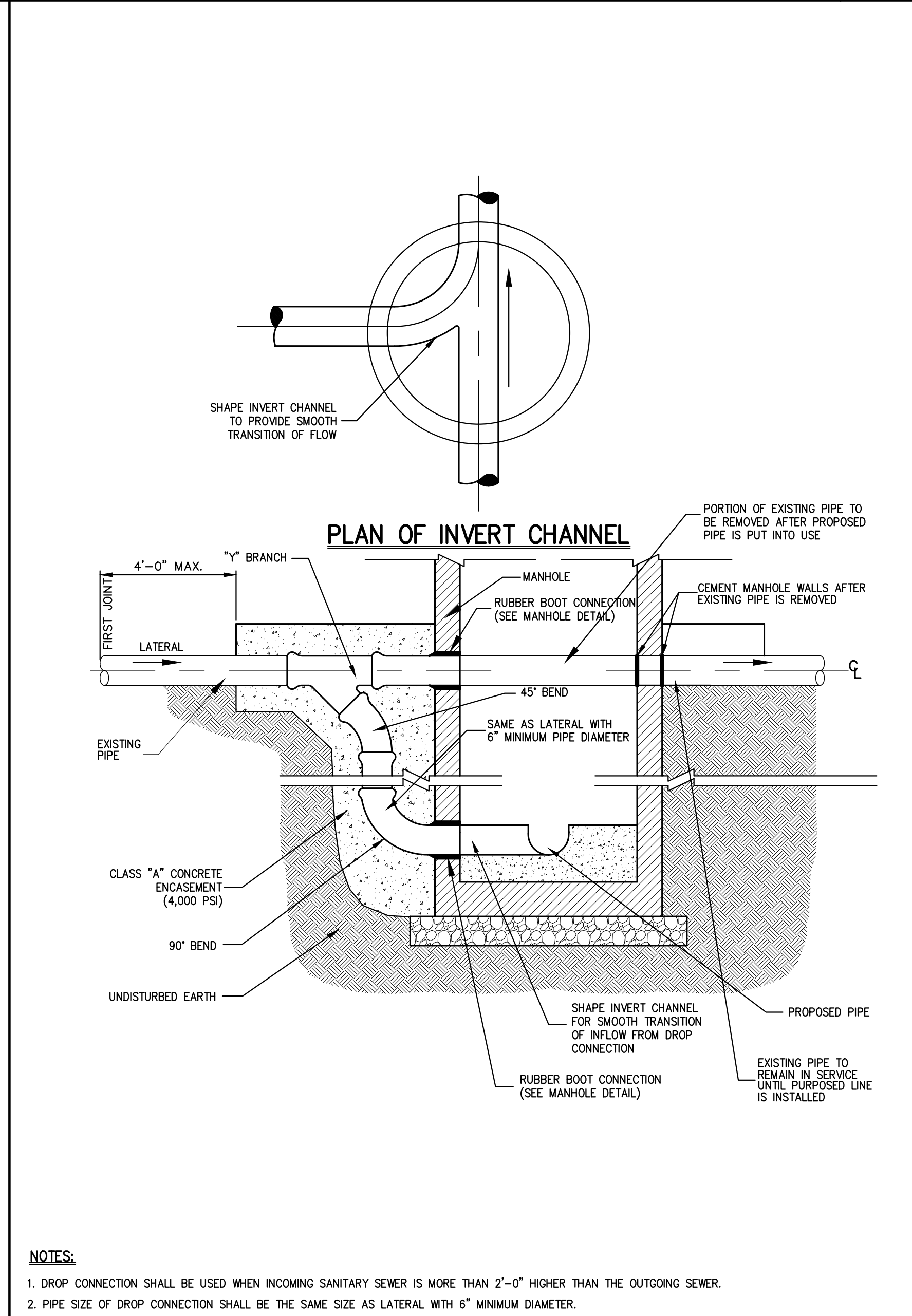
CONNECTION AT EXISTING MANHOLE
(SANITARY SEWER)

11

- NOTES PERTAINING TO DRAIN INLETS**
- STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTHS FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
 - WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
 - FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A" (4000 PSI) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE OF THE STRUCTURE.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
 - ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL TO SIK-A-SET AS MANUFACTURED BY THE SIK-A CHEMICAL CORP.
 - FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
 - ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
 - PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
 - FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
 - FOR ALL STRUCTURES GREATER THAN TEN FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.
- NOTES PERTAINING TO MANHOLES**
- PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478. MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.
 - FOR PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.
 - FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.
 - TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
 - INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.
 - NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.
- NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES**
- ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
 - STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.

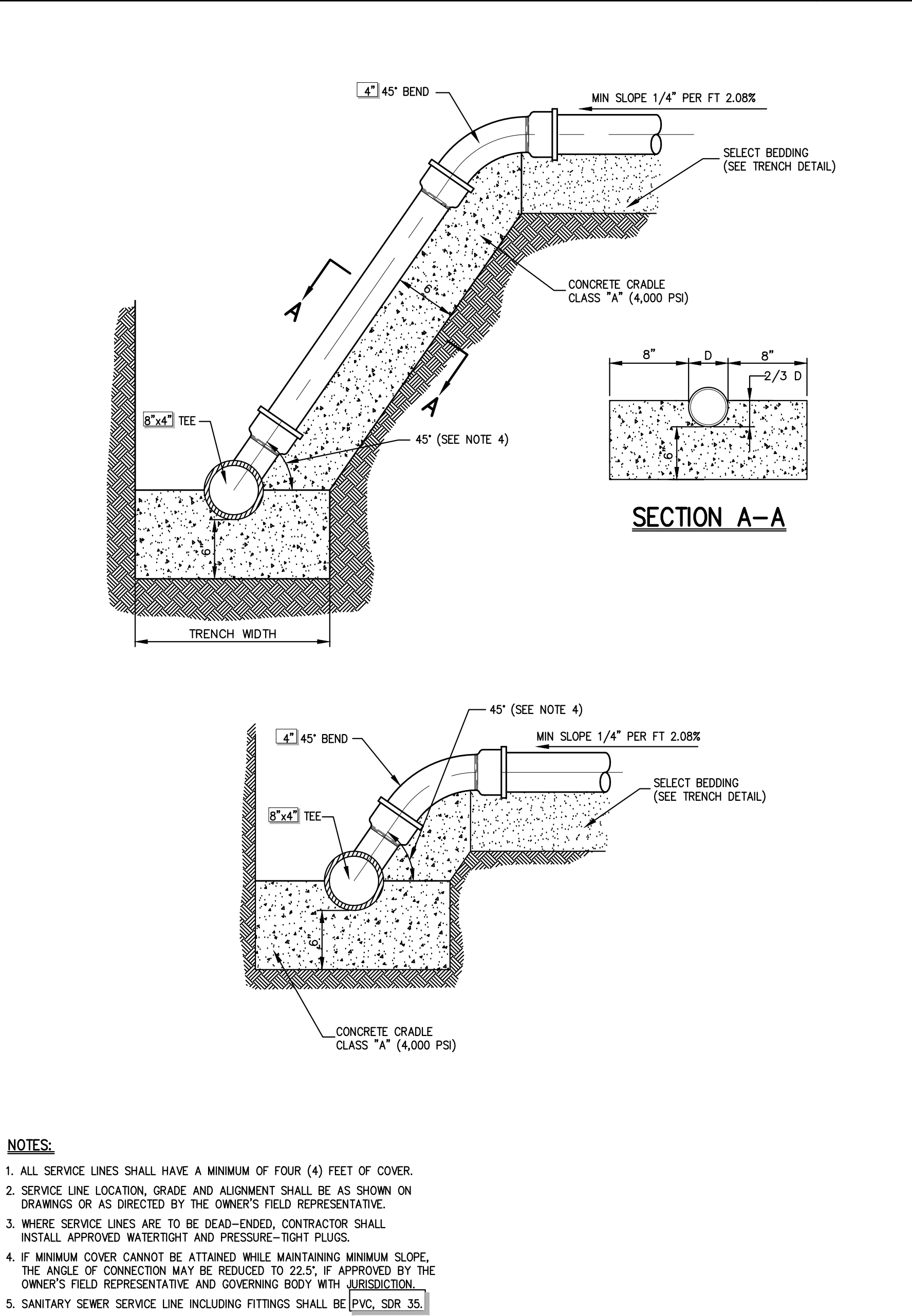
UTILITY NOTES

12



DROP CONNECTION MH A-4
(EXISTING SEWER PIPE)

13



SANITARY SEWER SERVICE CONNECTION

14

- NOTES:**
- DROP CONNECTION SHALL BE USED WHEN INCOMING SANITARY SEWER IS MORE THAN 2'-0" HIGHER THAN THE OUTGOING SEWER.
 - PIPE SIZE OF DROP CONNECTION SHALL BE THE SAME SIZE AS LATERAL WITH 6" MINIMUM DIAMETER.

- NOTES:**
- DROP CONNECTION SHALL BE USED WHEN INCOMING SANITARY SEWER IS MORE THAN 2'-0" HIGHER THAN THE OUTGOING SEWER.
 - PIPE SIZE OF DROP CONNECTION SHALL BE THE SAME SIZE AS LATERAL WITH 6" MINIMUM DIAMETER.

- NOTES:**
- ALL SERVICE LINES SHALL HAVE A MINIMUM OF FOUR (4) FEET OF COVER.
 - SERVICE LINE LOCATION, GRADE AND ALIGNMENT SHALL BE AS SHOWN ON DRAWINGS OR AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.
 - WHERE SERVICE LINES ARE TO BE DEAD-ENDED, CONTRACTOR SHALL INSTALL APPROVED WATERTIGHT AND PRESSURE-TIGHT PLUGS.
 - IF MINIMUM COVER CANNOT BE ATTAINED WHILE MAINTAINING MINIMUM SLOPE, THE ANGLE OF CONNECTION MAY BE REDUCED TO 22.5°, IF APPROVED BY THE OWNER'S FIELD REPRESENTATIVE AND GOVERNING BODY WITH JURISDICTION.
 - SANITARY SEWER SERVICE LINE INCLUDING FITTINGS SHALL BE PVC, SDR 35.

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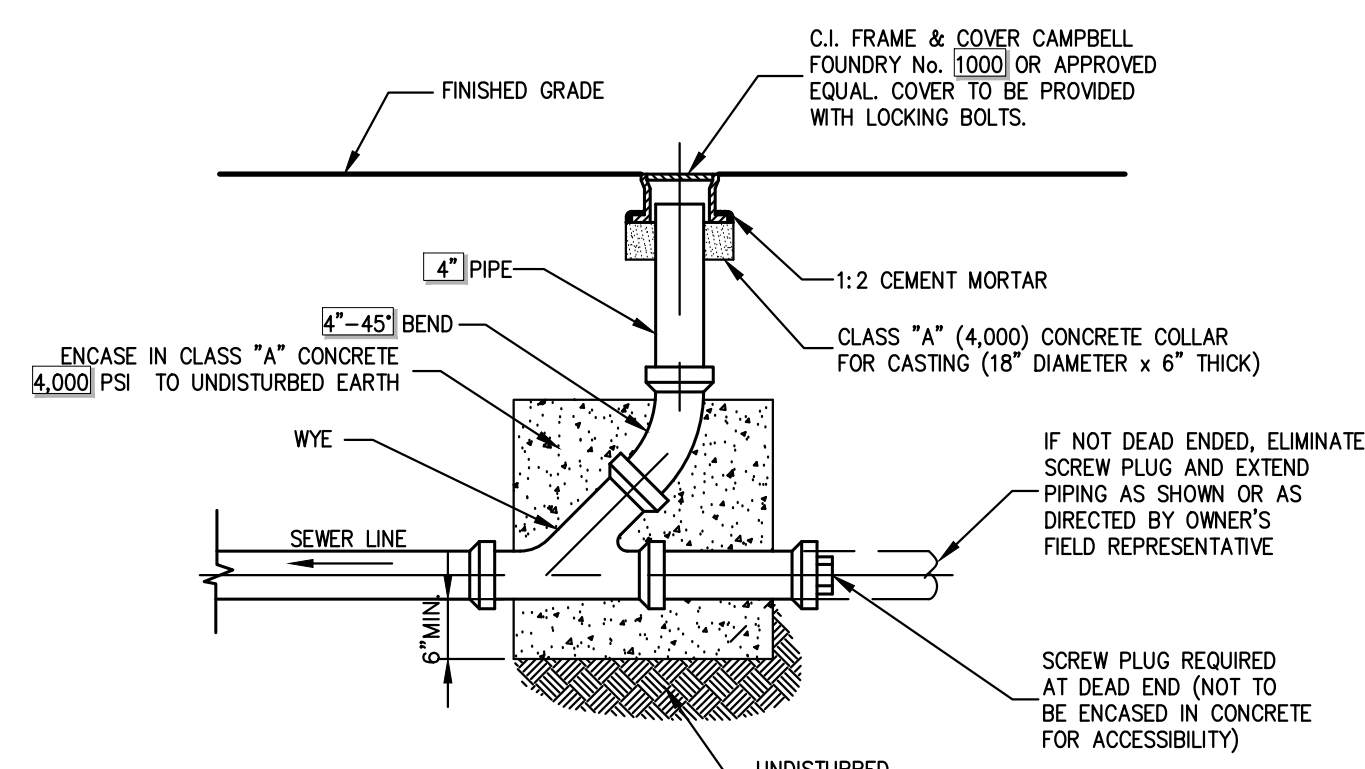
JMC

CONSTRUCTION DETAILS
ORANGETOWN SHOPPING CENTER
1 ORANGEBURG ROAD
ORANGETOWN, NY 10962

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Scale: NOT TO SCALE
Date: 8/30/2021
Project No: 15210
TOWN-DETS: SP-17
Drawing No: SP-17

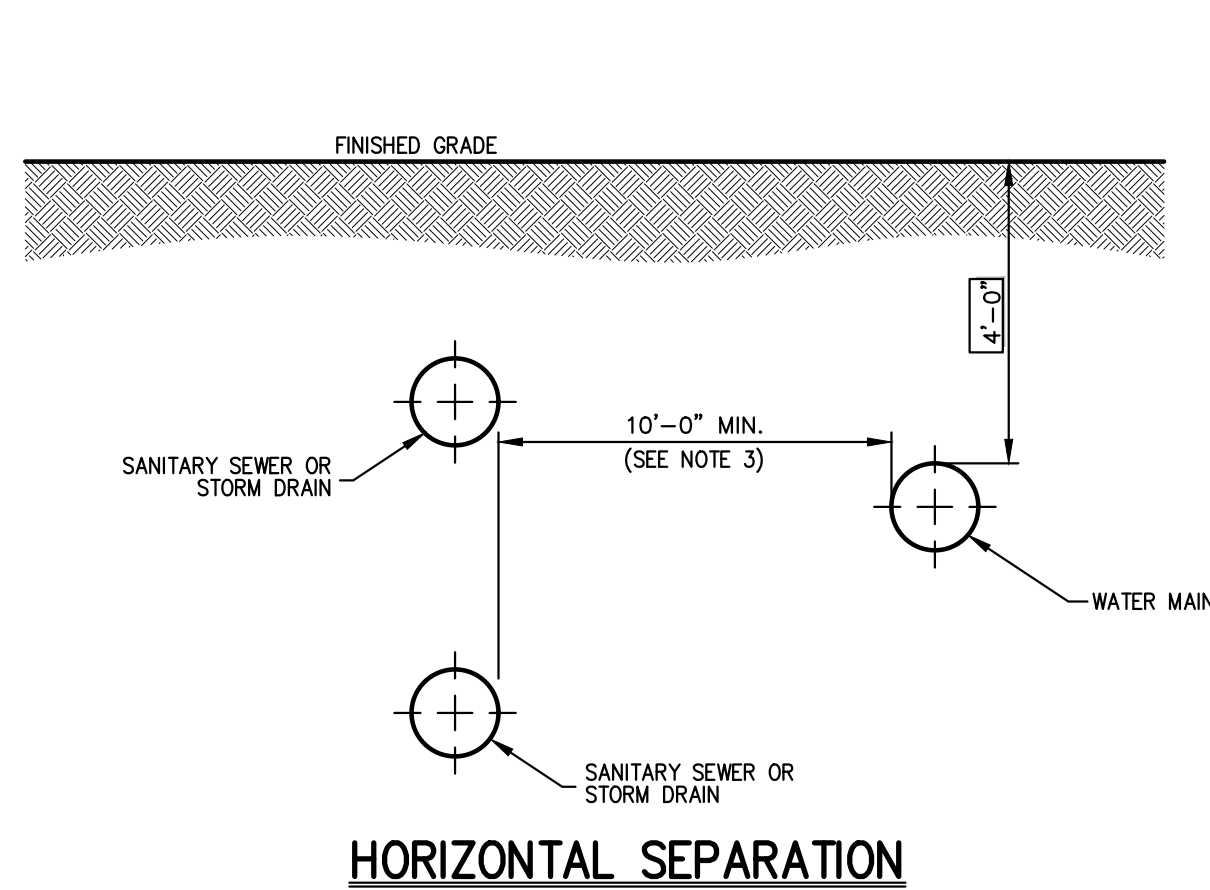
SP-17



- NOTES:**
1. ALL PIPE MATERIAL FOR CLEANOUT TO BE POLYVINYL CHLORIDE PIPE
 2. FOR INVERT OF SEWER LINE SEE PLAN.

CLEANOUT W/O MANHOLE

15

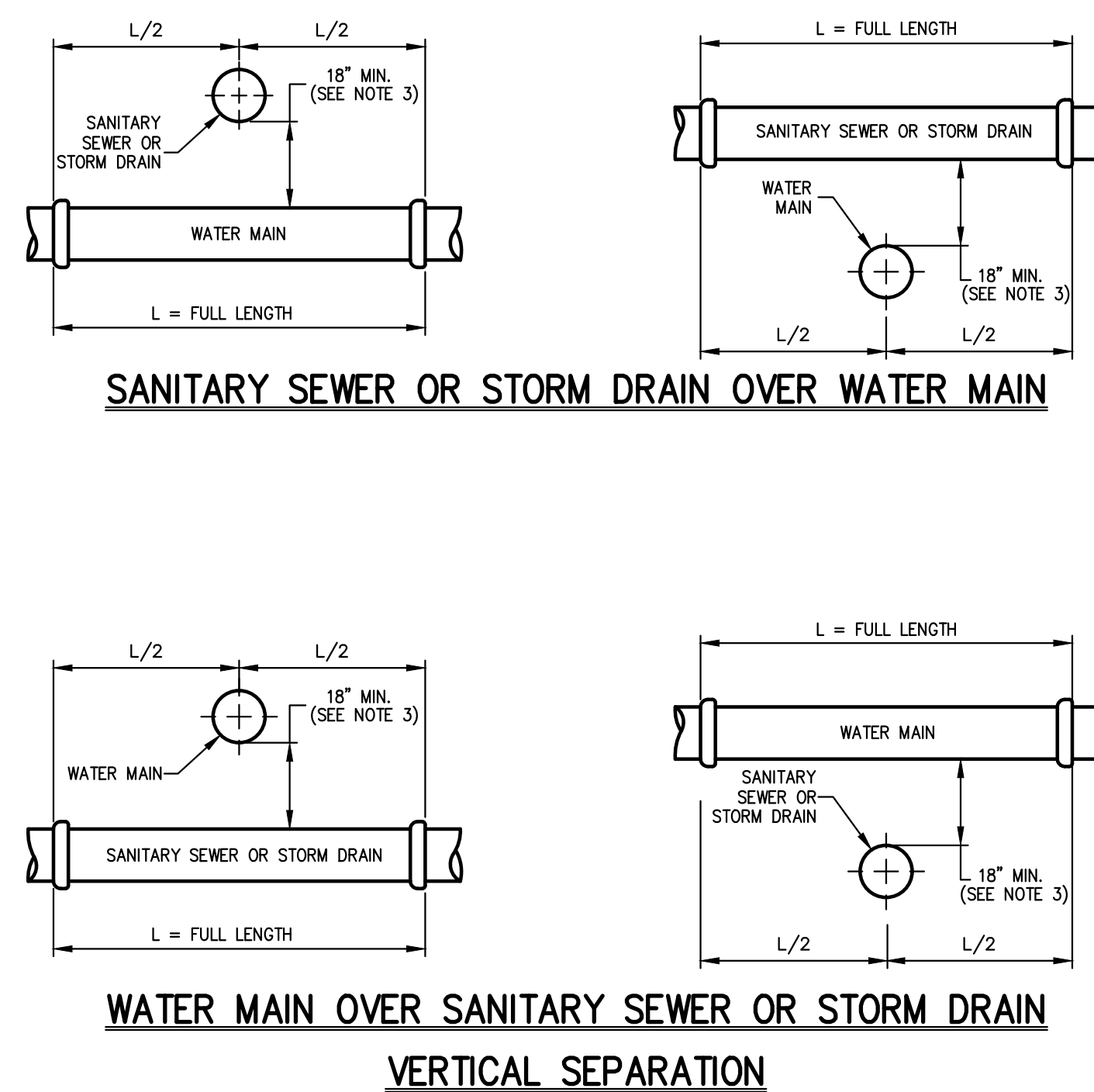


HORIZONTAL SEPARATION

- NOTES:**
1. NORMAL CONDITIONS:
 - A. WHENEVER A WATER MAIN MUST CROSS OVER OR UNDER A SANITARY SEWER OR STORM DRAIN, THE PIPES SHALL BE Laid TO PROVIDE A VERTICAL SEPARATION BETWEEN THEM OF AT LEAST 18 INCHES, AS MEASURED FROM THE BOTTOM OF THE HIGHER PIPE TO THE CROWN OF THE LOWER PIPE.
 - B. FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
 2. WATER MAIN CROSSING UNDER SANITARY SEWERS:
 - A. VERTICAL SEPARATION OF 18 INCHES MUST BE PROVIDED.
 - B. ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SANITARY SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.
 - C. FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
 3. IF DURING CONSTRUCTION IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAINS, SANITARY SEWERS, STORM SEWERS AND BUILDING SANITARY SEWERS CANNOT BE MET, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL IN WRITING ADVISE JMC, PLLC OF THE SPECIFIC CONDITIONS ENCOUNTERED. APPROVAL OF ALTERNATIVE SEPARATION CRITERIA SHALL BE OBTAINED FROM THE [] PRIOR TO INSTALLATION.

SEPARATION OF WATER AND SANITARY SEWER/STORM DRAIN LINES

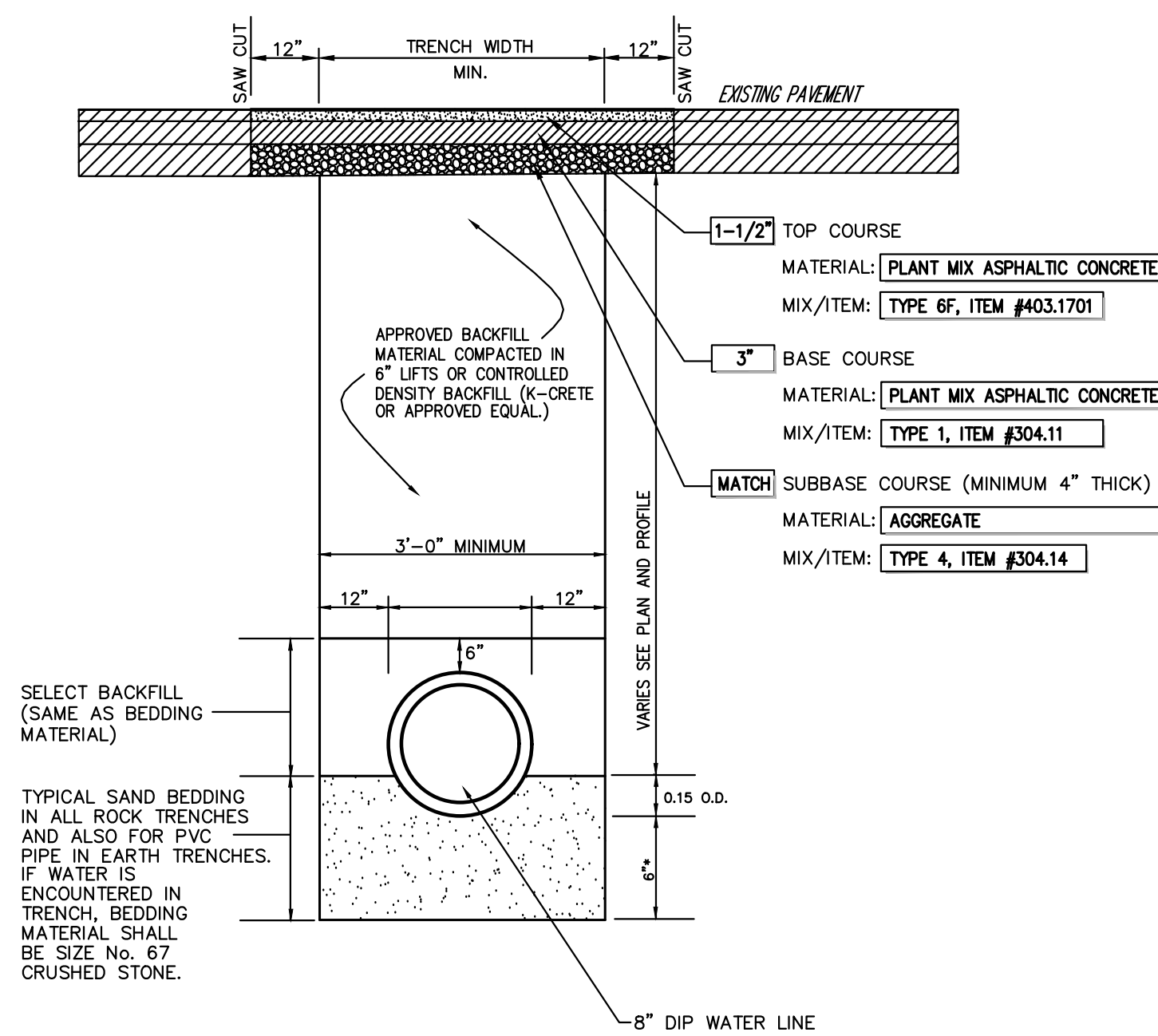
16



SANITARY SEWER OR STORM DRAIN OVER WATER MAIN

WATER MAIN OVER SANITARY SEWER OR STORM DRAIN

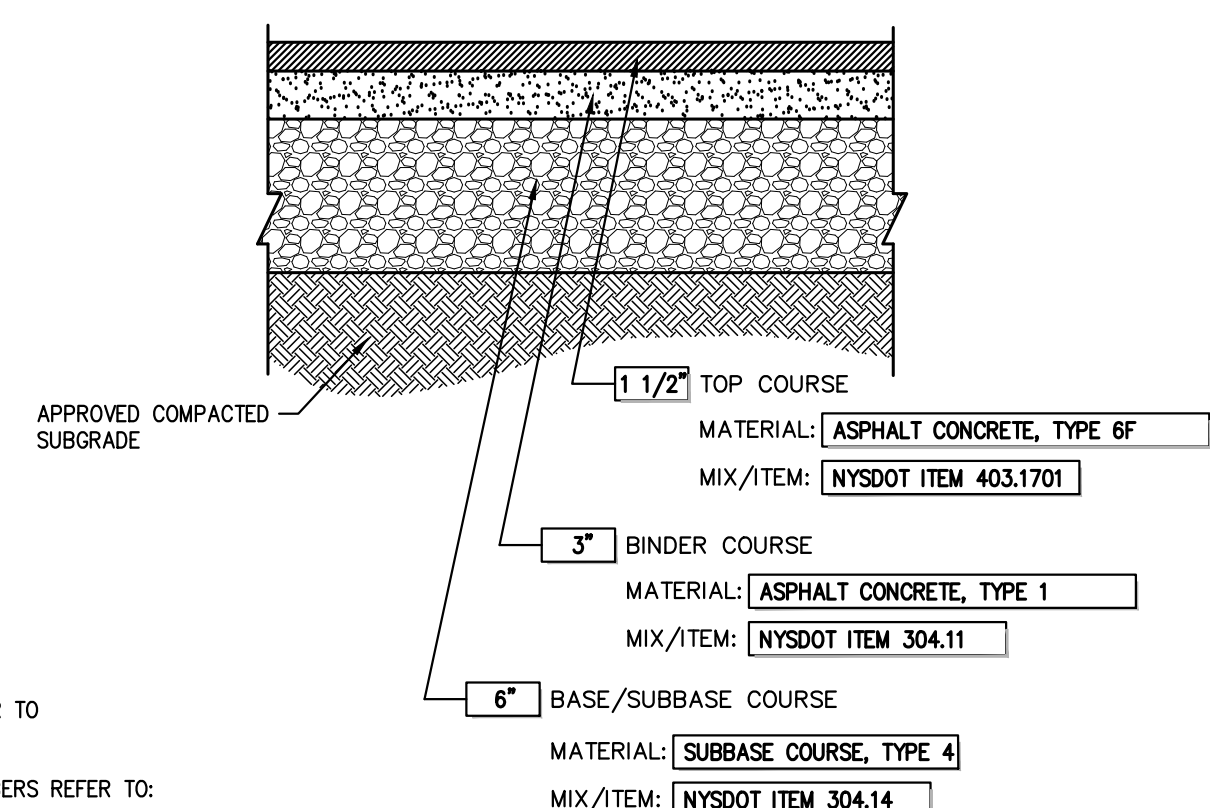
VERTICAL SEPARATION



- NOTES:**
1. THICKNESS INDICATED REFERS TO COMPACTED MEASURE.

TRENCH PAVEMENT REPLACEMENT

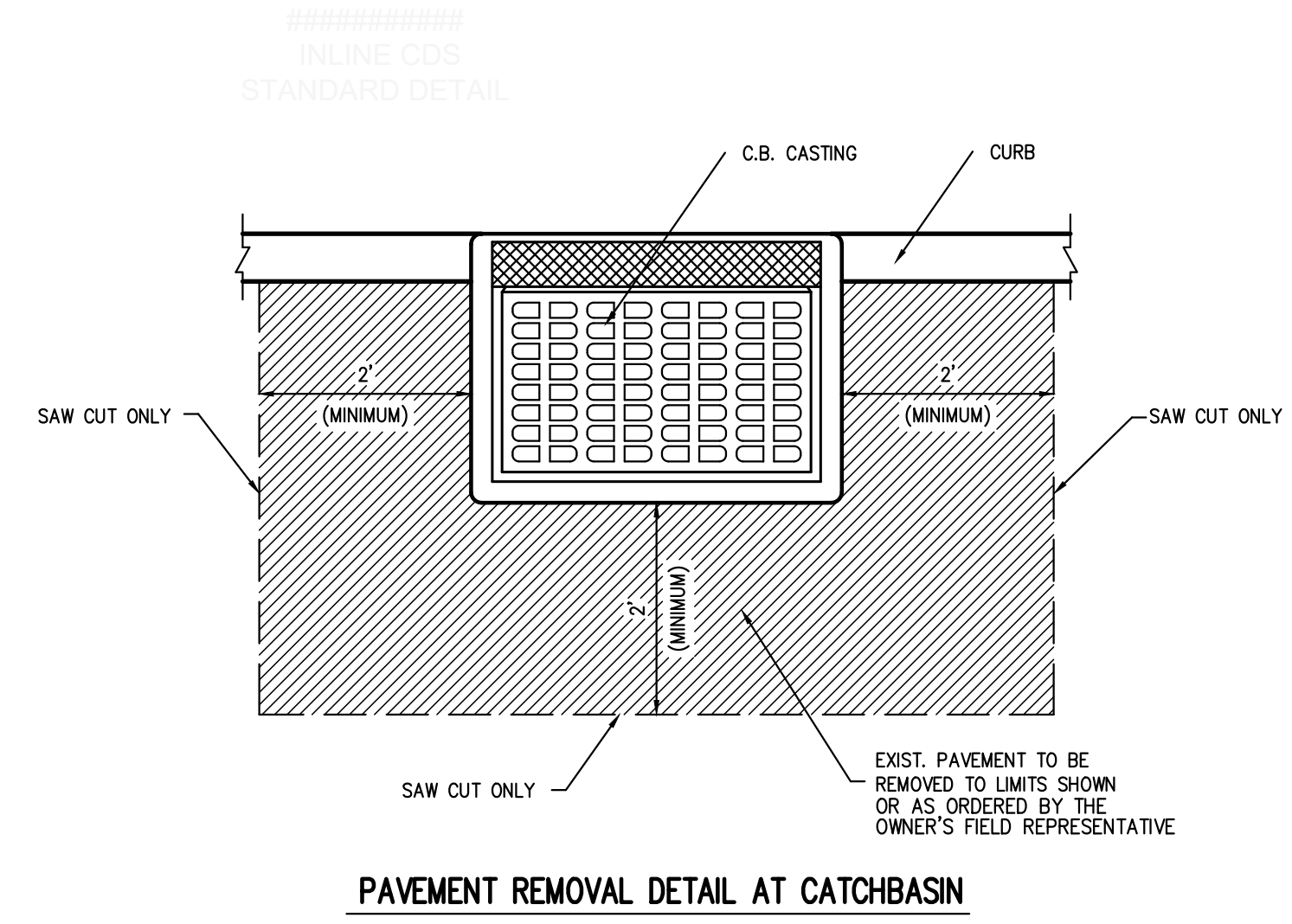
17



- NOTES:**
1. THICKNESSES INDICATED REFER TO COMPACTED MEASURE.
 2. MATERIAL AND MIX/ITEM NUMBERS REFER TO:
 - NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

SITE PAVEMENT

18

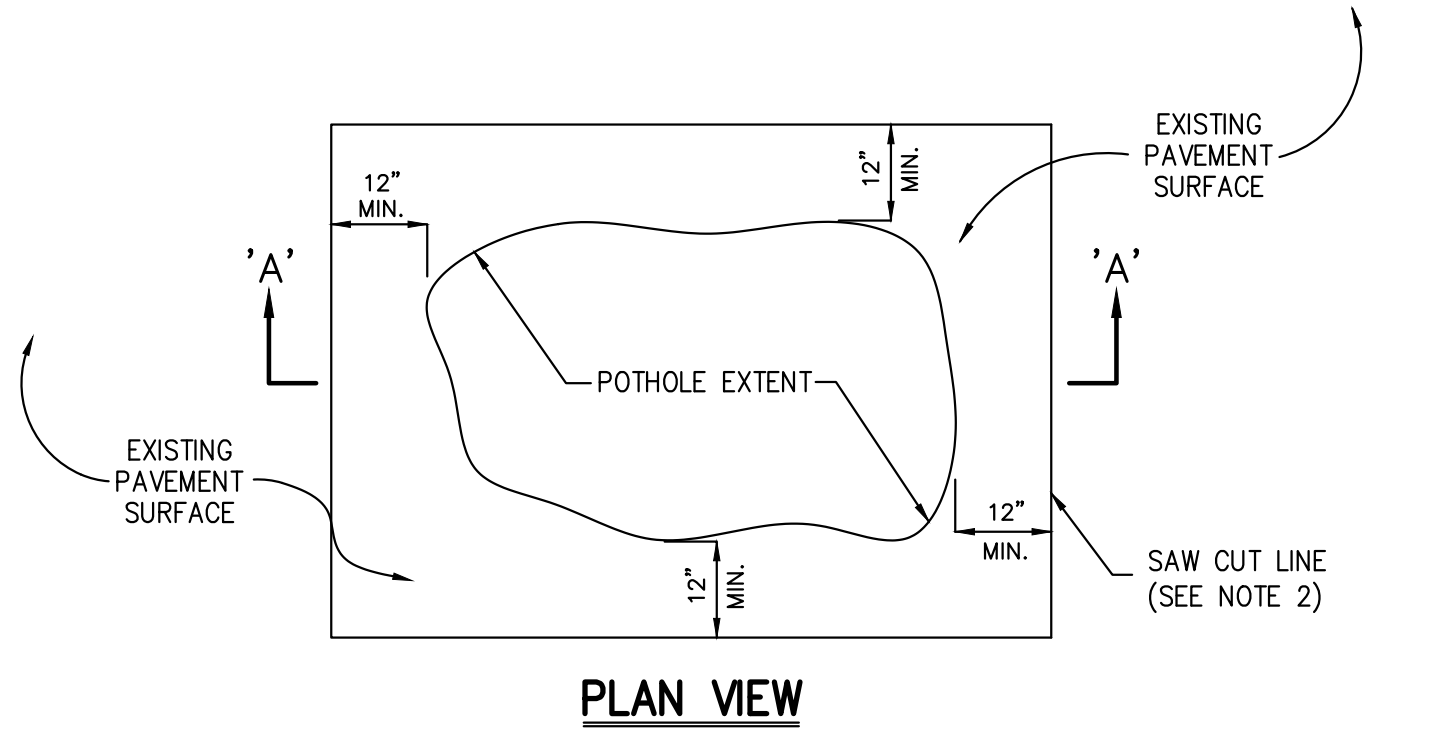


PAVEMENT REMOVAL DETAIL AT CATCHBASIN

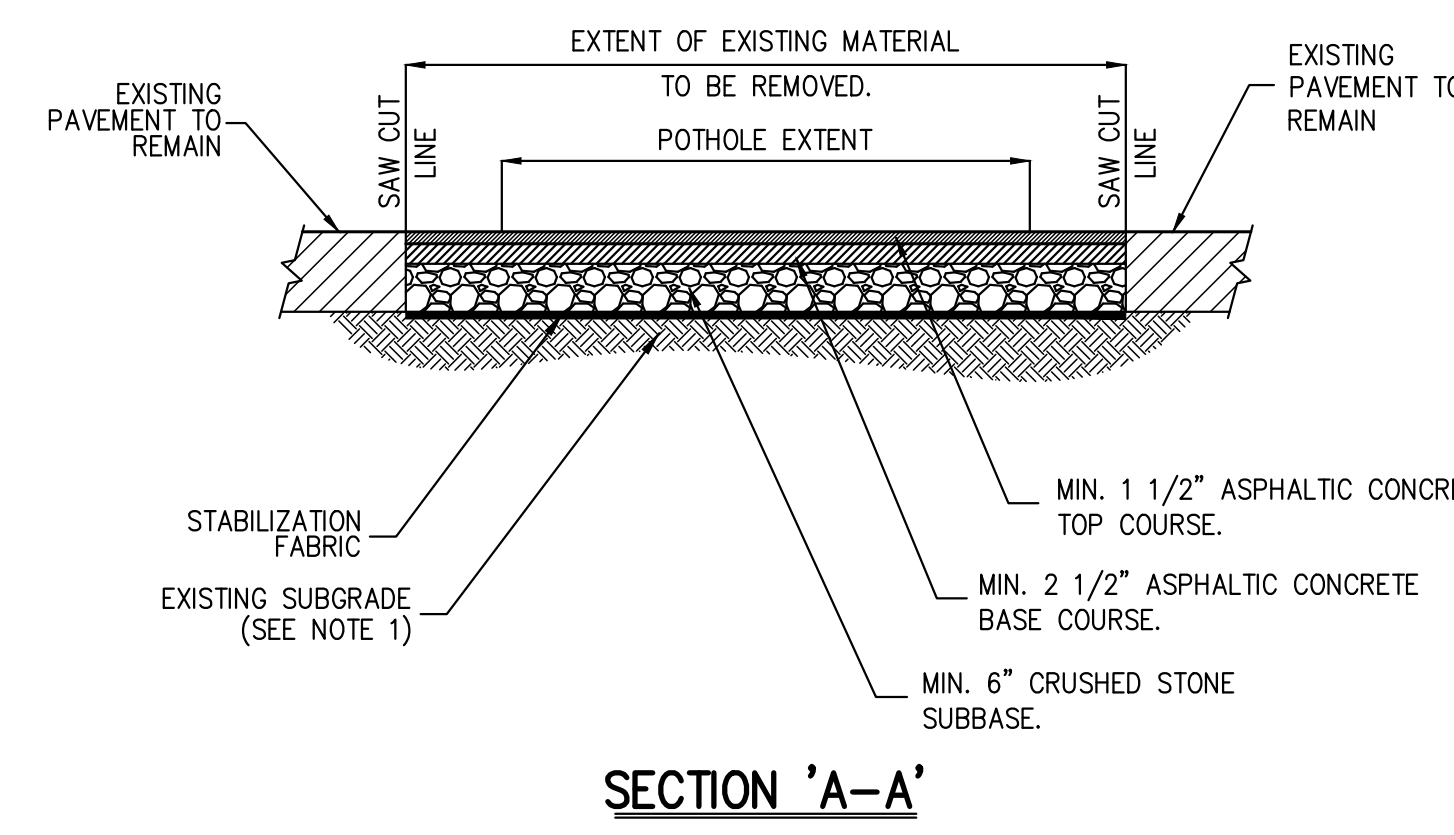
- NOTE:**
1. THE CONTRACTOR SHALL PROVIDE PAVEMENT KEYS AT ALL POINTS OF CONTACT WITH PAVEMENT NOT SLATED FOR RESURFACING AND AT ALL CATCHBASINS WITH CASTINGS THAT CANNOT BE RESET. KEYS SHALL BE SAW CUT AND PAVEMENT SHALL BE REMOVED IN ACCORDANCE WITH THE DIMENSIONS SHOWN OR AS ORDERED BY THE OWNER'S FIELD REPRESENTATIVE.

PAVEMENT KEYING

20



PLAN VIEW

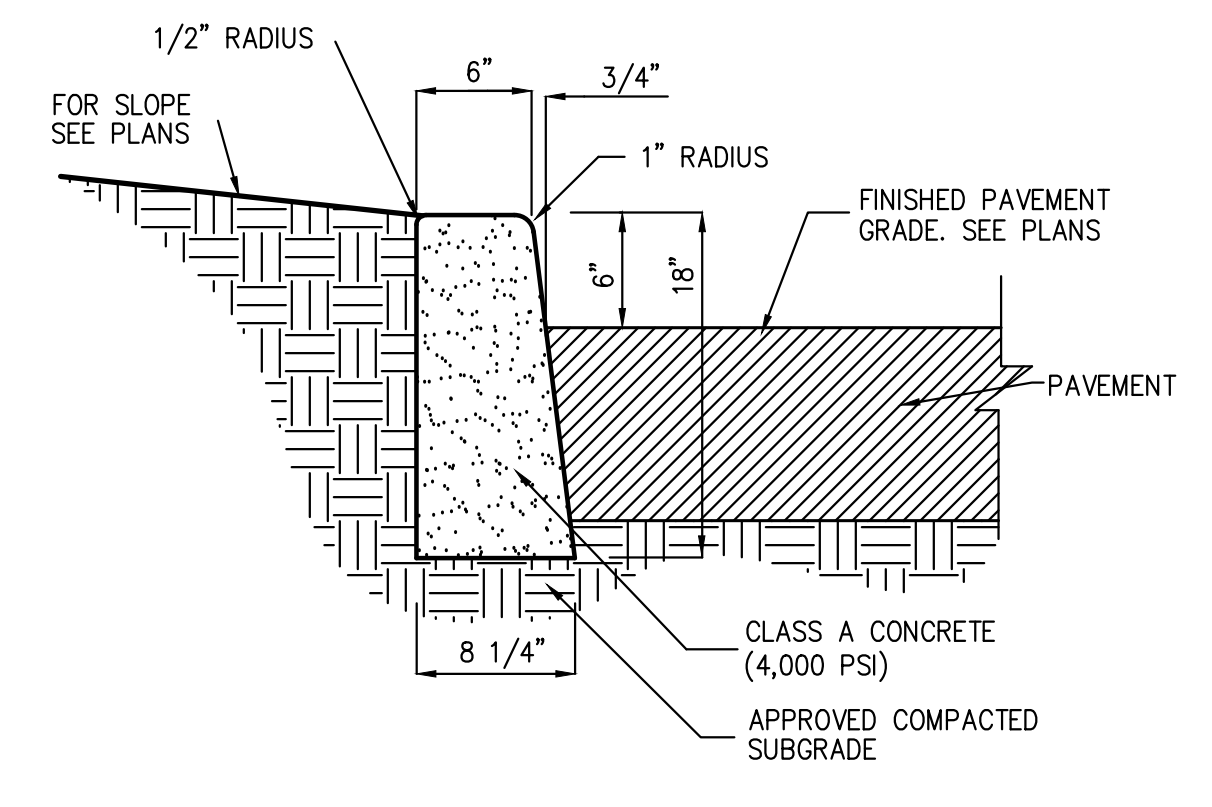


SECTION 'A-A'

- NOTES:**
1. SHOULD A PAVEMENT BASE FAILURE OCCUR AS DETERMINED BY THE ON-SITE REPRESENTATIVE, THE SUBGRADE MATERIAL SHALL BE REMOVED AND REPLACED WITH NEW COMPACTED SUBBASE AS DIRECTED BY THE []
 2. CONTRACTOR SHALL PERFORM A NEAT SAW CUT LINE AS INDICATED ABOVE.
 3. THICKNESS OF ASPHALT CONCRETE INDICATED REFER TO COMPACTED MEASURE.

POTHOLE REPAIR DETAIL

21



- NOTES:**
1. INSTALL 1/2" PREMOULDED BITUMINOUS EXPANSION JOINT EVERY 20 FEET.
 2. INSTALL CONSTRUCTION JOINTS MID-WAY BETWEEN EXPANSION JOINTS SO THAT LENGTH OF CURB SEGMENTS WILL BE TEN (10) FEET.
 3. LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARIED BUT SHALL NOT BE LESS THAN FOUR (4) FEET.
 4. WHEN INSTALLED ADJACENT TO SIDEWALK OR CONCRETE PAVEMENT, MATCH EXPANSION JOINTS.

CAST-IN-PLACE CONCRETE CURB

22

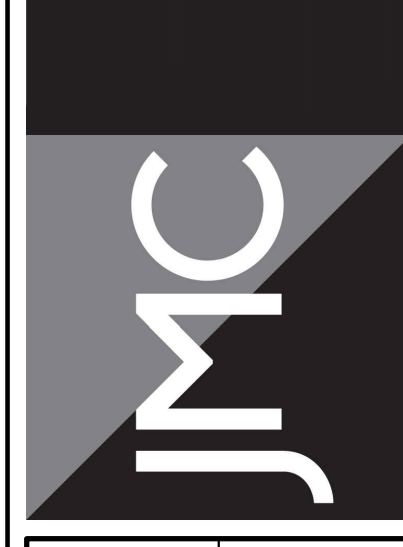
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APPLICANT: **URSTADT BIDDLE PROPERTIES**
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 GREENWICH, CT 06830

ARCHITECT: **STUDIO ARCHITECTURE - NEW YORK**
 297 KNOWLTON ROAD, SUITE 209
 WHITE PLAINS, NY 10607

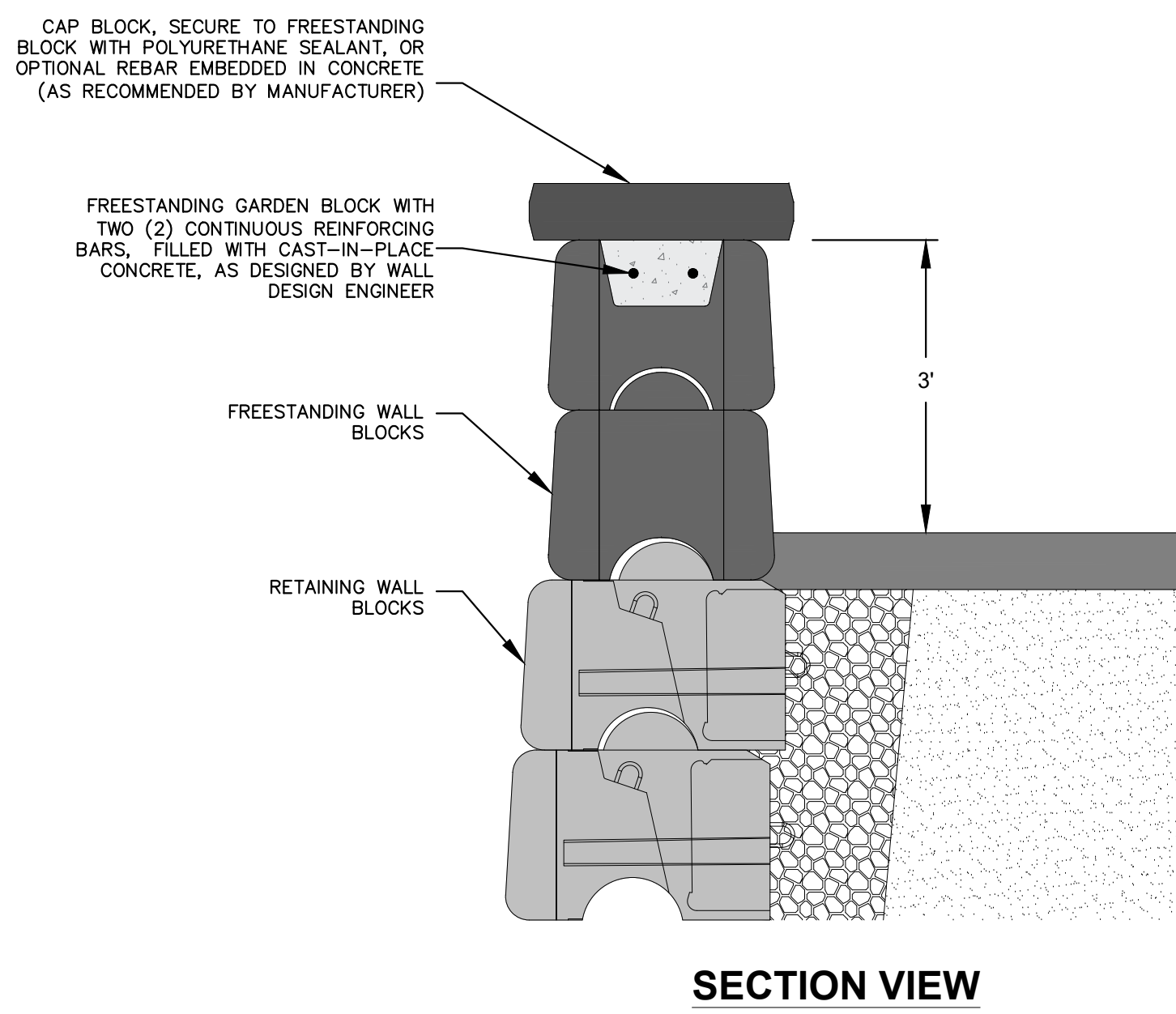
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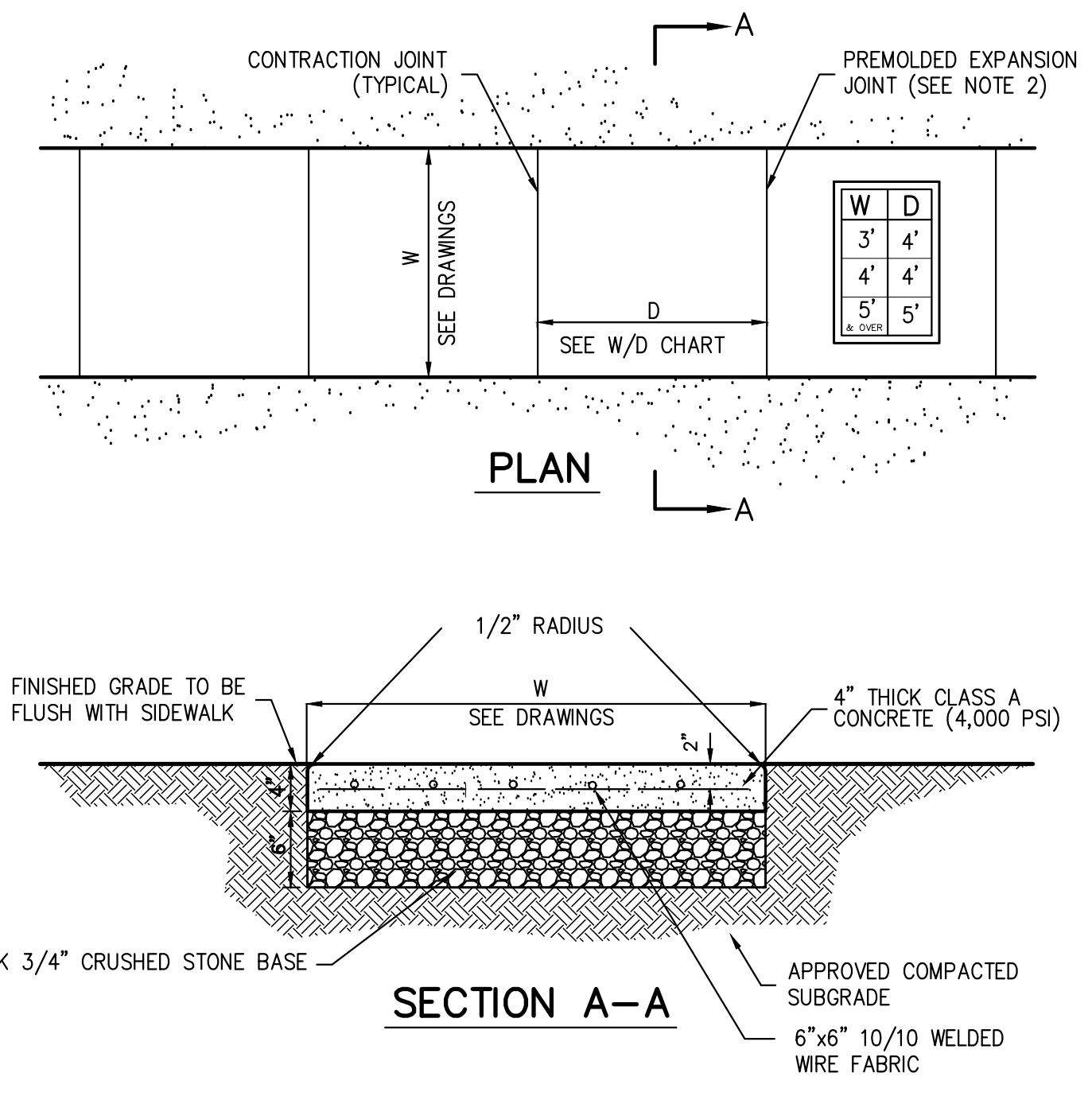
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Project No: 15210	Sheet: SP-18
Drawing No: SP-18	



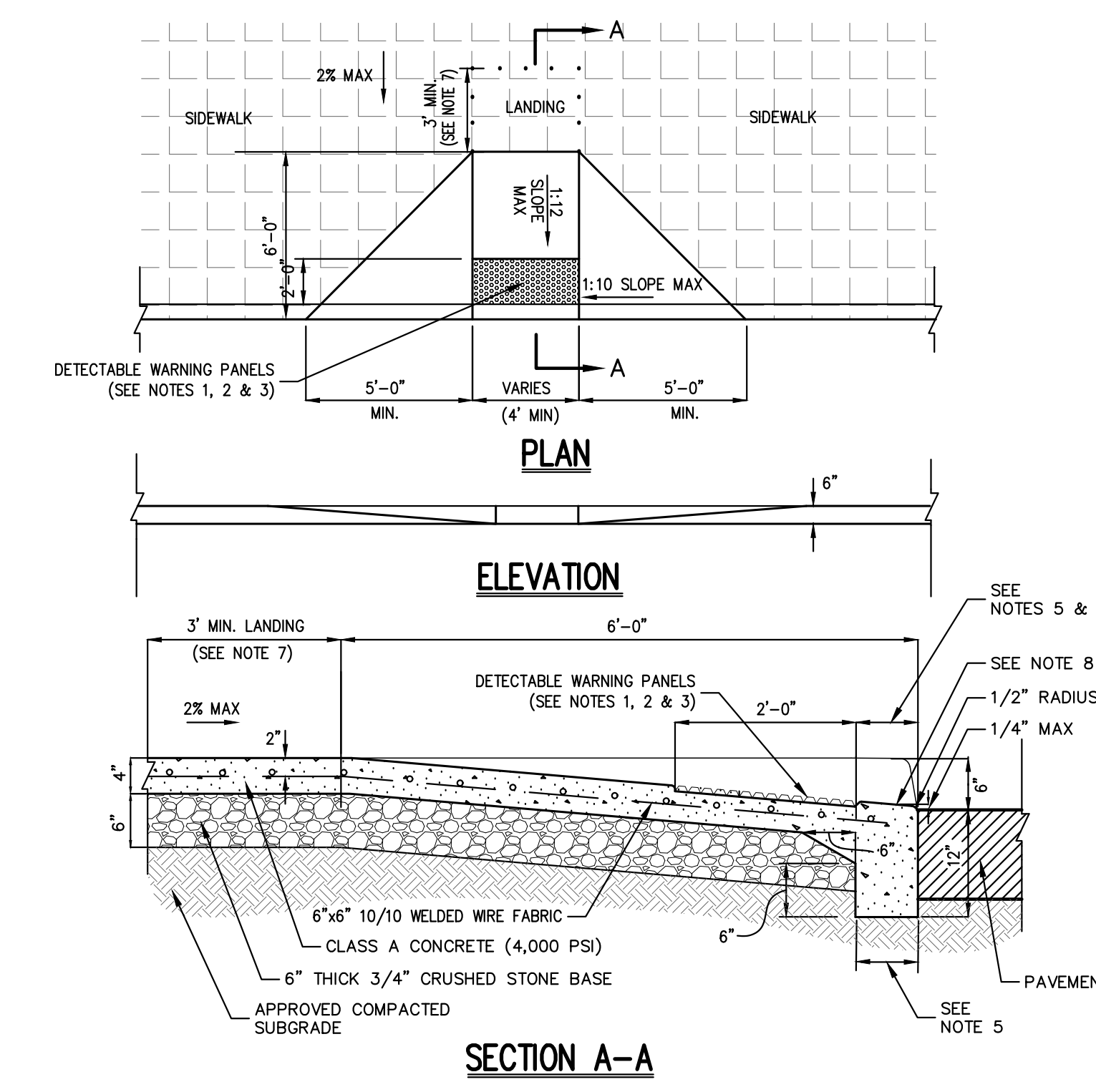
NOTES:

- PROPOSED RETAINING WALLS TO FOLLOW MANUFACTURER'S SPECIFICATIONS AND BE DESIGNED BY A PROFESSIONAL ENGINEER.



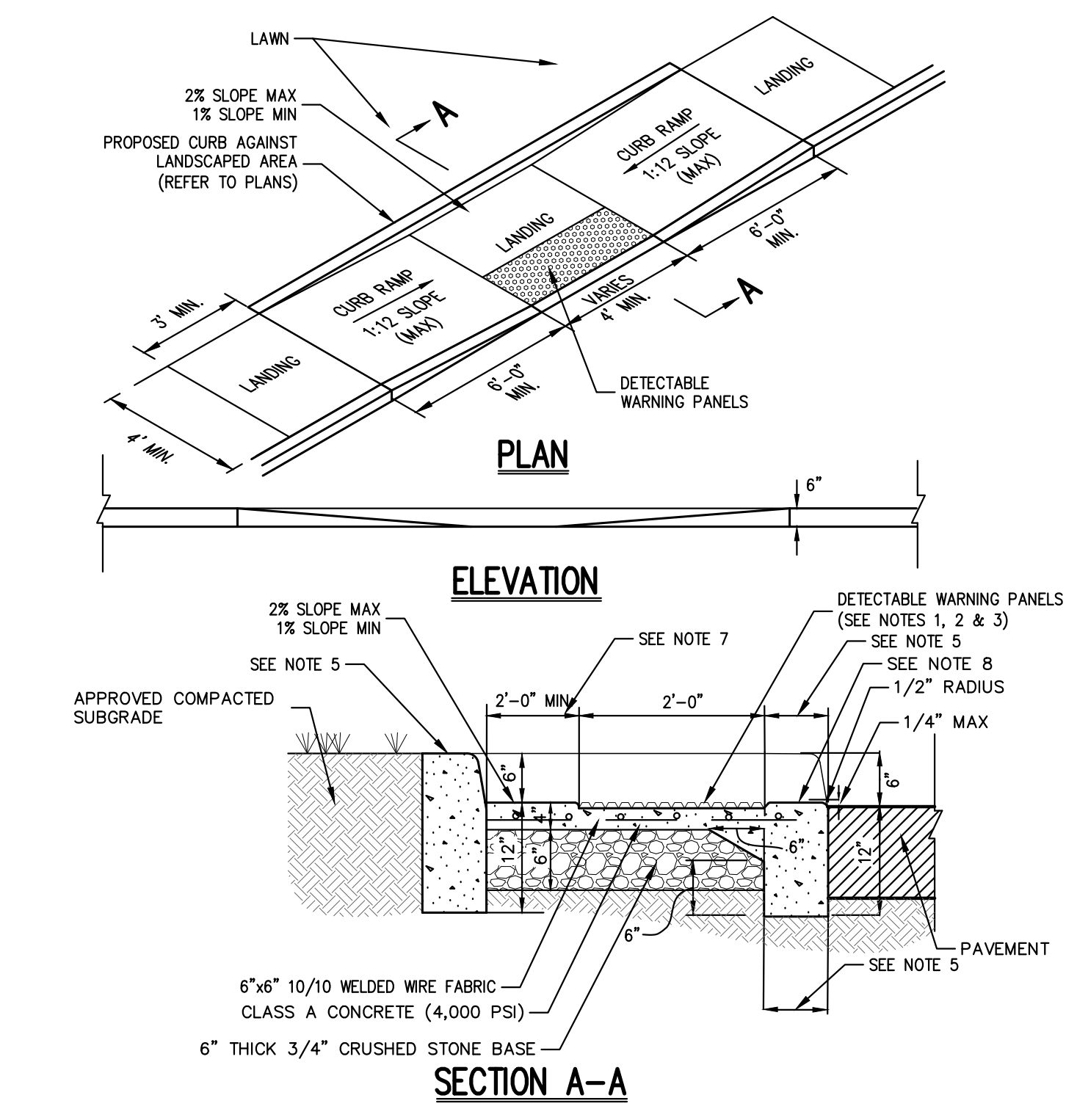
NOTES:

- SIDEWALK CROSS SLOPE SHALL BE 1% MIN. TO 2% MAX.
- PROVIDE 1/2" PREMOLDED EXPANSION JOINTS AT 20' INTERVALS UNLESS OTHERWISE DIRECTED.
- REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
- SIDEWALK SHALL HAVE LIGHT BROOM FINISH.



NOTES:

- RAMPS SHALL HAVE CAST IN PLACE DETECTABLE/TACTILE WARNING SURFACE TILES AS MANUFACTURED BY ARMOR-TILE (OR APPROVED EQUAL) AND SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES.
- DETECTABLE WARNING PANELS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT IN ACCORDANCE WITH SECTION 4.29.2, FEDERAL REGISTER, VOLUME 56, NO. 144, RULES AND REGULATIONS, APPENDIX A TO PART 36 - STANDARDS FOR ACCESSIBLE DESIGN (AMERICANS WITH DISABILITIES ACT), LATEST EDITION.
- 24" WIDTH OF PANELS TO BE INSTALLED DIRECTLY BEHIND CURB AND IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE AND SEE CURB DETAIL FOR DIMENSIONS.
- RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
- WHEN LANDING OF RAMP ADJOINS A DOORWAY THEN THE MINIMUM DOORWAY MANEUVERING AREA SHALL BE AT LEAST THE WIDTH OF THE DOORWAY AND SHALL HAVE A MINIMUM DEPTH OF:
 - MANUAL SWING DOORS = 60" MIN.
 - FULL POWERED AUTOMATIC SLIDING DOORS = 48" MIN.
- CONTRACTOR TO ENSURE TOP OF CURB MATCHES SLOPE OF RAMP.



NOTES:

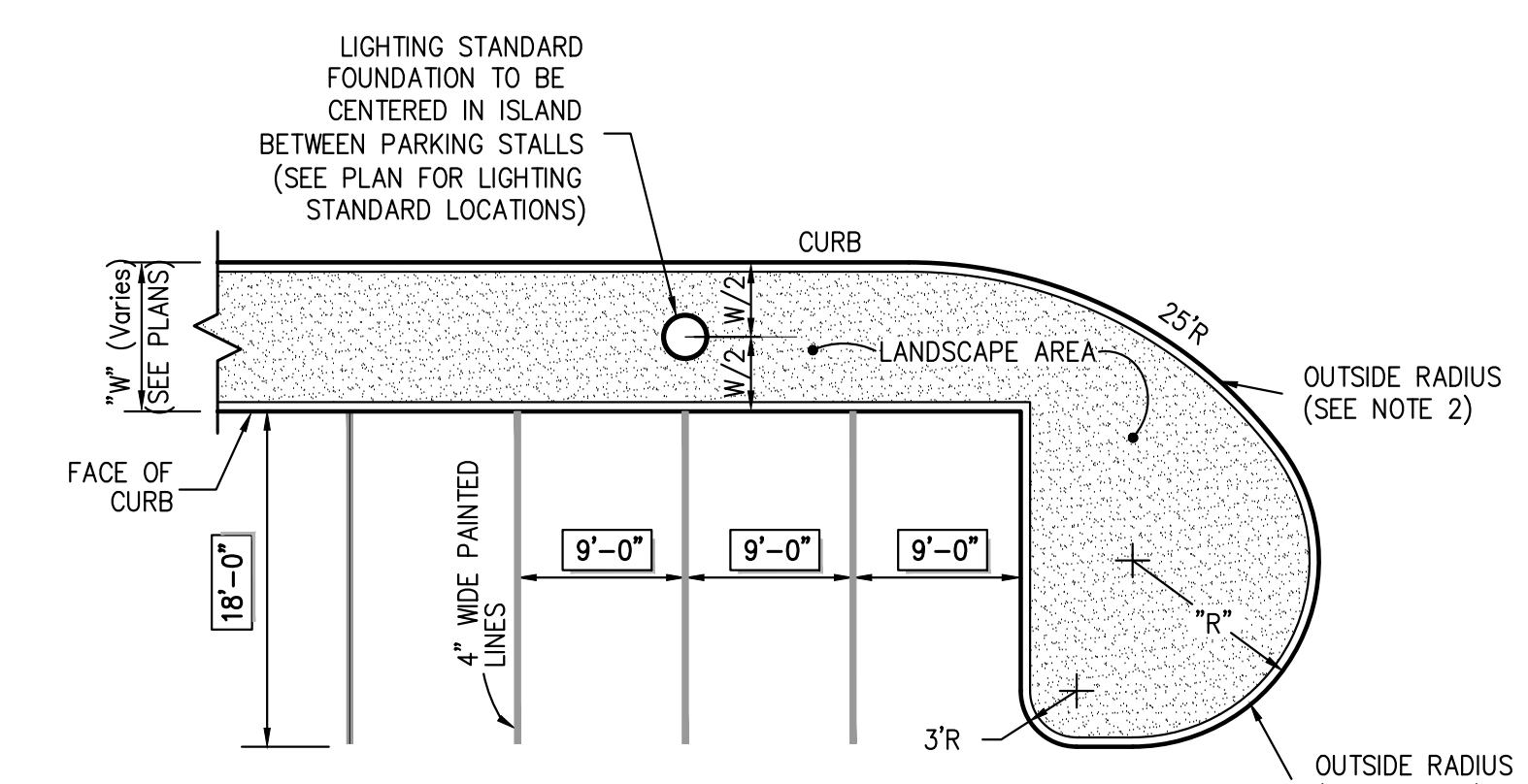
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REDI ROCK GRAVITY WALL (WALL 2) 23

CONCRETE SIDEWALK 24

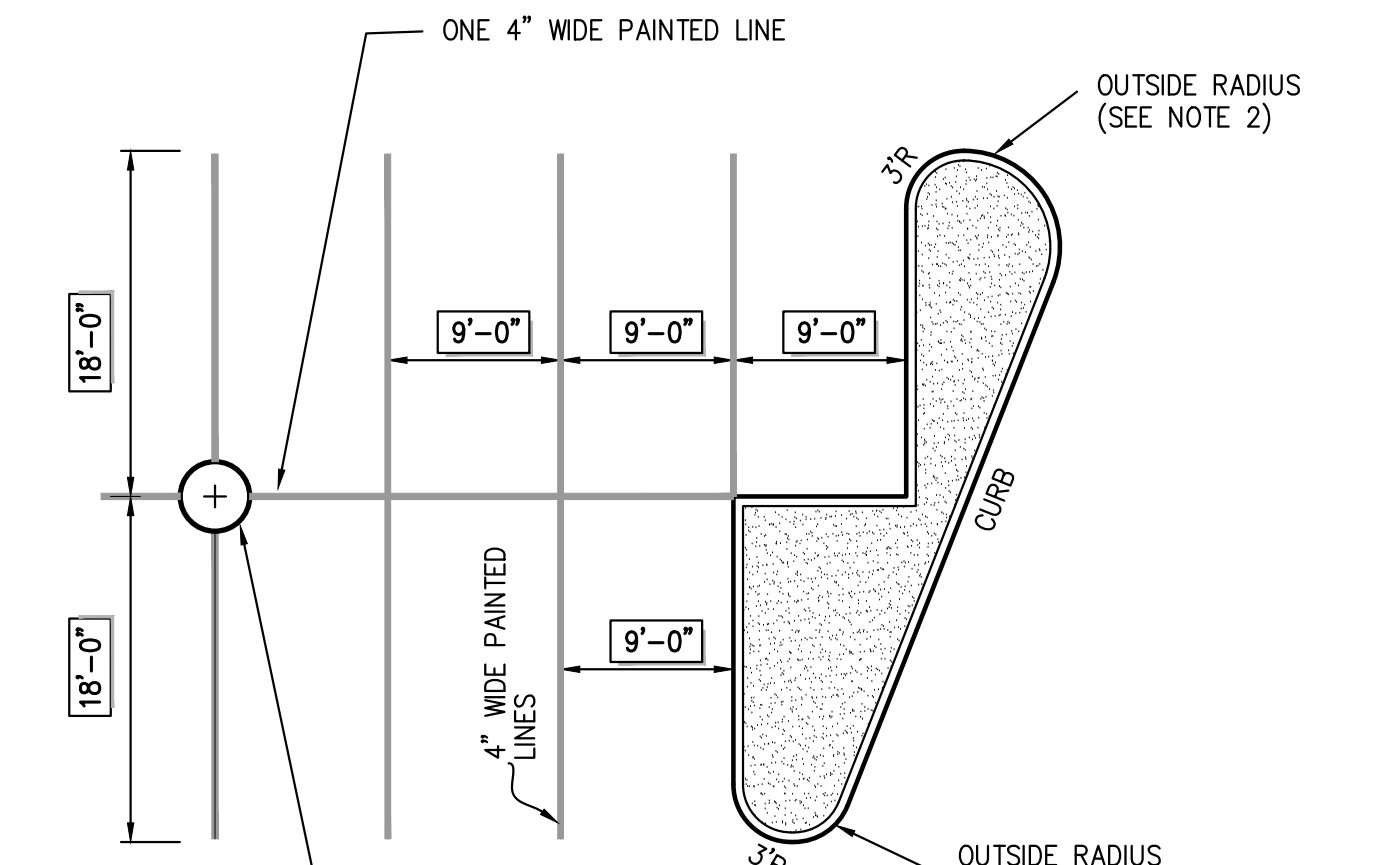
DROP CURB & RAMP (TYPE A) WITH DETECTABLE WARNING 25

DROP CURB & RAMP (TYPE B) WITH DETECTABLE WARNING 26



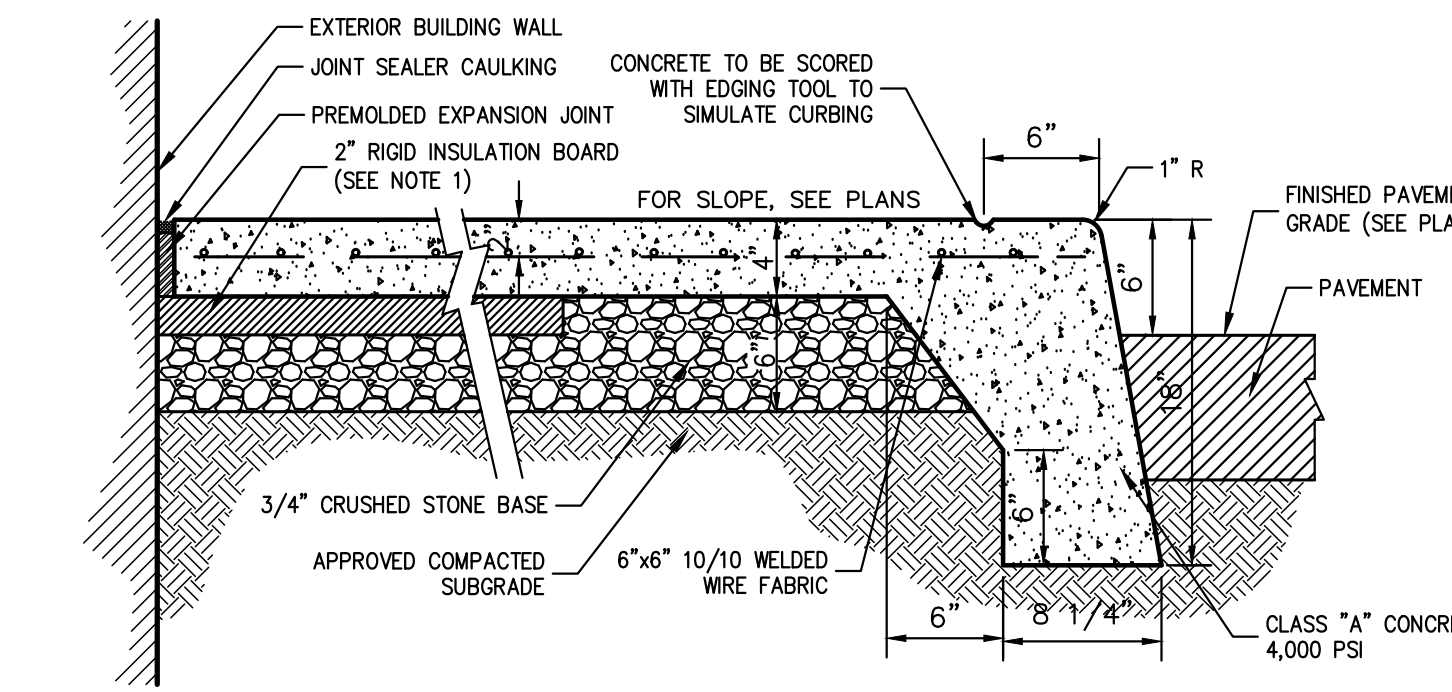
NOTES:

- COLOR OF PAINT SHALL BE [XXXXXX].
- OUTSIDE RADIUS MAY VARY DEPENDING ON SHAPE OF ISLAND. RADIUS SHALL BE AS SHOWN ON LAYOUT PLAN.



NOTES:

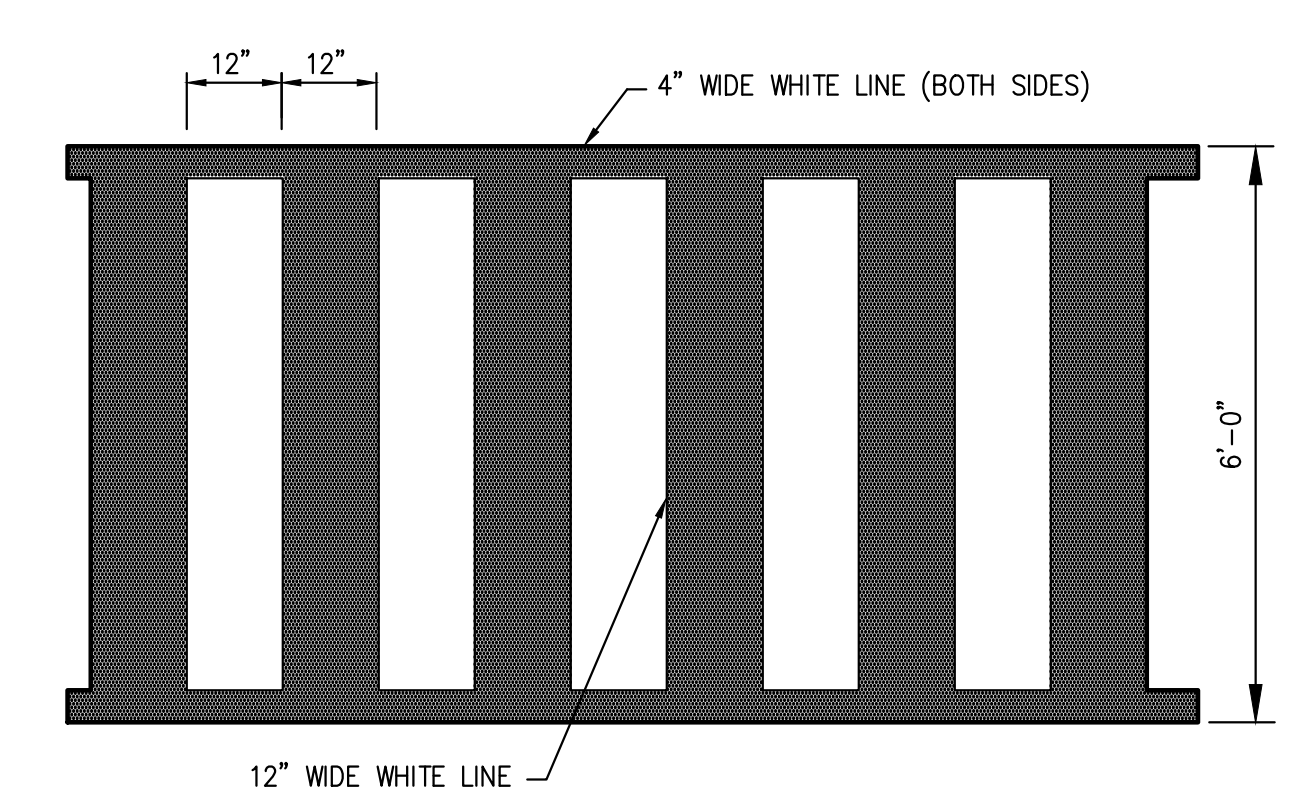
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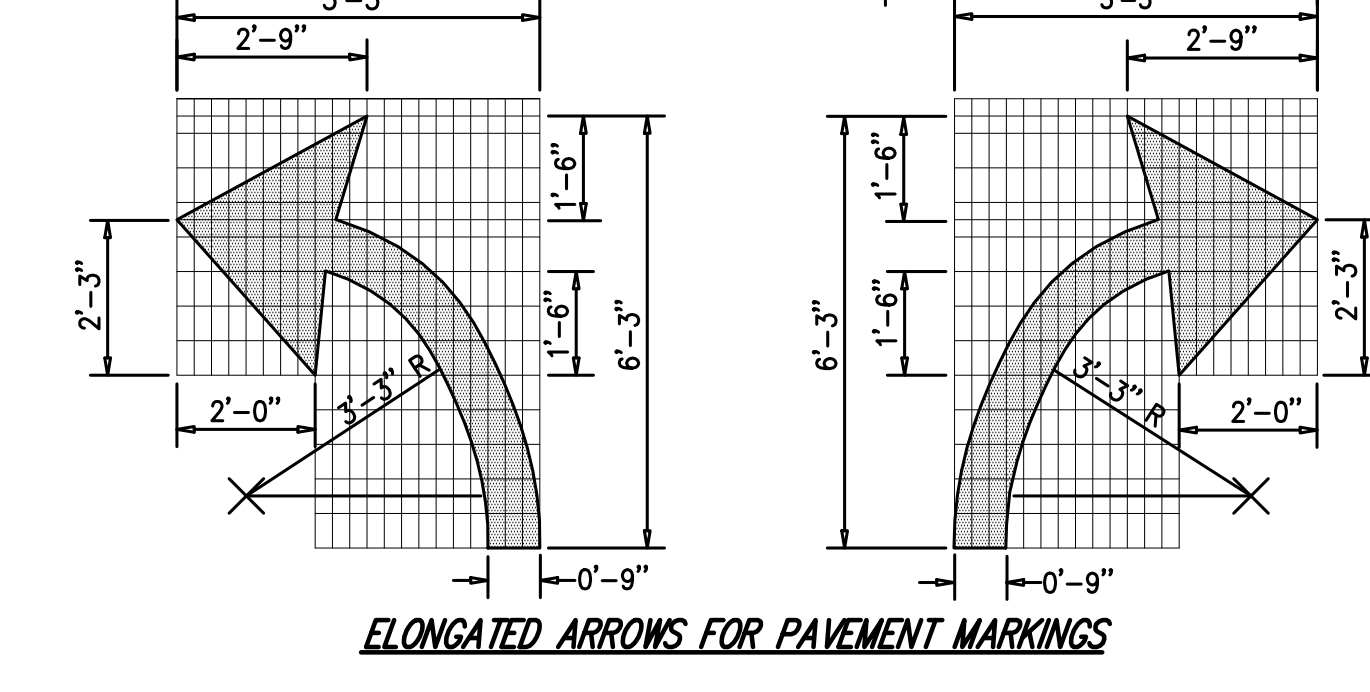
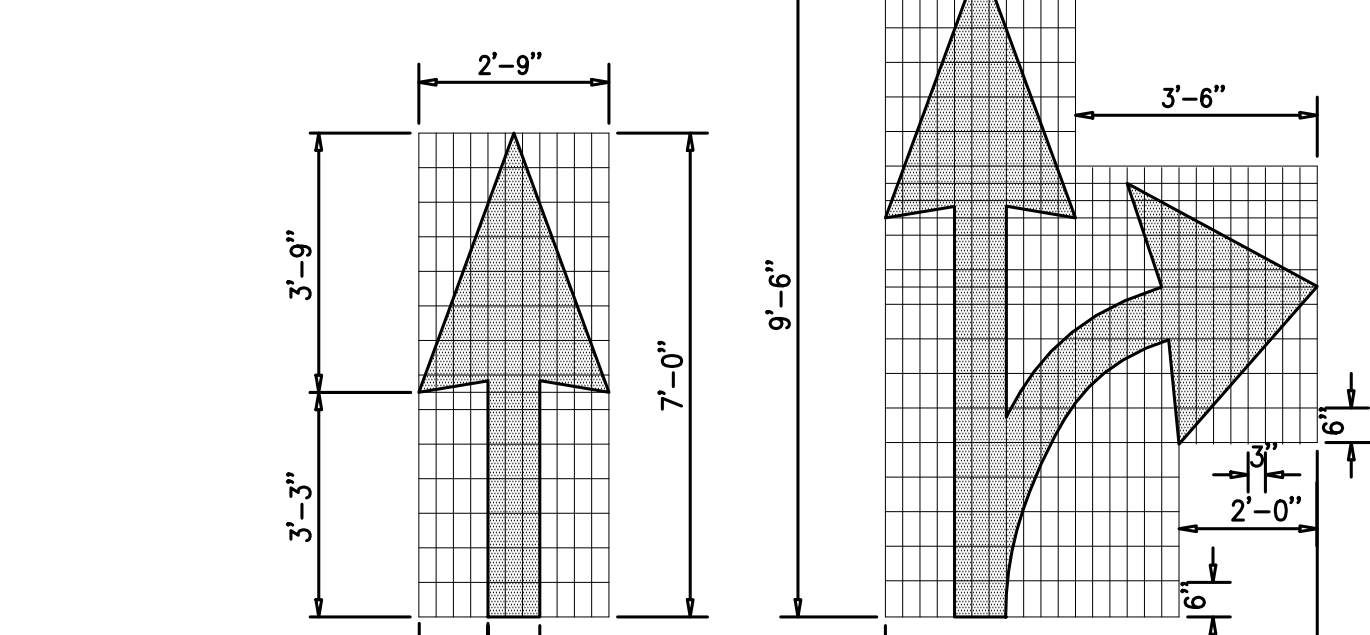
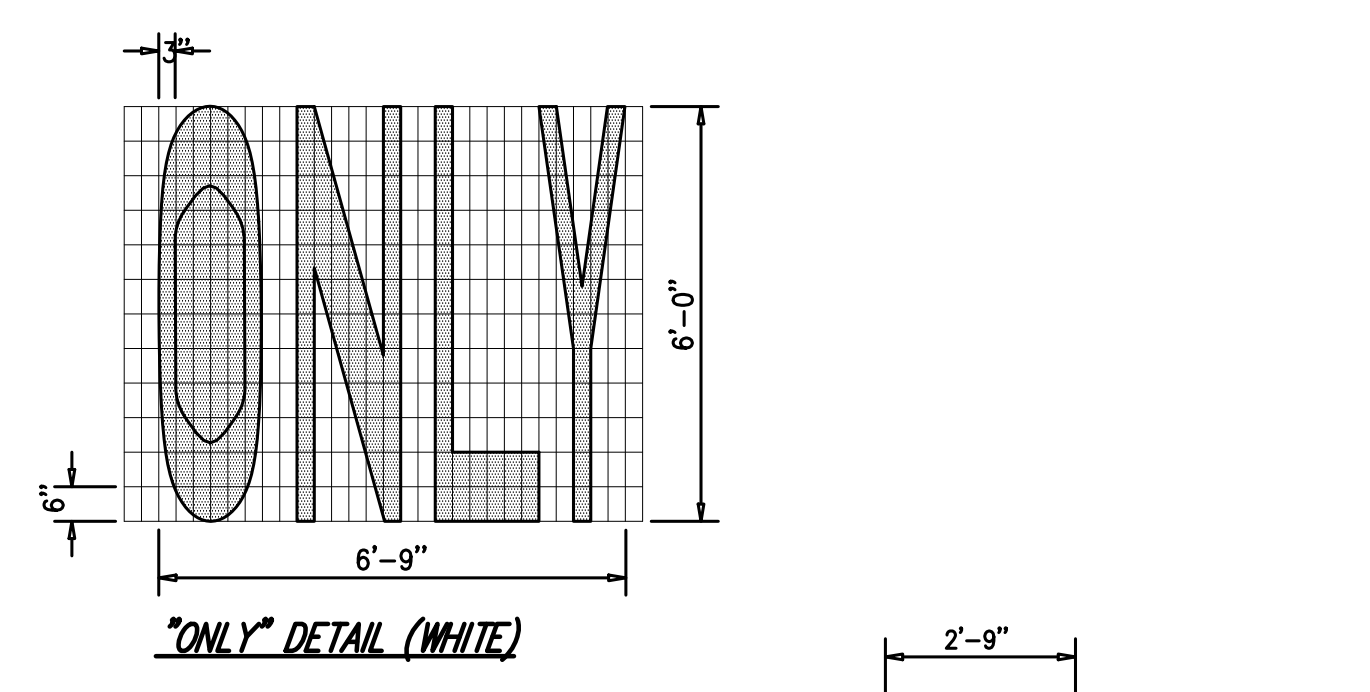
NOTES:

- PROVIDE 2" RIGID INSULATION BOARD AT ALL DOORWAY OPENINGS AND EXTEND 8" MIN. IN ALL DIRECTIONS OR TO CONSTRUCTION/CONTRACTION JOINT, WHICHEVER IS GREATER.
- JOINT SEALER CAULKING SHALL BE PSI-641 LOW MODULUS SILICONE SEALANT, BY POLYMERIC SYSTEMS INC. OR APPROVED EQUAL. PREMOLDED EXPANSION JOINT SHALL BE FLEXCELL OR APPROVED EQUAL.
- PROVIDE JOINT SEALER & PREMOLDED EXPANSION JOINT AT ALL BLDG. WALLS, CONSTRUCTION JOINTS AND OTHER FIXED OBJECTS (HYDRANTS, LIGHT POLES, ETC.).
- SIDEWALK SHALL HAVE LIGHT BROOM FINISH.
- SIDEWALK CROSS SLOPE SHALL BE 1% MIN. 2% MAX.
- FOR SIDEWALK WIDTH SEE PLAN. SIDEWALK SHALL HAVE A 3" MIN. WIDTH CLEAR FROM BACK OF CURBING.

BUILDING PERIMETER MONOLITHIC CURB & SIDEWALK 29



PEDESTRIAN CROSSING 30



PAVEMENT TEXT & ARROWS (ON-SITE) 31

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ARCHITECT: **STUDIO ARCHITECTURE - NEW YORK**
 297 KNOWLEDGE ROAD, SUITE 209
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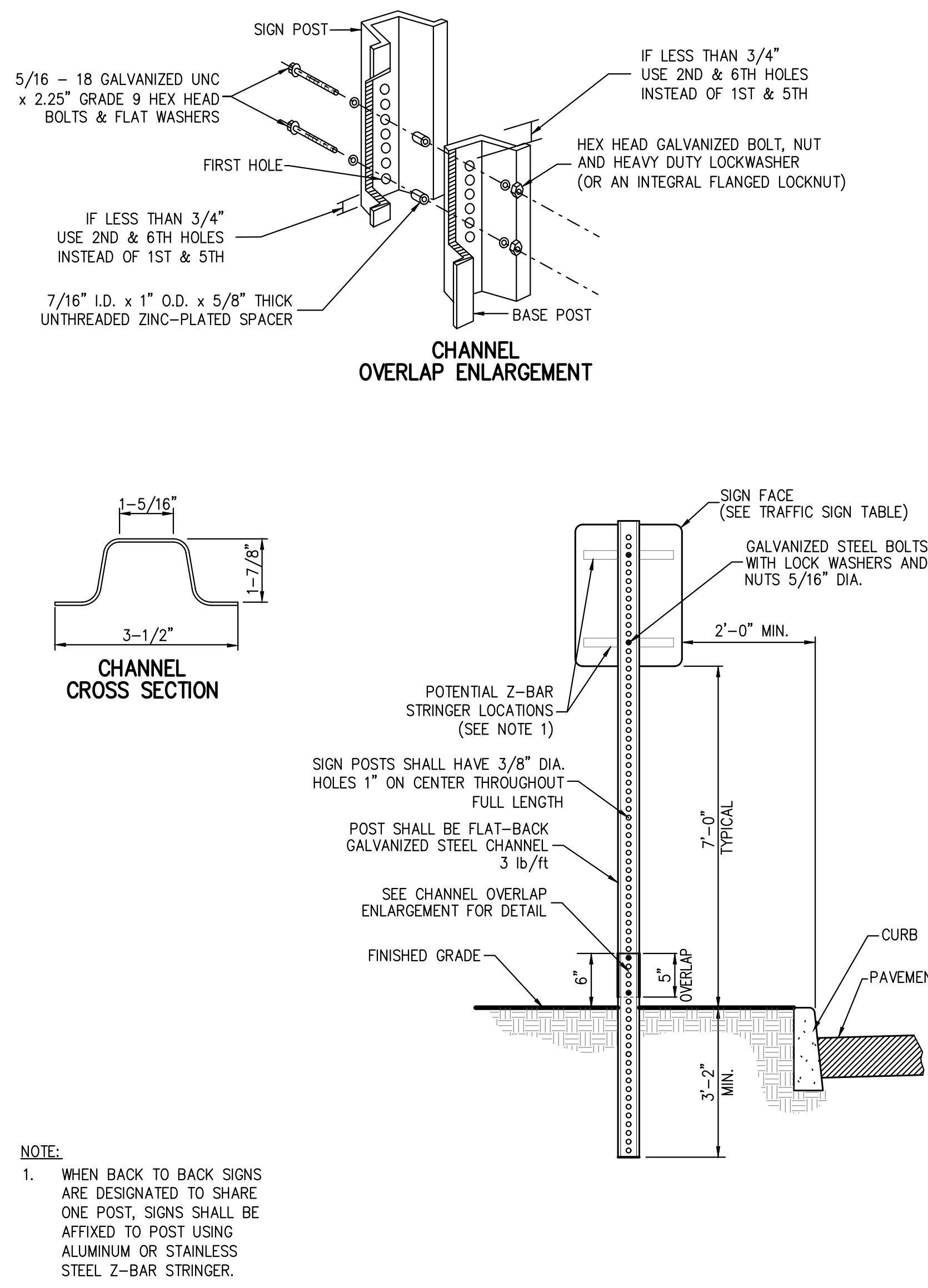
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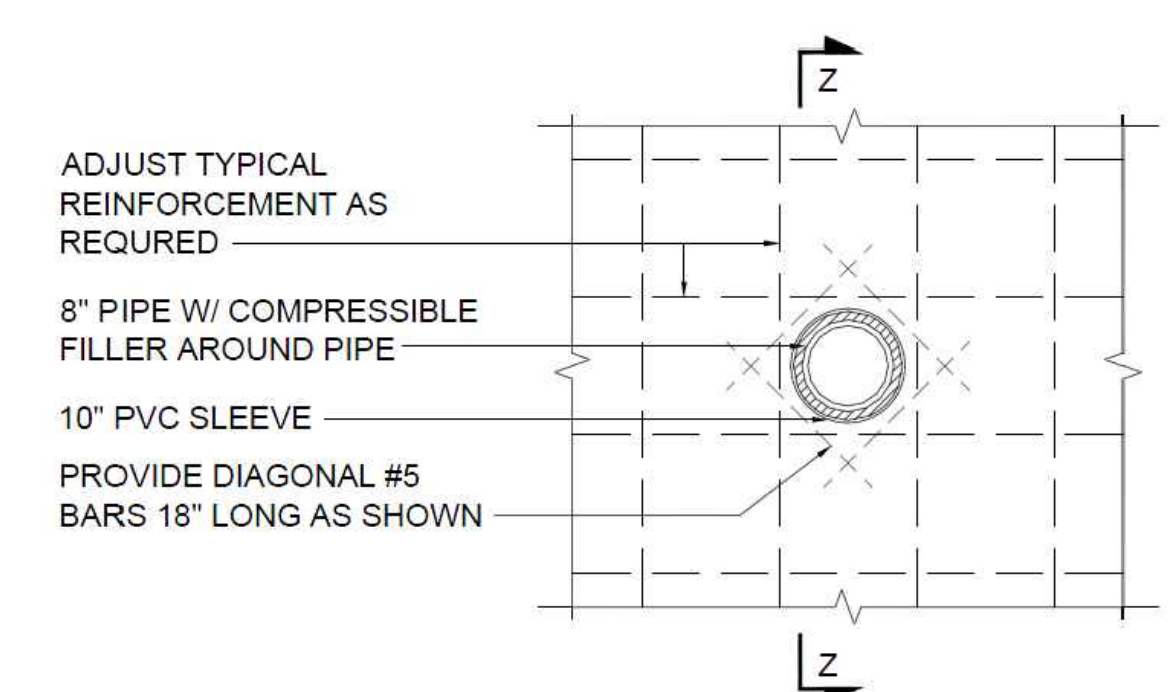
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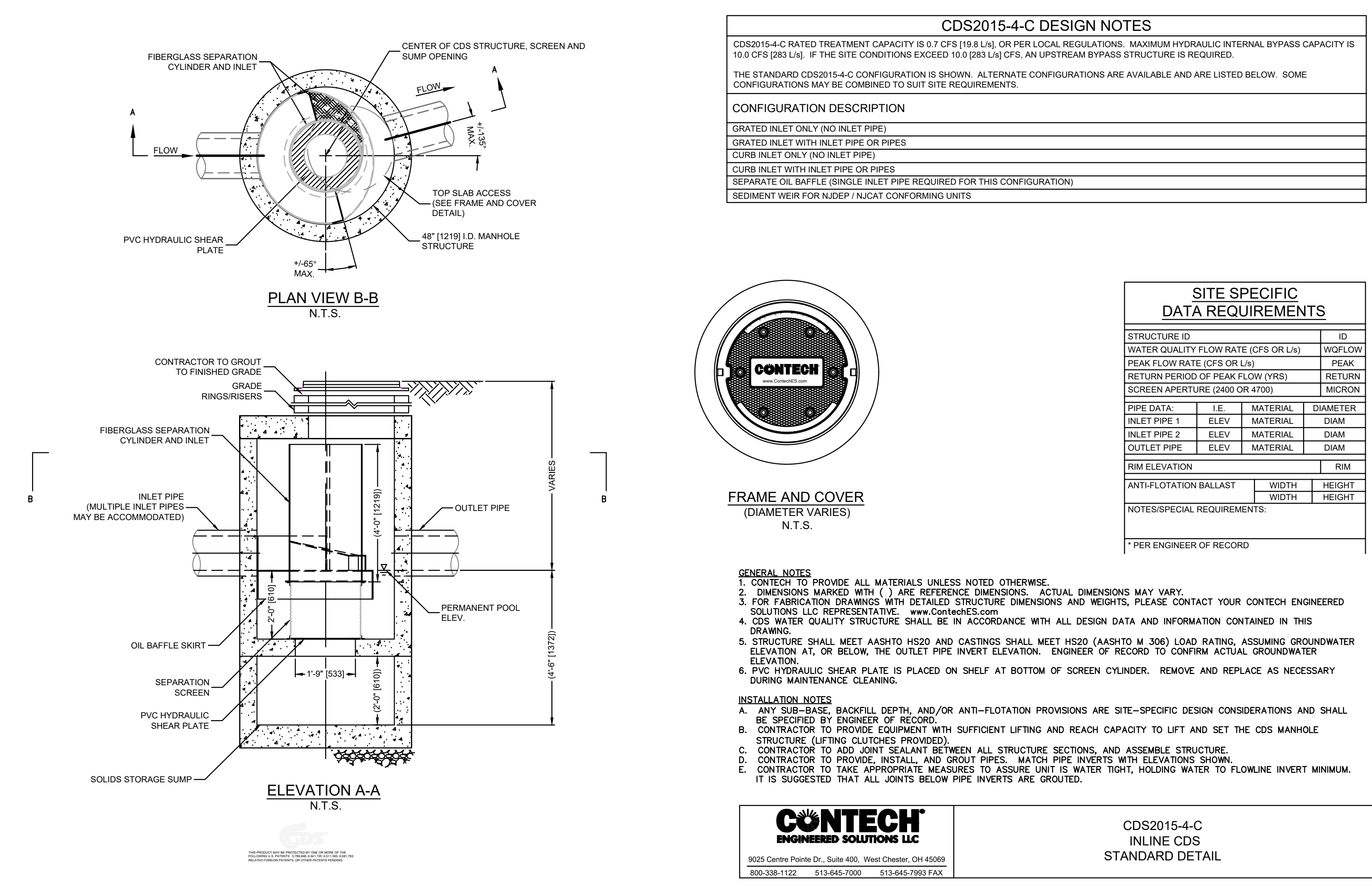
32

TYPICAL SLEEVE THROUGH RETAINING WALL DETAIL



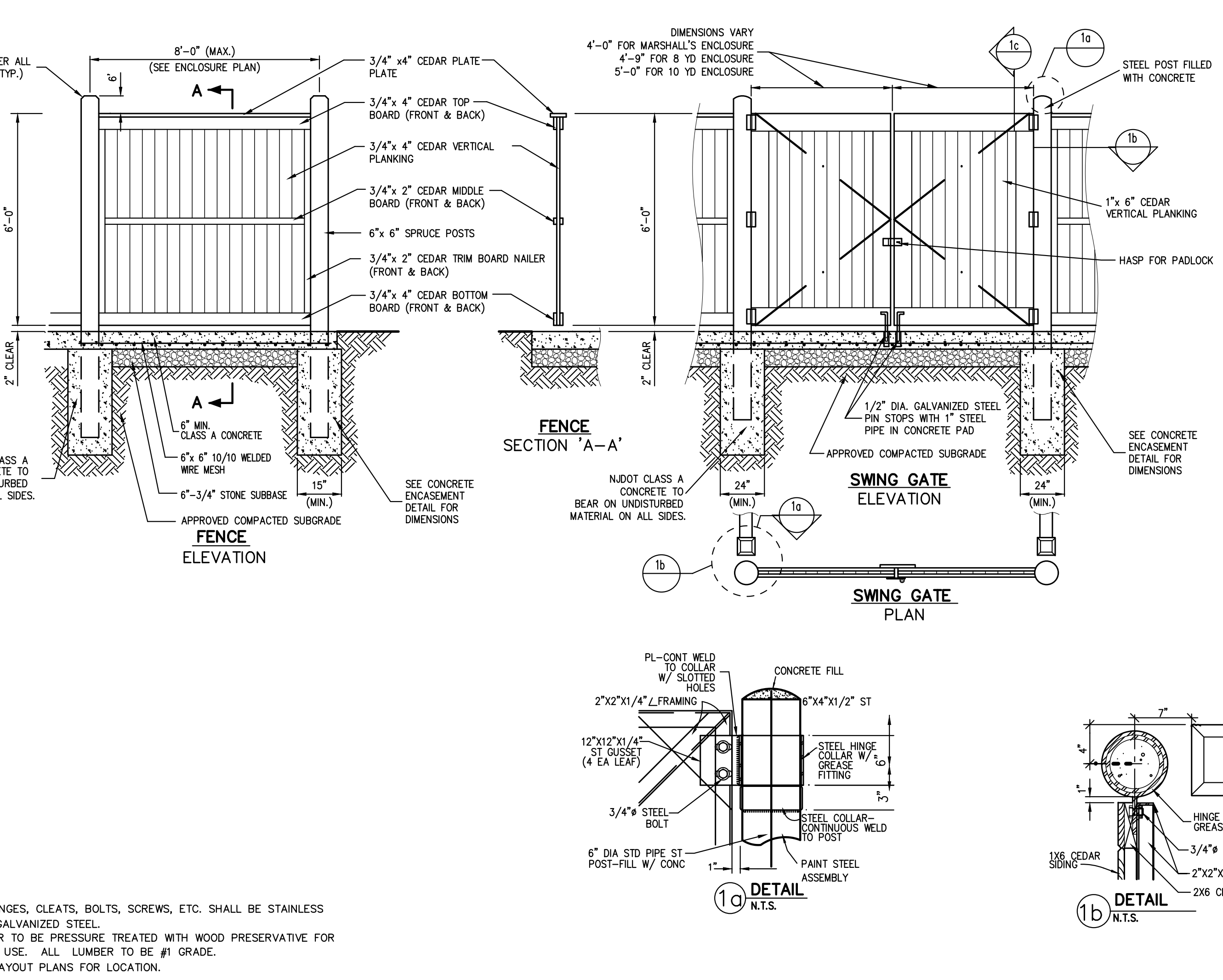
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WATER QUALITY STRUCTURE CDS2015-4-C (WQS-A-5)



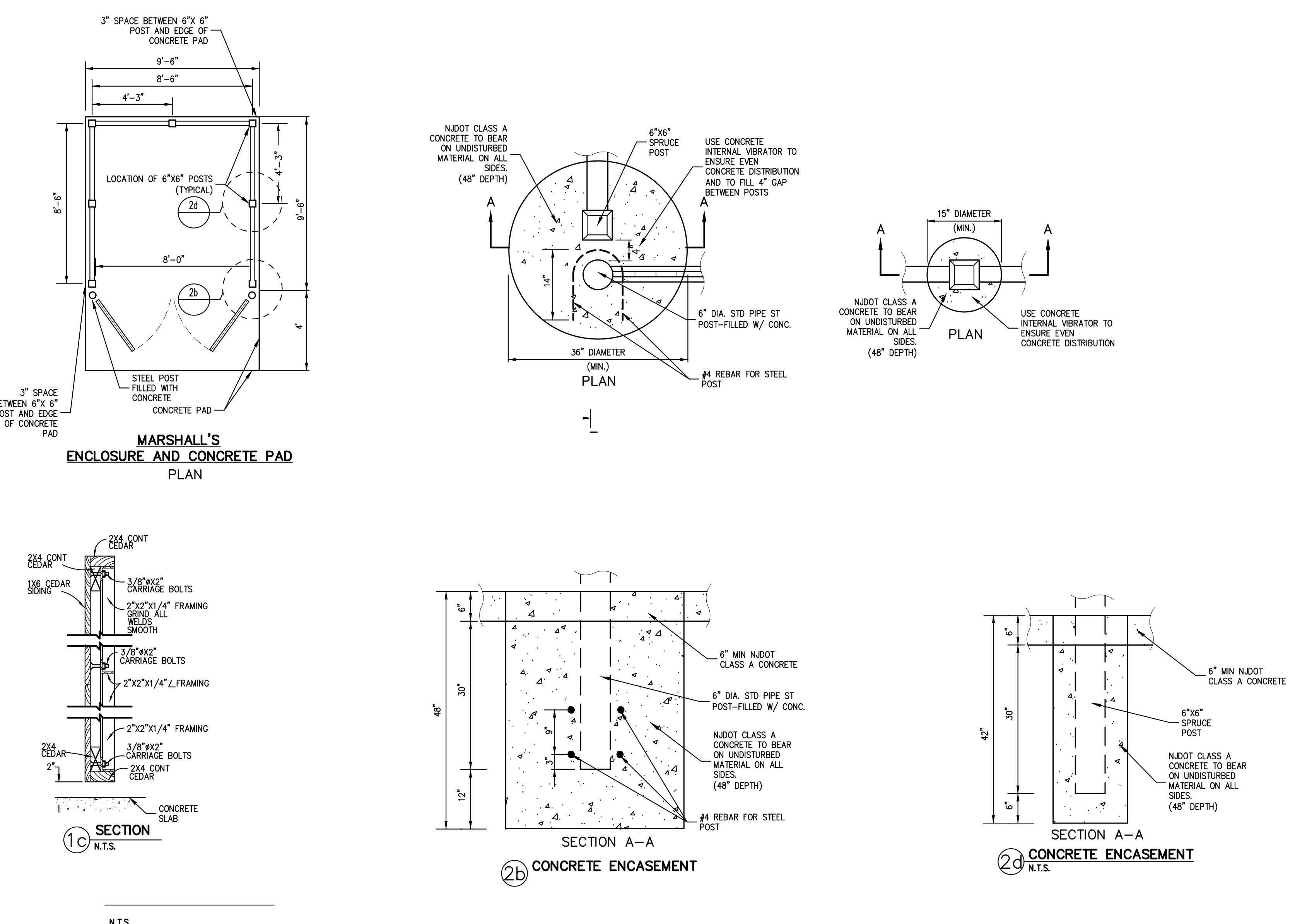
34

TRAFFIC SIGN POST (BREAKAWAY STEEL CHANNEL)



35

TRASH ENCLOSURE WITH CONCRETE PAD (WOOD)



35

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1.	SITE PLAN APPROVAL SUBMISSION	01/27/2022	DAG
2.	RESPONSE TO TOWN COMMENTS	04/26/2022	DAG
3.	APPROVAL RESOLUTION SUBMISSION	09/19/2022	DAG
4.	REVISED RETAINING WALL LAYOUT	07/24/2023	JJ
5.	SUBMISSION TO BUILDING DEPARTMENT FOR DEMAL LETTER	06/12/2023	HS

APPLICANT: **URSTADT BIDDLE PROPERTIES**
321 RAILROAD AVENUE
GREENWICH, CT 06830

ARCHITECT: **STUDIO ARCHITECTURE - NEW YORK**
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120 BEDFORD ROAD • BRIDGEVILLE, NY 10504
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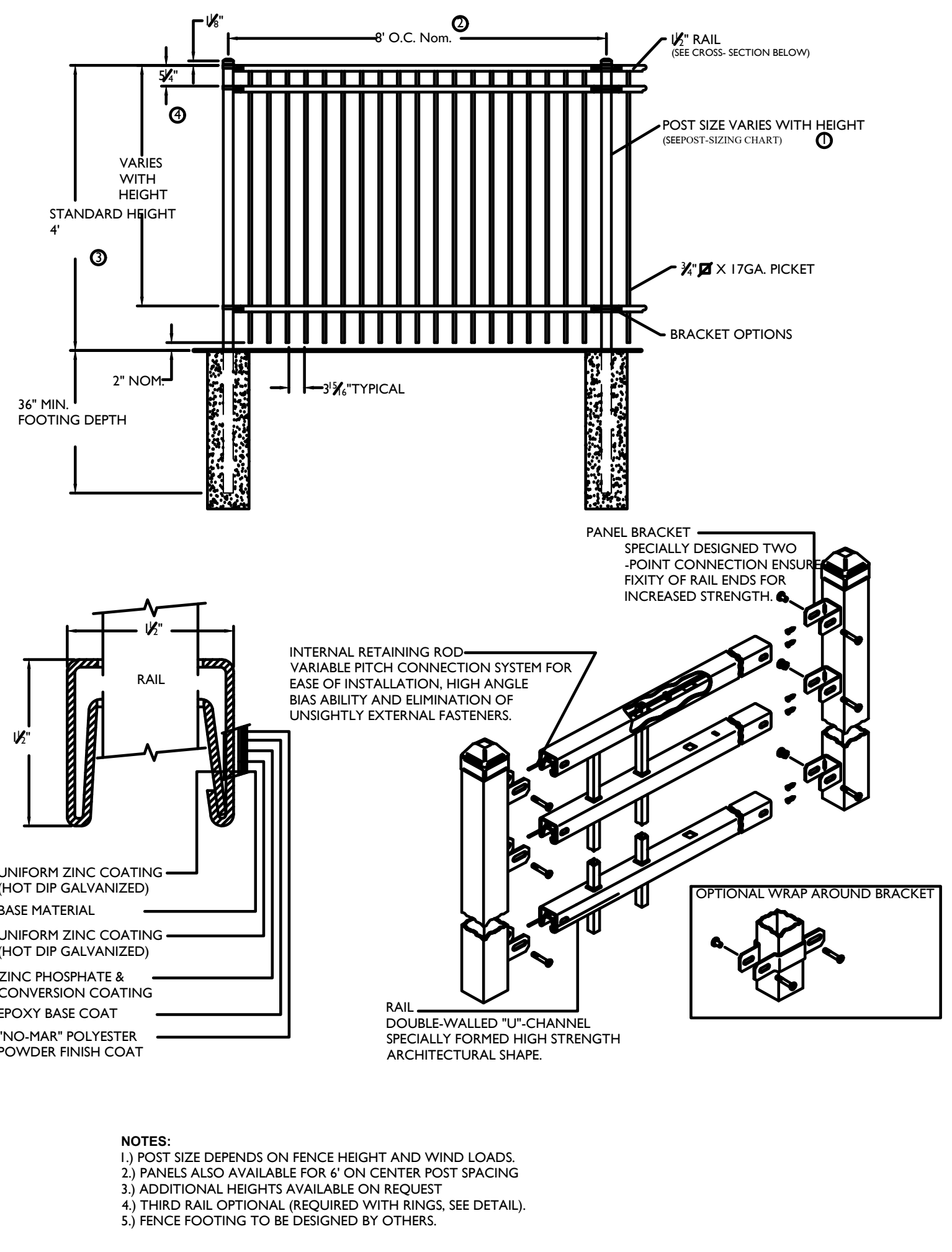
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CONSTRUCTION DETAILS

ORANGETOWN SHOPPING CENTER
1 ORANGETOWN ROAD
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Drawn: JJ	Approved: RA
Scale: NOT TO SCALE	
Date: 8/30/2021	
Project No: 15210	
100% DETAILS	SP-20
Drawing No:	

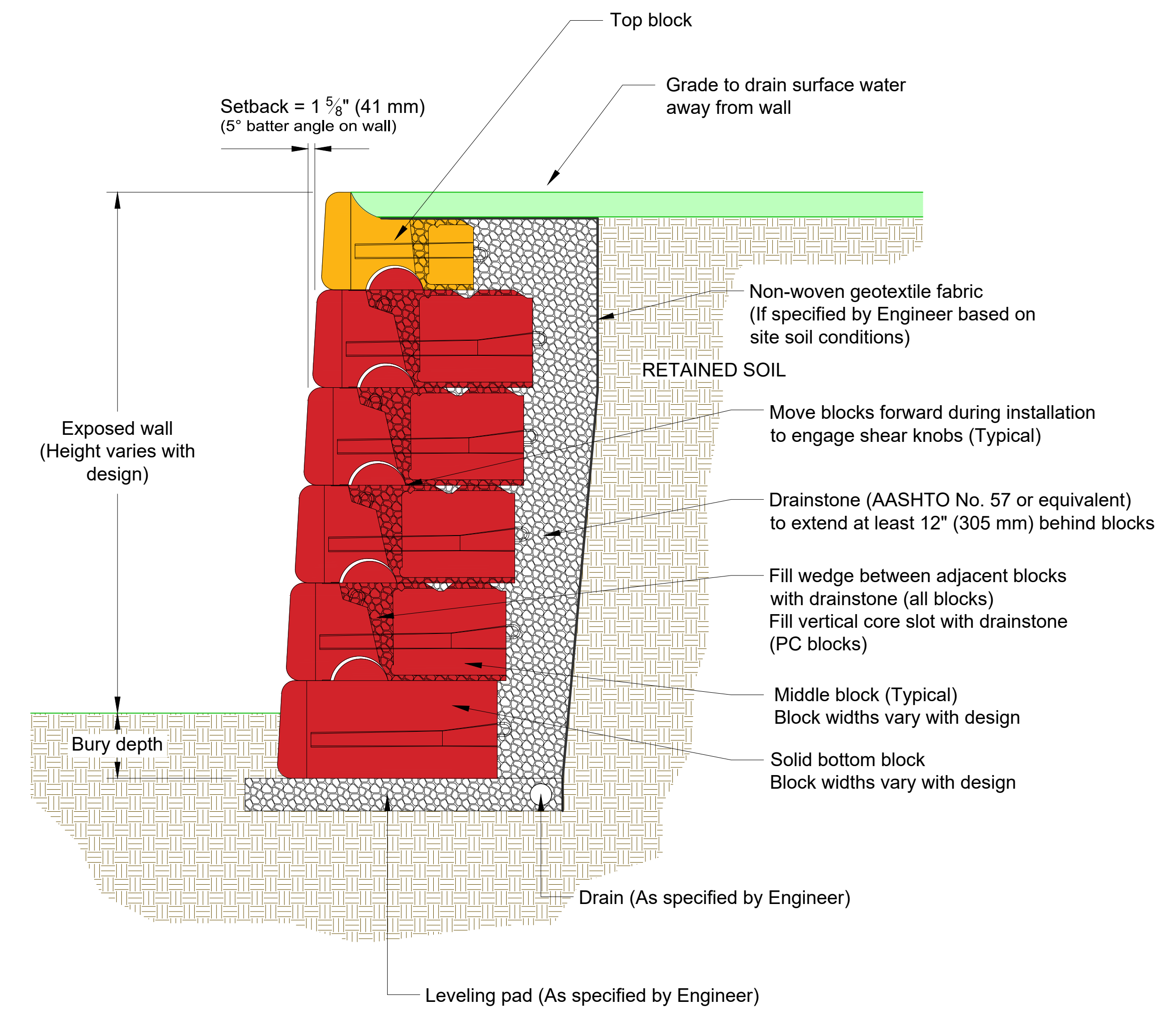
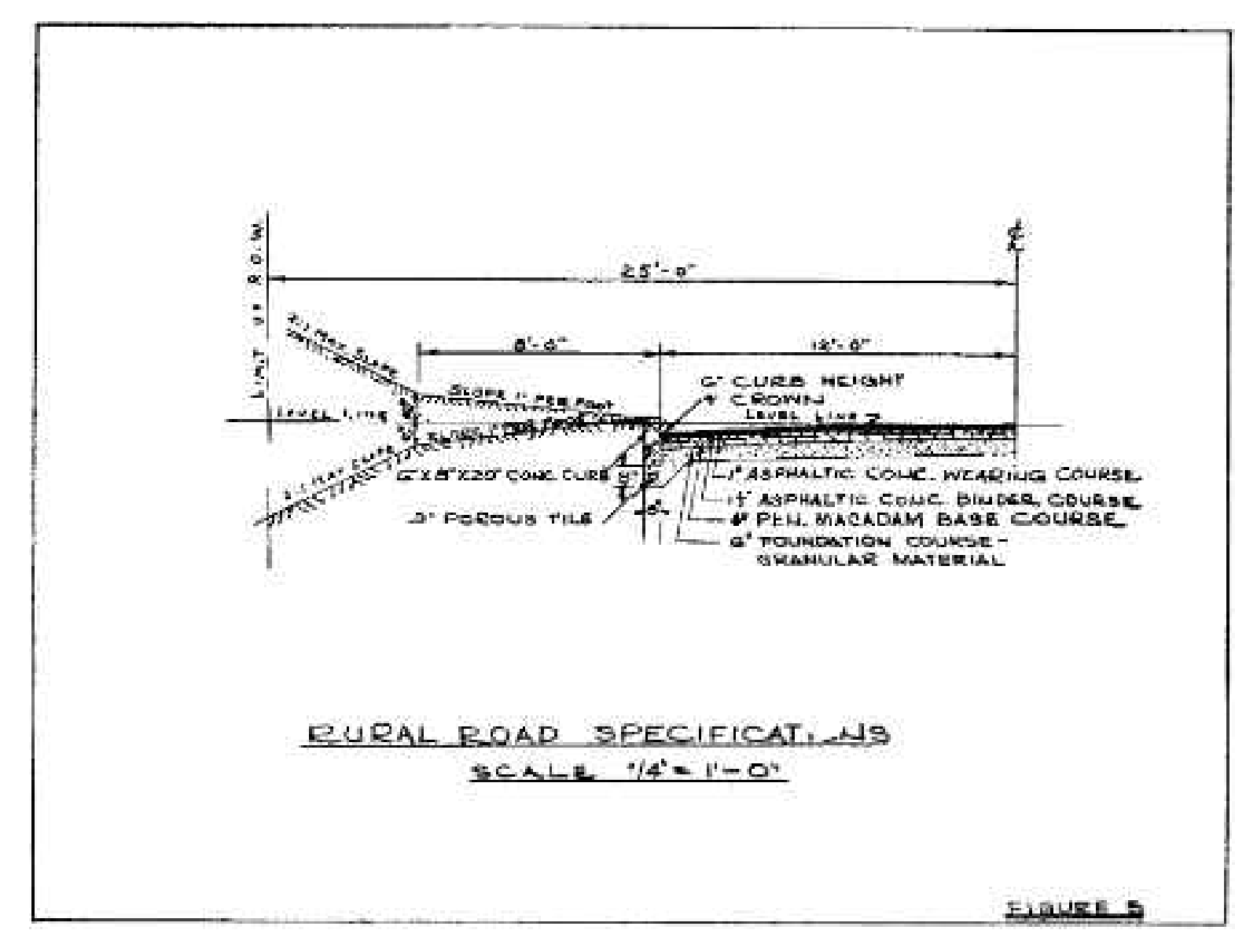


SITE FENCING

36

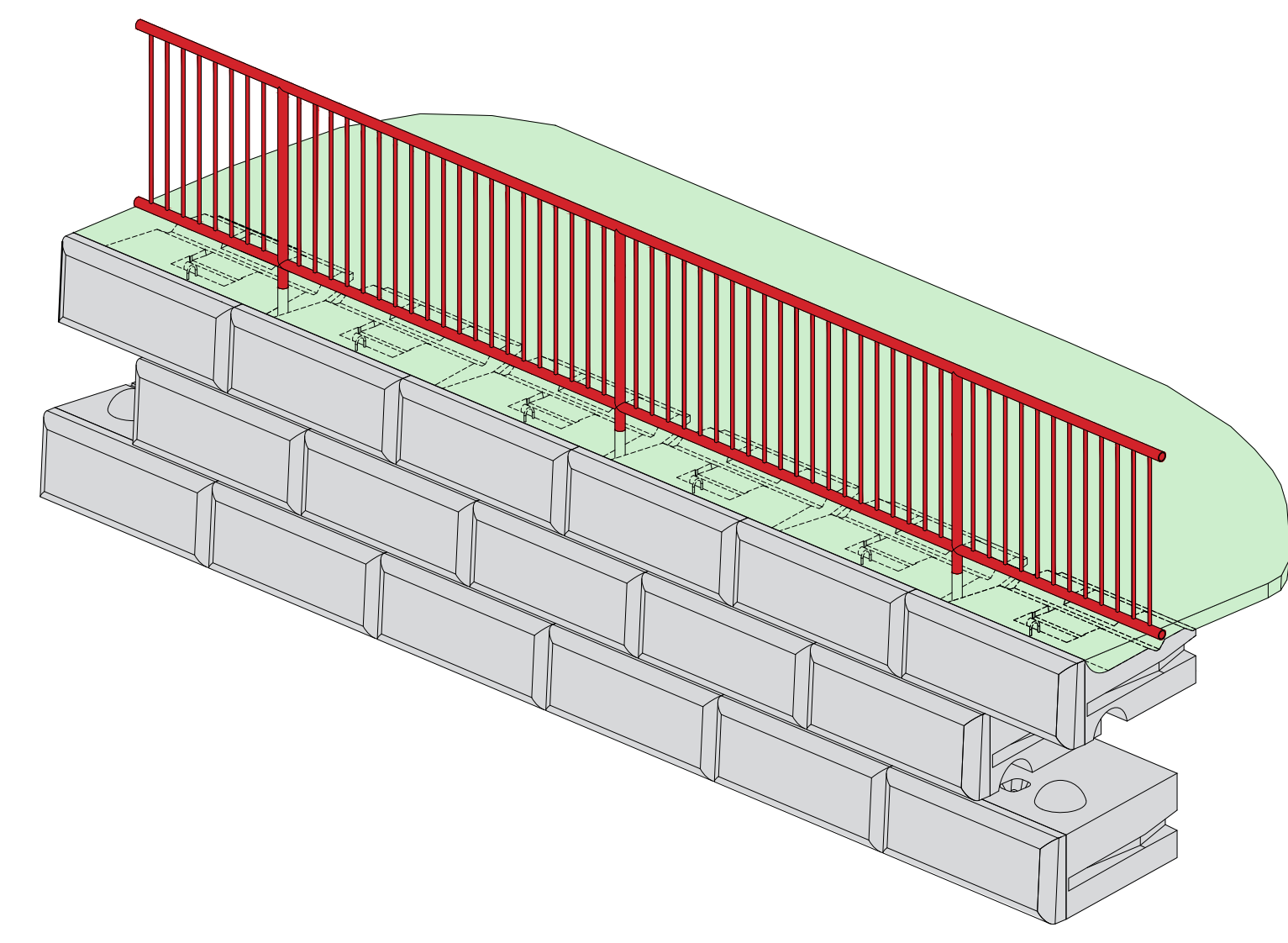
OFFSITE CURB, SIDEWALK AND PAVEMENT

37

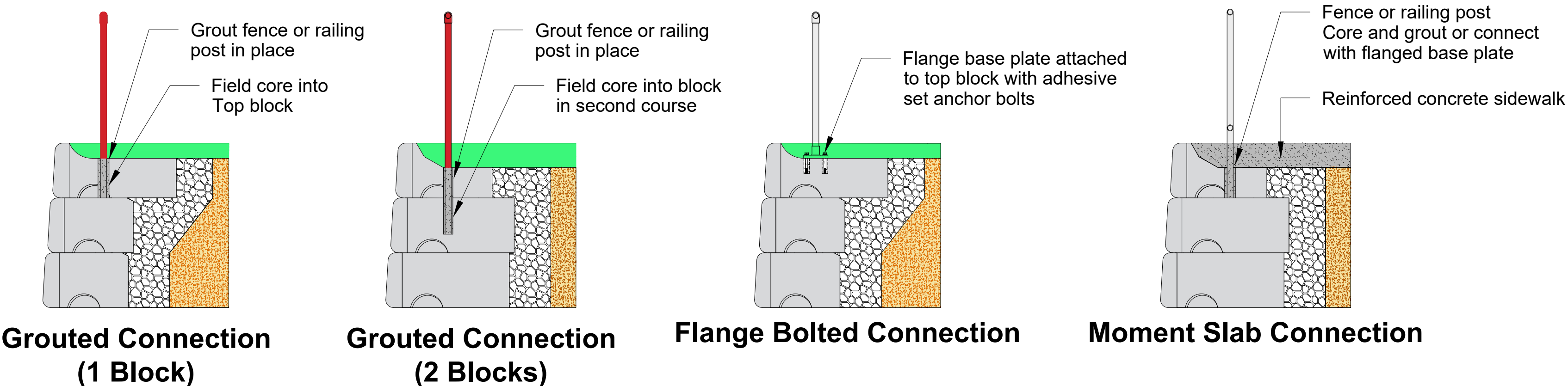
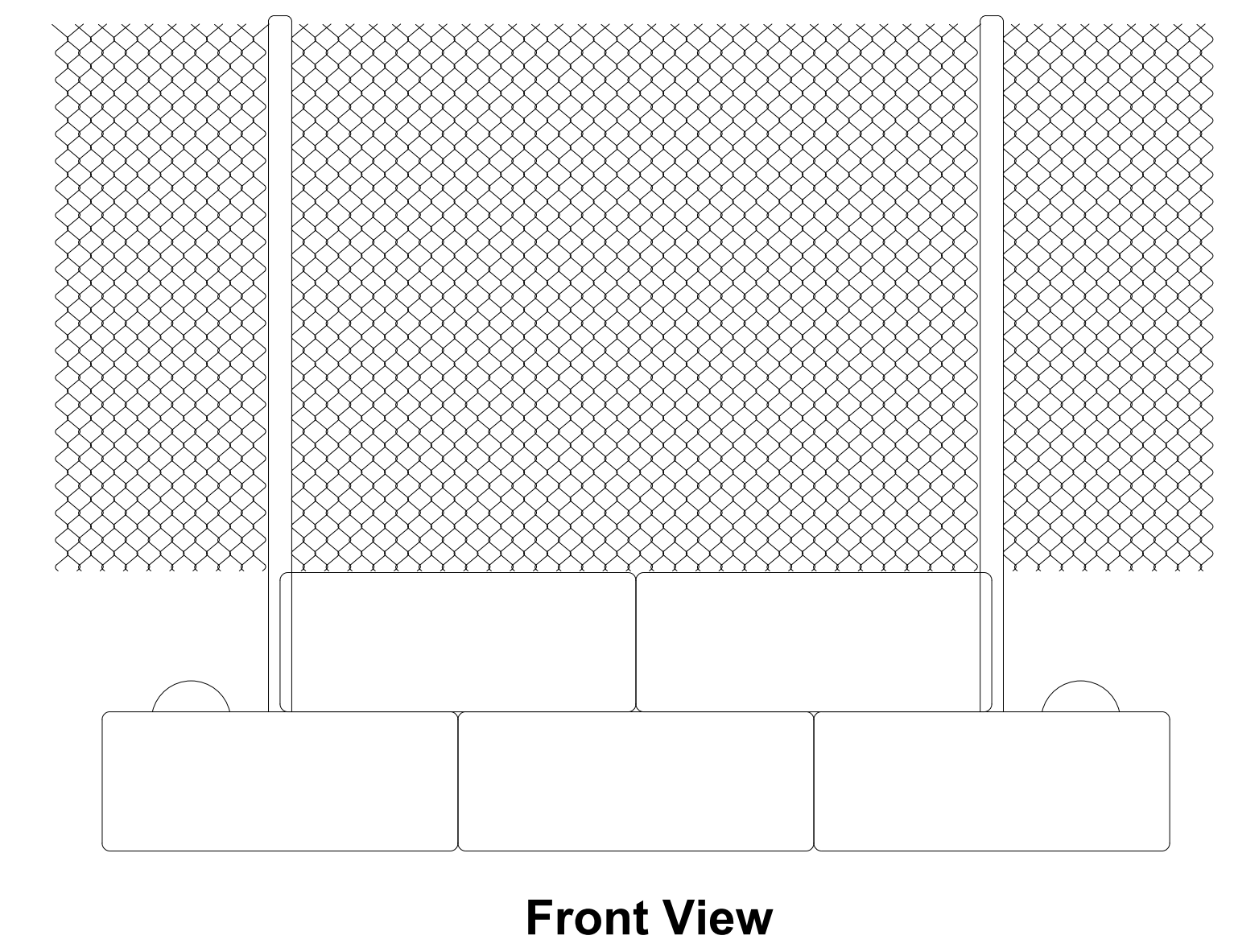
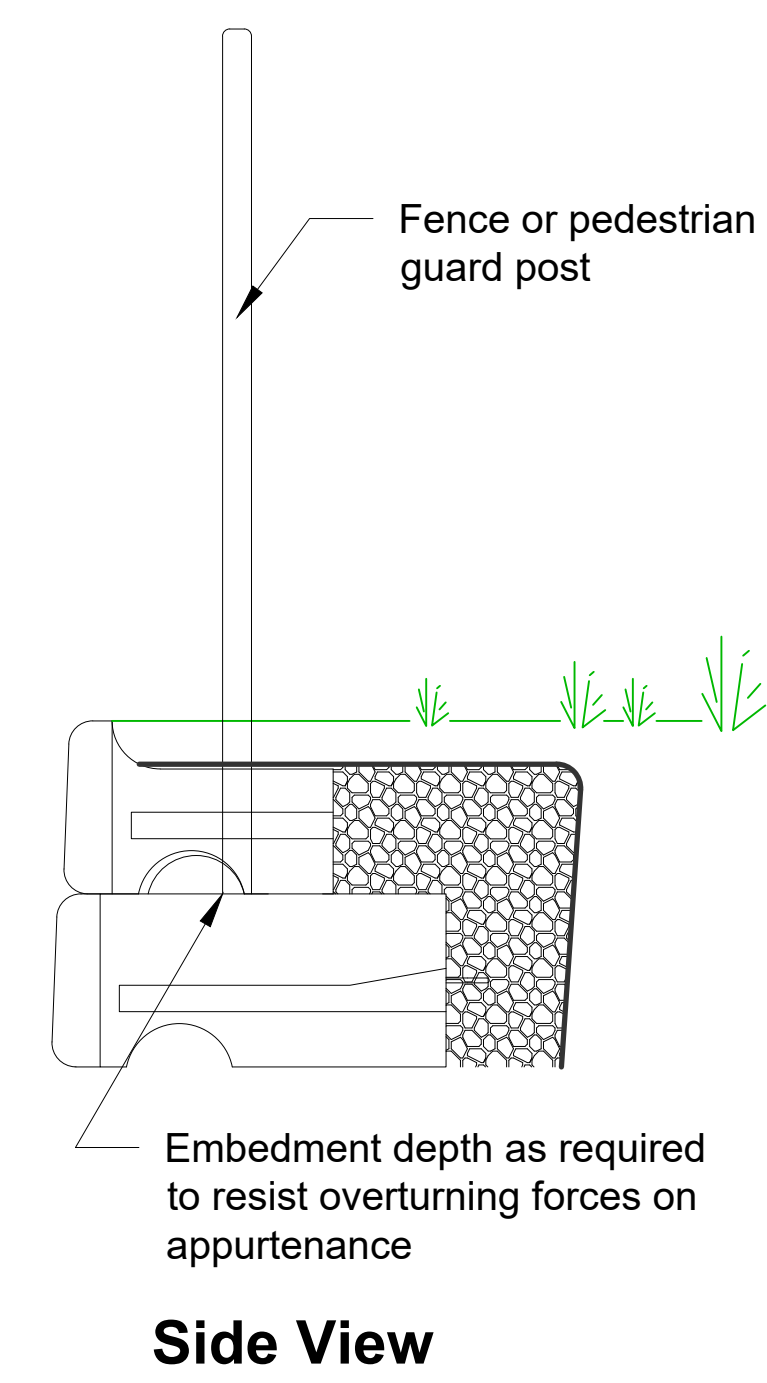


REDI ROCK GRAVITY WALL (WALL 1)

38

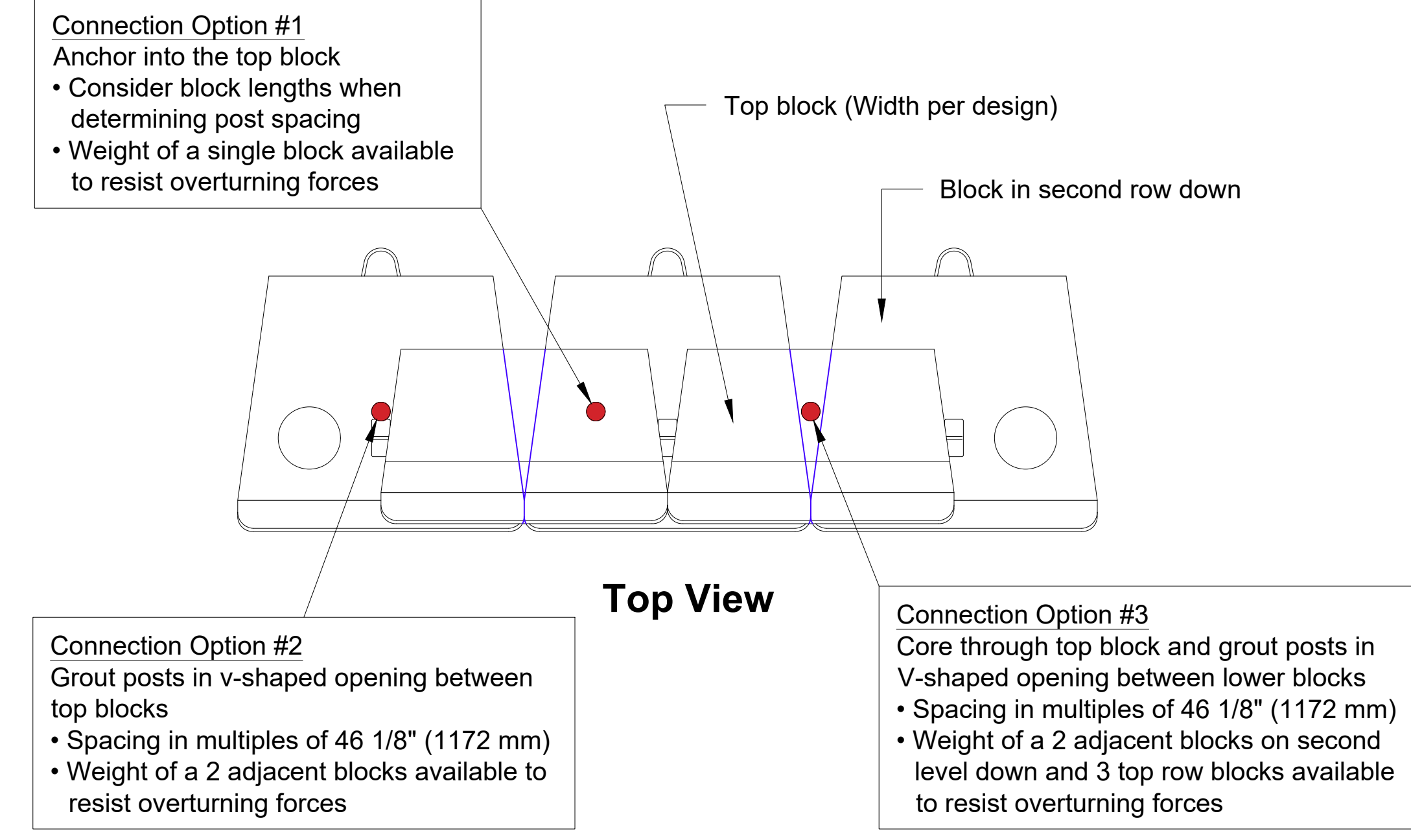


These generic pedestrian guard and fence details show a few potential options for their installation on the top of a Redi-Rock retaining wall. It is the design engineer's responsibility to fully design and detail the connection of the guard posts to the retaining wall blocks and assure acceptable resistance to the applied forces. Redi-Rock blocks are plain concrete, without steel reinforcement.



REDI ROCK GRAVITY WALL FENCE CONNECTION OPTIONS

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REDI ROCK GRAVITY WALL FENCE CONNECTION LOCATIONS

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NOT FOR CONSTRUCTION

By	JJ
Date	07/24/2023
Revision	1. REVISED RETAINING WALL LAYOUT
No.	2. SUBMISSION TO BUILDING DEPARTMENT FOR PERMITS LETTER

APPLICANT: URSTADT BIDDLE PROPERTIES
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