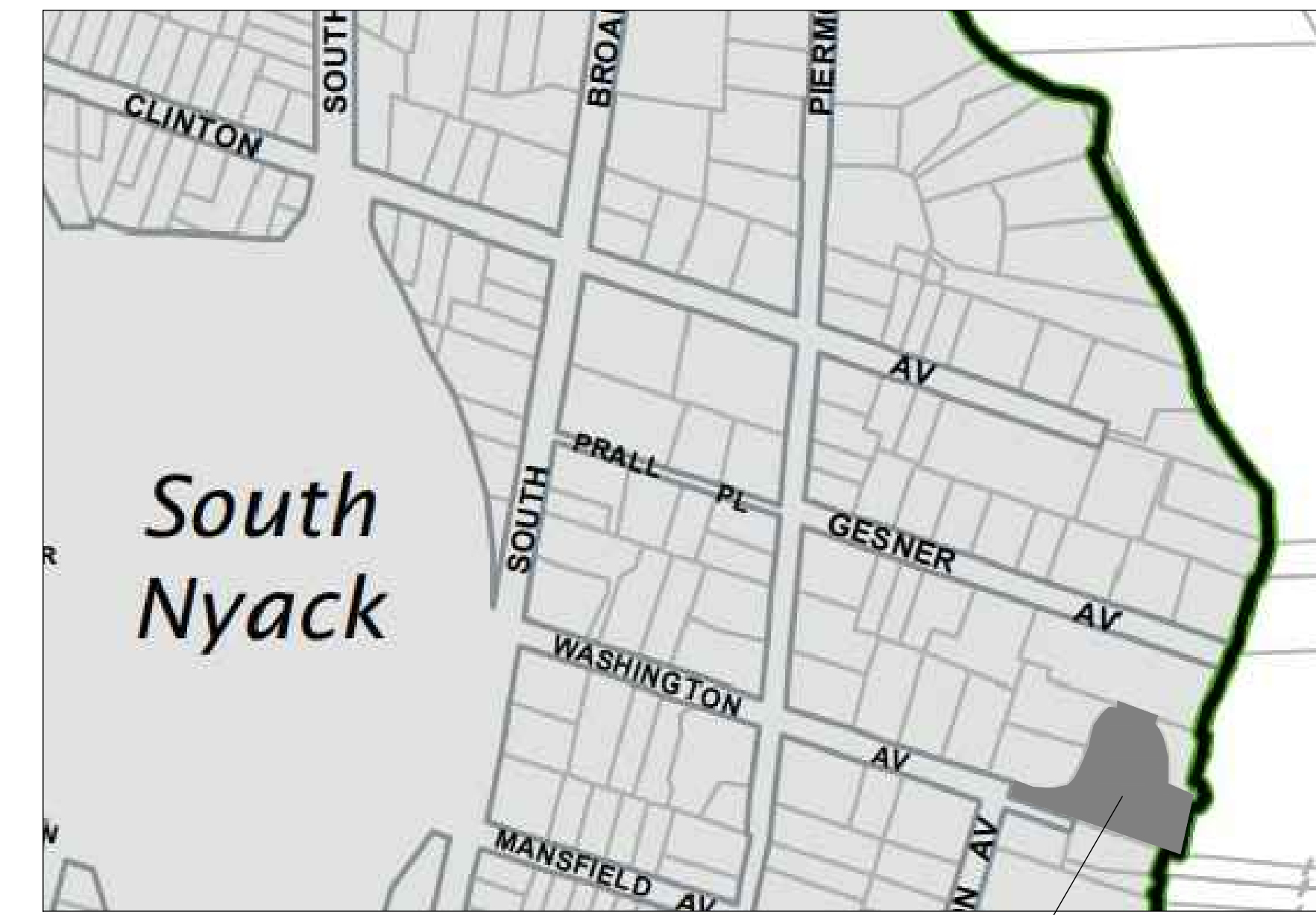


ZONING BULK TABLE ANALYSIS - HOUSE

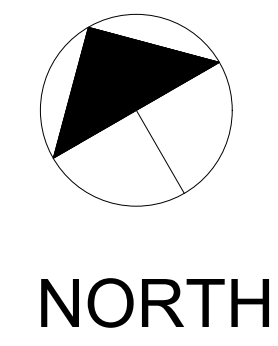
ADDRESS: 1 WASHINGTON AVENUE, SOUTH NYACK, NY TAX LOT DESIGNATION: SECTION 66.70, BLOCK 2, LOT 6									
R-12 ZONE	LOT	STONE & WOOD FRAME DWELLING		CABANA (LESS THAN 100 S.F.)		EQUIP. SHED (LESS THAN 100 S.F.)		POOL	
REGULATION	REQUIRED	EXISTING	PROPOSED	REQ.	PROP.	REQ.	PROP.	REQ.	PROP.
MINIMUM LOT	12,000 SF	29,098 SF	29,098 SF	-	-	-	-	-	-
MAXIMUM LOT COVERAGE	45%	35%	38.93%	-	-	-	-	-	-
MINIMUM STREET FRONT	100'	25' *	25' *	-	-	-	-	-	-
REQUIRED FRONT YARD	35'	247.8'	247.8'	60'	257'	60'	248.2'	60'	277.7'
REQUIRED SIDE YARD	15'	0' *	0' *	5'	8'	5'	8'	10'	10'
TOTAL SIDE YARD	35'	77.8' (PORCH)	77.8' (PORCH)	35'	102.6'	35'	127.9'	35'	67.2'
REQUIRED REAR YARD	25'	18.4' (PORCH) *	18.4' (PORCH) *	8'	46'	8'	54.3'	20'	23.8'
MAXIMUM BUILDING HEIGHT (FT.)	3 STORIES (b) 36'	3 STORIES (b) 32'	3 STORIES (b) 32'	15'	12'	15'	7'	15'	0'
VARIANCE REQUIRED		ENC	ENC		NO		NO		NO

- * = EXISTING NON-CONFORMING
- PROPERTY IS WITHIN THE DESIGNATED CRITICAL ENVIRONMENTAL AREA
- ACCESSORY BUILDINGS ARE LESS THAN 30% OF REQUIRED REAR OR SIDE YARD AREAS.
- ACCESSORY STRUCTURES SHALL NOT BE CLOSER THAN 15' TOGETHER

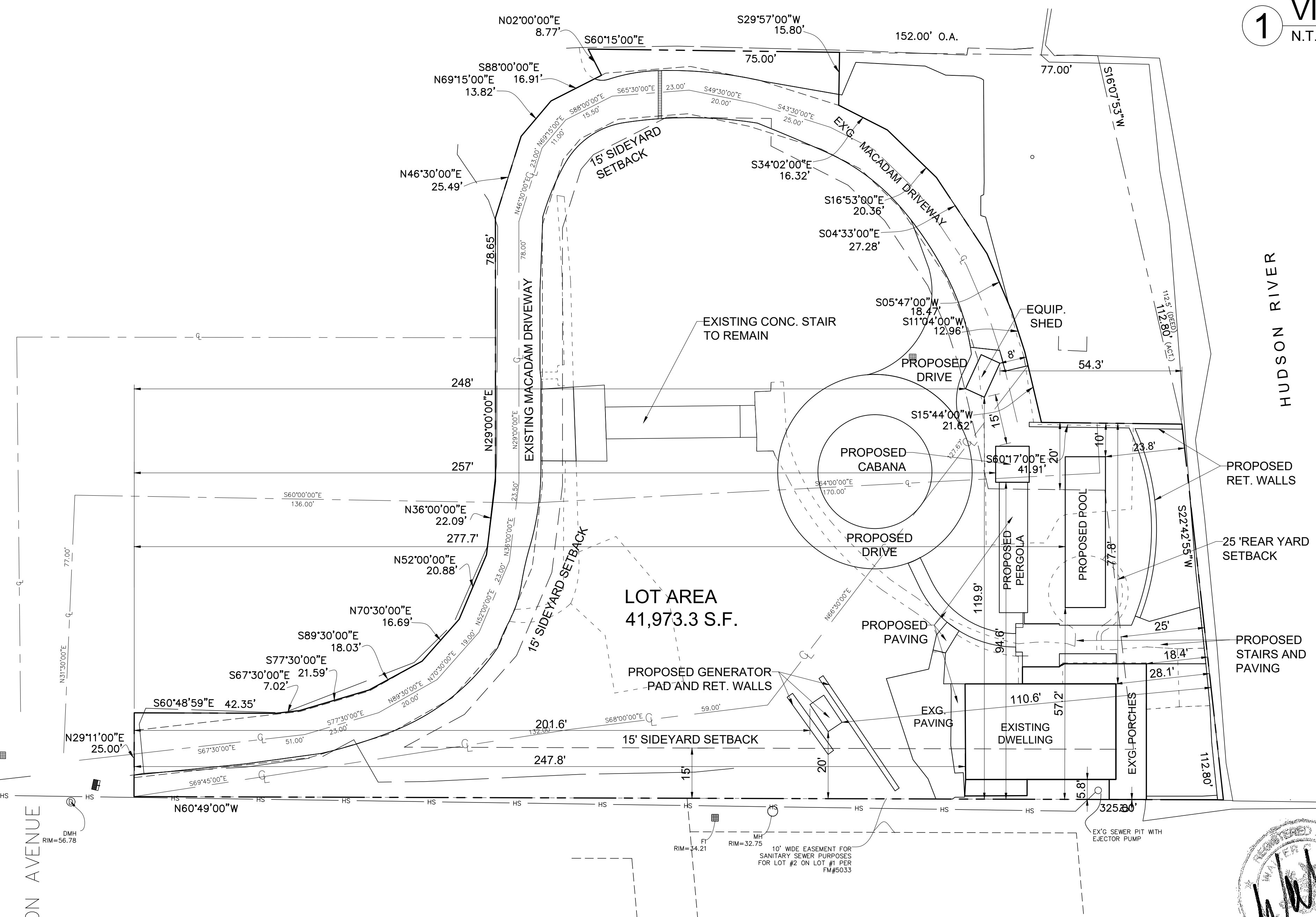


1 WASHINGTON AVENUE
SOUTH NYACK, NY

1 VICINITY MAP
N.T.S.



NORTH



PLOT PLAN AND CALCULATIONS PREPARED BY:
SPARACO & YOUNGBLOOD, PLLC
CIVIL ENGINEERING * LAND SURVEYING * SITE PLANNING
Dated NOVEMBER 11, 2022

SLOPE AREA DEDUCTIONS:
0% - 15% = 0% (124,758 X 0) = 0
16% - 25% = 40% (15,588 X .40) = 2,235.21
26% - 35% = 60% (2,469 X .60) = 1,481.4
36% - 100% = 100% (9,158 X 1.0) = 9,158

TOTAL DEDUCTIONS - 12,875 S.F.

ZONING AREA CALCULATIONS:
GROSS LOT AREA - SLOPE REDUCTIONS = ZONING LOT AREA
41,973 S.F. - 12,875 S.F. = 29,098

MAXIMUM LOT COVERAGE CALCULATIONS:
IMPERVIOUS SURFACE / LOT AREA - LOT COVERAGE

EXISTING IMPERVIOUS SURFACES:
14,670 S.F. / 41,973 S.F. = 0.3495 (0.35)

PROPOSED IMPERVIOUS SURFACES:
14,962 S.F. / 41,973 S.F. = 0.3565 (0.36)

LIST OF DRAWINGS

#	DRAWING	DATE
L-0.0	COVER SHEET, BULK TABLE	07/07/2023
	TOPOGRAPHIC SURVEY	09/21/2021
	PLOT PLAN	04/25/2023
	NOTES AND DETAILS	04/25/2023
L-0.1	AREA CALCULATIONS SHEET	04/26/2023
L-1.1	SITE PLAN	07/07/2023
L-1.2	DETAIL PLAN	07/07/2023
L-1.3	LANDSCAPE LIGHTING PLAN	03/22/2023
L-1.4	PLANTING PLAN	07/07/2023
L-2.1	EAST ELEVATION	03/22/2023
L-2.2	NORTH & SOUTH SECTION / ELEVATIONS AT STAIR	03/22/2023
L-2.3	CABANA ELEVATIONS	03/22/2023
S-10.0	RETAINING WALL PLAN	03/22/2023
S-11.0	FLOOD ZONE LINE	07/10/2023
S-30.0	RETAINING WALL SECTIONS	03/22/2023

1 BULK TABLE DIAGRAM
1" = 20'



**AURELL
GARCIA
ARCHITECTS**

171 KING'S HIGHWAY, ORANGEBURG,
NEW YORK 10962
TEL 845.680.6670

LANDSCAPE RENOVATION

1 Washington Avenue
South Nyack, New York

PERMIT SET - LANDSCAPE

REVISIONS:
DRAWING TITLE:
COVER SHEET

DATE: 07/07/2023
PROJ TEAM: WCAMRG
PROJ PARTNER: WCAMRG
PROJ NO.: 21110

L-0.0

TAX LOT: SECTION 66.70, BLOCK 2, LOTS 5 & 6

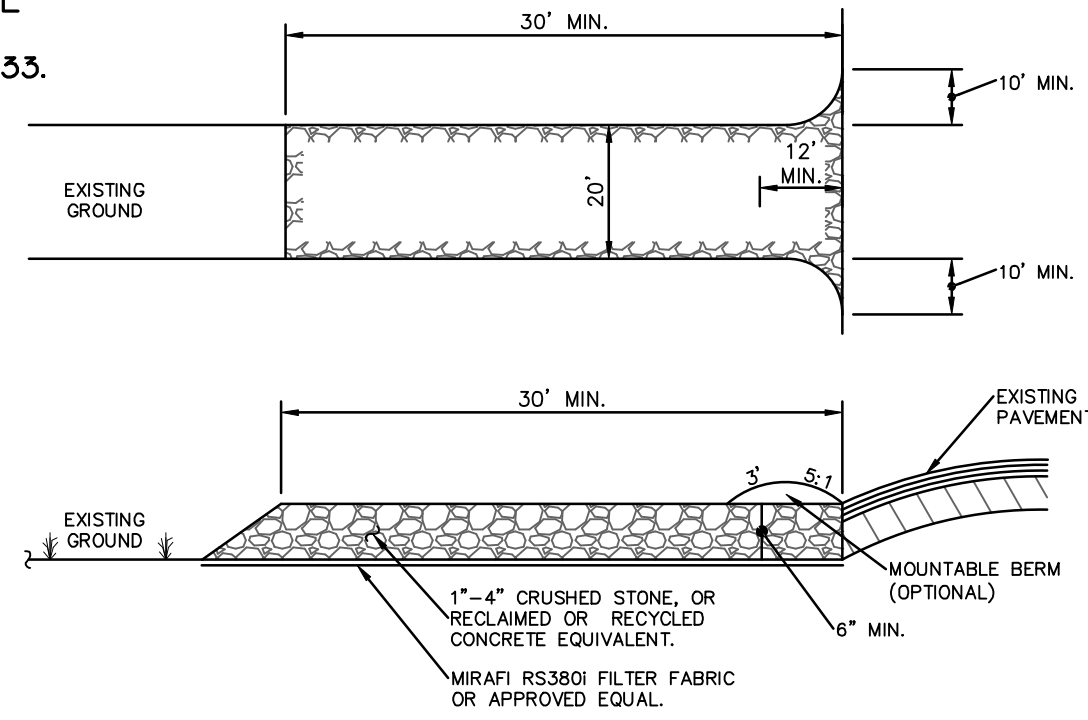
MAP REFERENCE:
 "SUBDIVISION OF PROPERTY OF ELEANOR HALL
 (L180N) FILED IN THE ROCKLAND COUNTY
 CLERK'S OFFICE ON APRIL 11, 1979 AS MAP #5033.

"PROPOSED SUBDIVISION FOR FLORENCE A.
 KROGER" FILED IN THE ROCKLAND COUNTY
 CLERK'S OFFICE ON SEPT. 18, 1974 AS
 MAP #4552.

DEED REFERENCE:

- 2003/28383
- 2008/2241
- 2019/15783
- 20187886
- 841/380
- 743/2550
- 2004/73595
- 2006/49763
- 2007/39348
- 2018/4557

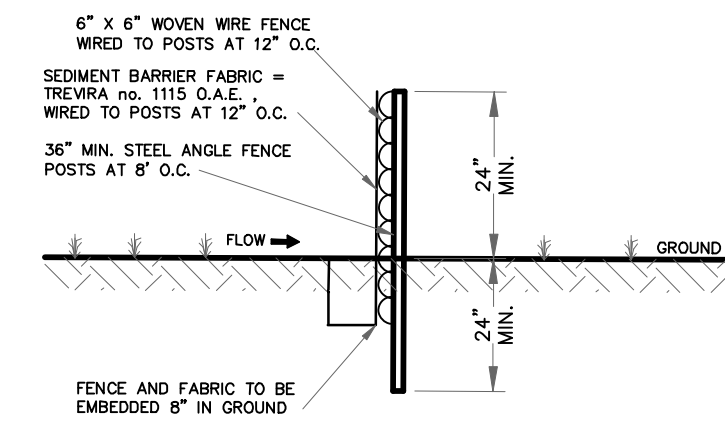
NOTE:
 SEE ARCHITECTURAL PLANS BY "AURELL
 CARCIA ARCHITECTS" DATED 06/27/2022
 FOR ALL STONE WORK DETAILS.



CONSTRUCTION SPECIFICATIONS:

1. STONE SIZE - USE 1-4 INCH STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO FOOTING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 6:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

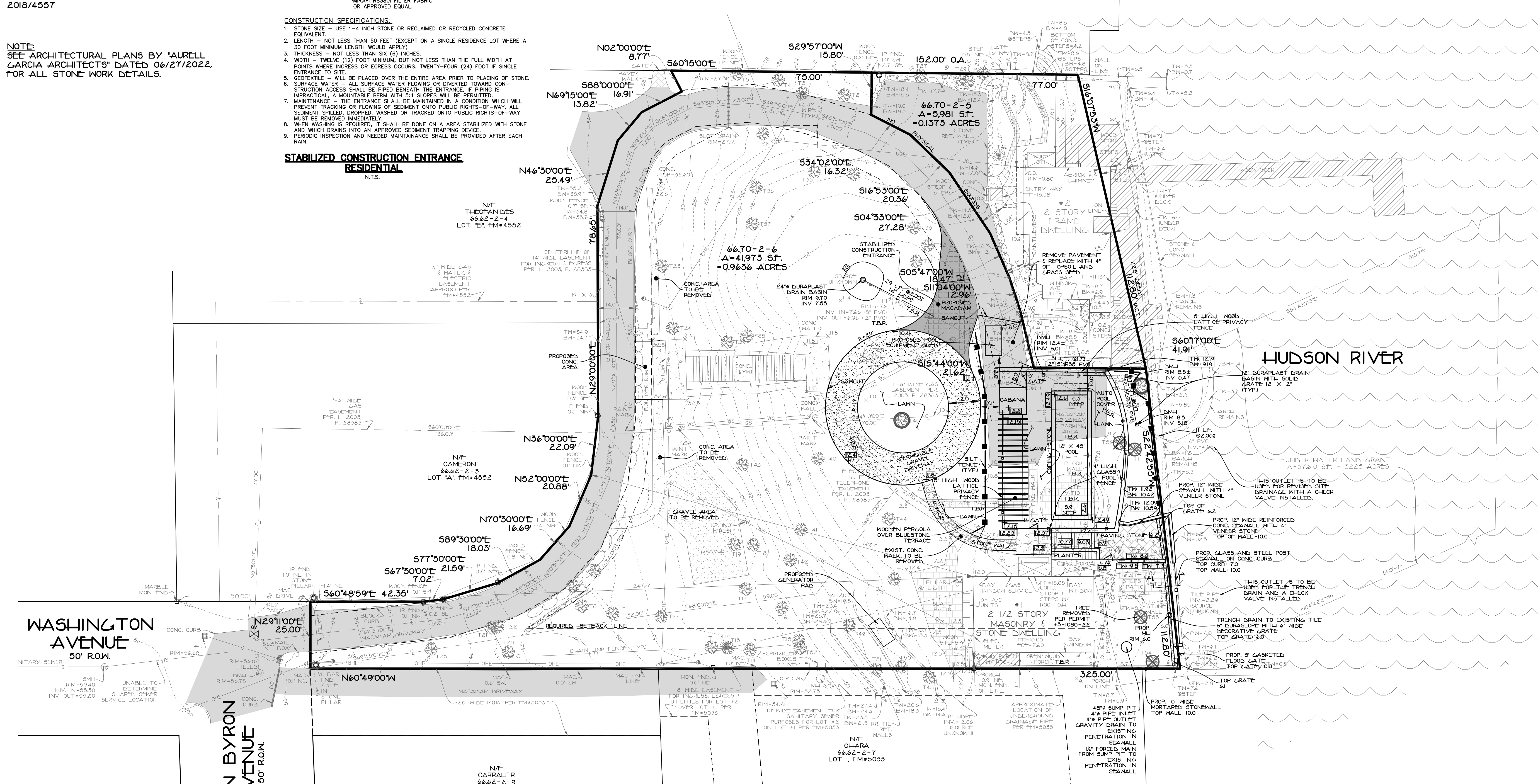
**STABILIZED CONSTRUCTION ENTRANCE
 RESIDENTIAL**
 N.T.S.



- NOTES:**
1. THIS FENCE IS AN ALTERNATE TO HAY BALE SEDIMENT BARRIER.
 2. MAINTAIN FENCE TO INSURE SEDIMENT ENTRAPMENT QUALITIES DURING CONSTRUCTION.
 3. REMOVE EXCESS SILT PERIODICALLY AND WHEN BULGES DEVELOPE.
 4. FENCE SYMBOL ON PLAN = [Symbol]
- SEDIMENT BARRIER FENCE**
 N.T.S.

TREE SCHEDULE

NUMBER	DIAM. (INCHES)	SPECIES
T1	24	WALNUT
T2	16	MAPLE
T3	28	MAPLE
T4	28	MAPLE
T5	24	MAPLE
T6	24	MAPLE
T7	24	MAPLE
T8	14	MAPLE
T9	12	MAPLE
T10	20	MAPLE
T11	24	MAPLE
T12	30	SPRUCE
T13	12	MAPLE
T14	30	MAPLE
T15	36	LOCUST
T16	10	CHESTNUT
T17	18	MAPLE
T18	40	LOCUST
T19	20	MAPLE
T20	36	MAPLE
T21	12	MAPLE
T22	24	MAPLE
T23	18	MAPLE
T24	18	MAPLE
T25	18	MAPLE
T26	40	SYCAMORE
T27	24	MAPLE
T28	16	MAPLE
T29	16	MAPLE
T30	24	MAPLE
T31	18	MAPLE
T32	12	MAPLE
T33	24	MAPLE
T34	20	MAPLE
T35	20	MAPLE
T36	36	SYCAMORE
T37	36	MAPLE
T38	20	MAPLE
T39	20	MAPLE
T40	16	MAPLE
T41	24	MAPLE
T42	20	MAPLE
T43	24	MAPLE
T44	30	TWIN
T45	24	CHESTNUT
T46	16	HOLLY
T47	12	MAPLE
T48	24	MAPLE
T49	12	MAPLE
T50	40	MAPLE
T51	12	MAPLE
T52	48	LOCUST
T53	36	SYCAMORE
T54	10	TWIN
T55	36	MULBERRY
T56	12	MAPLE
T57	12	MAPLE



SLOPE AREA DEDUCTIONS:
 02-15% = 02 124,758 X 0=0
 16%-25% = 402 15,888 X 40=2,235.2
 26%-33% = 602 12,469 X 60=1,481.41
 36%-100% = 1002 9,158 X 10=9,158

TOTAL DEDUCTIONS = 12,875 SF.

ZONING AREA CALCULATIONS:
 GROSS LOT AREA - SLOPE REDUCTIONS = ZONING LOT AREA
 41,973 SF - 12,875 SF = 29,098 SF

IMPERVIOUS SURFACE CALCULATIONS:
 PROPOSED: 14,962 SF.
 EXISTING: -14,670 SF.
 INCREASE: 292 SF.

MAXIMUM LOT COVERAGE CALCULATIONS:
 IMPERVIOUS SURFACE / LOT AREA = LOT COVERAGE
 EXISTING: 14,670 SF. / 41,973 SF. = 0.3495 (0.35)
 PROPOSED: 14,962 SF. / 41,973 SF. = 0.3565 (0.36)

BULK TABLE

ZONE	MINIMUM LOT AREA	LOT FRONTAGE (FEET)	FRONT YARD (FEET)	REAR YARD (FEET)	SIDE YARD (FEET)	TOTAL SIDE YARD (FEET)	MAXIMUM LOT COVERAGE (%)	MAXIMUM BUILDING HEIGHT (FEET)
REQUIRED	18,000	100	35	25	15	35	45	3 3/4
EXISTING	29,098	25*	247.8	28.1	5.8*	83.6*	35	2.5 <3/4
PROPOSED	29,098	25*	247.8	28.1	5.8*	83.6*	36	2.5 <3/4

*EXISTING, NON-CONFORMING

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

14 NYCRR PART 705
 1-800-962-7962

PLOT PLAN (SHEET 1 OF 2)
 OF
1 & 2 WASHINGTON AVENUE
 LOCATED IN
 VILLAGE OF SOUTH NYACK
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

STEVEN M. SPARACO, PE
 18 NORTH MAIN STREET
 HARRISMAN, NEW YORK 10926
 (845) 782-8545

REV: UPDATE LOT COVERAGE - 4/25/23
 REV: PER COMMENTS - 6/14/23

SPARACO & YOUNGLOOD, PLLC
 CIVIL ENGINEERING & LAND SURVEYING
 SITE PLANNING
 18 NORTH MAIN STREET
 P.O. BOX 918
 HARRISMAN, NY 10926
 TEL: (845) 782-8545
 FAX: (845) 782-5901
 SPARACO.STEVE@SELSNY.COM WYLS1@GMAIL.COM

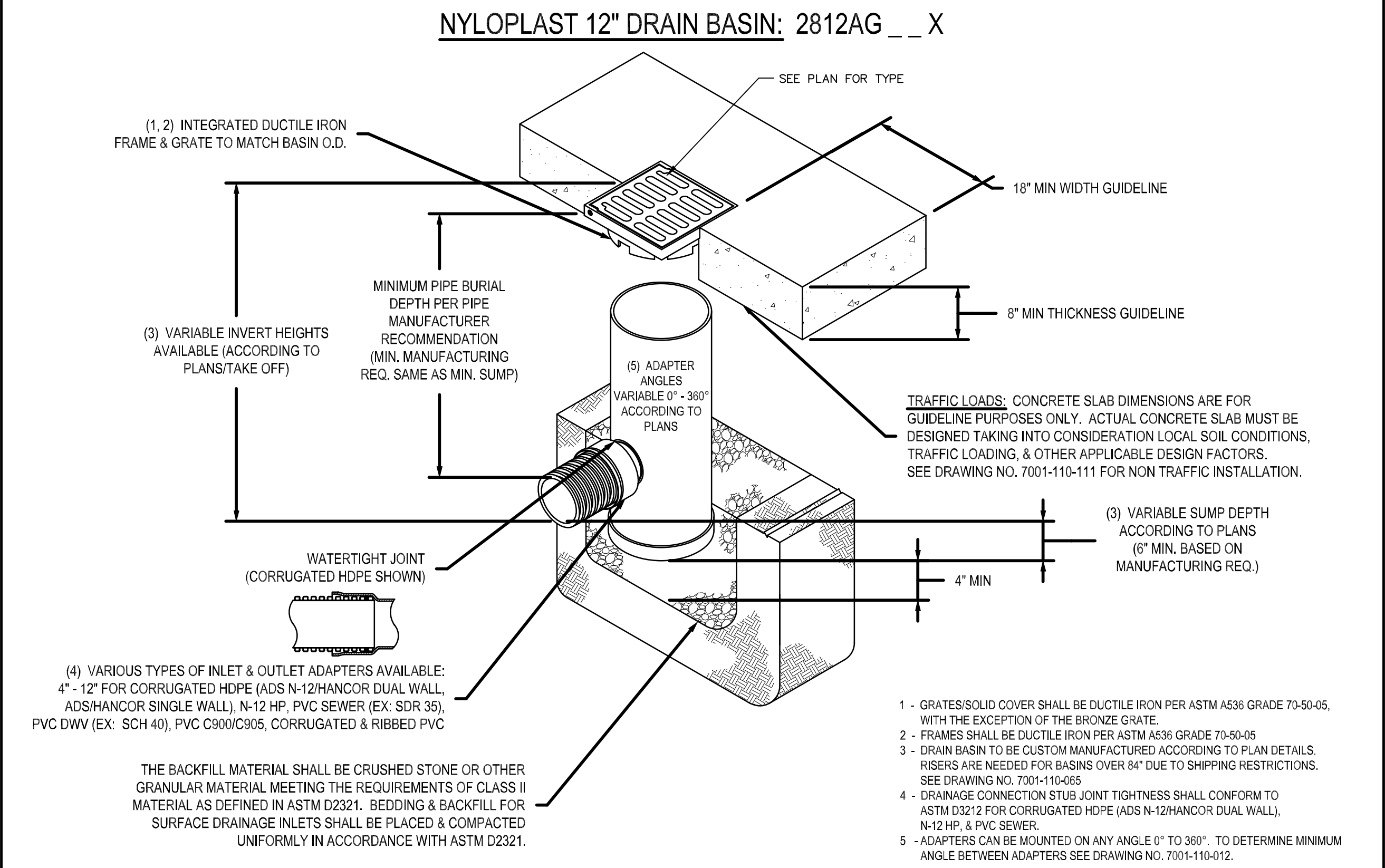
NOV. 11, 2022

1"=20'

TAX LOT: SECTION 66.70, BLOCK 2, LOTS 5 & 6

MAP REFERENCE:
 2003/28385
 2008/2241
 2019/18783
 2018/886
 841/380
 743/2550
 2004/73595
 2006/49763
 2007/39348
 2018/4557

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY LOCATION, SIZE AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
 - ALL EXISTING OFF-SITE PAVEMENT, FENCES, CURBS, WALKS AND OTHER FACILITIES DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 - EXISTING UTILITIES & STRUCTURES THAT ARE TO BE REMOVED AND/OR REPLACED SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
 - PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - UTILITIES AND UTILITY STRUCTURES WHOSE LOCATIONS ARE UNKNOWN MAY BE AFFECTED BY THE PROPOSED WORK. UPON FINDING SUCH UTILITIES, THE CONTRACTOR'S RESPONSIBILITY SHALL BE TO NOTIFY THE OWNER AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
 - CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICES WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO COMPLETED WORK.
 - ALL NEW UTILITY SERVICE CONNECTIONS, INCLUDING LINES AND EQUIPMENT FOR PROVIDING POWER AND/OR COMMUNICATIONS, ARE TO BE INSTALLED UNDERGROUND.
 - THE EXTENT OF THE CONSTRUCTION AND DISTURBANCE AREAS SHALL BE THE MINIMUM REQUIRED TO PERFORM THE CONTRACT WORK WITH AS MINIMAL EFFECT ON ADJACENT AREAS AS POSSIBLE.
 - ALL NEW STORM DRAINAGE PIPING TO BE SMOOTH BORE CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE SPECIFIED.
 - ROOF LEADERS (WHERE REQUIRED) TO BE 4" DIA. SDR 35 PVC PIPE AND WILL OUTLET TO DOWNSPOUTS ADJACENT TO THE PROPOSED BUILDINGS.
 - ALL NEW WATER MAINS AND RELATED APPURTENANCES TO BE SPECIFIED BY ARCHITECT'S MECHANICAL ENGINEER.
 - ALL SANITARY HOUSE CONNECTIONS TO BE 4" DIA. CAST IRON WITH A MINIMUM GRADE OF 2" TO THE FIRST CLEAN OUT OUTSIDE THE BUILDING. BEYOND THE FIRST CLEAN OUT, SDR 35 PVC PIPE MAY BE USED IN LIEU OF CAST IRON.
 - ANY SUBSTITUTIONS TO BE REQUESTED IN WRITING AND APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS WITH REGARDS TO DEMOLITION AND LEGAL DISPOSAL OF EXISTING STRUCTURES, WALKS AND DRIVEWAYS.
 - ANY EXISTING HOUSE CONNECTION PROPOSED TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE RIGHT-OF-WAY AND THE CURB LINE WITH A PERMANENT WATERTIGHT PLUG OR CAP ENCASED IN CONCRETE.
 - CONTRACTOR TO OBTAIN AND SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL BEFORE MANUFACTURING.
 - RETAINING WALLS SHALL BE LESS THAN 4 FEET IN HEIGHT. RETAINING WALLS MORE THAN 4 FEET IN HEIGHT ARE REQUIRED TO BE DESIGNED BY A CERTIFIED STRUCTURAL ENGINEER.
 - THIS PLAN IS BASED ON ARCHITECTURAL PLANS BY "MURILL GARCIA ARCHITECTS" DATED 06/27/2022.
 - AN INTERIOR CHECK VALVE SHALL BE PROVIDED ON THE SOIL LINE IF CAST IRON INVERT IS BELOW THE UPSTREAM MANHOLE RIM ELEVATION.
 - THIS PLAN IS BASED ON SURVEY PREPARED BY "SPARACO & YOUNGBLOOD, LLC" DATED 09/21/2021.



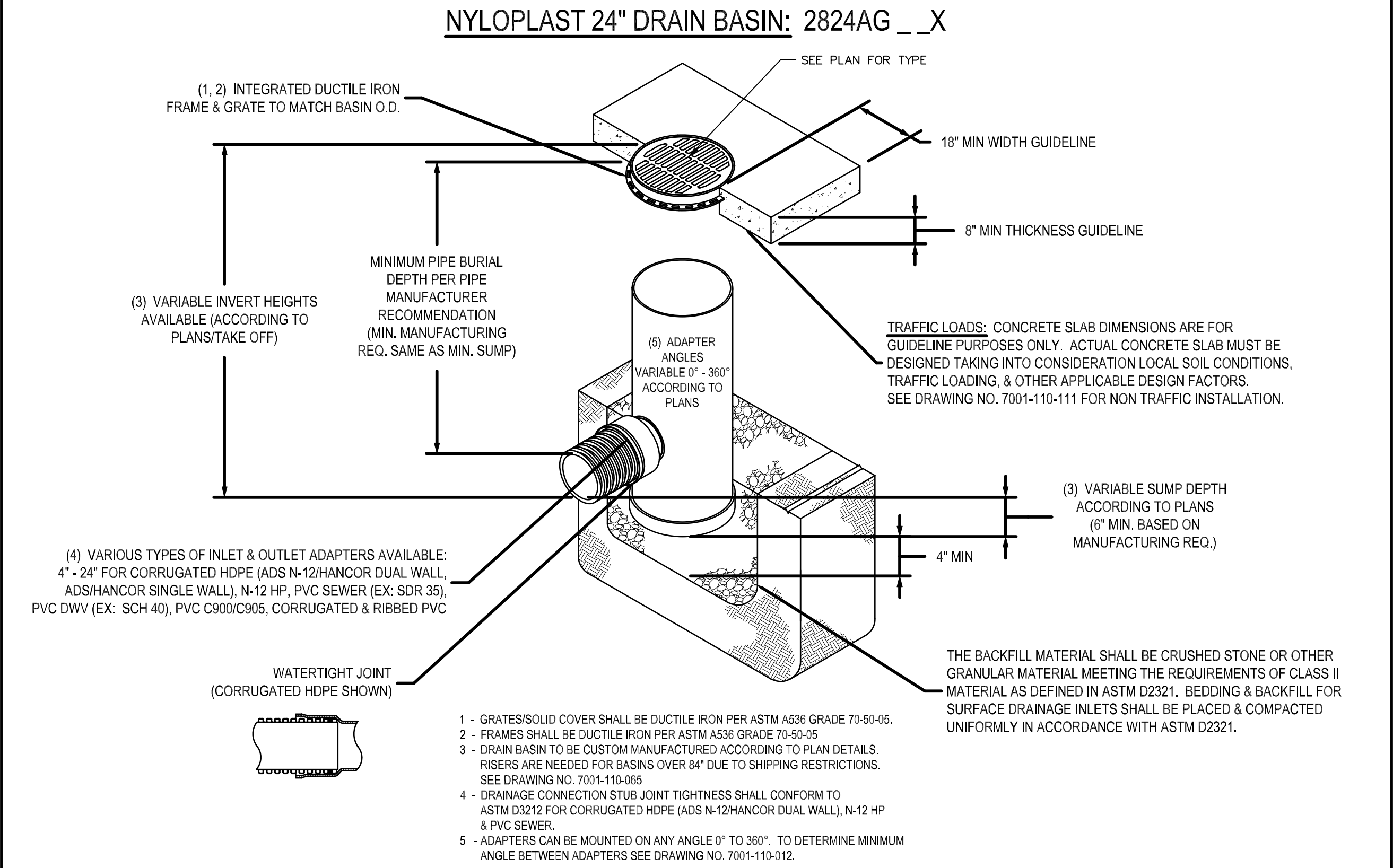
GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	1299GSP	7001-110-202
STANDARD	MEETS H-20	1299GCS	7001-110-203
SOLID COVER	MEETS H-20	1299GCB	7001-110-204
PEDESTRIAN BRONZE	N/A	1299GCPB	7001-110-205
DOME	N/A	1299GCD	7001-110-206
DROP IN GRATE	LIGHT DUTY	1201DI	7001-110-021

EROSION CONTROL INFORMATION:

- EROSION AND SEDIMENT CONTROL PLAN - CONSTRUCTION SEQUENCE:**
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES AND OR UTILITIES.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR STABILIZED.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE AS INDICATED ON PLAN.
 - INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AND DOWN SLOPE OF ALL AREAS DESIGNATED FOR TOPSOIL STOCKPILING.
 - CONSTRUCT BERMS, TEMPORARY SHALES AND PILES AS NECESSARY TO DIRECT RUNOFF TO TEMPORARY SEDIMENTATION ENTRAPMENT AREAS.
 - CLEAR EXISTING TREES, VEGETATION AND EXISTING STRUCTURES FROM AREAS TO BE FILLED OR EXCAVATED, STRIP AND STOCKPILE TOPSOIL FROM AREAS TO BE DISTURBED, SEED STOCKPILED TOPSOIL WITH TEMPORARY RYE GRASS COVER.
 - PERFORM EXCAVATION AND FILL TO BRING LAND TO DESIRED GRADE. ANY DISTURBED AREAS TO REMAIN BARE SHOULD BE SEEDED WITH TEMPORARY RYE GRASS.
 - INSTALL UNDERGROUNDS UTILITIES, MANHOLES AND CATCH BASINS. GRATES OF CURB AND FIELD INLETS SHOULD BE LEFT AT ELEVATIONS WHICH PERMIT PROPER COLLECTION OF SURFACE RUNOFF.
 - INSTALL INLET PROTECTION AT CURB AND FIELD INLETS.
 - CONSTRUCT CURBS AND INSTALL BASE AND BINDER COURSES OF PAVED AREAS. RAISE GRATES OF THE CURB AND FIELD INLETS ACCORDINGLY.
 - COMPLETE THE GRADING.
 - INSTALL SURFACE COURSE OF PAVEMENT. RAISE GRATES OF CURBS AND FIELD INLETS TO FINAL ELEVATION.
 - UPON COMPLETION OF CONSTRUCTION ALL DISTURBED AREAS ARE TO BE SEEDED WITH 1/2 LB. OF RYE GRASS PER 1000 SQUARE FEET OR DISTURBED AREA. ALL TEMPORARY DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 - FOR INDIVIDUAL HOUSE & SEPTIC CONSTRUCTION FOLLOW STEPS #1 TO #13 WHERE APPLICABLE.
 - BARE SOIL SHOULD BE SEEDED WITHIN 14 DAYS OF EXPOSURE. WHENEVER CONSTRUCTION IS SUSPENDED OR COMPLETED, AREAS SHOULD BE SEEDED DOWN OR MULCHED IMMEDIATELY. UPON COMPLETION A PERENNIAL MIX NEEDS TO BE USED TO ENSURE CONTINUAL STABILIZATION.

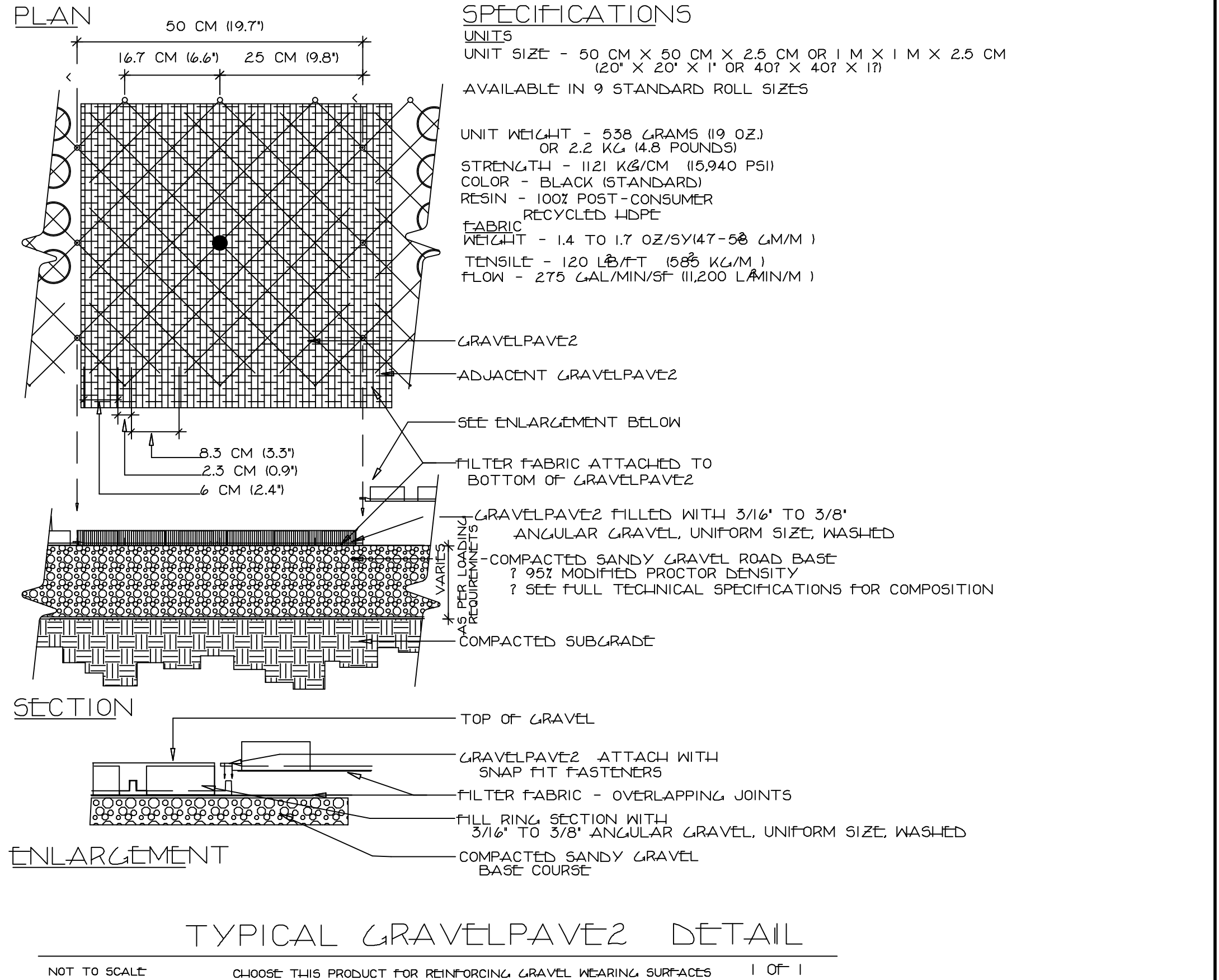
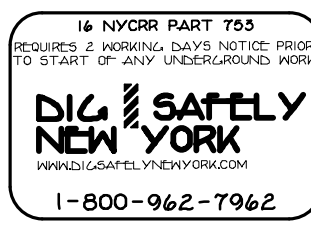
STANDARD EROSION CONTROL NOTES:

- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EXISTING BERMS, RIP-RAP, CRUSHED STONE DAMS OR OTHER SUITABLE MATERIALS. DIVERSION SHALES, BERMS, OR OTHER CLEANIZATION STRUCTURES SHOULD BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS WHICH SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- ALL DISTURBED AREAS EXCEPT ROADWAYS WHICH WILL REMAIN UNFINISHED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICAL BY INSTALLATION OF THE BASE COURSE.
- SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
- PROVIDE INLET PROTECTION TO ALL INLETS ON SITE. (SEE DETAIL)

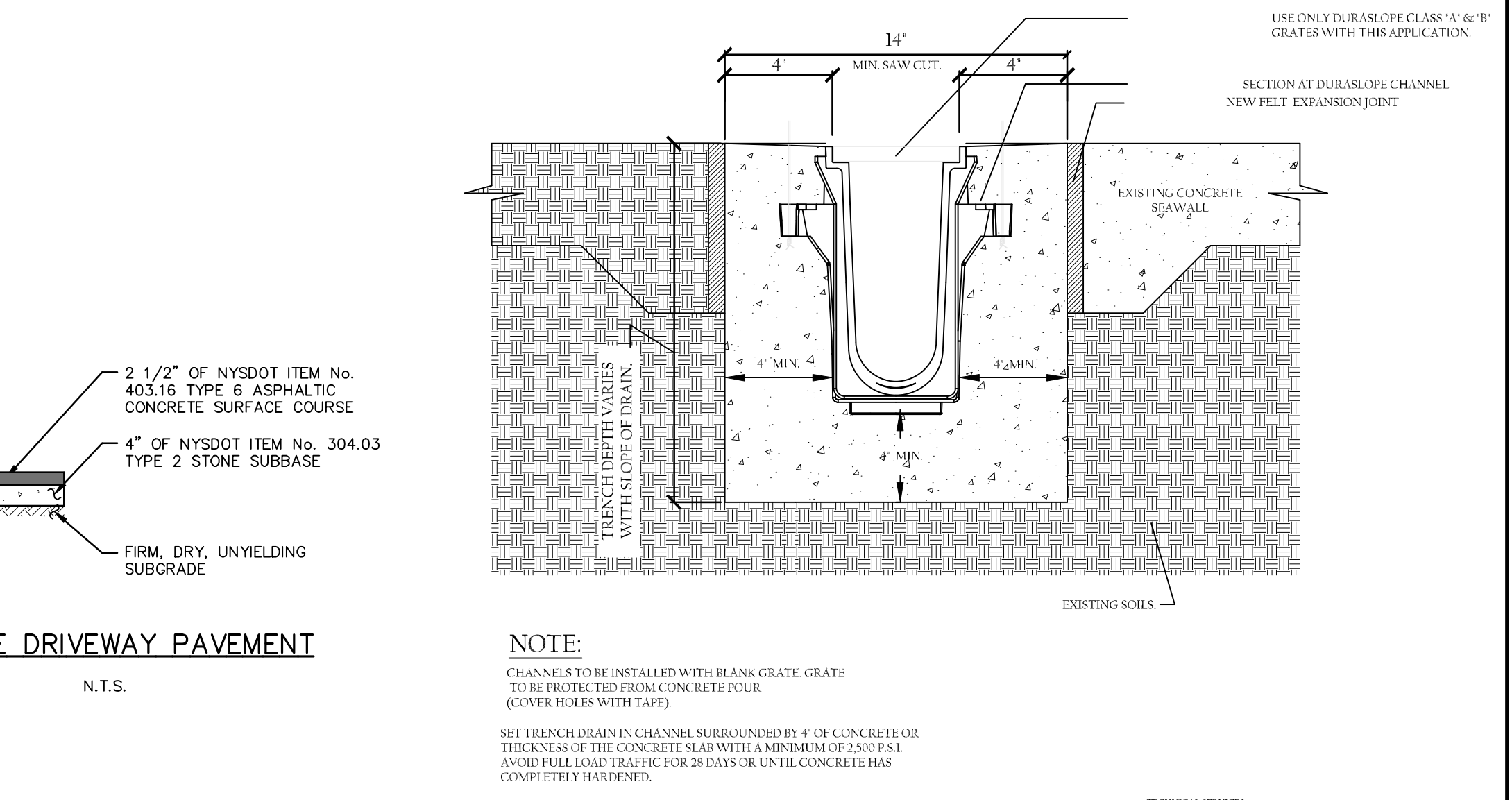


GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	2499GSP	7001-110-218
STANDARD	MEETS H-20	2499GCS	7001-110-217
SOLID COVER	MEETS H-20	2499GCB	7001-110-219
DOME	N/A	2499GCD	7001-110-218
DROP IN GRATE	LIGHT DUTY	2401DI	7001-110-075

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	1299GSP	7001-110-202
STANDARD	MEETS H-20	1299GCS	7001-110-203
SOLID COVER	MEETS H-20	1299GCB	7001-110-204
PEDESTRIAN BRONZE	N/A	1299GCPB	7001-110-205
DOME	N/A	1299GCD	7001-110-206
DROP IN GRATE	LIGHT DUTY	1201DI	7001-110-021



NOTE:
 CHANNELS TO BE INSTALLED WITH BLANK GRATE. GRATE TO BE PROTECTED FROM CONCRETE CURB (COVER HOLES WITH TAPE).
 SET TRENCH DRAIN IN CHANNEL SURROUNDED BY 4" OF CONCRETE OR THICKNESS OF THE CONCRETE SLAB WITH A MINIMUM OF 2" (0.5") AVOID FILL LOADS TRAFFIC FOR 24 HOURS ON UNSET CONCRETE SLAB COMPLETELY HARDENED.

NOTES & DETAILS (SHEET 2 OF 2)
 OF
1 & 2 WASHINGTON AVENUE
 LOCATED IN
 VILLAGE OF SOUTH NYACK
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

REV: UPDATE LOT COVERAGE - 4/25/23
 REV: PER COMMENTS - 6/14/23

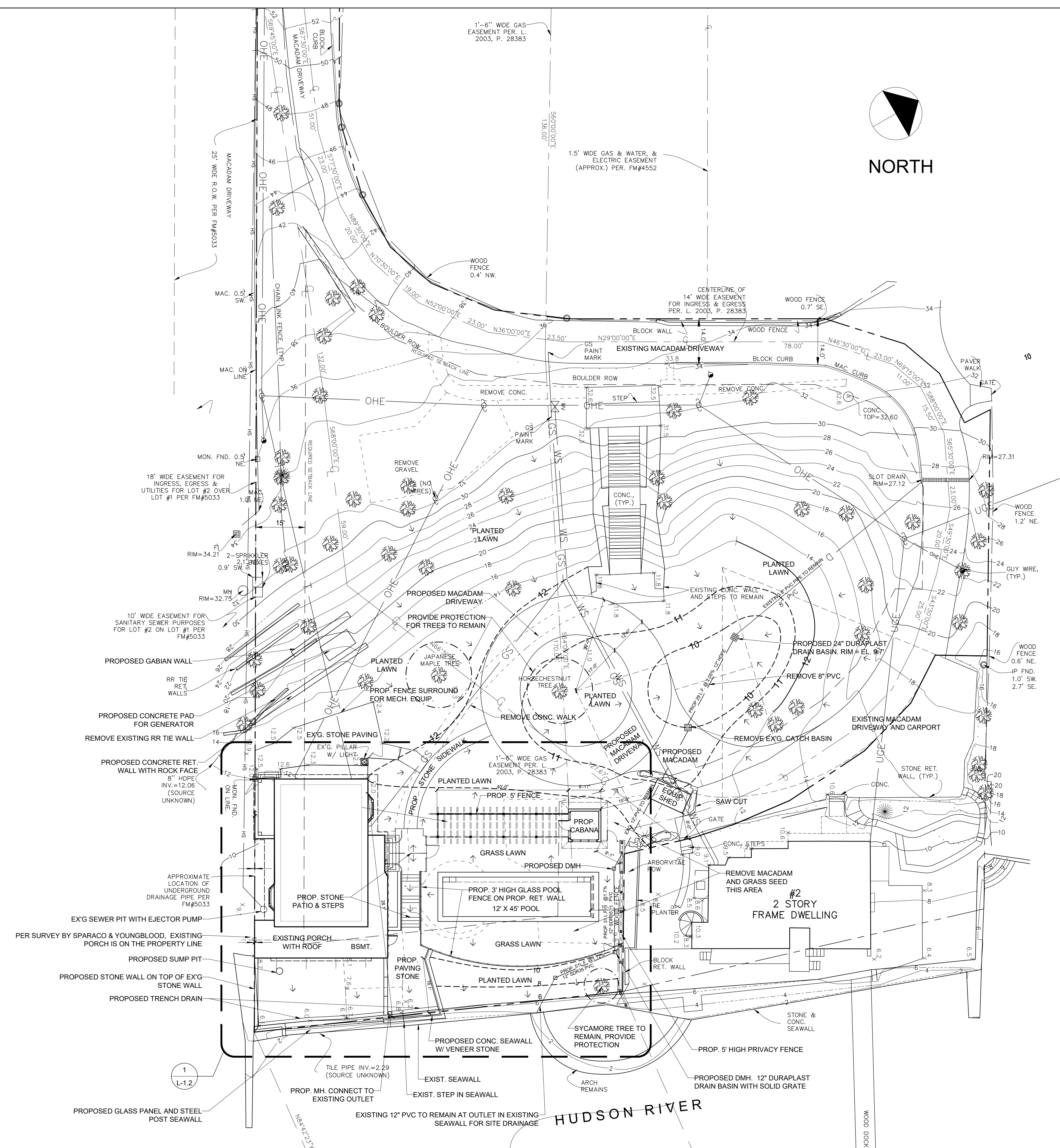
SPARACO & YOUNGBLOOD, PLLC
 CIVIL ENGINEERING * LAND SURVEYING
 SITE PLANNING
 18 NORTH MAIN STREET
 P.O. BOX 918
 LIARRIMAN, NY 10926
 TEL: (845) 782-8545
 FAX: (845) 782-5901
 SPARACO.STEVE@SELSONY.COM WYLS1@GMAIL.COM

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STATE OF NEW YORK
 STEVEN M. SPARACO
 LICENSED PROFESSIONAL ENGINEER
 079513

NOV. 11, 2022
 1"=20'

LANDSCAPE RENOVATION
1 Washington Avenue
South Nyack, New York



1 SITE PLAN
1/16" = 1'-0"

AREA OF DISTURBANCE = 12,200 S.F.



REVISIONS:

DRAWING TITLE:

SITE PLAN

DATE:	07/07/2023
PROJ TEAM:	WCA/MRG
PROJ PARTNER:	WCA/MRG
PROJ NO.:	21110

L-1.1

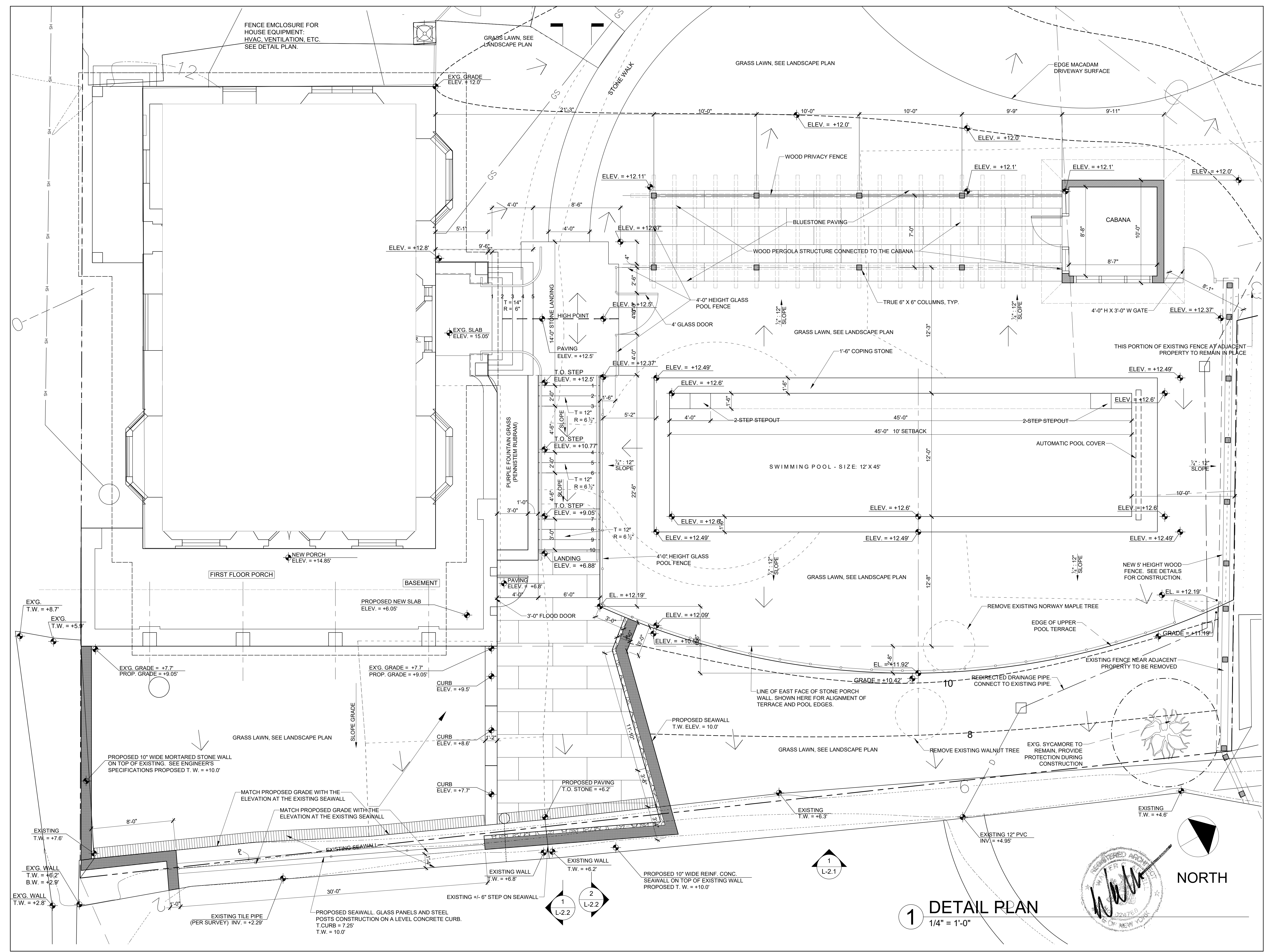
PERMIT SET - LANDSCAPE

LANDSCAPE RENOVATION
1 Washington Avenue
South Nyack, New York

REVISIONS:
DRAWING TITLE:
DETAIL PLAN

DATE: 07/07/2023
PROJ TEAM: WCA/MRG
PROJ PARTNER: WCA/MRG
PROJ NO.: 21110

L-1.2



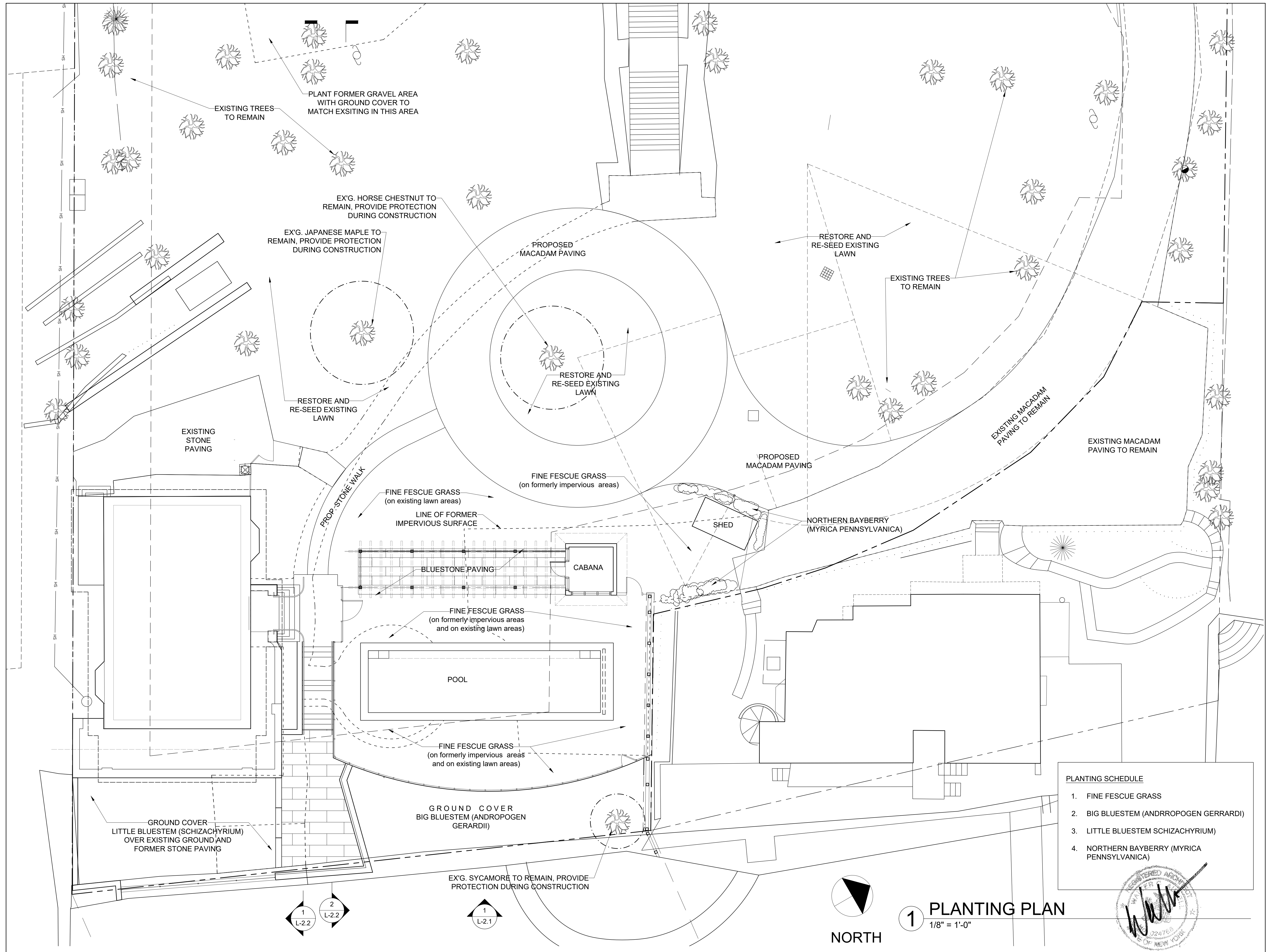
1 DETAIL PLAN
1/4" = 1'-0"



PERMIT SET - LANDSCAPE

LANDSCAPE RENOVATION

1 Washington Avenue
South Nyack, New York



REVISIONS:

DRAWING TITLE:

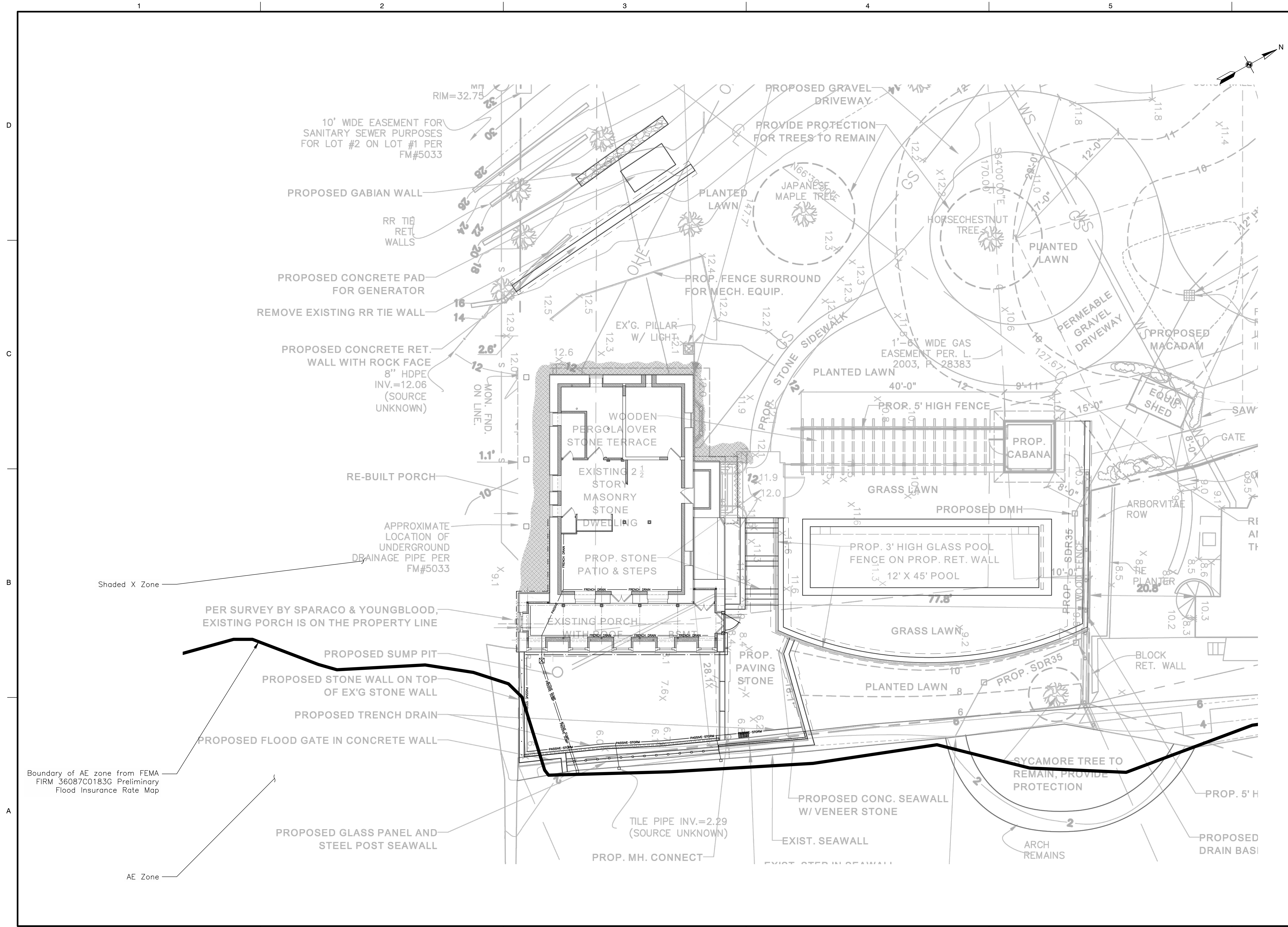
**PLANTING
PLAN**

DATE:	07/07/2023
PROJ TEAM:	WCA/MRG
PROJ PARTNER:	WCA/MRG
PROJ NO.:	21110

L-1.4

PERMIT SET - LANDSCAPE

1 PLANTING PLAN
1/8" = 1'-0"



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Traneek, NJ 07066
(908) 817-2001
info@blueshorellc.com



MARK	DATE	DES	CHK	DESCRIPTION
	07/10/2023	IA	RWG	Flood line clarification

DATUM:	NAV/D88	CODE:	IBC 2020
PROJECT #:	220080	PLOT DATE:	2023-07-10
SIZE:	ARCH/D	FILE NAME:	220080 1 WASH RTWL
DATE:	03/22/2023	DOB #:	N/A
SCALE:	1/8" = 1'-0"		

FLOOD ZONE LINE
1 Washington Ave
South Nyack, NY 10960
Farber Residence
Site Improvements