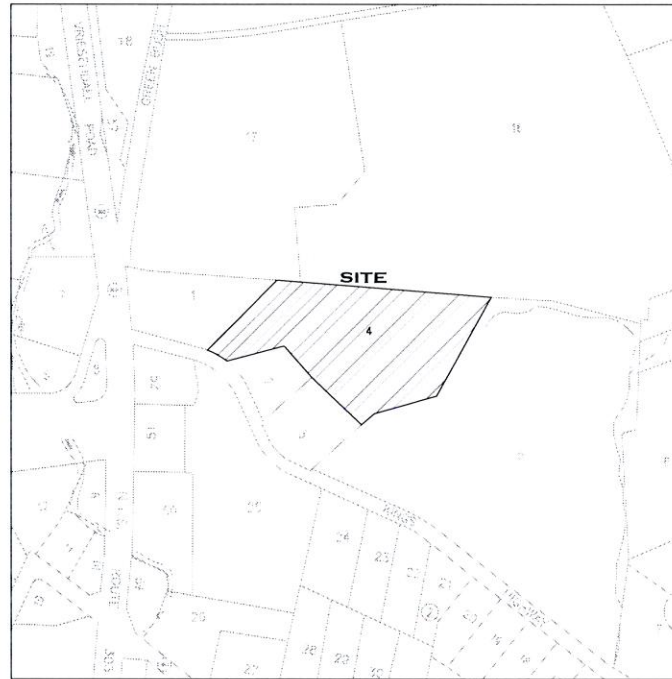


# EAST COAST BLR 1993 LLC

11 KINGS HIGHWAY

ORANGEBURG, NEW YORK

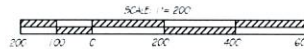
PB 6-28-23



DISTRICTS:	
SCHOOL DISTRICT	0021TH ORANGETOWN
FIRE DISTRICT	ORANGEBURG
SEWER DISTRICT	ORANGEBURG
POSTAL DISTRICT	ORANGEBURG
WATER DISTRICT	VERLVA



VICINITY MAP  
**11 KINGS HIGHWAY**  
 ORANGEBURG  
 TOWN OF ORANGETOWN \* ROCKLAND COUNTY  
 NEW YORK



**LIO ZONE**  
 SECTION 74.11, BLOCK 2, LOT 4

EAST COAST BLR 1993, LLC  
 3 REUTEN DRIVE  
 CLOSTER, NEW JERSEY 07624  
 OWNER, THOTA NAGARAJA  
 (201) 981-8320

REVISIONS:

REVISIONS:
2 MAY 2023

DATE: 3 NOVEMBER 2022	SCALE: AS NOTED
SHEET: T-1	

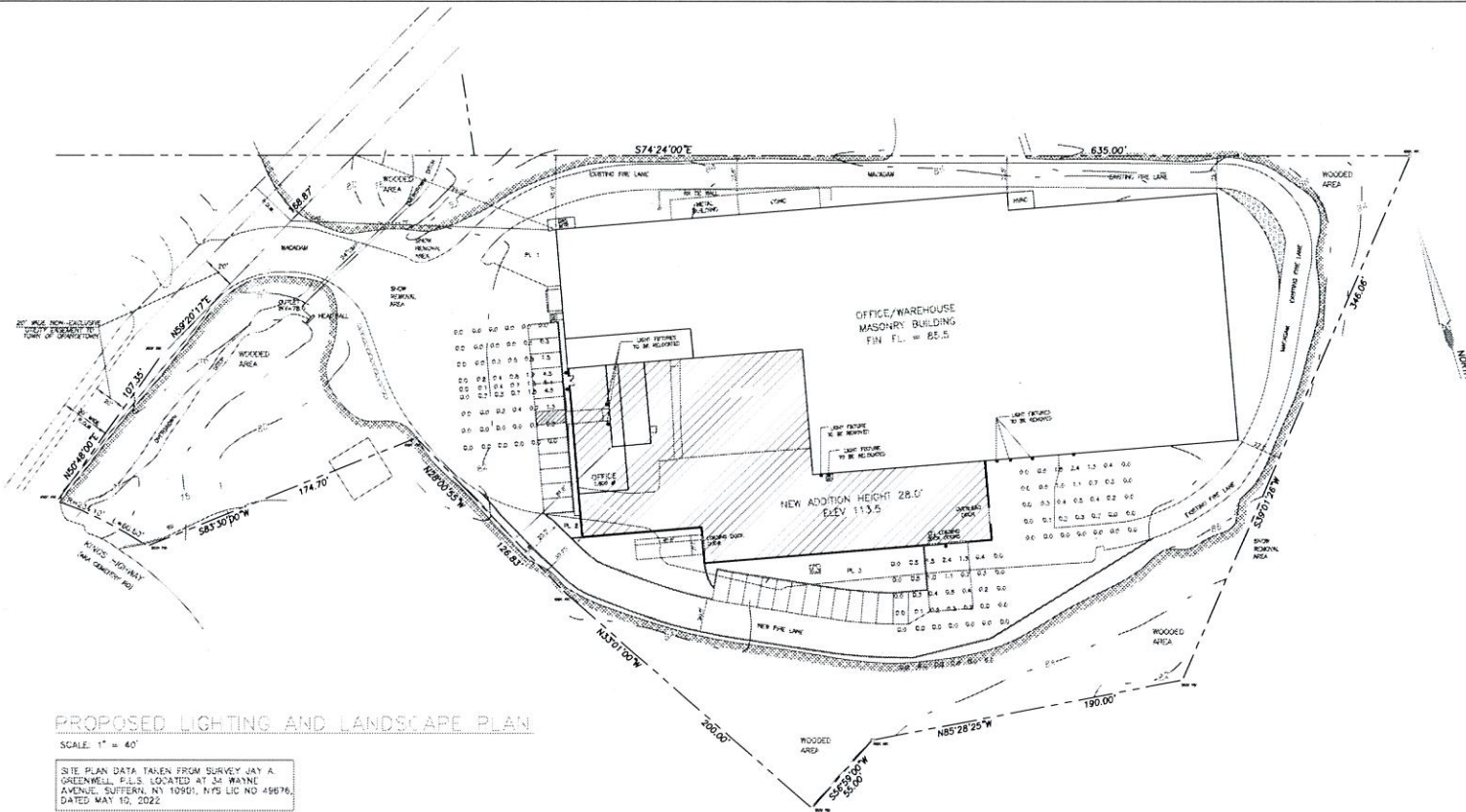
EAST COAST BLR 1993 LLC  
 11 KINGS HIGHWAY  
 TAPPAN, NEW YORK 10983

TITLE PAGE  
 VICINITY MAP

EAST M. ROBB - ENGINEER  
 RESIDENTIAL & COMMERCIAL  
 234 SOUTH GRANT AVE  
 CONGERS, NEW YORK 10920  
 (845) 268-0883

THIS LIO #170045  
 MAP WAS ONLY MADE

DO NOT SCALE PRINTS

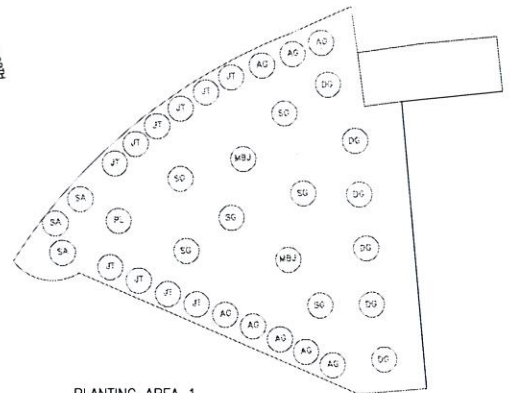
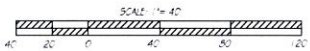


**PROPOSED LIGHTING AND LANDSCAPE PLAN**

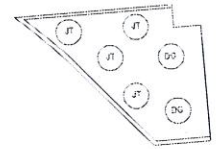
SCALE: 1" = 40'

SITE PLAN DATA TAKEN FROM SURVEY JAY A. GREENWELL, P.E.S. LOCATED AT 34 WAYNE AVENUE, SUFFERN, NY 10981, NYS LIC NO 49676, DATED MAY 10, 2022.

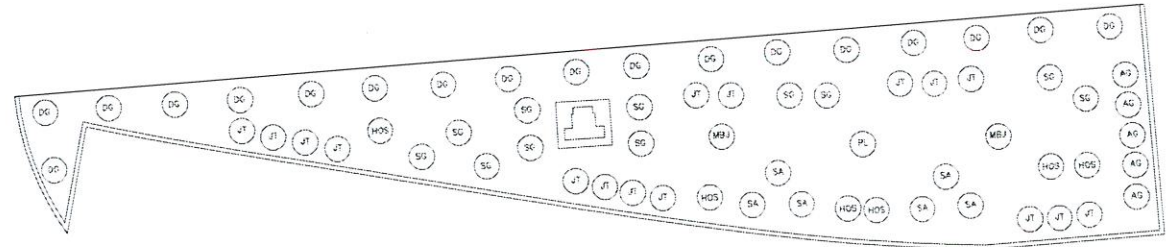
LIGHT READINGS TAKEN ON APRIL 27, 2023 AT 11:00PM



PLANTING AREA 1



PLANTING AREA 2



PLANTING AREA 3

PLANTING LEGEND				
KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE
MBJ	4	BLOODGOOD JAPANESE MAPLE	ACER PALMATUM 'BLOODGOOD'	5'-6' EE
JT	20	TAN JUNPER	AMPELIUS TAMARISIFOLIA	3 GAL
AG	13	GLOBE ARBORVITAE	THUJA OCCIDENTALIS 'MOONHARD'	18"-24" BB
SA	9	DWARF ALBERTA SPRUCE	PICEA GLAUCA 'CONICA'	5 GAL
SG	17	GOLDFLAME SPREA	SPREEA JAPONICA 'GOLDFLAME'	2 GAL
DG	26	FOUNTAIN GRASS	PENSETUM ALOPURCOURTES	1 GAL
PL	2	NON-FRUIT BEARING PLUM	KRAUTER VESUVIUS	1 GAL
HOS	6	SH-YUNE HONEYLOCUST	OLESTIA TRIACANTHOS INERMIS 'SAICOLE'	2 1/2"-4" BB

REVISIONS	

REVISIONS	

DATE:	21 MAY 2023
SCALE:	AS NOTED
SHEET:	SP-5

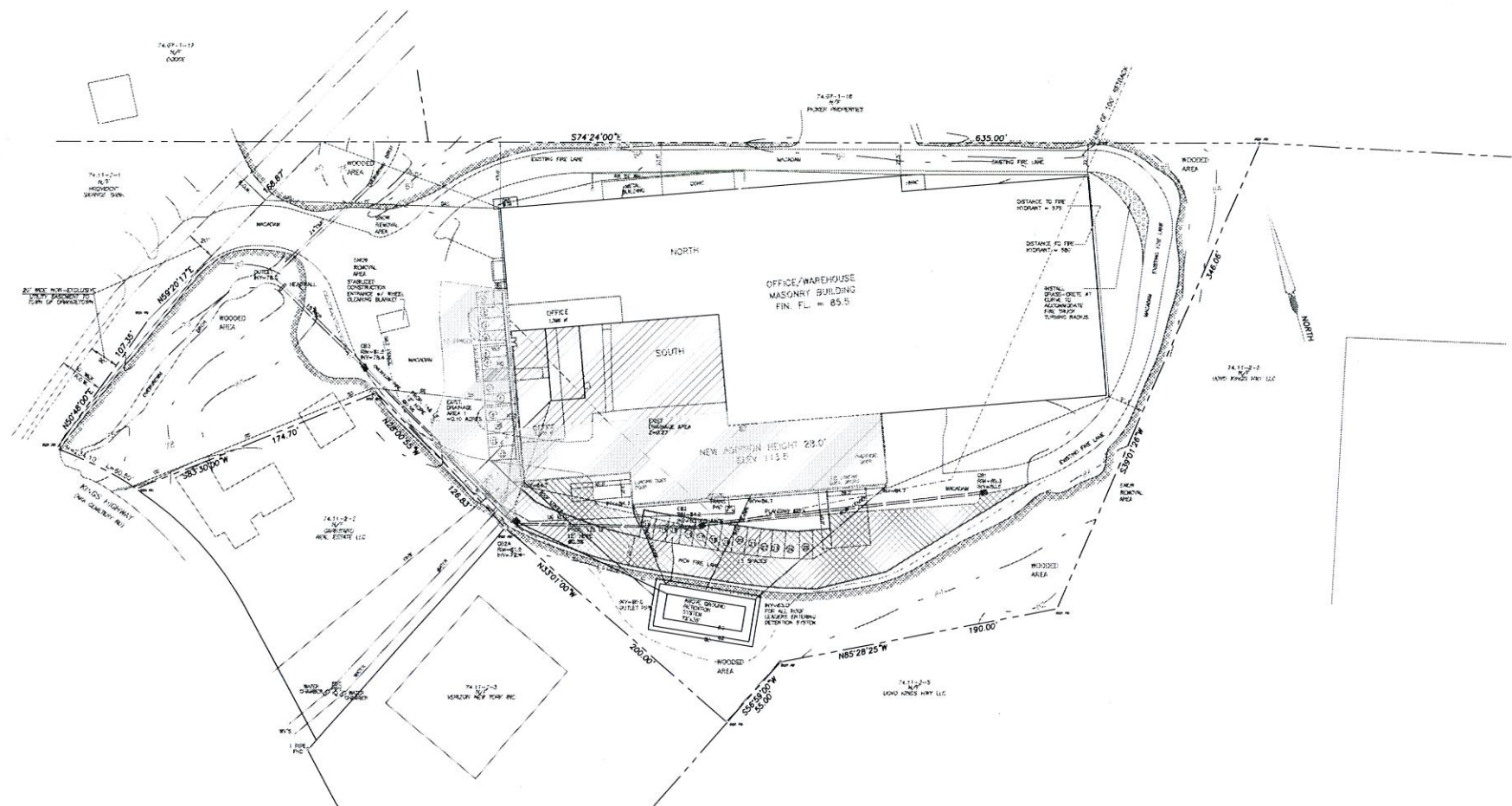
EAST COAST BLR 1993 LLC  
11 KINGS HIGHWAY  
TAPPAN, NEW YORK 10983

PROPOSED LIGHTING &  
LANDSCAPE PLAN

EAST M. BOBI - ENGINEER  
RESIDENTIAL & COMMERCIAL  
234 SOUTH GRANT AVE  
CONGERS, NEW YORK 10920  
(845) 288-8883

NYS LIC #07043  
PLUM AND IRRIG. EXP.

DO NOT SCALE PRINTS.

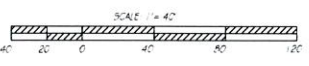


PROPOSED DRAINAGE AREA

PROPOSED SITE PLAN

SCALE: 1" = 40'

SITE PLAN DATA TAKEN FROM SURVEY JAY A. ORENWELL, P.L.S. LOCATED AT 34 WAYNE AVENUE, SUPTEN, NY 10901, NYS LIC. NO. 49878, DATED MAY 10, 2022.



EQ 1407 SCALE PRINTS

REVISIONS

REVISIONS

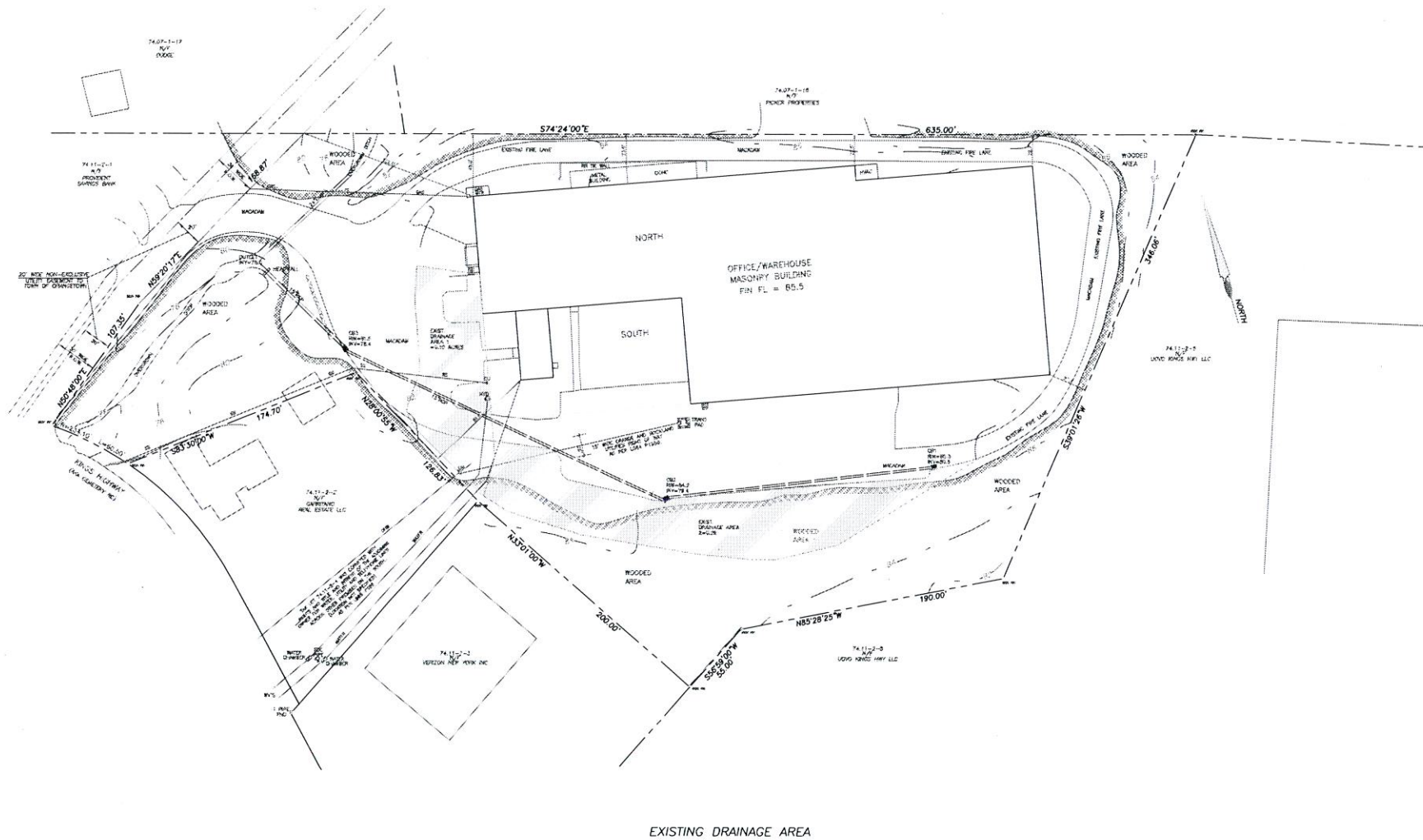
DATE: 2 MAY 2023  
 SCALE: AS NOTED  
 SHEET: SP-4

EAST COAST BLR 1993, LLC  
 11 KINGS HIGHWAY  
 TAPPAN, NEW YORK 10983

PROPOSED DRAINAGE PLAN

PART M. ROBB - ENGINEER  
 RESIDENTIAL & COMMERCIAL  
 214 SOUTH GRANT AVE  
 CONENSBURG, NEW YORK 10920  
 (845) 768-8883

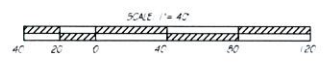
NYS LIC #270045  
 PART M. ROBB, P.E.



EXISTING CONDITIONS SITE PLAN

SCALE 1" = 40'

SITE PLAN DATA TAKEN FROM SURVEY JAY A. GREENWELL, P.L.S. LOCATED AT 34 WAYNE AVENUE, SUFFERN, NY 10901, NYS L.C. NO. 49670, DATED MAY 10, 2022.



EXISTING DRAINAGE AREA

EG 1001 SCALE PRINTS

REVISIONS:


REVISIONS:

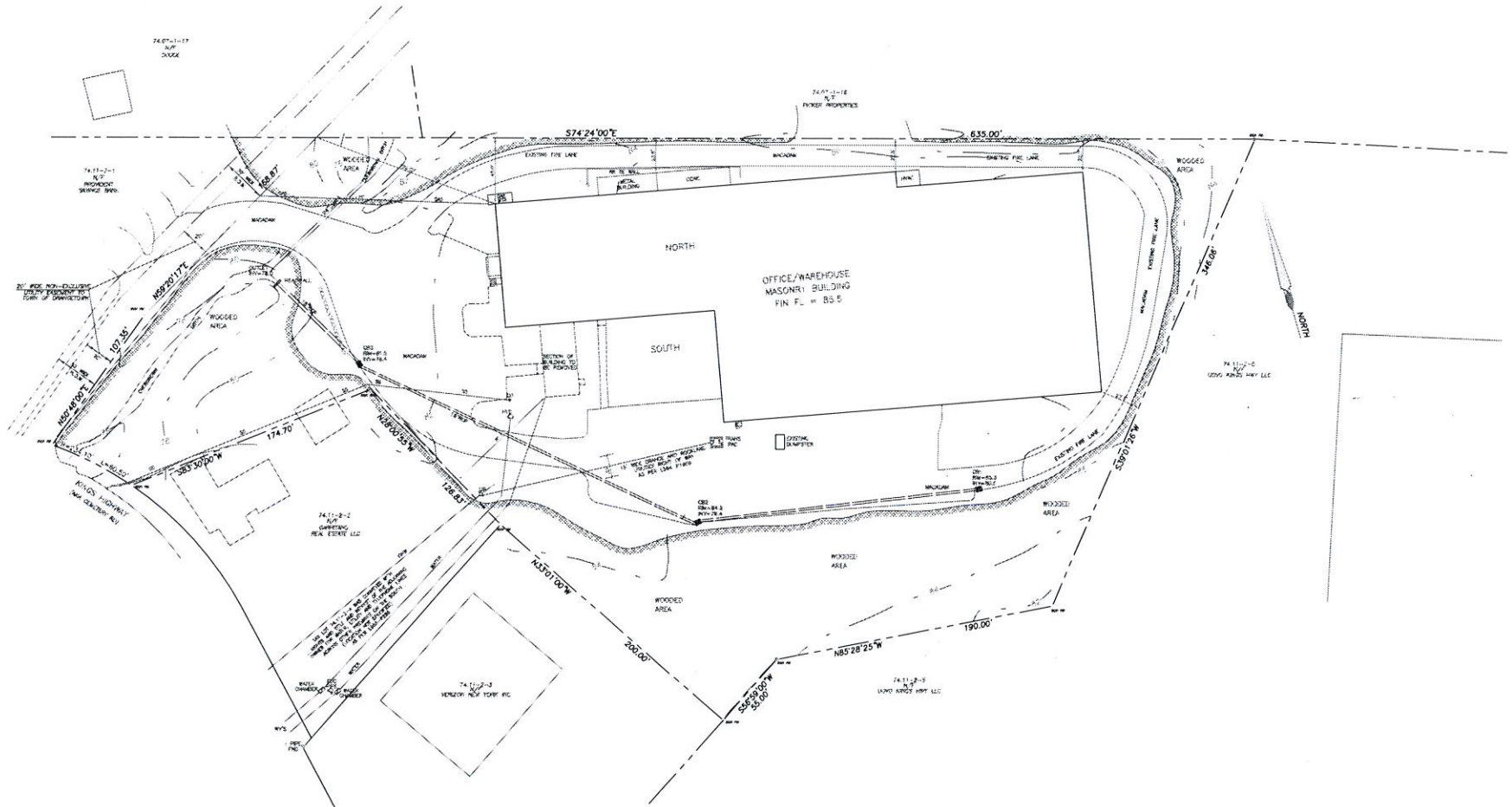

DATE: 2 MAY 2023  
 SCALE: AS NOTED  
 SHEET: SP-3

EAST COAST BLR 1993 LLC  
 11 KINGS HIGHWAY  
 TAPPAN, NEW YORK 10983

EXISTING DRAINAGE PLAN

BART M. BOBB - ENGINEER  
 RESIDENTIAL & COMMERCIAL  
 214 SOUTH GRANT AVE  
 CONENERS, NEW YORK 10920  
 (845) 288-6663

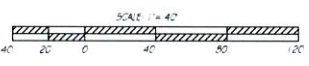
NYS L.C. #270545  
 PLAN AND SET BY FIELD



EXISTING CONDITIONS SITE PLAN

SCALE: 1" = 40'

SITE PLAN DATA TAKEN FROM SURVEY JAY A. GREENWELL, P.L.S. LOCATED AT 34 WAYNE AVENUE, SUPTEN, NY 10901, NYS LIC. NO. 49670, DATED MAY 10, 2022.



REVISIONS:


REVISIONS:


DATE: 2 MAY 2023  
 SCALE: AS NOTED  
 SHEET: SP-2

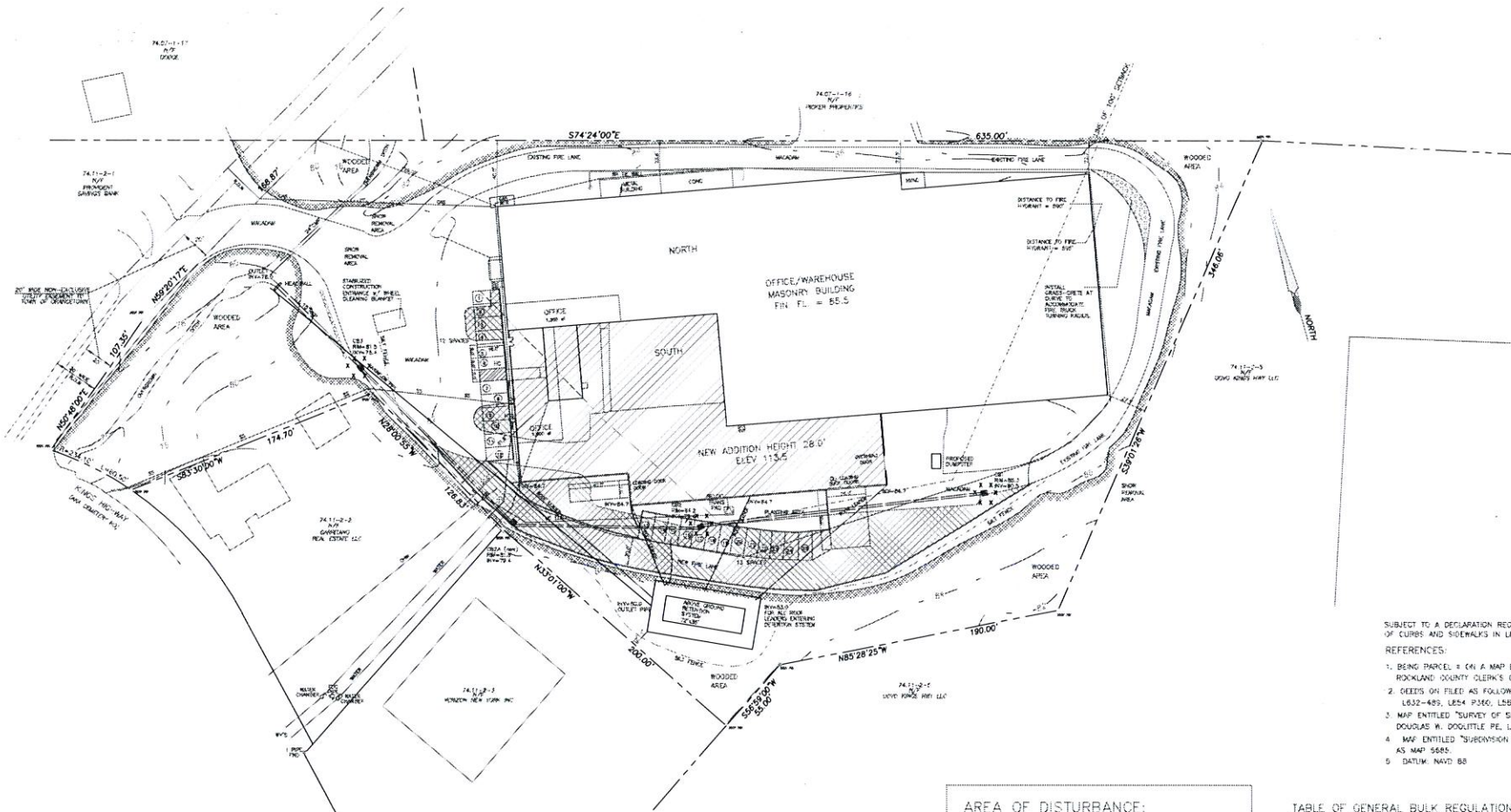
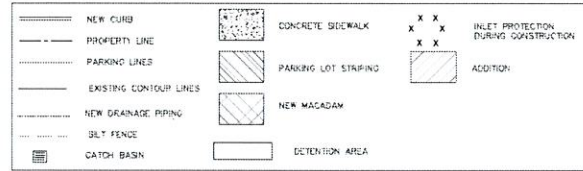
EAST COAST BIR 1993 LLC  
 11 KINGS HIGHWAY  
 TAPPAN, NEW YORK 10983

EXISTING CONDITIONS SITE PLAN

PAUL M. ROHL - ENGINEER  
 RESIDENTIAL & COMMERCIAL  
 234 SOUTH GRANT AVE  
 CONENSBURG, NEW YORK 10920  
 (845) 268-6663

NYS LIC #170043  
 PAUL M. ROHL - ENGINEER

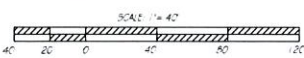
EG NOT SCALE PRINTS



**PROPOSED SITE PLAN**

SCALE: 1" = 40'

SITE PLAN DATA TAKEN FROM SURVEY JAY A. GREENWELL, P.L.S. LOCATED AT 34 WAYNE AVENUE, SUPERIOR, NY 10901, NYS LIC. NO. 49870, DATED MAY 10, 2022



**PARKING ANALYSIS**

REQUIREMENTS  
OFFICE: 1 SPACE PER 200 SF  
LIGHT MANUFACTURING: 1 SPACE PER 2 EMPLOYEES

NORTH BUILDING  
OFFICE: 1368 SF = 7 SPACES

LIGHT MANUFACTURING: 9 EMPLOYEES = 5 SPACES

SOUTH BUILDING  
OFFICE: 1800 SF = 9 SPACES  
LIGHT MANUFACTURING: 8 EMPLOYEES = 4 SPACES

TOTAL 25 SPACES, INCLUDING 1 HANDICAP ACCESSIBLE SPACE

AREA OF DISTURBANCE:  
44,165.0 SQUARE FEET

AREA OF PROPOSED ADDITION:  
21,105.0 SQUARE FEET  
(incl. 1,146 sq ft of ext'g bldg wing)

ADDITIONAL IMPERVIOUS AREA:  
EXISTING IMPERVIOUS: 101,392  
TOTAL IMPERVIOUS: 119,683  
ADDITIONAL IMPERVIOUS: 18,291

SUBJECT TO A DECLARATION REGARDING INSTALLATION OF CURBS AND SIDEWALKS IN LEFT P217.

**REFERENCES:**

1. BEING PARCEL 1 (4) A MAP ENTITLED, "WORK SUBDIVISION FOR IRVING MADMAN", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP 1823.
2. CERTS ON FILE AS FOLLOWS: LIBER 985 PAGE 28R, INSTR# 2007-11884, INSTR# 2014-27514, L632-483, L654 P366, L684 P1959.
3. MAP ENTITLED "SURVEY OF SECTION 81, BLOCK 761, LOT 37-2", PREPARED BY DOUGLAS W. DOUGLITTLE, P.E. L.S. (3-11-91)
4. MAP ENTITLED "SUBDIVISION FOR NICE-PAN PRODUCTS, INC.", FILED IN THE ROCKLAND COUNTY CLERK'S AS MAP 5885.
5. DATUM: NAVD 83

**TABLE OF GENERAL BULK REGULATIONS FOR DISTRICT L10, USE GROUP OC, FOR THE TOWN OF ORANGETOWN**

	REQUIRED	EXISTING	PROPOSED
MAXIMUM FLOOR AREA RATIO	0.4	0.178	0.39
MINIMUM LOT AREA	2 ACRES	4.458 ACRES	NO CHANGE
MINIMUM LOT WIDTH	300'	480'	NO CHANGE
MINIMUM STREET FRONTAGE	150'	60.5' **	NO CHANGE
REQUIRED FRONT YARD	100'	125'	NO CHANGE
REQUIRED SIDE YARD	100'	27.1' **	NO CHANGE
		81.8' **	30.25' (V)
TOTAL SIDE YARD	200'	108.8' **	57.4' (V)
REQUIRED REAR YARD	100'	22.5' **	NO CHANGE
LAND COVERAGE	75%	52%	62%
MAXIMUM BUILDING HEIGHT: 3' FEET FOOT FROM DESIGNATED STREET LINE	62'	32'	NO CHANGE

\*\* EXISTING NON-CONFORMING CONDITION  
(V) VARIANCE REQUIRED

EG NOT SCALE PRINTS

REVISIONS:


REVISIONS:


REVISIONS:


REVISIONS:

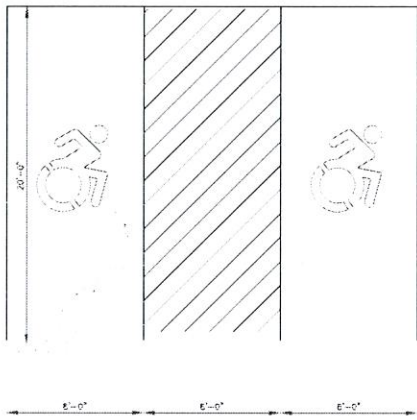

DATE: 28 OCTOBER 2022  
SCALE: AS NOTED  
SHEET: SP-1

EAST COAST BLR 1993, LLC  
11 KINGS HIGHWAY  
TAPPAN, NEW YORK 10983

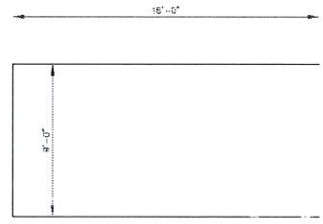
PROPOSED SITE PLAN

**EARL M. ROBE - ENGINEER**  
RESIDENTIAL & COMMERCIAL  
254 SOUTH GRANT AVE  
CONYERS, NEW YORK 10920  
(845) 268-8883

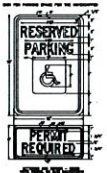
NYS LIC #20845  
PLANS MADE BY E.P. ROAD



HANDICAP PARKING SPACE DETAIL  
SCALE: 1/4" = 1'-0"



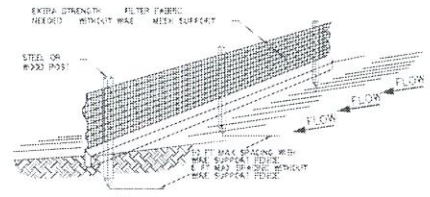
DIMENSIONS TYPICAL PARKING SPACE  
SCALE: 1/4" = 1'-0"



HANDICAP PARKING SIGN  
NOT TO SCALE



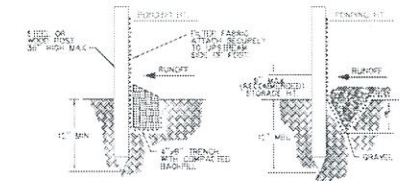
NO PARKING/NO STANDING/FIRE ZONE SIGN  
NOT TO SCALE



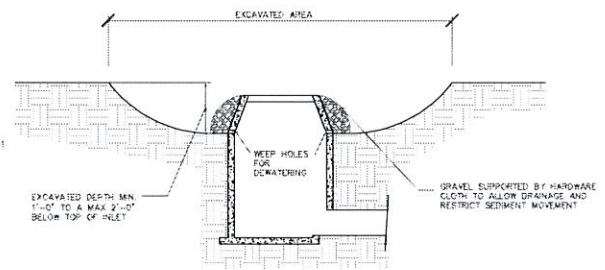
STANDARD DETAIL  
TRENCH WITH NATIVE BACKFILL

- NOTE:
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
  3. SILT FENCE SHALL BE PLACED ON SLOPE CONTIGUOUS TO MAXIMIZE POSITIONING EFFECTIVENESS.

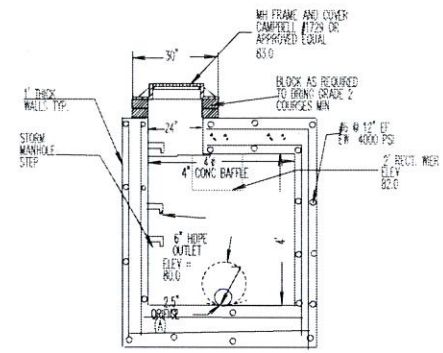
SILT FENCE  
n.t.s.



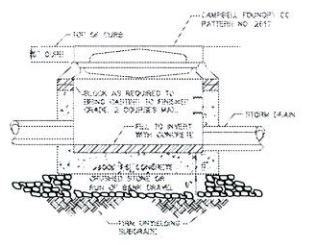
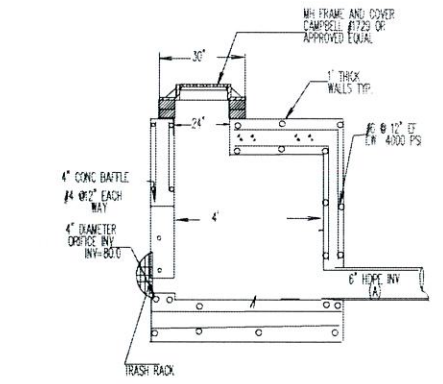
ALTERNATE DETAIL  
TRENCH WITH GRAVEL



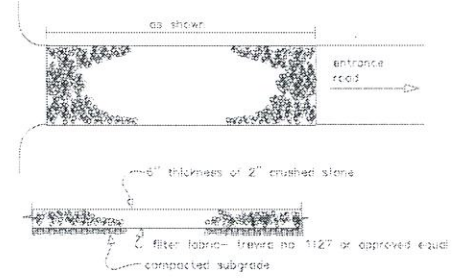
INLET PROTECTION



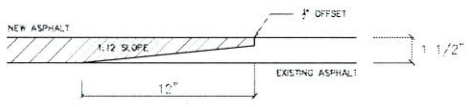
OUTLET STRUCTURE DETAIL



CATCH BASIN DETAIL  
n.t.s.



STABILIZED CONSTRUCTION ENTRANCE  
WITH CLEANING BLANKET  
NOT TO SCALE



ASPHALT BUTTING DETAIL

1/4" NOT SCALE PRINTS

REVISIONS	

REVISIONS	

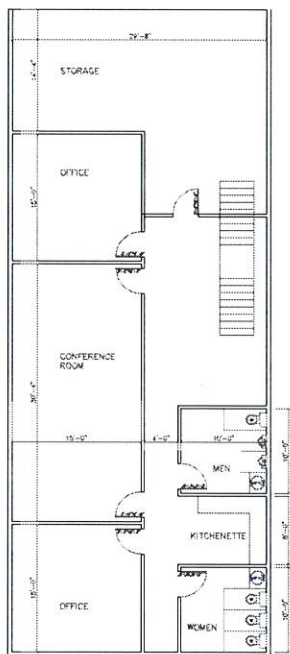
DATE:	20 OCT/SEPT 2022
SCALE:	AS NOTED
SHEET:	D-1

EAST COAST BLR 1993, LLC  
11 KINGS HIGHWAY  
TAPPAN, NEW YORK 10983

DETAILS

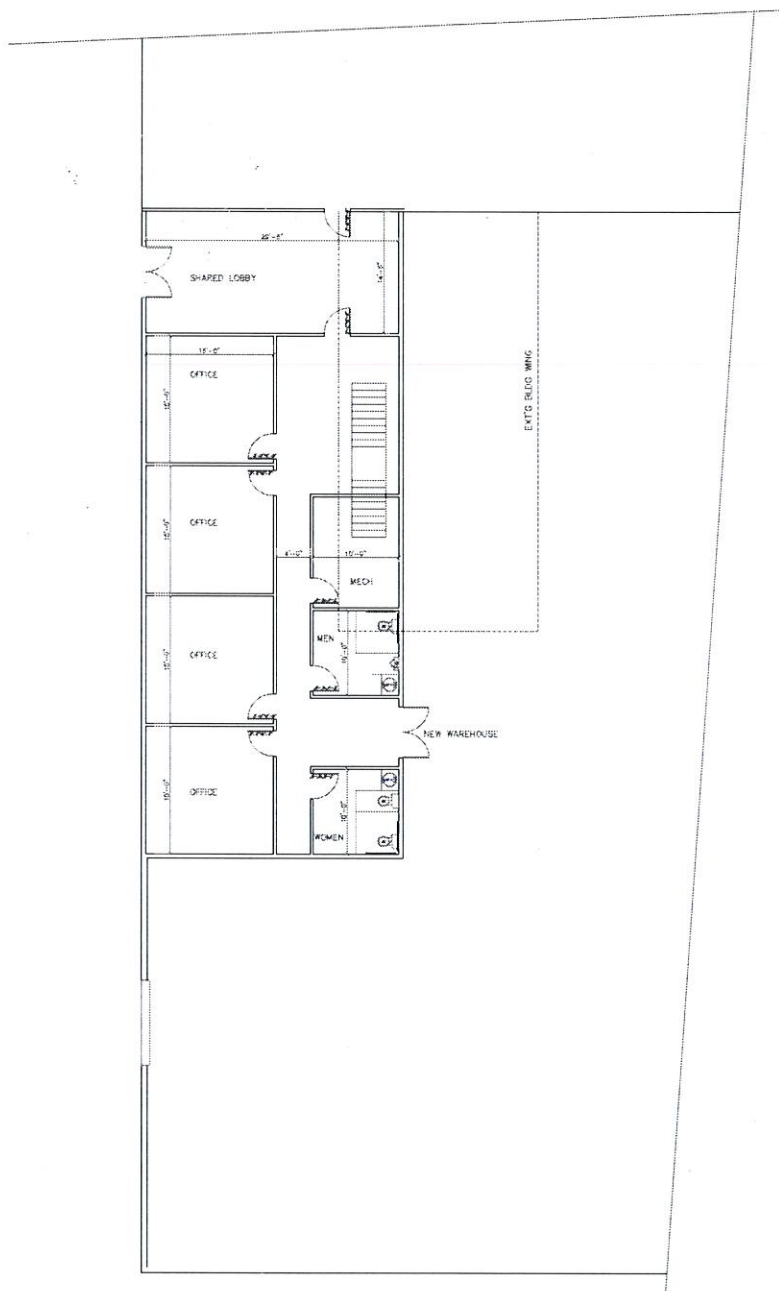
BART M. ROBE - ENGINEER  
RESIDENTIAL & COMMERCIAL  
234 SOUTH GRANT AVE  
CONGERS, NEW YORK 10920  
(845) 768-6663

NYC LIC #27065  
PAID FOR BY E&C

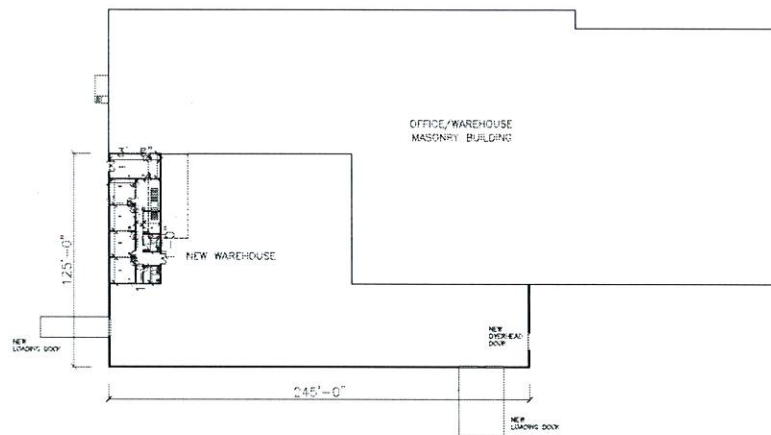


MEZZANINE PLAN  
SCALE: 1/8" = 1'-0"

AREA OF PROPOSED ADDITION:  
22,672.0 SQUARE FEET  
(incl. 1,146 sf of ext'g bldg wing)



FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



WAREHOUSE ADDITION PLAN  
NOT TO SCALE

DO NOT SCALE PRINTS

REVISIONS

REVISIONS

DATE:	15 SEPTEMBER 2022
SCALE:	AS NOTED
SHEET:	A-2

EAST COAST BLR 1993 LLC  
11 KINGS HIGHWAY  
TAPPAN, NEW YORK 10983

PROPOSED WAREHOUSE ADDITION

PART M. RODI - ENGINEER  
RESIDENTIAL & COMMERCIAL  
234 SOUTH GRANT AVE  
CONENGS, NEW YORK 10920  
(845) 288-8883

INS LIC #270045  
PLANS MADE ONLY BY SEAL



