

Historical Areas Board of Review(HABR)

Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 90 Greenbush Rd Tappan Section/Block/Lot: 7710/2/12

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:	BLACK BLACK	METAL FIBERGLASS	ATLAS GAF
Siding:	WHITE NON	BOARD BATTEN	
Decorative Siding:		—	—
Soffits & Fascia:	WHITE	COMPOSITE	AZEK
Gutters & Leaders:	WHITE	WHITE	GUTTER SUPPLY
Windows:	BLACK	WOOD/PLASTIC	ANDERSON
Trim:	WHITE	COMPOSITE	AZEK
Shutters:	NON		
Front Door:	WHITE	FIBERGLASS	EXISTING
Back Door:	WHITE	FIBERGLASS	EXISTING
Garage Door(s):	WHITE	FIBERGLASS	EXISTING
Other Door(s):			
Lighting:	BLACK	METAL	EXISTING
Lighting:	—	—	—
Stone or Rock being used on Structure:	NON	—	—
Stone or Rock being used on walkway(s):	NON	—	—
Other:			
Fence	Brown	Wood (Spruce Pine)	Lowes - Severe Weather

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

2023 LAND USE BOARD APPLICATION

Please check all that apply:	
<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLD-3106-23
ASSIGNED
INSPECTOR: Glenn
Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: Canco 2nd Floor Addition

Street Address: 90 Greenbush Rd Tappan, NY 10983

Tax Map Designation:

Section: 77.10 Block: 2 Lot(s): 12
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the west side of Greenbush Rd, approximately _____ feet _____ of the intersection of _____, in the Town of Orangetown in the hamlet/village of Tappan.

Acreage of Parcel 0.23
School District South Orangetown
Ambulance District Tappan
Water District Veolia

Zoning District Orangetown/Tappan
Postal District Tappan
Fire District Tappan
Sewer District Tappan

Project Description: (If additional space required, please attach a narrative summary.)

2nd floor addition + front porch

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 6/20/23 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area No

Are there **streams** on the site? If yes, please provide the names. No

Are there **wetlands** on the site? If yes, please provide the names and type:

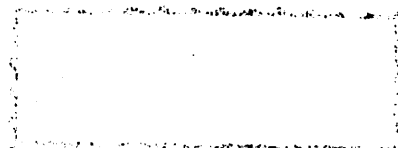
No

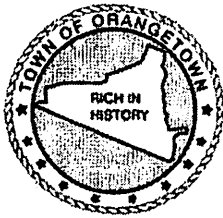
Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.





OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE HISTORICAL AREAS BOARD OF REVIEW

Date: 5.25.23 Section: 77.10 Block: 2 Lot: 12

Applicant: Cancro

Address: 90 Greenbush Rd, Orangeburg, NY

RE: Application Made at: same

Referred For: Chapter 12, Section 12-4(E) Requires HABR approval

Comments:

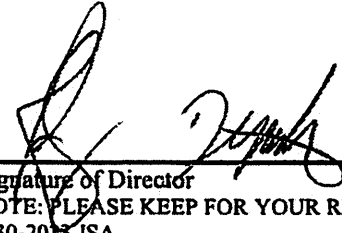
2nd Floor Addition, Front Porch

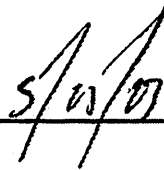
Dear Cancro:

Please be advised that the Building Permit Application # p23-3206, which you submitted on 5.3.23, has been referred to the Historical Areas Board of Review. The Clerk to the Historical Areas Board of Review, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com

Sincerely,


Richard Oliver
Deputy Building Inspector


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2013 JSA


Date
Liz DeCort
Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
392489	77.10-2-9	Joan Biernacki	116 Greenbush Rd, Tappan, NY 10983
392489	77.10-2-10	Elizabeth F Matsuda	98 Greenbush Rd, Tappan, NY 10983
392489	77.10-2-11	Cynthia Ann Miller	94 Greenbush Rd, Tappan, NY 10983
392489	77.10-2-12	Jennifer Cancro	90 Greenbush Rd, Tappan, NY 10983
392489	77.10-2-13	Yris Salcedo	96 Greenbush Rd, Tappan, NY 10983
392489	77.10-2-14	Meaghan E Ludas	92 Greenbush Rd, Tappan, NY 10983
392489	77.10-2-15	Tappan Reformed Cemetery	32 Old Tappan Rd, Tappan, NY 10983
392489	77.10-2-18	Tappan Reformed Church	32 Old Tappan Rd, Tappan, NY 10983
392489	77.10-2-19	Robin Foley	67 Grand Av, Tappan, NY 10983
392489	77.10-2-20	Marc Duggan	55 Grand Ave, Tappan, NY 10983
392489	77.10-2-21	Lucy Omar	45 Grand Ave, Tappan, NY 10983
392489	77.10-2-22	Stuart Pfister	37 Grand Ave, Tappan, NY 10983
392489	77.11-1-2	Gina Torres	111 Greenbush Rd, Tappan, NY 10983
392489	77.11-1-3	Raymond Virta	101 Greenbush Rd, Tappan, NY 10983
392489	77.11-1-4	Grizzly Realty LLC	16 Charles St, Nanuet, NY 10954
392489	77.11-1-5	Craig Dixon	14 McLeod Ter, New City, NY 10956
392489	77.11-1-6	Tahlaad Mahboeb	42 Kings Hwy, Tappan, NY 10983
392489	77.11-1-8.1	Mano R Zachariah	1 Hauser Ter, Tappan, NY 10983
392489	77.11-1-8.2	Jose R Criollo	2 Hauser Ter, Tappan, NY 10983
392489	77.11-1-8.3	Joseph Hauser	3 Hauser Ter, Tappan, NY 10983
392489	77.11-1-8.4	William Hauser	4 Hauser Terr, Tappan, NY 10983
392489	77.11-1-73.2	Francis L Rich	19 Ona Ln, New Windsor, NY 12553

392489 77.10-2-7 The Noble Ninth Inc. 149-39 11th Ave, Whitestone, NY
11357

June 20, 2023

To whom it may concern,

I felt it was important for me to provide some explanation as to why the fence at my address, 90 Greenbush Rd, has not yet been replaced. Up until very recently, I did not have the \$8,000 that I needed in order to take down the white vinyl fence and replace it. I could not have simply taken down the fence without replacing it because my dog, without a fenced-in yard, would pose a risk to the other dogs in my neighborhood. I understand that seeing the fence remain in place may have caused concern on your part and I do apologize for that. As of next week, my partner will be moving into my residence, which allows us to have the money we need to move forward with the fence replacement. Now that we will have the funds to do so, we would like to honor your ruling and remove the white vinyl.

In your previous decision, it stated that I could replace the white vinyl with a chain link fence. I am requesting that you consider approving a wooden fence for the replacement, instead of chain link. In my opinion, a wooden fence would be much more historically appropriate and look much nicer than a chain link fence. I hope that you will approve this request, so that I may follow through on the fence replacement.

Thank you

A handwritten signature in black ink, appearing to read 'JC' with a long horizontal flourish extending to the right.

Jennifer Cancro
90 Greenbush Rd
Tappan, NY 10983

Proposed Fence Replacement

Jersey City Lowe's Open until 10 PM

Delivery to
07304

Prices, Promotions, styles, and availability may vary. Our local stores do not honor online pricing. Prices and availability of products and services are subject to change without notice. Errors will be corrected where discovered, and Lowe's reserves the right to revoke any stated offer and to correct any errors, inaccuracies or omissions including after an order has been submitted.

[Back to Results](#) / [Building Supplies](#) / [Fencing & Gates](#) / [Wood Fencing](#) / [Wood Fence Panels](#)**Severe Weather 6-ft x 8-ft Pressure Treated Spruce Pine Fir Gothic Privacy Fence Panel**

Item #51512 Model #73000479

★★★★☆ 191

\$52.98 \$50.33 when you choose 5% savings on eligible purchases every day. [Learn how](#)

Pressure treated to help minimize rot and decay
Pre-assembled for easy installation
Precise nailing by machine for a clean, consistent appearance

Pickup & Delivery Options**FREE Pickup**

Ready tomorrow
At Jersey City Lowe's
Curbside Available

Delivery 07304

Thu, Jun 22: From \$79
Delivery Scheduling in Checkout

[Check Other Stores](#)[More Delivery Options](#)**148 Available**

Aisle FRONT | Bay DROP ZONE

1

[Get It Installed](#)

In-use/lifestyle images - accessories not included

**Easy & Free Returns**

Return your new, unused item in-store or ship it back to us free of charge. [Learn More](#)

**Get it installed.**

From basic installation to design and project management, we can help along the way.

[Get Started](#)**BETTER TOGETHER**

CURRENT ITEM



Selected



Selected



Selected



+



+



+



Severe Weather 6-ft x 8-ft
Pressure Treated Spruce Pine Fir
Gothic Privacy Fence Panel

\$52.98

Sakrete 50-lb Fast Setting
Concrete Mix Fast Setting

\$6.58

Severe Weather 4-in x 4-in x 10-
ft #2 Ground Contact Wood
Pressure Treated Lumber

\$17.77

Severe Weather 3-in x 4-in x 8-ft
Unfinished Pressure Treated
Landscape Timber

\$6.48

Subtotal for (4) items

\$83.91

Add to cart 4 items

Quick Set Lite Setting Compound



Overview

- Pressure treated to help minimize rot and decay
- Pre-assembled for easy installation
- Precise nailing by machine for a clean, consistent appearance
- Zinc plated nails will not rust
- Environmentally renewable resource
- Transferable 15-year limited warranty

Warranty Guide
PDF

Specifications

Actual End Picket Thickness (Inches)	0.375	Fence Top Style	Gothic
Actual End Picket Width (Inches)	3.666	Finish	N/A
Actual Height (Feet)	5.91	Ground Contact	X
Actual Picket Thickness (Inches)	0.375	Lowe's Exclusive	X
Actual Picket Width (Inches)	3.666	Manufacturer Color/Finish	N/A
Actual Width (Feet)	8.0	Package Quantity (NA)	1
Assembly	Assembled	Post and Accessories Included	X
Collection Name	N/A	Pressure Treated	✓
Color/Finish Family	Brown	Primary Material	Spruce pine fir
Common Panel Height (Feet)	6	Primary Recommended Use	Privacy
Common Panel Width (Feet)	8	Series Name	Barrette
Double Nailed	✓	Type	Fence panel
Fence Style	N/A	Warranty	15-year limited
		Weight (lbs.)	80.0

Product Features

Compare

Reviews ★★★★★ 191

Community Q & A

YOU MAY ALSO LIKE

Customers Also Viewed

Customers Ultimately Bought

More like this item: Most Viewed Same Brand Similar Price





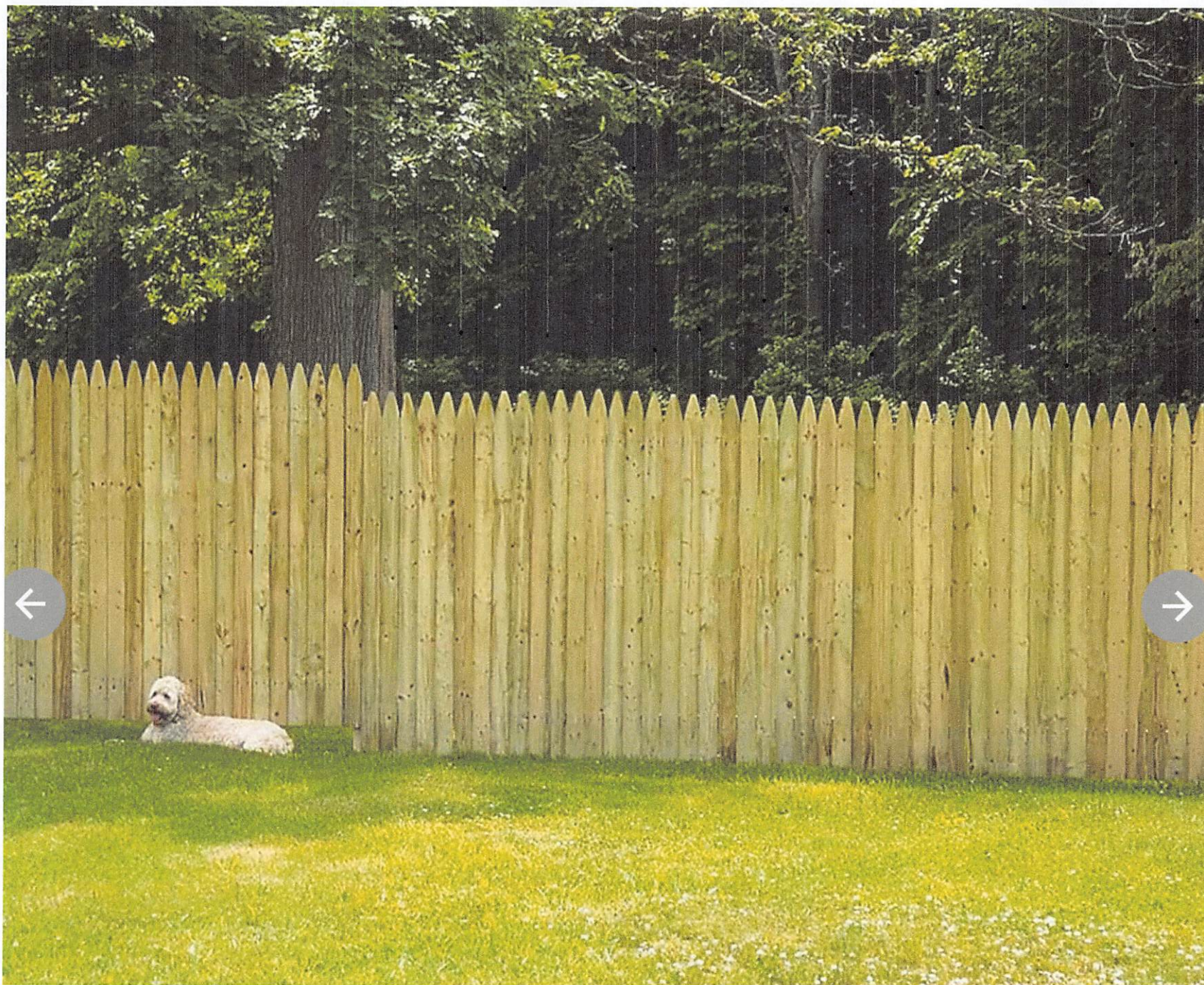
WARRANTY

What is covered: Barrette Outdoor Living warrants products to include wood fence and railing against defects or workmanship for 15 years from the date of purchase. Barrette Outdoor Living will at its option repair or replace the product in question with new product of the same or equivalent value at no charge. Barrette Outdoor Living warrants treated and cedar wood products used in residential applications which become structurally unfit due solely to damage caused by decay and insect infestation. This warranty extends to the original purchaser or transferee as specified herein.

What this warranty does not cover: This limited warranty does not cover damage resulting from accident, unreasonable use, neglect, alteration, improper service, improper installation, Acts of God or any other causes not arising out of defects in materials or workmanship. Additionally, this warranty does not cover costs of installation, removal, reinstallation, surface mold and mildew created by excessive environmental conditions or for the natural characteristic of wood to split, check and twist. Any service or repair provided outside the scope of this limited warranty shall be at Barrette Outdoor Living's rate and terms then in effect.

What do we do to correct the problems? Should your Barrette Outdoor Living product prove defective under warranty, reference the website listed below. Your problem will be assigned a tracking number and an authorized Barrette Outdoor Living representative will contact you to arrange a convenient time to correct your problem. You must have proof of your purchase in order for the problem to be corrected.

Transferee Coverage: Warranty coverage will be extended to transferees on the above listed products with the following limitations. Transferee must obtain an original or copy of the initial sales receipt (with proof of date) from the previous owner(s). Additionally, If fence is purchased from a builder or installer, documentation must be supplied that names the product installed on property and date of transfer.



Keep tab for
reordering

Antique Tin[†] PPU18-03^D
Binder 2 120-5

BEHR



16 HIGHWOOD AVENUE, ENGLEWOOD, NJ 07631
PH: 201.816.1818 FX: 201.816.0212
VISIT US AT WWW.AXIS-AG.COM

PROJECT

CANCRO RESIDENCE
90 GREENBUSH ROAD
TAPPAN, NEW YORK

CLIENT

CANCRO RESIDENCE
90 GREENBUSH ROAD
TAPPAN, NEW YORK

CONSULTANT

DATE 4/17/23 SCALE AS NOTED
DRAWN BY RWR CHECKED BY SL

DWG TITLE

PROPOSED FLOOR PLANS

DATE	ISSUE	DESCRIPTION	BY
05/18/23	1	REVISED PER ZONING	RWR

■ STEVEN B. LAZARUS, A.I.A.
NJ AI-10807 CT 8999 PA RA 014920 B
NY 021232 MD 10946 VA 0401015129
NC 9107 MA 10098

□ PIERO F. GABUCCI, A.I.A.
NJ AI-15289 NY 025119 PA RA 407426

SEAL & SIGNATURE

Steven B. Lazarus

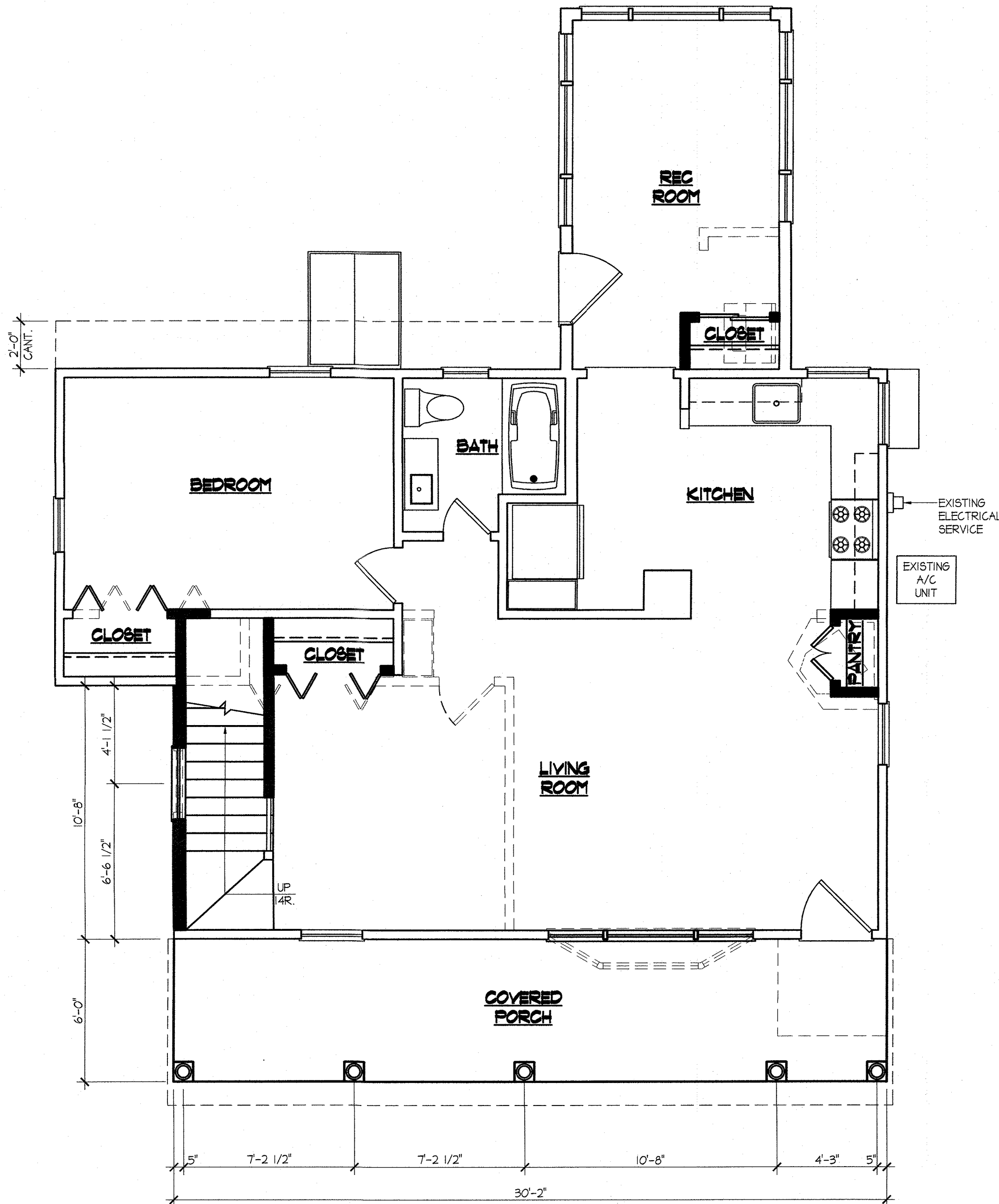
PROJECT #

23-024

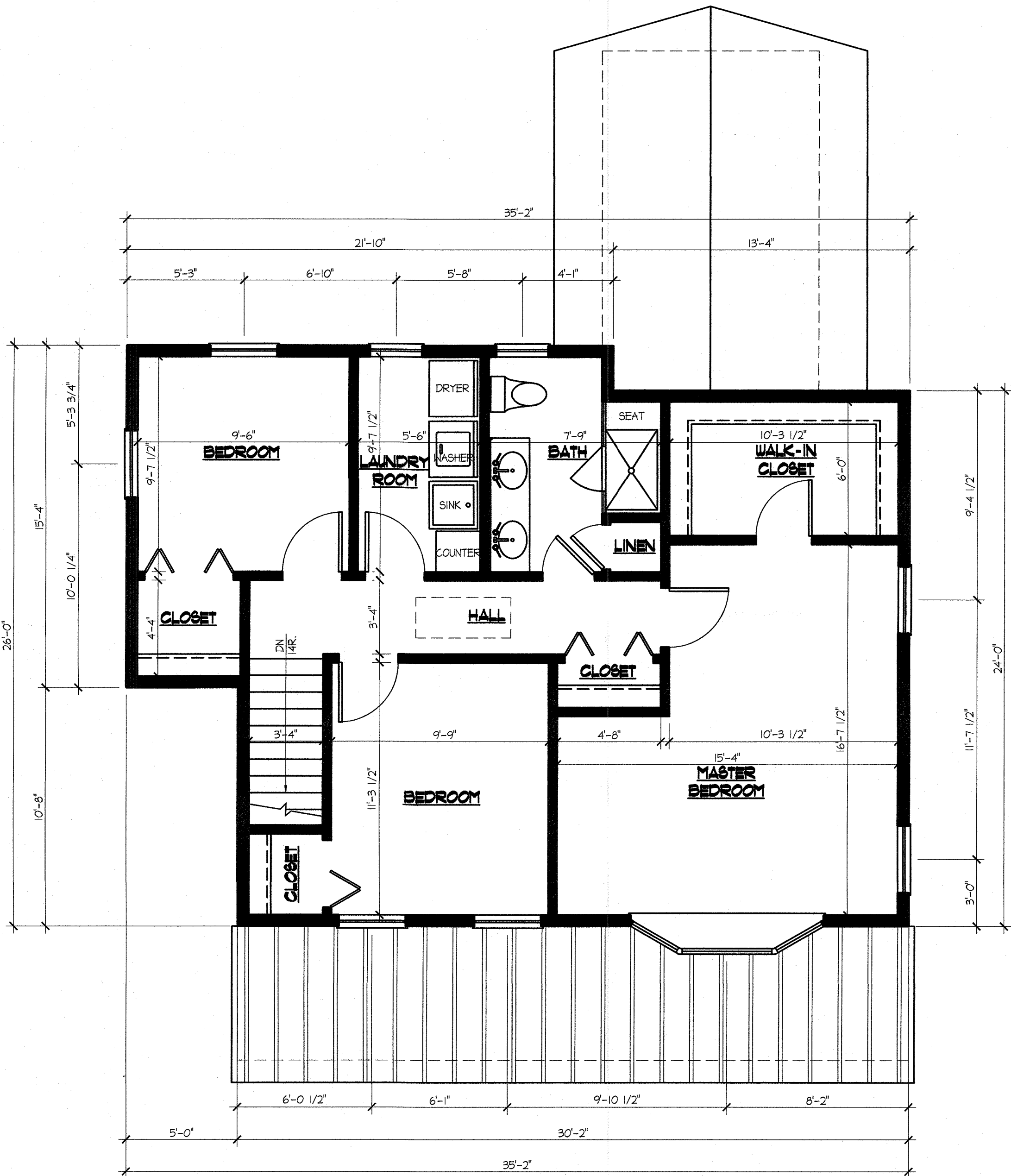
DWG NO

A-1

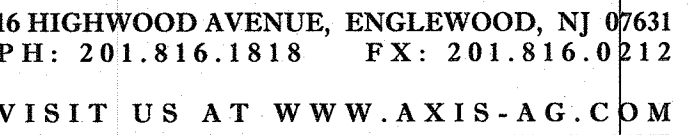
2 OF 5



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PROJECT		
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CANCRO RESIDENCE
90 GREENBUSH ROAD
TAPPAN, NEW YORK

CANCRO RESIDENCE
90 GREENBUSH ROAD
TAPPAN, NEW YORK

CONSULTANT

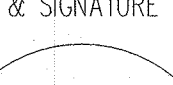
DWG TITLE	
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PROPOSED ELEVATIONS

[illegible]

STEVEN B. LAZARUS, A.I.A.
NJ AI-10807 CT 8999 PA RA 014920 B
NY 021232 MD 10946 VA 0401015129
NC 9107 MA 10098

PIERO F. GABUCCI, A.I.A.
NJ AI-15289 NY 025119 PA RA 407426

SEAL & SIGNATURE	PROJECT #
	23-024
	DWG NO
	A-2
	3 OF 5



SCALE: 1/4" = 1'-0"

NOTE:
ALL LEADERS TO GO TO
A SEEPAGE PIT



SCALE: 1/4" = 1'-0"

NOTE:
ALL LEADERS TO GO TO
A SEEPAGE PIT



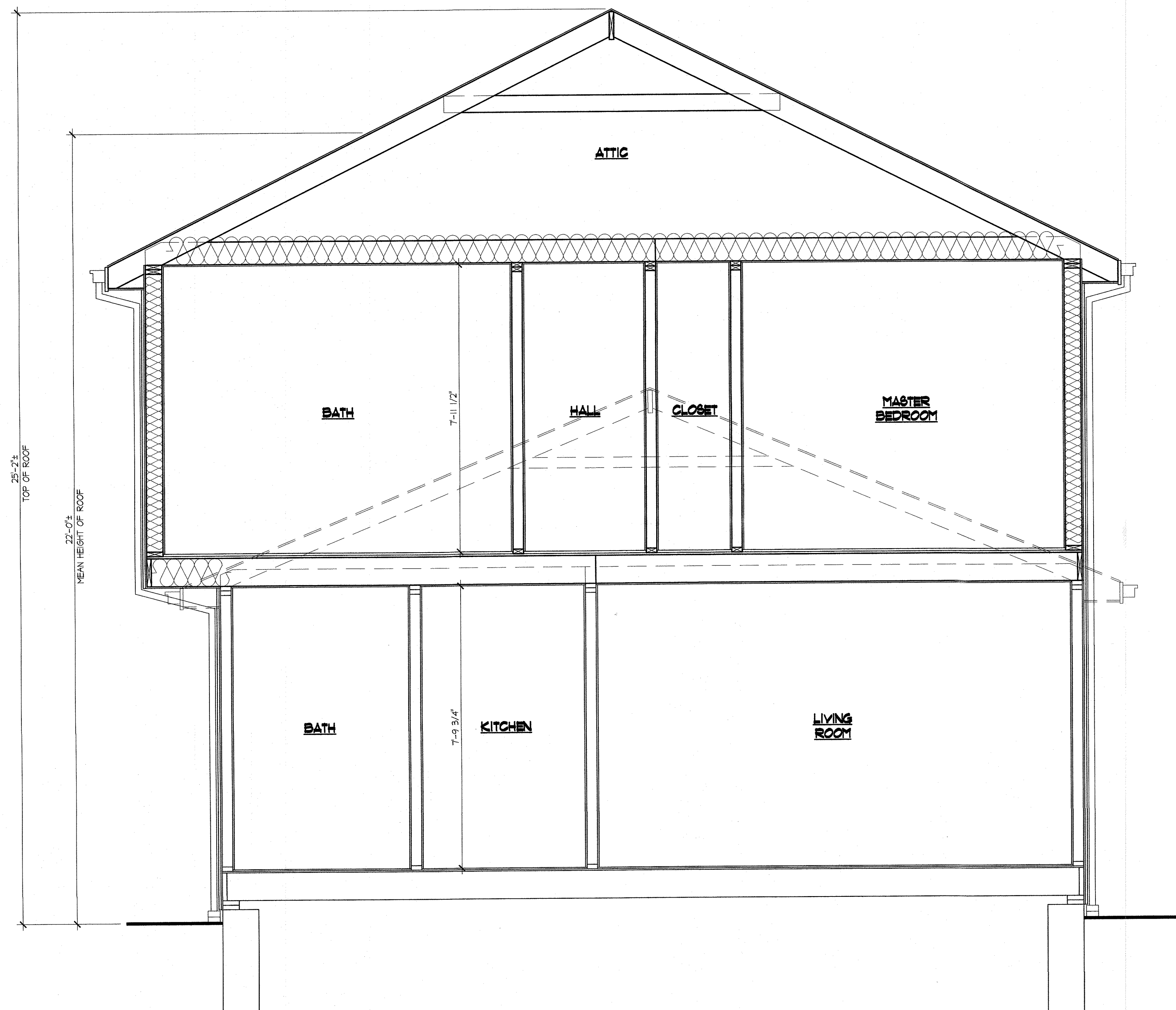
SCALE: 1/4" = 1'-0"

NOTE:
ALL LEADERS TO GO TO
A SEEPAGE PIT



SCALE: 1/4" = 1'-0"

NOTE:
ALL LEADERS TO GO TO
A SEEPAGE PIT



PROPOSED CROSS SECTION
SCALE: 1/4" = 1'-0"



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PROJECT

CANCRO RESIDENCE
90 GREENBUSH ROAD
TAPPAN, NEW YORK

CLIENT

CANCRO RESIDENCE
90 GREENBUSH ROAD
TAPPAN, NEW YORK

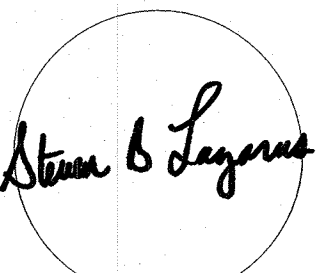
CONSULTANT

DATE	SCALE
4/17/23	AS NOTED
DRAWN BY	CHECKED BY
R.W.R.	S.L.
DWG TITLE	

**PROPOSED
CROSS SECTION**

DATE	ISSUE	DESCRIPTION	BY
05/18/23	1	REVISED PER ZONING	R.W.R.

■ STEVEN B. LAZARUS, A.I.A.
NJ AL-10807 CT 8999 PA RA-014920-B
NY 02132 MD 10946 VA 0401015129
NC 9107 MA 10098
□ PIERO F. GABUCCI, A.I.A.
NJ AL-15289 NY 025119 PA RA 407426

SEAL & SIGNATURE	PROJECT #
	23-024
DWG NO	
A-3	
4 OF 5	

