

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 6104-3128-23
 ASSIGNED
 INSPECTOR: Kim L

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Doonan, James B Ashley

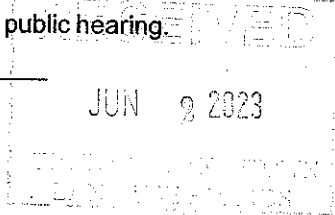
Street Address: 6 Kirchner Dr
Tappan NY 10983

Tax Map Designation:
Section: 77.08 Block: 3 Lot(s): 96
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the left side of Kirchner Dr, approximately _____ feet of the intersection of Flat St, in the Town of Orangetown in the hamlet/village of Tappan
Acreage of Parcel _____ Zoning District .35
School District SOCSD Postal District Tappan
Ambulance District SOAR Fire District Tappan
Water District Veolia Sewer District Orangetown

Project Description: (If additional space required, please attach a narrative summary.)
converting attached garage to restricted 2 family.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 6/1/23 Applicant's Signature: James B Ashley Doonan



APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? no _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

RECEIVED
JUN 2 2023
TOWN OF ORANGETOWN
CLERK OF TOWN BOARD

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 4.26.23 Section: 77.08 Block: 3 Lot: 96
Applicant: Doonan
Address: 6 Kirchner Dr, Tappan, NY
RE: Application Made at: same

Referred For:

Chapter 43, Article IV, Section 4.5 Single Family Conversions
Section 4.58 The owner who first converts the dwelling subsequent to the effective date must have resided in said dwelling for at least 15 years.

One Variance Required

Comments:


Garage conversion to restricted two family
hardship for disabled relative

Dear Doonan:

Please be advised that the Building Permit Application # p23-3128, which you submitted on 4.24.23, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com.

Sincerely,


Richard Oliver
Deputy Building Inspector


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

4/27/23
Date
Liz DeCort
Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
392489	77.08-3-1	Spring Valley Water Works	P.O. Box 71970,Phoenix, AZ 85050
392489	77.08-3-83	Altus Group US Inc	24 Sparkill Ave,Tappan, NY 10983
392489	77.08-3-84	Thaddeus L Mazzella	16 Sparkill Ave,Tappan, NY 10983
392489	77.08-3-85	Leoluca J Canzoneri	6 Sparkill Av,Tappan, NY 10983
392489	77.08-3-86	Gerard San Gemino	5 Kirchner Dr,Tappan, NY 10983
392489	77.08-3-87	John A Severiano	15 Kirchner Dr,Tappan, NY 10983
392489	77.08-3-88	William Fassbender	23 Kirchner Dr,Tappan, NY 10983
392489	77.08-3-89	Josetta Marucci	31 Kirchner Dr,Tappan, NY 10983
392489	77.08-3-94	Roark Atkinson	30 Kirchner Dr,Tappan, NY 10983
392489	77.08-3-95	Riadh A Ameen	18 Kirchner Dr,Tappan, NY 10983
392489	77.08-3-96	Thomas Mc Kenna	6 Kirchner Dr,Tappan, NY 10983
392489	77.12-1-2	Ashley A Loughran	75 Flitt St,Tappan, NY 10983
392489	77.12-1-3	Pedro Rojas	67 Flitt St,Tappan, NY 10983
392489	77.12-1-4	Mary J Mc Gann	59 Flitt St,Tappan, NY 10983
392489	77.12-1-4	Ally Lamaj	

RECEIVED
JUN 9 2023
TOWN OF TAPPAN
LAND USE BOARD

11460 + traverse 3-7 seen

SURVEY: ARY-PM-EAB/RIC
DRAWN: AJM
CHECKED: RMR

TOWN: ORANGETOWN
STREET: KIRCHNER DR.
DATE: JULY 21, 1965

SURVEY

MADE FOR

REV. NOV. 17, 1965
REV. DEC. 5, 1965
REV. NOV. 15, 1966
FINAL SURVEY

GARITT CUSTOM HOMES OF ROCKLAND

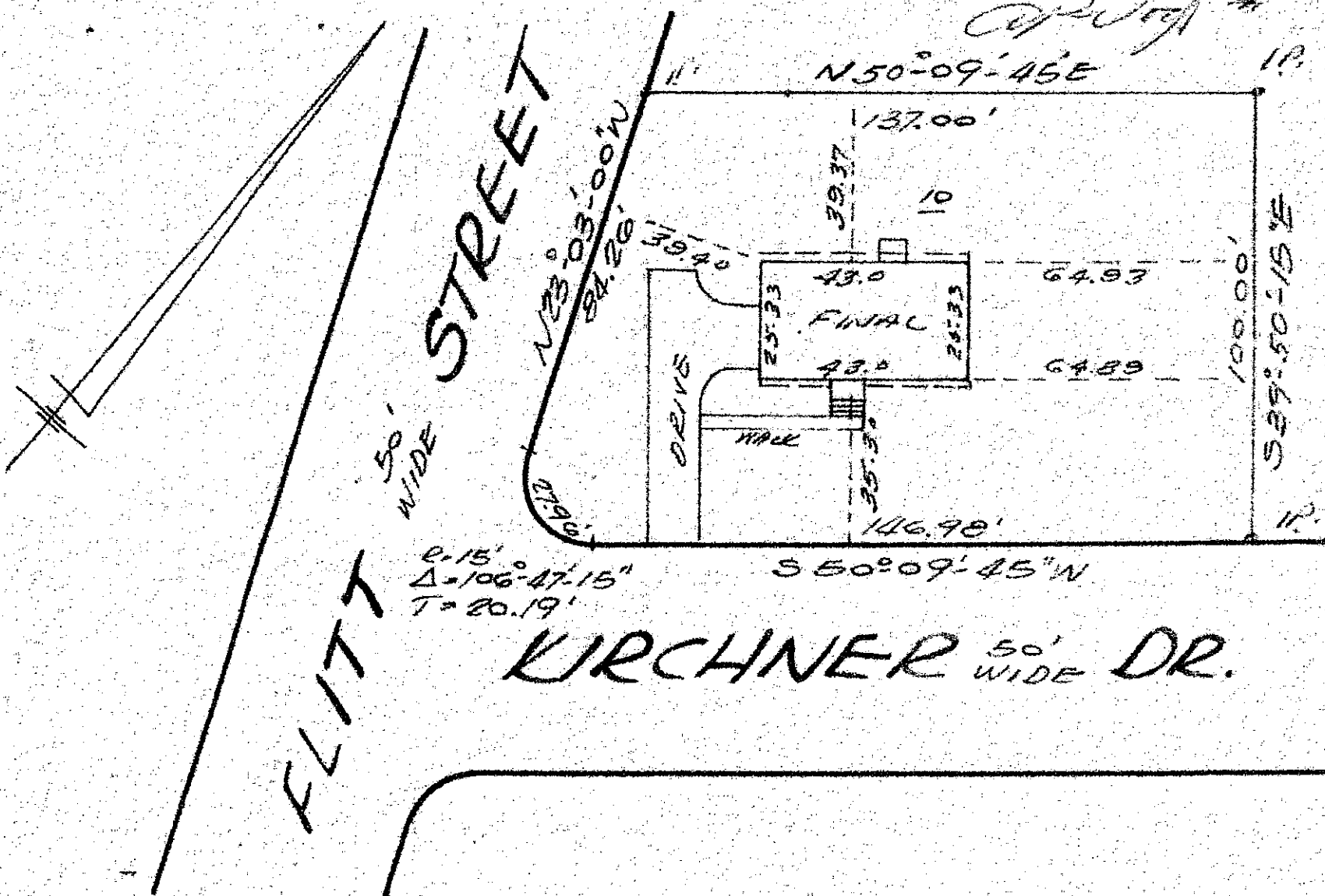
AT

HAMLET OF TAPPAN TOWN OF ORANGETOWN

ROCKLAND COUNTY, N.Y.

SCALE 1" = 40'

REV. NOV. 14, 1966
COPY



BEING LOT 10 AS SHOWN ON A MAP ENTITLED "EAST GLEN (FORMERLY COLONIAL ACRES) HAMLET OF TAPPAN, TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK." FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON MARCH 25, 1964 AS MAP NO. 3211, BOOK 67, PAGE 64.

CERTIFIED AS BEING AN ACCURATE AND TRUE SURVEY
FRANKLIN SOCIETY FEDERAL SAVINGS AND LOAN ASSOCIATION
AND HOME TITLE COMPANY

Warren M. Hook
N.Y. P.E. & L.S. No. 39258

ALFRED R. VOGT 2ND
LICENSED LANDSURVEYOR
37 NORDHOFF PLACE
ENGLEWOOD, N.J.

ZONING BOARD OF APPEALS
Meeting Of:
JUL 5 2023
Town Of Orangetown

PROPOSED RENOVATION FOR JAMES & ASHLEY DOONAN 6 KIRCHNER DR. TAPPAN TOWN OF ORRANGETOWN ROCKLAND COUNTY, NY

GENERAL NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH ALL PREVAILING CODES, LAWS AND ORDINANCES OF THE 2020 RESIDENTIAL & ENERGY CONSERVATION CODES OF NYS, LOCAL TOWN OR VILLAGE OF WHICH THE PROJECT IS LOCATED.

THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY PRIOR, DURING AND AFTER CONSTRUCTION ALL NECESSARY LICENSES AND INSURANCES PER THE NYS, LOCAL AND ALL GOVERNING REGULATIONS.

THE OWNER SHOULD READ AND REVIEW HIS/HER ENTIRE SET OF CONTRACT DOCUMENTS (PLANS & SPECIFICATIONS) PRIOR TO GIVING IT TO THE CONTRACTOR. THE CONTRACTOR SHALL CONFIRM THAT ALL INFORMATION IS CORRECT. SHOULD THE OWNER FIND ANYTHING THAT IS NOT WHAT THEY INTENDED TO BE DONE, THEN THEY SHALL HAVE THE ARCHITECT AMEND IT AS REQUIRED. THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION, AND OR PROJECT SITE.

THE GENERAL PUBLIC, PROSPECTIVE BUYERS AND ALL OTHER NON-CONSTRUCTION RELATED PERSONS ARE NOT TO ENTER THE CONSTRUCTION WORK AREA UNTIL A VALID CERTIFICATE OF OCCUPANCY IS ISSUED BY THE LOCAL BUILDING DEPARTMENT.

THE PROJECT SITE SHALL BE PROPERLY POSTED AND TAPED AND OR FENCED OFF TO ENSURE PUBLIC SAFETY AND SAFEGUARD THE PUBLIC AT ALL TIMES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS (PLANS & SPECIFICATIONS) PRIOR TO ANY ERECTION/CONSTRUCTION.

ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IMMEDIATELY. ALWAYS USE DIMENSIONS AS SHOWN AND THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

DRAWINGS ARE NOT TO BE SCALED.

ALL CHANGES MADE BY THE CONTRACTOR SHALL FIRST BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO STARTING WITH THE WORK INVOLVED.

ANY UNAUTHORIZED CHANGES MADE BY THE CONTRACTOR AND ULTIMATELY NOT BEING APPROVED BY THE OWNER AND ARCHITECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND TO BE CORRECTED AT HIS OWN EXPENSE.

THE ARCHITECT HAS NOT BEEN RETAINED FOR ANY MECHANICAL DESIGN SYSTEMS, DUCTS, CHASE OPENINGS, SIZE OF FURNACE AND FRESH AIR REQUIREMENTS ETC. THESE ARE NOT SHOWN AND SHALL BE DETERMINED BY A MECHANICAL ENGINEER PRIOR TO COMMENCING THE WORK.

THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION AND CONSTRUCTION INSPECTIONS AND/OR THE REVIEW OF SHOP DRAWINGS. THE ARCHITECT HAS ONLY BEEN RETAINED FOR DESIGN PURPOSES. THEREFORE, THE ARCHITECT ASSUMES NO LIABILITY FOR WORKMANSHIP, CODE AND OR PLAN COMPLIANCE. THE ARCHITECT'S RESPONSIBILITY IS STRICTLY LIMITED TO THESE PLANS AND RELATED SPECIFICATIONS ONLY.

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION MEANS, METHODS, DEVIATIONS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR ANY SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DOCUMENTS.

THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURES AND OR ANY UNKNOWN PROBLEMS PRIOR TO NEW CONSTRUCTION.

THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY DEMOLITION, SITE WORK, NEW CONSTRUCTION, OPERATION AND METHODS.

ALL AREAS THAT ARE AFFECTED BY ALL ADDITIONS SHALL BE REPAIRED AND OR PATCHED TO A LIKE NEW CONDITION UNLESS NOTED OTHERWISE.

THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE LOCAL AND STATE AS REQUIRED AND TO DELIVER TO THE OWNER A C.O. UPON COMPLETION OF THE PROJECT.

THE CONTRACTOR SHALL PROVIDE A CONTAINER FOR THE REMOVAL OF DEBRIS DURING CONSTRUCTION.

THE CONTRACTOR AND ALL SUBCONTRACTORS WORKING WITH THIS PROJECT SHALL KEEP THE SITE CLEAN AND HAZARD FREE AT ALL TIMES AND TO OBEY ALL "OSHA" AND ALL OTHER SAFETY REGULATIONS.

THE CONTRACTOR SHALL LEAVE PREMISES BROOKLY CLEAN DAILY.

THE CONTRACTOR SHALL GUARANTEE ALL WORK SPECIFIED AND/OR DESCRIBED BY THESE DRAWINGS AND IS TO FOLLOW ALL NATIONALLY ACCEPTED TRADE PRACTICES.

SITE NOTES

THESE PLANS ARE BASED ACCORDANCE TO THE SURVEY INFORMATION PROVIDED TO THE ARCHITECT BY THE OWNER. THEY SHOULD BE REVIEWED BY A LICENSED LAND SURVEYOR AND OR ENGINEER TO VERIFY ALL BUILDING LINES, AND SET BACKS PRIOR TO CONSTRUCTION.

THE ELEVATION SHOWN ON THE PLAN MAY NOT BE ACCURATE IN EVERY DETAIL. THE OWNER SHALL REVIEW THE PLANS WITH THE CONTRACTOR TO INSURE ACCURACY OF DETAILS AND METHODS PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE OF NOTIFYING ALL UTILITY COMPANIES, AND VERIFYING THE LOCATION OF THE SAME UTILITY COMPANIES LINES, SERVICES AND ALL OTHER POSSIBLE EQUIPMENTS OF UTILITY COMPANIES. THE CONTRACTOR SHALL LOCATE AND IDENTIFY THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES, AND PROVIDE UNDERGROUND CONNECTIONS TO THEM. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY GROUND WATER EXCESSIVE ORGANIC MATERIAL OR ANY OTHER UNSUITABLE CONDITIONS DISCOVERED DURING SITE PREPARATION AND OR EXCAVATION. THE CONTRACTOR SHALL PROVIDE ONE PROPERLY MAINTAINED, PORTABLE TOILET FOR THE ENTIRE DURATION OF THE CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE FROM A REGISTERED LAND SURVEYOR A WRITTEN CERTIFICATE THAT THE LOCATED PORTION OF THE FIRST FLOOR MEET OR EXCEED THE REQUIRED FLOOD ELEVATION.

EXTREME CAUTION SHALL BE TAKEN DURING DEMOLITION OF EXISTING BUILDINGS. THE CONTRACTOR SHALL OBSERVE ANY VARIATIONS AND OR ANY UNFORESEEN DISCREPANCIES WITH THE PLANS, AND SHOULD REPORT IMMEDIATELY TO THE ARCHITECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING AND ALL TEMPORARY SUPPORTS PRIOR TO REMOVING THE EXISTING WALLS, CEILINGS, FLOORS AND ROOFS AS PER ALL LOCAL AND OSMA REGULATIONS.

THE CONTRACTOR SHALL PROVIDE WEATHERPROOFING AT THE END OF EACH WORK DAY AS REQUIRED TO PREVENT WEATHER DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR FROZEN PIPES AND/OR MOLD CONDITIONS CREATED BY THE CONTRACTORS NEGLIGENCE.

THE FINISHED GRADE AND DRIVEWAY SHOULD BE PITCHED AWAY FROM THE BUILDING SUCH THAT ALL THE SURFACE WATER FLOWS AWAY FROM BUILDING. THE FINISHED GRADE HEIGHT SHALL BE A MINIMUM OF 8" BELOW THE ADJACENT FRAMING, OR AS INDICATED ON PLANS.

MASONRY AND CONCRETE CONTRACTOR SHALL INSTALL ALL ANCHOR BOLTS, PLATES, CHASES, SLOTS, SLEEVES ETC AS REQUIRED BY TRADES.

FRAMING NOTES

ALL STANDARD FRAMING LUMBER TO BE HEMLOCK FIR OR BETTER UNLESS OTHERWISE NOTED.

ALL ENGINEERED BEAMS INDICATED ON THE PLANS ARE DESIGNED USING THIS SPECIFIC MANUFACTURER AND SHALL BE INSTALLED PER THE MANUFACTURERS SPECIFICATIONS ONLY.

WHEN USING MULTIPLE ENGINEERED BEAMS, THE TRAPER SHALL REFERENCE WITH THE SPECIFIC MANUFACTURERS WALLING GUIDE.

PROVIDE METAL FLASHING AT ALL EXTERIOR DOORS, WINDOWS AND OPENINGS UNLESS SHOWN OTHERWISE.

FRAMING NOTES DIMENSIONS ARE TO THE NEAREST INCH. ACTUAL ROOF SIZES MAY VARY DUE TO GUTTER BOARD.

ALL WOOD FRAMING IN DIRECT CONTACT WITH SOIL, CONCRETE, MASONRY OR LEATHER SHALL BE PRESURE TREATED (ALPA STANDARD C2, C3).

ALL FRAMING BELOW THE REQUIRED FLOOD ELEVATION AS SET FORTH BY FEMA AND LOCAL BUILDING OFFICIALS SHALL BE PRESURE TREATED.

ALL LUMBER TO BE SOUND, DRY AND FREE FROM ROT, KNOTS, AND SPLITS.

ALL FRAMING SHALL BE TRATED AT 16" OC UNLESS SHOWN OTHERWISE.

FOR ALL CONVENTIONAL FLOOR FRAMING PROVIDE A MINIMUM OF ONE ROW OF 5/4 CROSS BRIDGES FOR ALL JOISTS WITH SPANS OVER 12'-0" OR SHOWN OTHERWISE ON THE PLANS.

PROVIDE A MINIMUM OF DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, MAJOR APPLIANCES, BATH FIXTURES, AND AT ALL CANTILEVERS UNLESS SHOWN OTHERWISE.

PROVIDE A MINIMUM OF DOUBLE JOISTS AT OPENINGS IN FLOORS, CEILINGS AND ROOFS.

PROVIDE A MINIMUM OF DOUBLE WALL STUDS AROUND ALL WALL OPENINGS, JACK STUDS UNDER ALL HEADERS, TRIPLE STUDS AT ALL CORNERS.

ALL FRAMING SHALL BE FRAMED ORIGIN UP UNLESS AT CANTILEVERS OR SHOWN OTHERWISE.

SOLID BLOCKING SHALL BE PROVIDED UNDER ALL POSTS THAT DON'T REST DIRECTLY ON JOISTS.

ALL INTERIOR WOOD POSTS SHALL BE SOLID STUDS, AND TO BE A MINIMUM OF THE WIDTH OF THE BEAM SUPPORTING IT AND PROVIDE MINIMUM ONE KING STUD AT EITHER SIDE.

ALL DOORS, WINDOWS AND OPENINGS SHALL HAVE A MINIMUM HEADER TO BE AS FOLLOWS UNLESS SHOWN OTHERWISE ON PLANS: UP TO 3'-0" USE (1 1/2"x10"), UP TO 8'-0" USE (1 1/2"x12") OR (1 1/2"x12") OPENINGS GREATER THAN 8'-0" SEE PLANS FOR SIZES.

PROVIDE FASTENER NAILS AS FOLLOWS: 16d AT ALL GENERAL FRAMING AND 8d AT ALL FLT W/WOOD, 4" SPACING MAX - TABLES R602.3(1) THROUGH R602.3(4).

FIRE BLOCKING SHALL BE PROVIDED AS FOLLOWS

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR LEVELS, CONCEALED HORIZ. FURRED SPACES SHALL ALSO BE FIRE BLOCKED AT INTERVAL NOT EXCEEDING 10 FEET. BATTIS OR BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIRE BLOCKING IN WALLS CONSTRUCTED USING ROWS OF STUDS OR STAGGERED STUDS.
- AT ALL INTERCONNECTIONS BET. CONCEALED VERT. & HORIZ. SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- IN CONCEALED SPACES BET. STAIR STRINGERS AT TOP & BOTTOM OF THE RUN. ENCL. CONC. CORNERS UNDER STAIRS SHALL COMPLY WITH SECTION R602.3.
- AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL, W/ AN APPROV. MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
- FOR THE FIRE BLOCKING OF CHIMNEYS & FIREPLACES, SEE SECTION R602.6.
- FIRE BLOCKING OF OPENINGS OF A 2 FAMILY DWELLING IS REGD AT THE LINE OF DWELLING UNIT SEPARATION.

ROOFING & SIDING

ROOFING, SIDING, TRIM AND OTHER MATERIALS SHALL BE INSTALLED IN STRICT ACCORD WITH THEIR RESPECTIVE MANUFACTURERS SPECIFICATIONS AND INDUSTRY STANDARDS.

PROVIDE ALUMINUM GUTTERS & ROOF DRAIN LEADERS (RDL) AS REQUIRED RDLs AT OUTLET TO BE CONNECTED TO SITE STORM DRAINAGE SYSTEM.

PROVIDE APPROVED SNOW GUARDS AT ROOF EDGES WITH FITCH EXCEEDING 1:12 OVER ALL DOORWAYS, DECKS & WALKWAYS WITHIN 36" OF DWELLING ROOFING.

SIDING, TRIM AND OTHER MATERIALS COLORS TO BE DETERMINED FROM BUILDERS SELECTION PRIOR TO ORDERING. ARCHITECT IS NOT RESPONSIBLE FOR COLOR AND/OR MATERIAL SELECTIONS.

DOOR & WINDOW NOTES

ALL WINDOWS AND EXTERIOR DOORS SHALL COMPLY WITH THE ENERGY CONSERVATION CODE OF NYS, AND FOR THE COUNTY THIS PROJECT IS LOCATED.

ALL DOORS SHALL COMPLY TO THE STATE CODE SIZE REQUIREMENTS.

WINDOW SCHEDULE IS FOR DESIGN INTENT ONLY. THE CONTRACTOR SHALL VERIFY WITH OWNER ALL WINDOWS, DOOR, AND ADDITIONAL OPTIONS SUCH AS, COLOR, HARDWARE PRIOR TO ORDERING.

ALL WINDOWS AND DOORS SHALL BE INSTALLED WITH STRICT ACCORDANCE TO THEIR PARTICULAR MANUFACTURERS SPECIFICATIONS AND TO VERIFY WINDOW ROUGH OPENINGS WITH THE MANUFACTURER.

ALL HEADER HEIGHTS TO BE 6'-9" ABOVE THE FINISHED FLOOR UNLESS NOTED OTHERWISE.

ALL WINDOWS IN HABITABLE SPACES SHALL COMPLY WITH THE RESIDENTIAL CODE OF THE N.Y.S. EGRESS REQUIREMENTS. THESE WINDOWS SHALL HAVE A SILL HEIGHT OF NOT GREATER THAN 44" ABOVE FINISHED FLOOR. THESE WINDOWS SHALL HAVE A MIN. OF 5 1/2 SQ. FT. CLEAR OPENING AND 10.3 SQ. FT. OF GLASS AREA FOR NATURAL LIGHT.

AT ALL EGRESS BASEMENT WINDOWS THAT ARE BELOW THE FINISHED GRADE SHALL BE PROVIDED WITH AN APPROVED WINDOW WELL AND DRAINAGE AS PER THE N.Y.S. AND LOCAL CODES. ALL GLAZING LESS THAN 18" ABOVE FINISHED FLOOR/SURFACE.

AND ALL GLASS TUB AND/OR SHOWER ENCLOSURES SHALL BE TEMPERED GLASS.

ALL FIXED GLASS SHALL BE IN FRAMES TO MATCH THE MANUFACTURER OF OPERABLE WINDOWS. ALL WINDOWS SHALL BE MANUFACTURED BY ANDERSEN OR EQUAL UNLESS SHOWN OTHERWISE.

ALL SKYLIGHTS, METAL FLUES, VENTS, STACKS OR ANY OTHER ROOF ACCESSORIES THAT REQUIRE FLASHING SHALL BE INSTALLED AS PER THE MANUFACTURERS SPECIFICATIONS.

PROVIDE ADDITIONAL ALUMINUM BLIND FLASHING WHERE REQUIRED TO INSURE F WATER TIGHT CONDITIONS.

INSTALL FLASHING AT ALL ENTRANCE SLABS ADJACENT TO WALL CONSTRUCTION. PROVIDE ADEQUATE AIR SPACE BEHIND BRICK, STONE AND OTHER SIDINGS AS REQUIRED.

ALL BEADS, STOPS AND TRIM SHALL BE MANUFACTURED FROM RUST RESISTANT ALL EXTERIOR SHING DOORS SHALL BE MANUFACTURED BY THERMA-TRU OR EQUAL UNLESS SHOWN OTHERWISE.

ALL WINDOW & DOOR JAMBES TO BE FOAM SEALED & WEATHER STRIPPED ON EXTERIOR AS PER THE 2020 INTERNATIONAL ENERGY CONSERVATION CODE.

DRYWALL NOTES

ALL GYPSUM BOARD DRYWALL CUT JOINTS SHALL BE ADJACENT TO CORNERS. NO BUTT JOINTS IN WALL SHALL BE PERMITTED.

ALL CORNERS AND JOINTS SHALL RECEIVE TWO COATS OF JOINT COMPOUND FEATHERED SMOOTH AND ALL DIMPLES CREATED BY FASTENERS SHALL RECEIVE THREE COATS OF JOINT COMPOUND FEATHERED SMOOTH.

ALL GYPSUM BOARD SHALL BE IN ACCORDANCE WITH THE GYPSUM CONSTRUCTION HANDBOOK PUBLISHED BY THE UNITED STATES GYPSUM COMPANY.

ALL MATERIALS SHALL BE FURNISHED BY THE UNITED STATES GYPSUM COMPANY, NATIONAL GYPSUM COMPANY, CELOTEX CORP. OR OTHER APPROVED MANUFACTURER.

USE WATERPROOF GYPSUM BOARD AT ALL TUBS, SHOWER SURROUNDS AND OTHER WET LOCATIONS.

TRIM & PAINTING NOTES

ALL CLOSETS SHALL HAVE AS A MINIMUM OF ONE (1) HIGH SHELF AND ONE (1) ROD FOR HANGING CLOTHING. PROVIDE FIVE (5) SHELVES & LINEN CLOSETS.

THE CONTRACTOR SHALL DOUBLE CHECK AND VERIFY ALL AS BUILT DIMENSIONS AND CONDITIONS PRIOR TO ORDERING CABINETS, COUNTER TOPS AND VANITIES.

ALL EXPOSED BASED CABINET SIDES SHALL HAVE TOE SPACE UNLESS SHOWN OTHERWISE.

ALL PAINTS AND STAINS SHALL BE OF A MANUFACTURER AS SCHEDULED OR AS DIRECTED BY BUILDER.

ALL INTERIOR GYPSUM BOARDS, WALLS AND CEILINGS, SHALL RECEIVE ONE COAT PRIMER AND TWO COATS OF PAINT OF BENJAMIN MOORE OR EQUAL.

ALL INTERIOR WOOD, TRIM, SHELVING AND OAK FLOORS SHALL BE FINISHED AS SCHEDULED OR AS DIRECTED BY BUILDER.

ALL INTERIOR DOORS, TRIM AND EXPOSED WOOD SHALL BE Banded COMPLETELY SMOOTH PRIOR TO APPLYING FINISH.

ALL EXPOSED FERROUS METAL SHALL BE PAINTED WITH A RUST INHIBITOR AND TWO COATS OF ENAMEL.

ELECTRICAL NOTES

ALL OUTLETS, FIXTURES AND ALL OTHER ELECTRICAL WORK SHALL BE PLACED, AND INSTALLED AS PER THE 2018 NFPA LATEST EDITION, THE LATEST EDITION OF THE NEC, NFPA, AND THE LOCAL UTILITY CO.

ELECTRICAL PANELS SHALL BE FULLY RECESSED AND HAVE ALL CIRCUITS CLEARLY LABELED. A MINIMUM OF 20% OF CIRCUITS SHALL BE FOR FUTURE USE FOR EACH PANEL USED.

TELEPHONE AND TELEVISION OUTLETS SHALL BE WIRED TO LOCAL PROVIDERS SPECIFICATIONS TO A POINT OF ENTRY APPROVED BY OWNER UNLESS SHOWN ON PLANS OTHERWISE.

THE ELECTRICAL CONTRACTOR SHALL PROVIDE MECHANICAL EXHAUST FANS FOR ALL RANGES AND IN ALL LAUNDRY, TOILET, TUB, AND SHOWER AREAS.

ALL PAN FIXTURES SHALL BE SWITCHED SEPARATELY AND VENTED TO THE EXTERIOR.

THE ELECTRICAL CONTRACTOR SHALL PROVIDE A SWITCH FOR THE DISHWASHER LOCATED IN SINK CAB.

ALL RECEPTACLES SHOWN ABOVE THE COUNTER SHALL HAVE THE BOTTOM FLUSH WITH TOP OF THE BACK SPLASH.

THE ELECTRICAL CONTRACTOR SHALL NOT DRILL OR CUT ANY STRUCTURAL GIRDBERS, HEADERS AND BEAMS WITHOUT PRIOR CONSENT FROM THE ARCHITECT.

THE CONTRACTOR SHALL CONSULT AND COORDINATE WITH OTHER TRADES INVOLVED WITH THIS PROJECT PRIOR TO INSTALLATION.

THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ELECTRICAL DEVICE AND FIXTURE LOCATIONS.

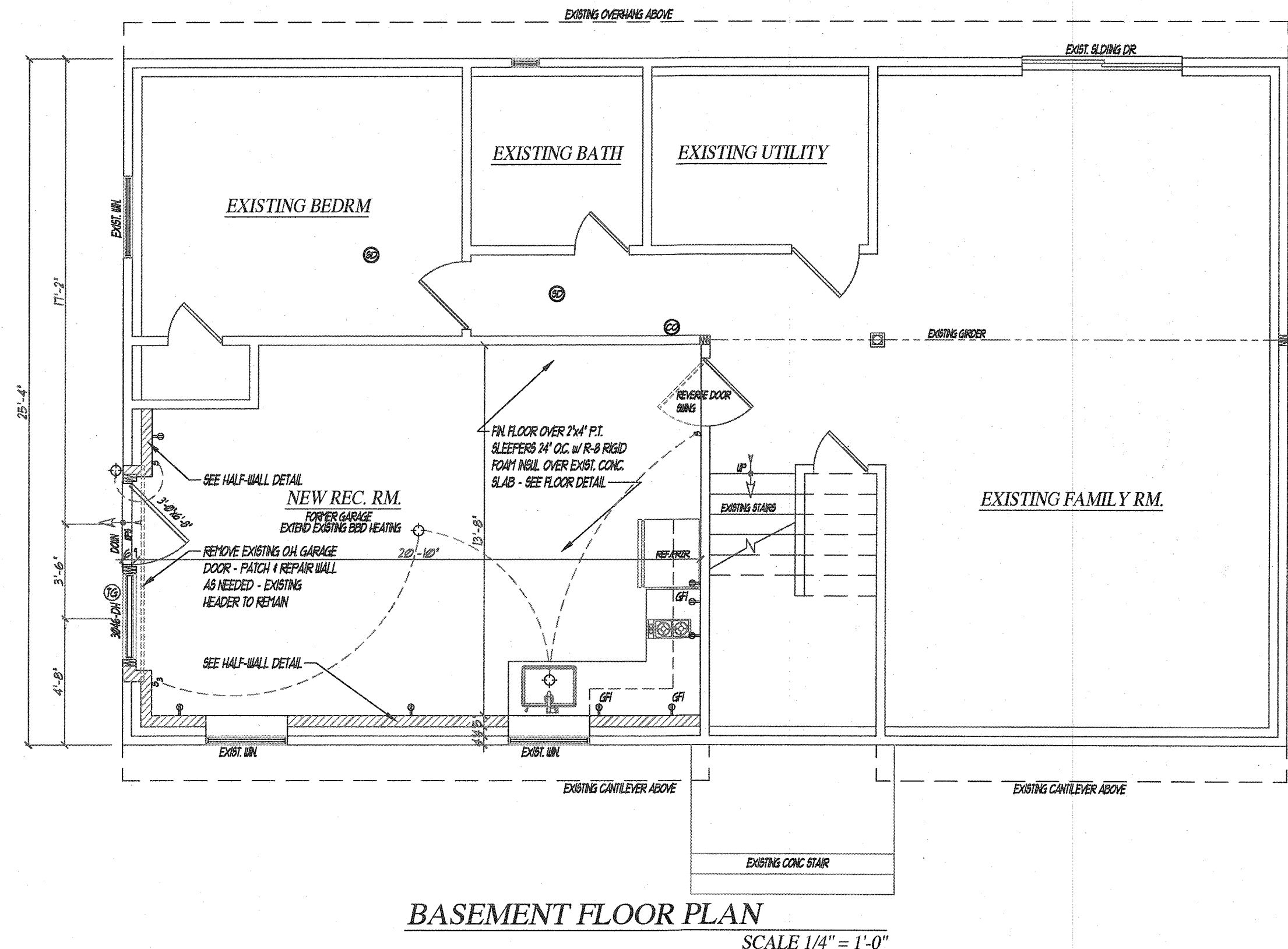
THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ELECTRICAL DEVICE AND FIXTURE OPTIONS SUCH AS COLOR, * AND STYLE PRIOR TO ORDERING.

ALL SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED WITH BATTERY PROVIDE ONE SMOKE DETECTORS AS INDICATED ON PLANS AND AS PER ALL CODE REQUIREMENTS AND PROVIDE A MINIMUM OF ONE CARBON MONOXIDE DETECTOR ON EVERY FLOOR.

LOCATE SMOKE DETECTORS ON FLAT CEILINGS NO CLOSER THAN 16" FROM WALL.

ALL OUTLETS TO BE TAMPERPROOF. ARC-FAULT OUTLETS IN ALL ROOMS EXCEPT KITCHEN AND BATHS.

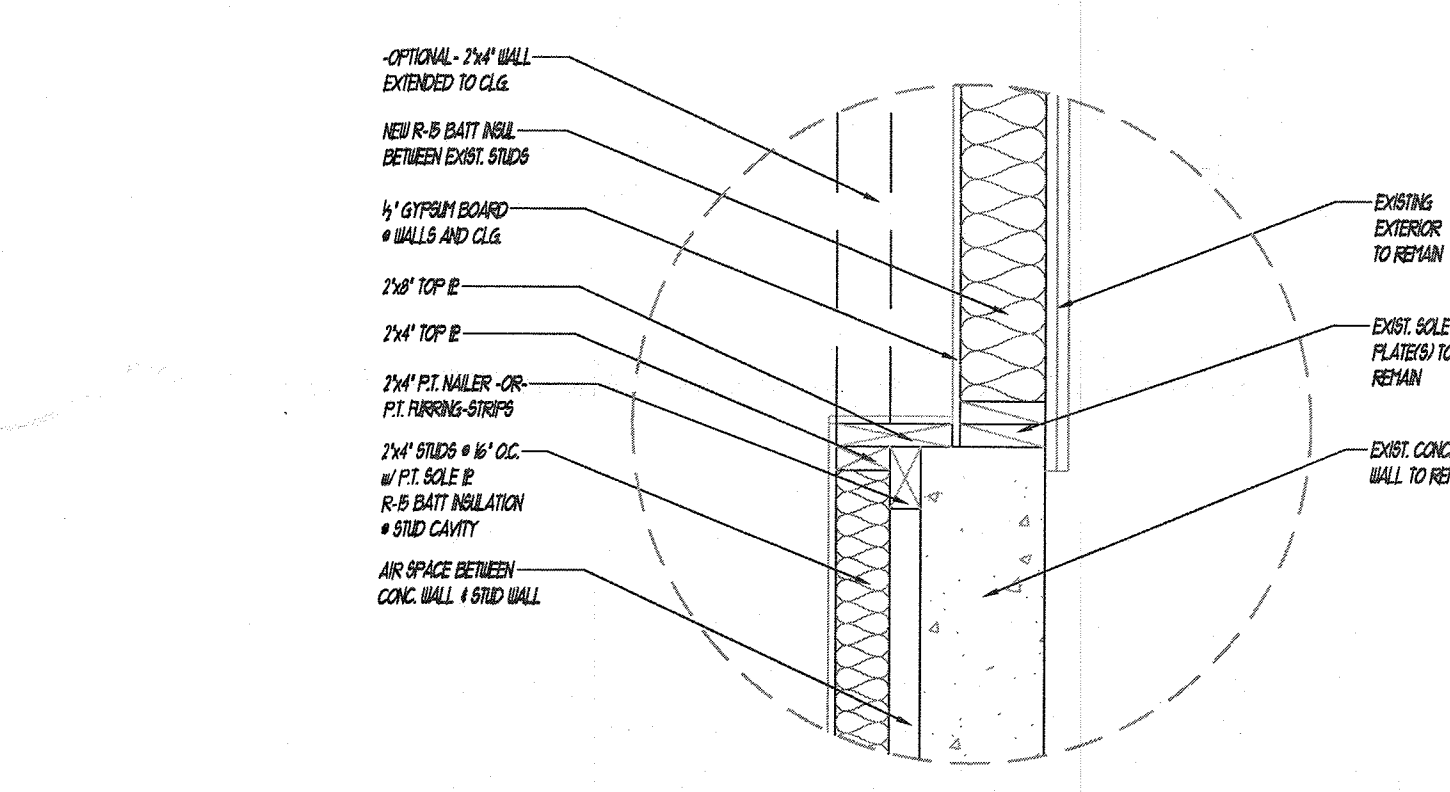
ALL RECESSED LIGHTS TO MEET "IC" REQUIREMENTS FOR AIR INFILTRATION 50% OF LAMPS TO BE HIGH EFFICIENCY.



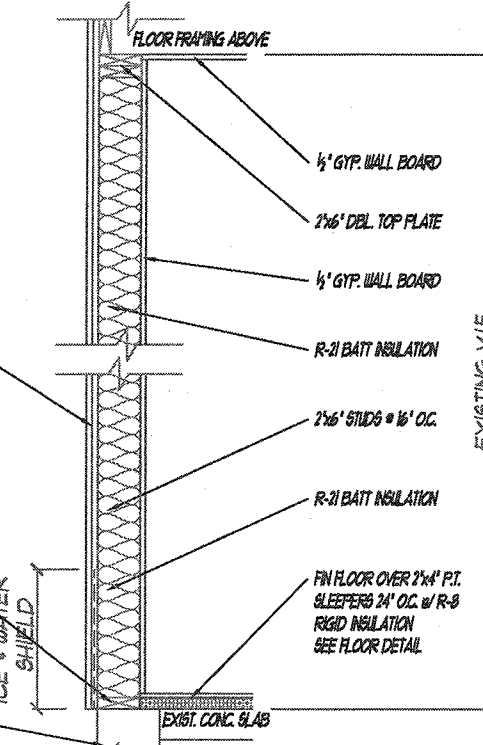
BASEMENT FLOOR PLAN
SCALE 1/4" = 1'-0"

ELECTRIC LEGEND

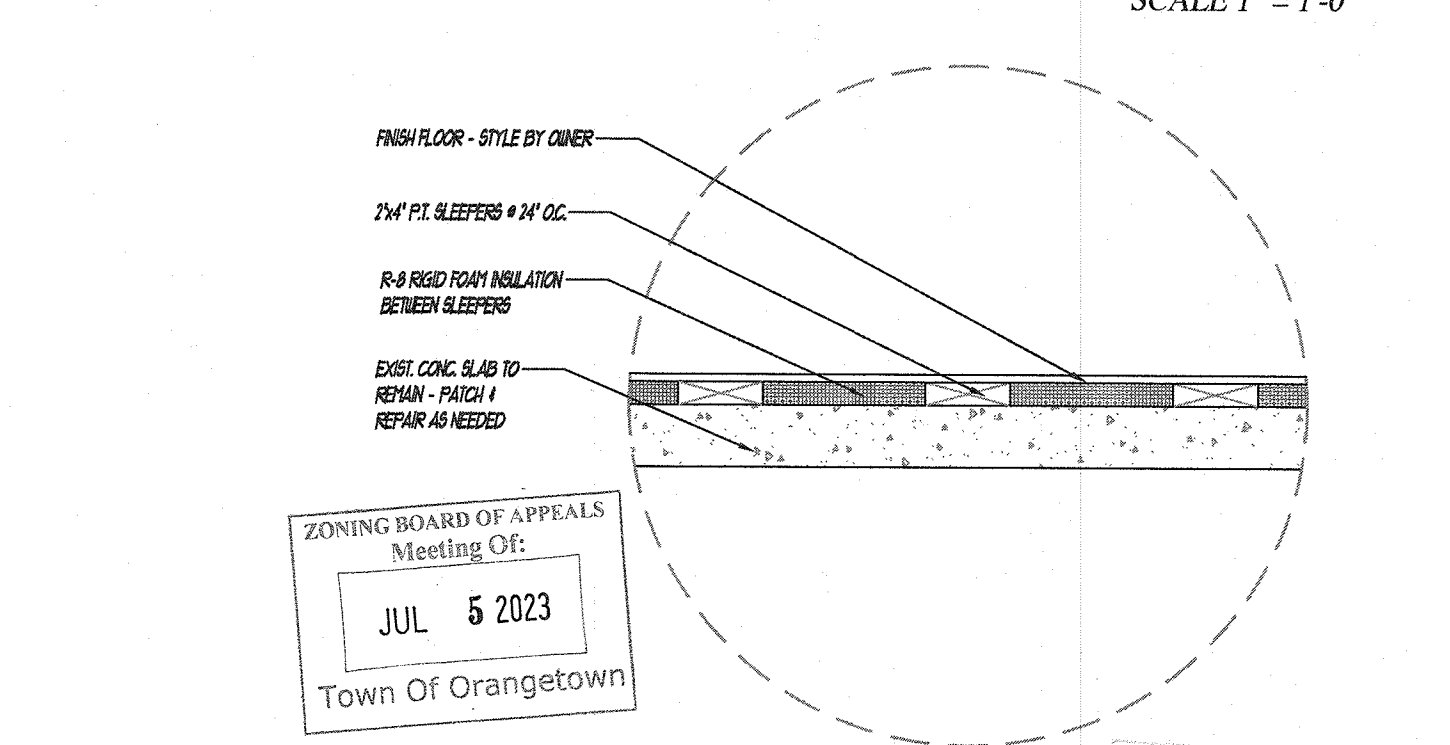
- ALL ELECTRICAL WORK TO CONFORM TO 2018 NEC CODE OF NYS & 2018 NEC. RE-USE EXISTING ELECTRICAL WHERE POSSIBLE.
- DUPLEX OUTLET
 - ⊕ GROUND FAULT OUTLET (GFCI)
 - ⊖ GROUND FAULT OUTLET (LEAKAGE PROOF)
 - ⊕ DEDICATED CIRCUIT (APPLIANCE ETC.)
 - ⊖ EXHAUST FAN (LIGHT TO SWITCHES)
 - ⊕ SMOKE DETECTOR (HARD WIRED TO BATTERY OR BATTERY BACKUP)
 - ⊖ CARBON MONOXIDE DETECTOR
 - ⊕ CEILING POINTED FISHBONE (100% INCANDESCENT)
 - ⊖ WALL POINTED FISHBONE (100% INCANDESCENT)
 - ⊕ RECESSED FISHBONE (100% INCANDESCENT)
 - ⊖ SWITCH
 - ⊕ THREE WAY SWITCH
 - ⊖ FOUR WAY SWITCH
 - ⊕ SWITCH TO FIXTURE (WIRING)



CONC. HALF-WALL DETAIL
SCALE 1" = 1'-0"



EXTERIOR GARAGE INFILL WALL DETAIL
SCALE 1/2" = 1'-0"



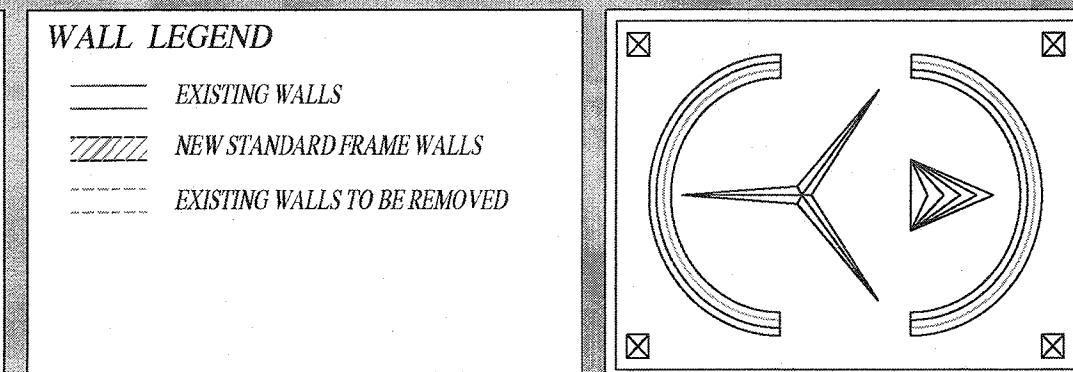
FLOOR DETAIL
SCALE 1" = 1'-0"

NOTES:

ALL WORK TO BE IN ACCORDANCE WITH THE FOLLOWING:
2020 RESIDENTIAL CODE OF NEW YORK STATE
2020 ENERGY CONSERVATION CODE OF NEW YORK
2020 EXISTING BUILDING CODE OF NYS
2020 PLUMBING CODE OF NYS
2020 MECHANICAL CODE OF NYS
2020 FUEL GAS CODE OF NYS
2020 NATIONAL ELECTRIC CODE

WALL LEGEND

- EXISTING WALLS
- ▨ NEW STANDARD FRAME WALLS
- - - - EXISTING WALLS TO BE REMOVED



ERIC KNUTE OSBORN
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45 YEARS EXPERIENCE
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PROJECT
PROPOSED RENOVATION FOR
(LEVEL 1 ALTERATION)
JAMES & ASHLEY DOONAN
6 KIRCHNER DR. TAPPAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

FLOOR PLAN
SECTION & DETAILS

START DATE: 2 JAN. 2023

PROJECT # 2023-ADD-3
SCALE 1/4" = 1'-0"
DWG. No.
A-1

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THESE PLANS & SPECIFICATIONS ARE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE 2018 RESIDENTIAL CODE OF NYS & 2018 ENERGY CONSERVATION CODE OF NYS, AND ZONING REQUIREMENTS OF THE TOWN OF TAPPAN, ROCKLAND COUNTY, NEW YORK.

RECEIVED
JUN 9 2023
TOWN OF ORANGETOWN
LAND USE DEPARTMENT

APRIL 2023

PROPOSED RENOVATION FOR JAMES & ASHLEY DOONAN 6 KIRCHNER DR. TAPPAN TOWN OF ORRANGETOWN ROCKLAND COUNTY, NY

GENERAL NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH ALL PREVAILING CODES, LAWS AND ORDINANCES OF THE 2020 RESIDENTIAL & ENERGY CONSERVATION CODES OF NYS, LOCAL TOWN OR VILLAGE OF WHICH THE PROJECT IS LOCATED.

THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY PRIOR DURING AND AFTER CONSTRUCTION ALL NECESSARY LICENSES AND INSURANCES PER THE NYS, LOCAL AND ALL GOVERNING REGULATIONS.

THE OWNER SHOULD READ AND REVIEW HIS/HER ENTIRE SET OF CONTRACT DOCUMENTS (PLANS & SPECIFICATIONS) PRIOR TO GIVING IT TO THE CONTRACTOR. OWNER SHALL CONFIRM THAT ALL INFORMATION IS CORRECT. SHOULD THE OWNER FIND ANYTHING THAT WASN'T WHAT THEY INTENDED TO BE DONE, THEN THEY SHALL HAVE THE ARCHITECT AMEND IT AS REQUIRED.

THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION AND/OR PROJECT SITE. THE GENERAL PUBLIC, PROSPECTIVE BUYERS AND ALL OTHER NON-CONSTRUCTION RELATED PERSONS ARE NOT TO ENTER THE CONSTRUCTION WORK AREA UNTIL A VALID CERTIFICATE OF OCCUPANCY IS ISSUED BY THE LOCAL BUILDING DEPARTMENT.

THE PROJECT SITE SHALL BE PROPERLY POSTED AND TAPED AND/OR FENCED OFF TO ENSURE PUBLIC SAFETY AND SAFEGUARD THE PUBLIC AT ALL TIMES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS (PLANS & SPECIFICATIONS) PRIOR TO ANY ERECTION/CONSTRUCTION.

ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IMMEDIATELY. ALWAYS USE DIMENSIONS AS SHOWN AND THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

DRAWINGS ARE NOT TO BE SCALED.

ALL CHANGES MADE BY THE CONTRACTOR SHALL FIRST BE APPROVED BY THE ARCHITECT AND OWNER PRIOR OF STARTING WITH THE WORK INVOLVED.

ANY UNAUTHORIZED CHANGES MADE BY THE CONTRACTOR AND ULTIMATELY NOT BEING APPROVED BY THE OWNER AND ARCHITECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND TO BE CORRECTED AT HIS OWN EXPENSE.

THE ARCHITECT HAS NOT BEEN RETAINED FOR ANY MECHANICAL DESIGN SYSTEMS, DUCTS, CHASE OPENINGS, SIZE OF FURNACE AND FRESH AIR REQUIREMENTS ETC. THESE ARE NOT SHOWN AND SHALL BE DETERMINED BY A MECHANICAL ENGINEER PRIOR OF COMMENCING THE WORK.

THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION, AND CONSTRUCTION INSPECTIONS AND/OR THE REVIEW OF SHOP DRAWINGS. THE ARCHITECT HAS ONLY BEEN RETAINED FOR DESIGN PURPOSES. THEREFORE, THE ARCHITECT ASSUMES NO LIABILITY FOR WORKMANSHIP, CODE AND/OR PLAN COMPLIANCE. THE ARCHITECT'S RESPONSIBILITY IS STRICTLY LIMITED TO THESE PLANS AND RELATED SPECIFICATIONS ONLY.

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION MEANS, METHODS, DEVIATIONS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR ANY SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK FOR THE OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DOCUMENTS.

THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURES AND/OR ANY UNOBTAINED PERMITS PRIOR TO NEW CONSTRUCTION.

THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY DEMOLITION, SITE WORK, NEW CONSTRUCTION, OPERATION AND METHODS.

ALL AREAS THAT ARE AFFECTED BY ALL ADDITIONS SHALL BE REPAIRED AND/OR PATCHED TO A LIKE NEW CONDITION UNLESS NOTED OTHERWISE.

THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE LOCAL AND STATE AS REQUIRED AND TO DELIVER TO THE OWNER A CO. UPON COMPLETION OF THE PROJECT.

THE CONTRACTOR SHALL PROVIDE A CONTAINER FOR THE REMOVAL OF DEBRIS DURING CONSTRUCTION.

THE CONTRACTOR AND ALL SUBCONTRACTORS WORKING WITH THIS PROJECT SHALL KEEP THE SITE CLEAN AND HAZARD FREE AT ALL TIMES AND TO OBTAIN ALL "OSHA" AND ALL OTHER SAFETY REGULATIONS.

THE CONTRACTOR SHALL LEAVE PREMISES BROOM CLEAN DAILY.

THE CONTRACTOR SHALL GUARANTEE ALL WORK SPECIFIED AND DESCRIBED BY THESE DRAWINGS AND IS TO FOLLOW ALL NATIONALLY ACCEPTED TRADE PRACTICES.

SITE NOTES

THESE PLANS ARE BASED ACCORDANCE TO THE SURVEY INFORMATION PROVIDED TO THE ARCHITECT BY THE OWNER. THEY SHOULD BE REVIEWED BY A LICENSED LAND SURVEYOR AND/OR ENGINEER TO VERIFY ALL BUILDING LINES AND SET BACKS PRIOR TO CONSTRUCTION.

THE ELEVATION SHOWN ON THE PLAN MAY NOT BE ACCURATE IN EVERY DETAIL. THE OWNER SHALL REVIEW THE PLANS WITH THE CONTRACTOR TO INSURE ACCURACY OF DETAILS AND METHODS PROVIDED BY THE CONTRACTOR.

THE CONTRACTOR SHALL BE RESPONSIBLE OF NOTIFYING ALL UTILITY COMPANIES, AND VERIFYING THE LOCATION OF THE SAME UTILITY COMPANIES LINES, SERVICES AND ALL OTHER POSSIBLE EQUIPMENTS OF UTILITY COMPANIES. THE CONTRACTOR SHALL LOCATE AND IDENTIFY THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES, AND PROVIDE UNDERGROUND CONNECTIONS TO THEM.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY GROUND WATER EXCESSIVE ORGANIC MATERIAL OR ANY OTHER UNSUITABLE CONDITIONS DISCOVERED DURING SITE PREPARATION AND/OR EXCAVATION.

THE CONTRACTOR SHALL PROVIDE ONE PROPERLY MAINTAINED, PORTABLE TOILET FOR THE ENTIRE DURATION OF THE CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE FROM A REGISTERED LAND SURVEYOR A WRITTEN CERTIFICATE THAT THE LOWEST PORTION OF THE FIRST FLOOR MEET OR EXCEED THE REQUIRED FLOOD ELEVATION.

EXTREME CAUTION SHALL BE TAKEN DURING DEMOLITION OF EXISTING BUILDINGS. THE CONTRACTOR SHALL OBSERVE ANY VARIATIONS AND OR ANY UNOBTAINED DISCREPANCIES WITH THE PLANS, AND SHOULD REPORT IMMEDIATELY TO THE ARCHITECT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING AND ALL TEMPORARY SUPPORTS PRIOR OF REMOVING THE EXISTING WALLS, CEILING, FLOORS AND ROOFS AS PER ALL LOCAL, AND OSHA REGULATIONS.

THE CONTRACTOR SHALL PROVIDE WEATHERPROOFING AT THE END OF EACH WORK DAY AS REQUIRED TO PREVENT WEATHER DAMAGE. THE ARCHITECT IS NOT RESPONSIBLE FOR FROZEN PIPES AND/OR MOLD CONDITIONS CREATED BY THE CONTRACTORS NEGLIGENCE.

THE FINISHED GRADE AND DRIVEWAY SHOULD BE PITCHED AWAY FROM THE BUILDING SUCH THAT ALL THE SURFACE WATER FLOWS AWAY FROM BUILDING.

THE FINISHED GRADE HEIGHT SHALL BE A MINIMUM OF 8' BELOW THE ADJACENT FRAMING, OR AS INDICATED ON PLANS.

MASONRY AND CONCRETE CONTRACTOR SHALL INSTALL ALL ANCHOR BOLTS, PLATES, CHASES, SLOTS, SLEEVES, ETC. AS REQUIRED BY TRADES.

FRAMING NOTES

ALL STANDARD FRAMING LUMBER TO BE HEMLOCK FIR #2 OR BETTER UNLESS OTHERWISE NOTED.

ALL ENGINEERED BEAMS INDICATED ON THE PLANS ARE DESIGNED USING THIS SPECIFIC MANUFACTURER AND SHALL BE INSTALLED PER THE MANUFACTURERS SPECIFICATIONS ONLY.

WHEN USING MULTIPLE MEMBER ENGINEERED BEAMS, THE FRAMER SHALL REFERENCE WITH THE SPECIFIC MANUFACTURERS MARKING GUIDE.

PROVIDE METAL FLASHING AT ALL EXTERIOR DOORS, WINDOWS AND OPENINGS UNLESS SHOWN OTHERWISE.

FRAMING NOTES DIMENSIONS ARE TO THE NEAREST NCH ACTUAL ROOM SIZES MAY VARY DUE TO GYPSUM BOARD.

ALL WOOD FRAMING IN DIRECT CONTACT WITH SOIL, CONCRETE, MASONRY OR WEATHER SHALL BE PRESURE TREATED (MIPR STANDARD C2 C3).

ALL FRAMING BELOW THE REQUIRED FLOOD ELEVATION AS SET FORTH BY FEMA AND LOCAL BUILDING OFFICIALS SHALL BE PRESURE TREATED.

ALL LUMBER TO BE SOUND, DRY AND FREE FROM ROT, KNOTS, AND SPLITS.

ALL FRAMING SHALL BE FRAMED AT 16" O.C. UNLESS SHOWN OTHERWISE. FOR ALL CONVENTIONAL FLOOR FRAMING PROVIDE A MINIMUM OF ONE ROW OF 3/4" CROSS BRIDGING FOR ALL JOISTS WITH SPANS OVER 1'-0" OR SHOWN OTHERWISE ON THE PLANS.

PROVIDE A MINIMUM OF DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, MAJOR APPLIANCES, BATH FIXTURES, AND AT ALL CANTILEVERS UNLESS SHOWN OTHERWISE.

PROVIDE A MINIMUM OF DOUBLE ALL JOISTS AT OPENINGS IN FLOORS, CEILING AND ROOFS.

PROVIDE A MINIMUM OF DOUBLE WALL STUDS AROUND ALL WALL OPENINGS, JACK STUDS UNDER ALL HEADERS, TRIPLE STUDS AT ALL CORNERS.

ALL FRAMING SHALL BE FRAMED CROWN UP UNLESS AT CANTILEVERS OR SHOWN OTHERWISE.

SOLID BLOCKING SHALL BE PROVIDED UNDER ALL POSTS THAT DON'T REST DIRECTLY ON JOISTS.

ALL INTERIOR WOOD POSTS SHALL BE SOLID STUDS AND TO BE A MINIMUM OF THE WIDTH OF THE BEAM SUPPORTING IT AND PROVIDE MINIMUM ONE KING STUD AT EITHER SIDE.

ALL DOORS, WINDOWS AND OPENINGS SHALL HAVE A MINIMUM HEADER TO BE AS FOLLOWS UNLESS SHOWN OTHERWISE ON PLANS. UP TO 5'-0" USE (2"x10"), UP TO 8'-0" USE (3"x10") OR (2"x12") OPENINGS GREATER THAN 8'-0" SEE PLANS FOR SIZES.

PROVIDE FASTENER NAILS AS FOLLOWS: 16d AT ALL GENERAL FRAMING AND 8d AT ALL PLTYWOOD, 4" SPACING MAX. TABLES R602.3(1) THROUGH R602.3(4).

FIRE BLOCKING SHALL BE PROVIDED AS FOLLOWS

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR LEVELS. CONCEALED HORIZ FURRED SPACES SHALL ALSO BE FIRE BLOCKED AT INTERVAL NOT EXCEEDING 10 FEET. BATTIS OR BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIRE BLOCKINGS IN WALLS CONSTRUCTED USING ROUS OF STUDS OR STAGGERED STUDS.
- AT ALL INTERCONNECTIONS BET. CONCEALED VERT. & HORIZ SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.
- IN CONCEALED SPACES BET. STAIR STRINGERS AT TOP & BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS (SHOULDER RAIL).
- AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL, W/ AN APPROV. MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
- FOR THE FIRE BLOCKING OF CHIMNEYS & FIREPLACES, SEE SECTION R602.6.
- FOR THE FIRE BLOCKING OF CHIMNEYS & FIREPLACES, SEE SECTION R602.6.

ROOFING & SIDING

ROOFING, SIDING, TRIM AND OTHER MATERIALS SHALL BE INSTALLED IN STRICT ACCORD WITH THEIR RESPECTIVE MANUFACTURERS SPECIFICATIONS AND INDUSTRY STANDARDS.

PROVIDE ALUMINUM GUTTERS & ROOF DRAIN LEADERS (RDLs) AS REQUIRED RDLs AT OUTLET TO BE CONNECTED TO SITE STORM DRAINAGE SYSTEM.

PROVIDE APPROVED SNOW GUARDS AT ROOF EDGES WITH PITCH EXCEEDING 1/2 OVER ALL DOORWAYS, DECKS & WALKWAYS WITHIN 36" OF DUELLING ROOFING, SIDING, TRIM, AND OTHER MATERIALS COLORS TO BE DETERMINED FROM BUILDERS COLOR GUIDE TO ORDERING. ARCHITECT IS NOT RESPONSIBLE FOR SELECTION AND/OR MATERIAL SELECTIONS.

DOOR & WINDOW NOTES

ALL WINDOWS AND EXTERIOR DOORS SHALL COMPLY WITH THE ENERGY CONSERVATION CODE OF NYS. AND FOR THE COUNTY THIS PROJECT IS LOCATED.

ALL DOORS SHALL CONFORM TO THE STATE CODE SIZE REQUIREMENTS. PARTICULAR MANUFACTURERS SPECIFICATIONS AND TO VERIFY WINDOW ROUGH OPENINGS WITH THE MANUFACTURER.

ALL WINDOW HEIGHTS TO BE 6'-9" ABOVE THE FINISHED FLOOR, UNLESS NOTED OTHERWISE.

ALL WINDOWS IN HABITABLE SPACES SHALL COMPLY WITH THE RESIDENTIAL CODE OF THE NYS. EGRESS REQUIREMENTS. THESE WINDOWS SHALL HAVE A SILL HEIGHT OF NOT GREATER THAN 44" ABOVE FINISHED FLOOR. THESE WINDOWS SHALL HAVE A MIN. OF 5.7 SQ. FT. CLEAR OPENING AND 103 SQ. FT. OF GLASS AREA FOR NATURAL LIGHT.

AT ALL EGRESS BASEMENT WINDOWS THAT ARE BELOW THE FINISHED GRADE SHALL BE PROVIDED WITH AN APPROVED WINDOW WELL AND DRAINAGE AS PER THE NYS. AND LOCAL CODES. ALL GLAZING LESS THAN 18" ABOVE FINISHED FLOOR/SURFACE.

AND ALL GLASS TUB AND/OR SHOWER ENCLOSURES SHALL BE TEMPERED GLASS.

ALL FIXED GLASS SHALL BE IN FRAMES TO MATCH THE MANUFACTURER OF OPERABLE WINDOWS. ALL WINDOWS SHALL BE MANUFACTURED BY ANDERSEN OR EQUAL UNLESS SHOWN OTHERWISE.

ALL SKYLIGHTS, METAL FLUES, VENTS, STACKS OR ANY OTHER ROOF ACCESSORIES THAT REQUIRE FLASHING SHALL BE INSTALLED AS PER THE MANUFACTURERS SPECIFICATIONS.

PROVIDE ADDITIONAL ALUMINUM BLIND FLASHING WHERE REQUIRED TO INSURE IF WATER TIGHT CONDITIONS.

INSTALL FLASHING AT ALL ENTRANCE SLABS ADJACENT TO WALL CONSTRUCTION. PROVIDE ADEQUATE AIR SPACE BEHIND BRICK, STONE AND OTHER SIDINGS AS REQUIRED.

ALL HEADS, STOPS AND TRIM SHALL BE MANUFACTURED FROM RUST RESISTANT ALL EXTERIOR SLIDING DOORS SHALL BE MANUFACTURED BY THERMA-TRU OR EQUAL UNLESS SHOWN OTHERWISE.

ALL WINDOW & DOOR JAMBS TO BE FOAM SEALED & WEATHER STRIPPED ON EXTERIOR AS PER THE 2020 INTERNATIONAL ENERGY CONSERVATION CODE.

DRYWALL NOTES

ALL GYPSUM BOARD DRYWALL CUT JOINTS SHALL BE ADJACENT TO CORNERS. NO BUTT JOINTS IN WALL SHALL BE PERMITTED.

ALL CORNERS AND JOINTS SHALL RECEIVE TWO COATS OF JOINT COMPOUND FEATHERED SMOOTH AND ALL DIMPLES CREATED BY FASTENERS SHALL RECEIVE THREE COATS OF JOINT COMPOUND FEATHERED SMOOTH.

ALL GYPSUM BOARD SHALL BE IN ACCORDANCE WITH THE GYPSUM CONSTRUCTION HANDBOOK PUBLISHED BY THE UNITED STATES GYPSUM COMPANY.

ALL MATERIALS SHALL BE FURNISHED BY THE UNITED STATES GYPSUM COMPANY, NATIONAL GYPSUM COMPANY, CELOTEX CORP. OR OTHER APPROVED MANUFACTURER.

USE WATERPROOF GYPSUM BOARD AT ALL TUBS, SHOWER SURROUNDS AND OTHER WET AREAS.

TRIM & PAINTING NOTES

ALL CLOSETS SHALL HAVE AS A MINIMUM OF ONE (1) HIGH SHELF AND ONE (1) ROD FOR HANGING CLOTHING. PROVIDE FIVE (5) SHELVES IN LINEN CLOSETS.

THE CONTRACTOR SHALL DOUBLE CHECK AND VERIFY ALL AS BUILT DIMENSIONS AND CONDITIONS PRIOR OF ORDERING CABINETS, COUNTER TOPS AND VANITIES.

ALL EXPOSED BASED CABINET SIDES SHALL HAVE TOE SPACE UNLESS SHOWN OTHERWISE.

ALL PAINTS AND STAINS SHALL BE OF A MANUFACTURER AS SCHEDULED OR AS DIRECTED BY BUILDER.

ALL INTERIOR GYPSUM BOARDS, WALLS AND CEILING, SHALL RECEIVE ONE COAT PRIMER AND TWO COATS OF PAINT OF BENJAMIN MOORE OR EQUAL.

ALL INTERIOR WOOD, TRIM, SHELVING AND OAK FLOORS SHALL BE FINISHED AS SCHEDULED OR AS DIRECTED BY BUILDER.

ALL INTERIOR DOORS, TRIM AND EXPOSED WOOD SHALL BE SANDED COMPLETELY SMOOTH PRIOR TO APPLYING FINISH.

ALL EXPOSED FERROUS METAL SHALL BE PAINTED WITH A RUST INHIBITOR AND TWO COATS OF ENAMEL.

ELECTRICAL NOTES

ALL OUTLETS, FIXTURES AND ALL OTHER ELECTRICAL WORK SHALL BE PLACED, AND INSTALLED AS PER THE 2020 NFPA LATEST EDITION, THE LATEST EDITION OF THE NEC, NABE, AND THE LOCAL UTILITY CO.

ELECTRICAL PANELS SHALL BE FULLY RECESSED AND HAVE ALL CIRCUITS CLEARLY LABELED. A MINIMUM OF 20% OF CIRCUITS SHALL BE FOR FUTURE USE FOR EACH PANEL USED.

TELEPHONE AND TELEVISION OUTLETS SHALL BE WIRED TO LOCAL PROVIDERS SPECIFICATIONS TO A POINT OF ENTRY APPROVED BY OWNER UNLESS SHOWN ON PLANS OTHERWISE.

THE ELECTRICAL CONTRACTOR SHALL PROVIDE MECHANICAL EXHAUST FANS FOR ALL RANGES, AND IN ALL LAUNDRY, TOILET, TUB, AND SHOWER AREAS.

ALL FAN FIXTURES SHALL BE SWITCHED SEPARATELY AND VENTED TO THE EXTERIOR.

THE ELECTRICAL CONTRACTOR SHALL PROVIDE A SWITCH FOR THE DISHWASHER LOCATED IN SINK CAB.

ALL RECEPTACLES SHOWN ABOVE THE COUNTER SHALL HAVE THE BOTTOM FLUSH WITH TOP OF THE BACK SPLASH.

THE ELECTRICAL CONTRACTOR SHALL NOT DRILL OR CUT ANY STRUCTURAL MEMBERS, HEADERS AND BEAMS WITHOUT PRIOR CONSENT FROM THE ARCHITECT.

THE CONTRACTOR SHALL CONSULT AND COORDINATE WITH OTHER TRADES INVOLVED WITH THIS PROJECT PRIOR TO INSTALLATION.

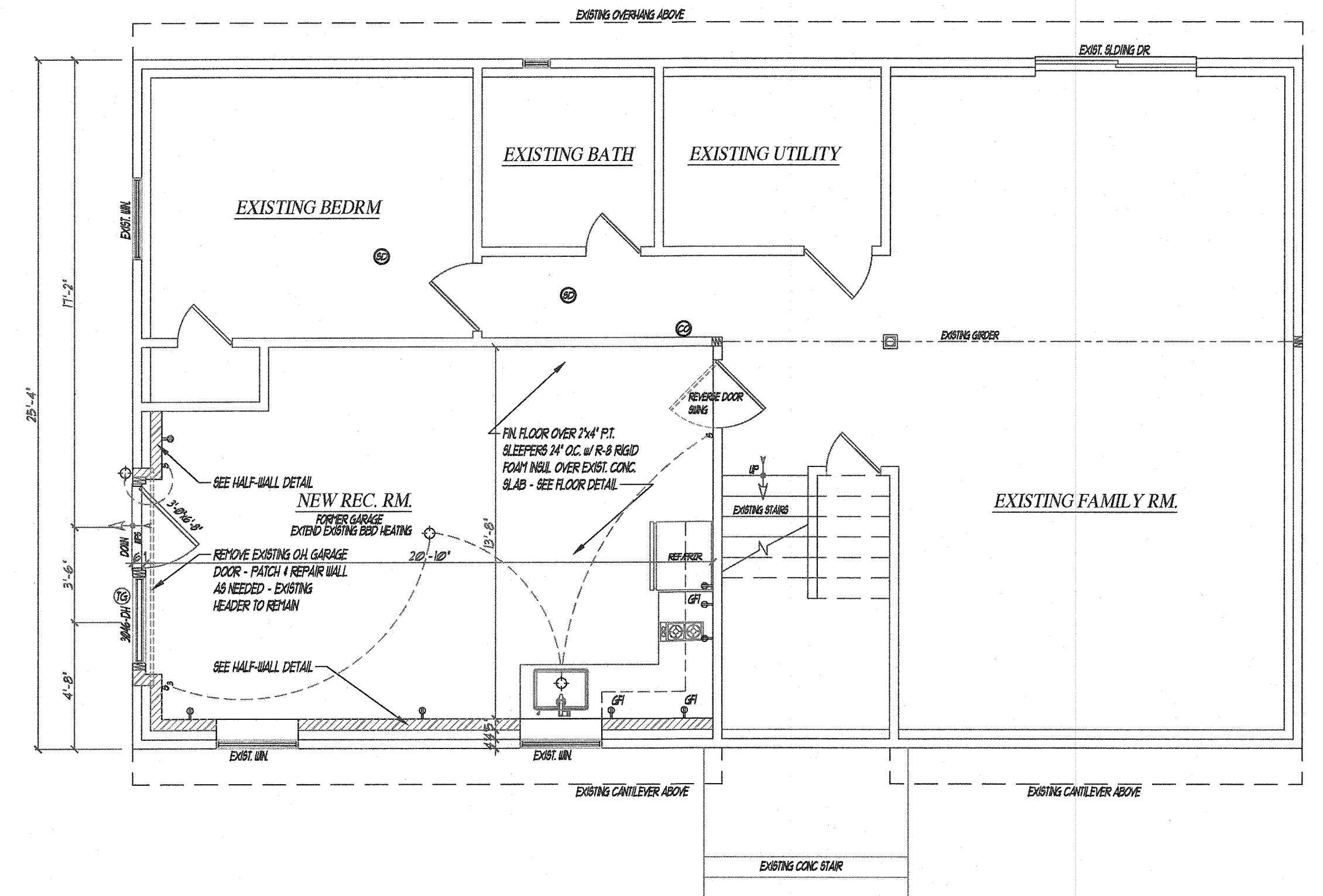
THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ELECTRICAL DEVICE AND FIXTURE LOCATIONS.

THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ELECTRICAL DEVICE AND FIXTURE OPTIONS SUCH AS COLOR, * AND STYLE PRIOR OF ORDERING.

ALL SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED WITH BATTERY PROVIDED ONE SMOKE DETECTOR AS INDICATED ON PLANS AND AS PER ALL CODE REQUIREMENTS AND PROVIDE A MINIMUM OF ONE CARBON MONOXIDE DETECTOR ON EVERY FLOOR. LOCATE SMOKE DETECTORS ON FLAT CEILING NO CLOSER THAN 16" FROM WALL.

ALL OUTLETS TO BE TAMPERPROOF. ARC-FAULT OUTLETS IN ALL ROOMS EXCEPT KITCHEN AND BATHS.

ALL RECESSED LIGHTS TO MEET "IC" REQUIREMENTS FOR AIR INFILTRATION 50% OF LAMPS TO BE HIGH EFFICIENCY.

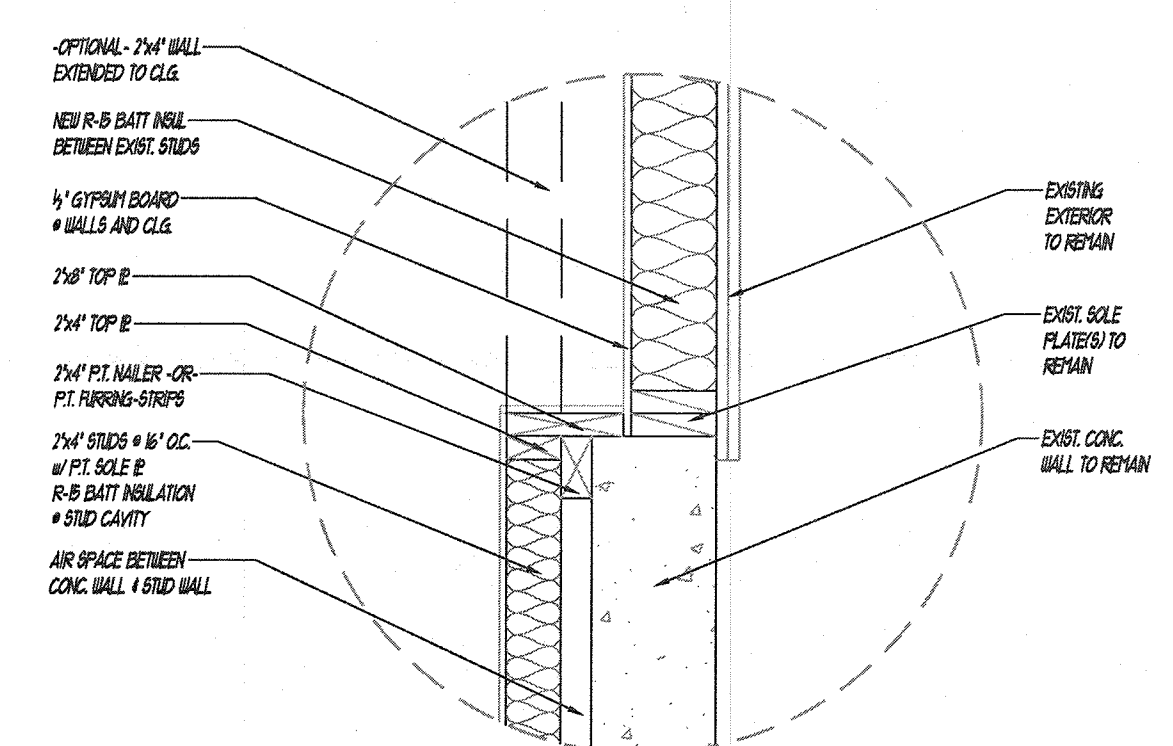


BASEMENT FLOOR PLAN

SCALE 1/4" = 1'-0"

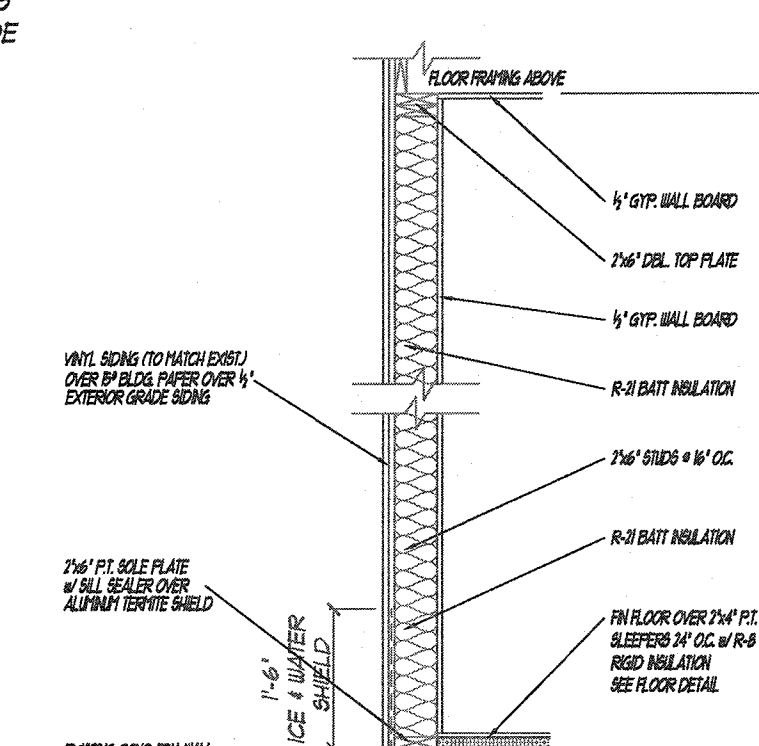
ELECTRIC LEGEND

- ALL ELECTRICAL WORK TO CONFORM TO 2020 NABE CODE OF NYS & NEC. RE-USE EXISTING ELECTRICAL WIRING WHERE POSSIBLE.
- ⊖ Duplex Outlet
 - ⊖ Ground Fault Outlet (GFCO)
 - ⊖ Ground Fault Outlet (Weatherproof)
 - ⊖ Decagrad Circuit (Appliance ETC)
 - ⊖ Exhaust Fan (Light / Switch)
 - ⊖ Smoke Detector (Hardwired w/Battery Backup)
 - ⊖ Carbon Monoxide Detector
 - ⊖ Ceiling Mounted Fixture (Non Incandescent)
 - ⊖ Wall Mounted Fixture (Non Incandescent)
 - ⊖ Recessed Fixture (Non Incandescent)
 - ⊖ Switch
 - ⊖ Three Way Switch
 - ⊖ Four Way Switch
 - ⊖ Switch to Future Work



CONC. HALF-WALL DETAIL

SCALE 1" = 1'-0"



EXTERIOR GARAGE INFILL WALL DETAIL

SCALE 1/2" = 1'-0"

FLOOR DETAIL

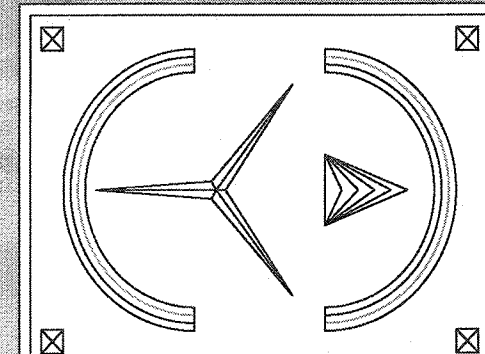
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NOTES:

ALL WORK TO BE IN ACCORDANCE WITH THE FOLLOWING:
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2020 MECHANICAL CODE OF NYS
2020 FUEL GAS CODE OF NYS
2020 NATIONAL ELECTRIC CODE

WALL LEGEND

- EXISTING WALLS
- ▤ NEW STANDARD FRAME WALLS
- EXISTING WALLS TO BE REMOVED



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(845) 629-7474

PROJECT PROPOSED RENOVATION FOR

(LEVEL 1 ALTERATION)
JAMES & ASHLEY DOONAN
6 KIRCHNER DR. TAPPAN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

FLOOR PLAN SECTION & DETAILS

START DATE: 2 JAN. 2023

PROJECT # 2023-ADD-3

SCALE 1/4" = 1'-0"

DWG. No.

A-1

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THESE PLANS & SPECIFICATIONS ARE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NYS AND ZONING REQUIREMENTS OF THE TOWN OF TAPPAN, ROCKLAND COUNTY, NEW YORK.



17 APRIL 2023