

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(914) 359-8410 (ex. 4331)

Date: June 8, 2023

TO: OBAPAE

- Environmental Management and Engineering
- ✓ Rockland County Sewer District #1
- New York State Dept. of Transportation
- Palisades Interstate Park Commission
- Orange and Rockland Utilities
- Orangetown Highway

- Rockland County Drainage ✓
- Rockland County Health ✓
- Rockland County Planning ✓
- Rockland County Highway ✓

6/9

Review of Plans: South Orangetown Ambulance Corp. Site Plan 70 Independence Avenue, Tappan, NY

Section 74.18 Block 3 Lots 39 & 40; R-15 zone

This matter is scheduled for:

Chapter 43, R-15 District, Section 3.12, Group O, Column 3 (all other uses), Columns 4, (Floor Area Ratio: .20 permitted, .34 and .22 proposed) (added to the lot), 8 (Front Yard: 100' required, 10' previously approved, 4.3' existing & proposed), 9 (Side Yard: 75' required, 19.1' previously approved, 18.9' proposed), 10 (Total Side Yard: 200' required, 107.8 proposed), 11 (Rear Yard: 100' required, 14.4' previously approved, 4.2' proposed) and 12 (Building Height: 3" per foot permitted, 20'7" existing, 26' 5" proposed) for an addition to the existing building with merging lots. The premises are located at 70 Independence Avenue, Tappan, New York and identified on the Orangetown Tax Map as Section 74.18, Block 3, Lot 39 & 40 in the R-15 zoning district.

Please review the information enclosed and provide comments. These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: darbolino@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: July 19, 2023

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments. This project is before the Zoning Board on Wednesday July 19, 2023. Kindly forward your completed review to this office by July 19, 2023.

Reviewing Agency _____

Name _____ date: _____

Signature: _____

Thank you, Deborah Arbolino



OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

Jane Slavin, RA
Director

(845) 359-8410

Fax: (845) 359-8526

Date: June 5, 2023

To: Debbie Arbolino, Administrative Aide

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.

Subject: **South Orangetown Ambulance Corp
Site Plan**
70 Independence Avenue, Tappan
74.18/3/39 & 40; R-15 zoning district

Submission Reviewed:

Site plan Package as prepared by Jay A Greenwell, P.E., last revised 4/25/23.

Applicant must obtain the following variances from the ZBA:

- a. Maximum FAR; required is 20%, existing 34% and proposed 22%
- b. Front Yard; required is 100', previously approved was 10', 4.3' existing and proposed.
- c. Side Yard; required is 75', previously approved was 19.1', with 18.9' existing.
- d. Rear Yard required is 100', previously approved was 14.4', with 4.2' proposed.
- e. Maximum building height required is 3'/ft, with 20'-7" existing and 26'-5" proposed.

JS
6-5-2023



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

ZONING BOARD OF APPEALS

Date: May 31, 2023

Applicant: South Orangetown Ambulance Corp.

Address: 70 Independence Avenue, Tappan NY

Section: 74.18

Block: 3

Lot: 39 & 40

Permit# _____

Plans Submitted: site plan for proposed addition So. Orangetown Ambulance Corps

dated 10/23/2018 latest revision 04/25/2023 signed and sealed by Jay Greenwell LS &

Paul Gdanski, P.E. Architectural plans dated May 1, 2019 signed and sealed by Kier B. Levesque, RA.

Project Name: South Orangetown Ambulance Corp.

Date of Submittal to Land Use Board: May 31, 2023

Date of Board Meeting: TBD

Sincerely,

Debbie Arbolino

Administrative Aide

RECEIVED

MAY 31 2023

TOWN OF ORANGETOWN
BUILDING DEPARTMENT

Date/Initial of OBZPAE Review Completed: _____



**OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962**

**Jane Slavin, RA
Director**

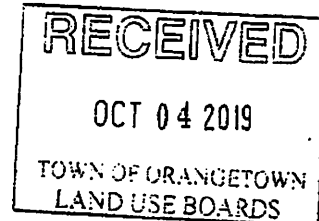
(845) 359-8410

Fax: (845) 359-8526

Date: October 4, 2019

To: Cheryl Coopersmith, Chief Clerk
Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.



Subject: **South Orangetown Ambulance Corp**
Resubdivision Plan PB#19-66 and
Site Plan PB#19-67
Prepreliminary/ Preliminary/ Final
Resubdivision Plan, Site Plan and SEQRA Review
70 Independence Avenue, Tappan; 74.18/3/39 & 40; R-15 zoning district

Submission Reviewed:

Site plan Package as prepared by Jay A Greenwell, P.E., last revised 1/9/19.

1. Application is for the expansion of the existing Ambulance Corp building.

2. Applicant must obtain the following variances from the ZBA:

Maximum FAR; required is 20%, existing 34% and proposed 21%
Front Yard; required is 100', previously approved is 10', 4.3' existing.
Side Yard; required is 75', previously approved is 19.1', 18.9' existing.
Rear Yard required is 100', previously approved is 14.4', proposed 4.2'
Maximum building height required is 3'/ft, with 20'-7" existing and proposed.

3. ACABOR review and approval is required.

JS
10-4-19



OFFICE OF BUILDING, ZONING AND PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

JANE SLAVIN, RA
Director

(845) 359-8410

FAX: (845) 359-8526

PLANNING BOARD REFERRAL LETTER

S.O. Ambulance Corp

Date: July 18, 2019

70 Independence Ave

Tappan, NY

sbl 74.18-3-40, pmt 49091



Re: Chapter 21,

Section 21-A(4) requires
Planning Board Approval

*Chapter 21 - Re-subdivision
for lot merger.*

Dear: Mr. Roimisher :

Please be advised that the Building Permit Application which you submitted on July 15, 2019 has been denied to appear before the Planning Board. I have enclosed a copy of your application, where you will find noted at the bottom the reason for denial.

The clerk to the Planning will assist you in preparations necessary to appear before this Board.

Sincerely,

[Signature] 7/18/19
DEPUTY Building Inspector

Enclosure (1)
8-16-06

[Signature] 7.23.19

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input checked="" type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: _____

ASSIGNED _____

INSPECTOR: _____

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: South Orangetown Ambulance Corp. - Site Plan

Street Address: 70 Independence Avenue, Tappan, New York 10983

Tax Map Designation:

Section: 74.18 Block: 3 Lot(s): 39

Section: 74.18 Block: 3 Lot(s): 40

Directional Location:

On the North side of Independence Avenue, approximately
0 feet of the intersection of Amy Court, in the
 Town of Orangetown in the hamlet/village of Tappan.

Acreage of Parcel <u>0.85</u>	Zoning District <u>R-15</u>
School District <u>South Orangetown</u>	Postal District <u>Tappan</u>
Ambulance District <u>South Orangetown</u>	Fire District <u>Tappan</u>
Water District <u>Veolia</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*

Site Plan and Expansion of Existing Building

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 05/26/23 Applicant's Signature: 

MAY 30 2023

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area _____

Are there streams on the site? If yes, please provide the names. _____

Are there wetlands on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

October 7, 2019 Planning Board Meeting

New Items:

Rubano Resubdivision Plan PB #19-61
Critical Environmental Area
Prepreliminary/Preliminary/
Final Resubdivision Plan and SEQRA Review
1129 & 1131 Route 9W, Upper Grandview
71.05/2/24 & 29; RG zoning district
**Final Resubdivision Plan
Approval Subdivision to
Conditions/ Neg. Dec.**

Anda Site Plan PB #19-62
Final Site Plan Review
153 East Central Avenue, Pearl River
68.16/6/39; CS zoning district
**Final Site Plan Approval
Subject to Conditions**

Nice Pak Site Plan PB #19-63
Final Site Plan Review
2 Nice Pak Park, Orangeburg
74.07/1/16; LIO zoning district
**Final Site Plan Approval
Subject to Conditions**

27 Greenbush Road Site Plan PB#19-64
Prepreliminary/Preliminary Site Plan
and SEQRA Review
27 South Greenbush Road, Orangeburg
74.11/1/12; LI zoning district
**Continued: Needs
Drainage**

Bless Enterprises Auto Shop Site Plan PB #19-65
Route 303 Overlay Zone
Final Site Plan Review
187 Route 303, Orangeburg
74.15/1/8; LI zoning district
**Continued: Revise
Parking Layout, Curbs
& details**

South Orangetown Ambulance Corp PB#19-66
Resubdivision Plan
Prepreliminary/ Preliminary/
Final Resubdivision Plan and SEQRA Review
70 Independence Avenue, Tappan
74.18/3/39 & 40; R-15 zoning district
**Final Resubdivision
Plan Approval Subject
to Conditions/ Neg. Dec.**

X **South Orangetown Ambulance Corp Site Plan** PB#19-67
Prepreliminary/ Preliminary Site Plan
and SEQRA Review
70 Independence Avenue, Tappan
74.18/3/39 & 40; R-15 zoning district
**Continued: Applicant
advised to apply
to the ZBA for Variances
then reappear at PB**

Camp Shanks Homes for Hero's Site Plan PB#19-68
Prepreliminary/ Preliminary Site Plan
Conditional Use Permit and SEQRA Review
335 Western Highway, Tappan
74.18/3/48; R-15 zoning district
**Preliminary Site Plan
Subject to Conditions
Neg. Dec.**

.....
Donald

**PB #19-66: South Orangetown Ambulance
Corp. Resubdivision Plan
Final Resubdivision Plan Approval
Subject to Conditions**

**Town of Orangetown Planning Board Decision
October 7, 2019
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**TO: Donald Brenner, 4 Independence Avenue, Tappan
New York 10983**
FROM: Orangetown Planning Board

RE: South Orangetown Ambulance Corp. Resubdivision Plan: The application of South Orangetown Ambulance Corp, owner, for Prepreliminary/ Preliminary/ Final Resubdivision Plan Review at a site to be known as "**South Orangetown Ambulance Corp Resubdivision Plan**", in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21 of the Code of the Town of Orangetown and to determine the environmental significance of the application pursuant to the requirements of the New York State Environmental Quality Review Act. The site is located at 70 Independence Avenue, Tappan, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.18, Block 3, Lots 38 & 40 in the R-15 zoning district.

Heard by the Planning Board of the Town of Orangetown at a meeting held **Monday, October 7, 2019**, the Board made the following determinations:

Kier Levesque, Pete Roimisher, Jay Greenwell, and Donald Brenner appeared and testified to the Board.

The Board received the following communications:

1. A Project Review Committee Report dated October 2, 2019.
2. An Interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by Jane Slavin, R.A., Director, dated October 4, 2019.
3. An Interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, P.E., October 3, 2019.
4. A letter from Brooker Engineering, signed by Kenneth DeGennaro, P.E., dated September 29, 2019.
5. Letters from Rockland County Department of Planning, signed by Douglas Schuetz, Acting Commissioner, dated September 20, 2019 and Michael Kezner, dated September 11, 2019.
6. Letters from Rockland County Department of Health, signed by Elizabeth Mello, P.E., Senior Public Health Engineer, dated September 26, 2019.
7. A letter from Rockland County Sewer District No. 1, signed by Joseph LaFiandra, Engineer II, dated September 12, 2019.
8. A letter from the Rockland County Highway Department, signed by Dyan Rajasingham, dated August 29, 2019.

TOWN CLERK'S OFFICE
2019 OCT 25 A 9:05
TOWN OF ORANGETOWN

**PB #19-66: South Orangetown Ambulance
Corp. Resubdivision Plan
Final Resubdivision Plan Approval
Subject to Conditions**

**Town of Orangetown Planning Board Decision
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9. A letter from the Town of Orangetown Zoning Board of Appeals, signed by Dan Sullivan, Chair, dated September 18, 2019.
10. A Hydraulic Analysis and Stormwater Design Calculations report prepared by Paul Gdanski, PE, dated December 4, 2018.
11. Resubdivision Plan prepared by Jay Greenwell, PLS, dated October 23, 2018.
12. Project narrative prepared by Donald Brenner, dated August 14, 2019.
13. Short Environmental Assessment Form, dated August 13, 2019, signed by Peter Roimisher.

The Board reviewed the plan. The meeting was open to the public.

Public Comment:

TJ Muncan, 17 Amy Court, Tappan; questioned why the lots needed to be merged.

There being no one else from the public, a motion was made to close the Public Hearing portion of the meeting by Michael Mandel and seconded by William Young carried as follows: Thomas Warren – Chairman, aye; William Young, Vice-Chairman, aye; Michael Mandel, aye; Stephen Sweeney, aye; Bruce Bond, absent; Robert Dell, absent and Michael McCrory, aye.

DECISION: In view of the foregoing and the testimony before the Board, the application was granted **Final Resubdivision Plan Approval Subject to the Following Conditions:**

1. The following note shall be placed on the Resubdivision plan: "At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a Pre-construction meeting must be held with the Town of Orangetown Department of Environmental Management and Engineering, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility and obligation of the property owner to arrange such a Meeting."
2. Stormwater Management Phase II Regulations: Additional certification, by an appropriate licensed or certified design professional shall be required for all matters before the Planning Board indicating that the drawings and project are in compliance with the Stormwater Management Phase II Regulations.

TOWN CLERK'S OFFICE
2019 OCT 25 A 9 05
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**PB #19-66: South Orangetown Ambulance
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Subject to Conditions**

**Town of Orangetown Planning Board Decision
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3. The applicant must obtain the following variances when applying for Site Plan Review:

Maximum FAR: Required is 20%, existing 34% and proposed 21%.

Front Yard; Required is 100', previously approved is 10', 4.3' existing.

Side Yard; Required is 75', previously approved is 19.1, 18.9' existing.

Rear Yard; Required is 100', previously approved is 14.4', proposed 4.2'.

Max building height; Required is 3'/ft., with 20'-7" existing and proposed.

4. The Site and Landscaping Plans shall be reviewed by the Town of Orangetown Architecture and Community Appearance Board of Review at the time the proposed structure is reviewed under Site Plan Review.

5. A note shall be added to the Site Plan indicating the source benchmark for the referenced datum, including the BM elevation.

6. The sanitary house connection for existing lot #74.18/3/39 shall be shown on the plan.

7. The sanitary house connection for Lot #74.18/3/39 shall be labeled and noted to be cut and capped at the main, across Independence Avenue.

8. A note shall be added to the plan stating that the Town of Orangetown Sewer Inspector shall be notified at least 48 hours prior to any and all sewer work being performed in connection with this Resubdivision.

9. Drainage Review Recommendation – Brooker Engineering

Sufficient information has been provided to demonstrate that potential significant impacts with respect to with respect to drainage can be mitigated. Brooker Engineering, the Planning Board Drainage Consultant, therefore recommends that the South Orangetown Ambulance Corps Site Plan and Resubdivision be approved for drainage subject to the following Project Comments.

Project Description

The project consists of merging of two tax lots and the construction of an addition on the south side of the existing South Orangetown Ambulance Corps building. A new parking lot will be built south of the building addition. An existing dwelling will be removed on the former tax lot. The ground slopes downhill to the south and a swale is located in the middle of the southern property line. Stormwater runoff slopes downhill to the swale from the front and rear yards. The project proposes stormwater mitigation in the form of four total drywells for about 5,805 square feet of additional impervious area.

TOWN CLERK'S OFFICE

2019 OCT 25 A 9:05

TOWN OF ORANGETOWN

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**Town of Orangetown Planning Board Decision
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Continuation of Condition #9...

Project Comments

1. Provide more detail of the swale in the back of the proposed addition, particularly in the area where the building is setback 4.2 feet away from the property line. The design shall show positive drainage away from the building without affecting the neighboring property.
2. Align the proposed doghouse manhole in Independence Avenue with the existing curb line. Use a catch basin curb piece instead of a drainage manhole cover.
3. Provide top and bottom of wall elevations for the proposed retaining wall.
4. Label the overall dimensions of the stone envelope surrounding the drywells on the Grading Plan for ease of inspection.
5. Provide existing and proposed conditions drainage subarea maps with breakdowns of impervious coverage. Include the drainage subbasin intended to be conveyed to the drywell system on the Grading Plan.
6. The proposed grading shows the existing swale that travels south through the backyards as remaining. Label the "swale to remain" to ensure that the construction follows the design and for ease of inspection during construction.
7. Show additional detail along the top of new wall on the north side of the parking lot to provide a low point in the event the new field inlet is clogged. Overflows shall enter the new parking lot and not inundate the neighboring property to the north.
8. Remove the reference to side percolation on Item 6 of the drainage calculations.
9. Soil test pits shall be performed to verify the assumed percolation. Separation to groundwater shall be verified.

10. Rockland County Department of Planning had the following comments which are incorporated herein as conditions of approval:

- As required by the Rockland County Stream Control Act, the Resubdivision plan must be reviewed and signed by the Chairman of the Rockland County Drainage Agency before the County Clerk can accept the plan to be filed.
- A review must be completed by the County of Rockland Department of Health, any comment or concerns addressed, and any required permits obtained.

TOWN OF ORANGETOWN
2019 OCT 25 A 9:05
TOWN CLERK'S OFFICE

**PB #19-66: South Orangetown Ambulance
Corp. Resubdivision Plan
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Subject to Conditions**

**Town of Orangetown Planning Board Decision
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Continuation of Condition #10...

- Prior to the start of construction or grading, all soil and erosion control measures must be in place for the site. These measures must meet the latest edition (November 2016) of the New York State Standards for Urban Erosion and Sediment Control.
- There shall be no net increase in the peak rate of discharge from the site at all design points.
- A parking calculation shall be provided to ensure the parking needs for the Ambulance Corp are met.
- Areas designated for snow removal must be clearly delineated on the site plan so that the plow drivers will know where to place the snow piles. In addition, providing specific locations on the site for the snow piles will reduce the loss of available parking spaces meant to be used by Corp members.
- Note #1 on the Subdivision map incorrectly states this plan is for lots 49 and 50. This shall be corrected to lots 39 and 40.
- The Rockland County Department of Planning requests the opportunity to review the variances that will be needed to implement the proposed site plan and Resubdivision, as required by New York State General Municipal Law, Section 239-M (3)(a)(v).

11. Application is to be made to the Rockland County Department of Health for review of the stormwater management system for compliance with the County Mosquito Code.

12. The Rockland County Sewer District #1 does not object to the plan as shown. This project does not affect any sanitary sewers within the District and request no future correspondence for this site.

13. The following agencies do not object to the Town of Orangetown Planning Board assuming responsibilities of lead agency for SEQRA purposes:

- Rockland County Health Department
- Rockland County Sewer District #1
- Town of Orangetown Zoning Board of Appeals
- Rockland County Department of Highways
- Rockland County Department of Planning

TOWN CLERK'S OFFICE

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14. The applicant shall comply with all pertinent items in the Guide to the Preparation of Subdivision Plats prior to signing the final plans.

15. All reviews and approvals from various governmental agencies must be obtained prior to stamping of the Resubdivision Plan.

16. All of the conditions of this decision, shall be binding upon the owner of the subject property, its successors and /or assigns, including the requirement to maintain the property in accordance with the conditions of this decision and the requirement, if any, to install improvements pursuant to Town Code §21. Failure to abide by the conditions of this decision as set forth herein shall be considered a violation of Resubdivision Plan Approval pursuant to Town Code §21 and §6A.

17. TREE PROTECTION: The following note shall be placed on the Resubdivision Plan: The Tree Protection and Preservation Guidelines adopted pursuant to Section 21-24 of the Land Development Regulations of the Town of Orangetown will be implemented in order to protect and preserve both individual specimen trees and buffer area with many trees. Steps that will be taken to reserve and protect existing trees to remain are as follows:

- a. No construction equipment shall be parked under the tree canopy.**
- b. There will be no excavation or stockpiling of earth underneath the trees.**
- c. Trees designated to be preserved shall be marked conspicuously on all sides at a 5 to 10 foot height.**
- d. The Tree Protection Zone for trees designated to be preserved will be established by one of the following methods:**

- One (1) foot radius from trunk per inch DBH**
- Drip line of the Tree Canopy. The method chosen should be based on providing the maximum protection zone possible. A barrier of snow fence or equal is to be placed and maintained one yard beyond the established tree protection zone. If it is agreed that the tree protection zone of a selected tree must be violated, one of the following methods must be employed to mitigate the impact:**
 - Light to Heavy Impacts – Minimum of eight inches of wood chips installed in the area to be protected. Chips shall be removed upon completion of work.**

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Continuation of Condition #17...

- Light Impacts Only – Installation of ¾ inch of plywood or boards, or equal over the area to be protected.

The builder or its agent may not change grade within the tree protection zone of a preserved tree unless such grade change has received final approval from the Planning Board. If the grade level is to be changed more than six (6) inches, trees designated to be preserved shall be welled and/or preserved in a raised bed, with the tree well a radius of three (3) feet larger than the tree canopy.

18. All landscaping shown on the Resubdivision plan shall be maintained in a vigorous growing condition throughout the duration of the use of this site. Any plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season.

19. Prior to the commencement of any site work, including the removal of trees, the applicant shall install the soil erosion and sedimentation control as required by the Planning Board. Prior to the authorization to proceed with any phase of the site work, the Town of Orangetown Department of Environmental Management and Engineering (DEME) shall inspect the installation of all required soil erosion and sedimentation control measures. The applicant shall contact DEME at least 48 hours in advance for an inspection.

20. The contractor's trailer, if any is proposed, shall be located as approved by the Planning Board.

21. If the applicant, during the course of construction of any required public improvements or private sanitary or storm sewer improvements, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant (or the applicant's engineer) shall submit their recommendations as to the special treatment or design modification to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's (applicant's engineer's) recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's (applicant's engineer's) disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Federal Wetlands - U.S. Army Corps of Engineers).

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OCT 25 9 09 AM 2019
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22. Permanent vegetation cover of disturbed areas shall be established on the site within thirty (30) days of the completion of construction.

23. Prior (at least 14 days) to the placing of any road sub-base, the applicant shall provide the Town of Orangetown Superintendent of Highways and DEMA with a plan and profile of the graded road to be paved in order that these departments may review the drawings conformance to the approved construction plans and the Town Street Specifications

24. The Planning Board shall retain jurisdiction over lighting, landscaping, signs and refuse control.

The foregoing Resolution was made and moved by Michael Mandel and seconded by Stephen Sweeney and carried as follows: Thomas Warren - Chairman; aye, William Young, Vice-Chairman, aye; Michael Mandel, aye; Stephen Sweeney, aye; Bruce Bond, absent; Robert Dell, absent, and Michael McCrory, aye.

The Clerk to the Board is hereby authorized, directed and empowered to sign this **DECISION** and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

**Dated: October 7, 2019
Cheryl Coopersmith
Chief Clerk Boards and Commissions
Town of Orangetown Planning Board
Attachment**



TOWN OF ORANGETOWN
OCT 25 A 9 09
TOWN CLERK'S OFFICE

**State Environmental Quality Review Regulations
NEGATIVE DECLARATION
Notice of Determination of Non-Significance**

**PB #19-66: South Orangetown Ambulance
Corp. Resubdivision Plan
Final Resubdivision Plan Approval
Subject to Conditions**

**Town of Orangetown Planning Board Decision
October 7, 2019**

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Regulation) of the Environmental Conservation Law.

The PLANNING BOARD, TOWN OF ORANGETOWN, as Lead Agency, has determined that the proposed action described below will not have a significant impact on the environment and a Draft Environmental Impact Statement will not be prepared.

**NAME OF ACTION: South Orangetown Ambulance Corp. Resubdivision
Plan; Final Resubdivision Plan Approval Subject to Conditions**

SEQR STATUS: Type I _____ Unlisted XXXXXX
CONDITIONED NEGATIVE DECLARATION: Yes _____ No XXXXXX

DESCRIPTION OF ACTION: Resubdivision Plan Review

LOCATION: The site is located at 70 Independence Avenue, Tappan, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 74.18, Block 3, Lots 38 & 40 in the R-15 zoning district.

REASONS SUPPORTING THIS DETERMINATION:

The Orangetown Planning Board, as Lead Agency, determined that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared. The reasons supporting this determination are as follows:

The project will not have a significant impact upon the environment and a DEIS need not be prepared because the proposed action does not significantly affect air quality, surface or ground water quality, noise levels or existing external traffic patterns. In addition, it will have no impact upon the aesthetic, agricultural or cultural resources of the neighborhood. No vegetation, fauna or wildlife species will be affected as a result of this proposed action. The proposed action is consistent with the Town of Orangetown's Master Plan and will not have any adverse economic or social impacts upon the Town or its businesses or residences.

If Conditioned Negative Declaration, the specific mitigation is provided on an attachment.

For Further Information contact:

Office of Building, Zoning and Planning
Administration and Enforcement
Town of Orangetown
20 Greenbush Road, Orangeburg, NY 10962
Telephone Number: 845-359-5100

For Type I Actions and Conditioned Negative Declarations, a copy of this notice is sent: - Commissioner, New York State Department of Environmental Conservation, - Region 3 Headquarters, NYSDEC, - Town Supervisor, Applicant, Involved Agencies

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TOWN OF ORANGETOWN

DECISION

**FLOOR AREA RATIO, FRONT YARD, HEIGHT, REAR YARD, SIDE YARD
and TOAL SIDE YARD VARIANCES APPROVED with CONDITION**

To: South Orangetown Ambulance Corp.
70 Independence Ave.
Tappan, New York 10983

ZBA # 01-22
Date: 5/16/01

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

Re: ZBA # 01-22: Referral from the Planning Board. Application of South Orangetown Ambulance Corp. for variances from Section 3.12, R-15 District, Group O, Columns 4 (Floor Area Ratio: .20 permitted, .35 proposed), 8 (Front Yard: 100' required, 10' proposed), 9 (Side Yard: 75' required, 19.1' and 38' proposed), 10 (Total Side Yard: 200' required, 57.1' proposed), 11 (Rear Yard: 100' required, 14.4' proposed) and 12 (Building Height: 3.6' permitted, 20.58' proposed) for an addition to an existing building. Premises are located at 70 Independence Avenue, Tappan, New York and are identified on the Orangetown Tax Map as Section 74.18, Block 3, Lot 40; R-15 zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meetings held on Wednesday, March 21, 2001, April 4, 2001 and May 16, 2001 at which time the Board made the determination hereinafter set forth.

Robert Hoene, Architect, Jim Dresser, President of the Ambulance and Paul Guttman, Chairman of the Renovation Committee appeared and testified at the March 21, 2001 meeting.

The following documents were presented:

1. Architectural plans signed and sealed by Robert Hoene dated 2/7/00.
2. ZBA decision # 77-17
3. Photograph of the subject pick-up truck

Mr. Hoene testified that the applicants want to expand the existing facility; that the facility requires more space for a classroom, a garage for the storage of 4 vehicles and expansion of the office area; that the proposed configuration was designed to impose the least impact on the neighborhood; that the office area can be reduced in size, thereby lowering the floor area ratio; that no formal parking spaces exist now, but 4 parking spaces including and 1 handicapped are planned space.

TOWN CLERK'S OFFICE

DATE: MAY 11 2001

TOWN OF ORANGETOWN

Mr. Guttman testified that CPR training courses are held periodically and classroom space is limited; that the Ambulance Corps. has approximately 50 to 70 members; that meetings are held on the second floor board room which has limited space with its domered ceilings; that the Fire Training Center is utilized for the larger meetings; that the Ambulance Corps. previously received 800 calls annually, but now receives 1300 such calls; that the existing machinery requires a lot of space thereby limiting the use of space for other purposes; and that volunteers from other areas now sleep on the second floor, but new sleep quarters are necessary.

The applicants requested a continuance to determine whether a variance for less than the required parking spaces was necessary and to revise the plans.

Robert Hoene, Architect and Paul Guttman, Chairman of the Renovation appeared and testified at the April 4, 2001 meeting.

The following documents were presented:

1. Architectural plans signed and sealed by Robert Hoene dated 2/7/00, revised 4/2/01.

Mr. Hoene testified that set parking spaces are not needed on a daily basis because the building is not open to the public on a set schedule; and that the reduction in size of the back room resulted in a floor area ratio reduction of 134 sq. ft.

Mr. Guttman testified that the ambulance corp. is run by a Board of Directors; that it is a not for profit corporation under contract with the town to provide services to the people of the town; that the ambulance service is not owned or operated by the town; that the parking of more than 2-3 cars on the lot occurs approximately 5% of the time that the facility is open; that there are paid staff when volunteer positions cannot be filled; that the corporation was formed in 1957; and that the building was constructed in 1966 and was last renovated in 1978.

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ZBA # 01-22
South Orangetown Ambulance Corp.
Page 3 of 5

Donald Brenner, Esq., Robert Hoene, Architect, Jim Dresser, President of the Ambulance and Paul Guttman, Chairman of the Renovation appeared and testified at the May 16, 2001 meeting.

The following documents were presented:

I. Articles of Incorporation

Mr. Brenner, Esq. testified that the ambulance was established as a membership corporation in 1957 and changed to a not-for-profit corporation in 1969; that the ambulance is a quasi-municipal corporation; that there is limited parking but the roadway on which the ambulance facility is located is wide enough to safely accommodate parking; that the facility has never had a parking problem; that if this facility is grouped a "P" instead of "O" under the zoning code the facility would conform to the F.A.R. and parking requirements; and that the Ambulance Corps. agrees to file a certificate pursuant to Section 113 of the New York Not-For-Profit Corporation Law to classify the ambulance as a Type C not-for-profit corporation formed to achieve a lawful public or quasi-public objective.

Mr. Hoene, Architect, testified that the F.A.R. was reduced 150 square feet per the request of the Board, resulting in a F.A.R. reduction from .34 to .35.

The Board members made a personal inspection of the premises on the Sundays of March 18, 2001, April 1, 2001, May 13, 2001 and found them to be properly posted and a generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing the documents presented, the Board found that:

1. The requested variances would not produce an undesirable change in character of the neighborhood or a detriment to nearby properties. The planned structural changes would not substantially change the overall appearance of the facility, and the ambulance service has been operating from its present location since 1966 without any adverse neighborhood impact.
2. The requested variances would have no adverse effect or impact on the physical or environmental conditions in the neighborhood or district.

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3. The benefits sought cannot be achieved by other means feasible for the applicant other than obtaining the requested variances.
4. Although apparently quite substantial, the variances would allow construction additive to improvements made pursuant to variances previously granted by the Board. The newly-requested variances are necessary to enable the Ambulance Corps. to carry out its important community functions efficiently.

DECISION: In view of the foregoing and the testimony and documents presented, the Board: **RESOLVED**, that the application is **APPROVED** with the **SPECIFIC CONDITION** that the variances will become effective upon demonstration to the Town Attorney, as affirmed by him in writing, that the applicant has filed a certificate pursuant to Section 113 of the New York Not-For-Profit- Corporation Law establishing its status as a Type C not-for-profit corporation thereunder; **AND FURTHER RESOLVED** that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

*Need
TAO
Review/Approval*

General Conditions:

- (i) The approval of any variance or Special Permit is granted by the Board in accordance with, and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.
- (ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to these conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.
- (iii) The Board gives no approval of any buildings plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to the variances being requested.

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(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.


(v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit does not constitute "substantial implementation" for the purposes hereof.

The foregoing resolution to approve the application for the variances as conditioned was presented and moved by Mr. Duffy, seconded by Mr. Mowerson, and carried as follows: Mr. Sullivan, aye; Mr. Mowerson, aye; Mr. Munno, aye; Mr. Castagna, aye; and Mr. Duffy, aye

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: May 16, 2001

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
LYNN GREENE
ADMINISTRATIVE AIDE

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
CIBZPAE
BUILDING INSPECTOR - LP

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
HEALTH and ENGINEERING
FILE/ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

TOWN CLERKS OFFICE

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TOWN CLERKS OFFICE

DECISION

**PARKING VARIANCE APPROVED
WITH CONDITION**

To: South Orangetown Ambulance Corp.
70 Independence Ave.
Tappan, New York 10983

ZBA # 01-22(Part 2)
Date: 6/10/01

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

Re: ZBA # 01-22 (Part 2): Referral from the Planning Board. Application of South Orangetown Ambulance Corps for a variance from Section 3.11, R-15 District, Column 6, reverts to R-80 District, Column 6 (off- street parking spaces: 26 required, 7 provided). Premises are located at 70 Independence Avenue, Tappan, New York and are identified on the Orangetown Tax Map as Section 74.18, Block 3, Lot 40; R-15 zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Tuesday, July 10, 2001 at which time the Board made the determination hereinafter set forth.

Donald Brenner, Attorney appeared and testified.

The following documents were presented:

1. Site plans signed and sealed by Robert Hoene dated 2/7/00, with revision dates of April 2, 2001, July 6, 2001.
A) Last revision date shows parking plan.
2. ZBA decision # 77-17,# 01-22

Mr. Brenner stated that the South Orangetown Ambulance Corps has existed in this location for more than 30 years; that its parking spaces are limited but it has never encountered a problem with parking because of its location on Independence Avenue, a very wide road with available curbside parking; that since the earlier meeting at which parking spaces were discussed, it was determined that the Ambulance Corps is a not-for-profit Type C organization, under New York Law and that papers confirming its Type C status would be filed as expeditiously as possible; and that no construction would commence until such time as all the proper papers are filed.

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TOWN OF ORANGETOWN

The Board members made a personal inspection of the premises on Sunday, July 8, 2001 and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing the documents presented, the Board found that:

1. The requested variance would not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. The ambulance service has been operating from its present location since 1966 without any adverse neighborhood impact.
2. The requested variance would have no adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
3. The benefits sought cannot be achieved by other means feasible for the applicant other than obtaining the requested variance.

DECISION: In view of the foregoing and the testimony and documents presented, the Board: **RESOLVED**, that the application is **APPROVED** with the **SPECIFIC CONDITION** that the variance will become effective upon demonstration to the Town Attorney, as affirmed by him in writing, that the applicant has filed a certificate pursuant to Section 113 of the New York Not-For-Profit- Corporation Law establishing its status as a Type C not-for-profit corporation thereunder; **AND FURTHER RESOLVED**, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

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General Conditions:

(i) The approval of any variance or Special Permit is granted by the Board in accordance with, and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.

(ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to these conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.

(iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.

(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

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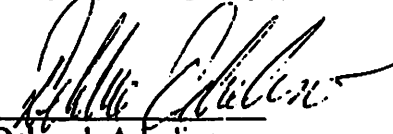
(v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit does not constitute "substantial implementation" for the purposes hereof.

The foregoing resolution to approve the application for the variance as conditioned was presented and moved by Mr. Sullivan, seconded by Mr. Castagna, and carried as follows: Mr. Sullivan, aye; Mr. Castagna, aye; and Mr. Duffy, aye; Mr. Mowerson and Mr. Munno, absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: July 10, 2001

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
Deborah Arbolino

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR - I.P

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
MGMT. and ENGINEERING
FILE, ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

TOWN CLERK

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TOWN OF ORANGETOWN

DECISION

VARIANCE FROM SECTION 6.1 (PARKING OF A COMMERCIAL TRAILER IN A FRONT YARD) APPROVED WITH CONDITION

To: South Orangetown Ambulance Corps
70 Independence Ave.
Tappan, New York 10983

ZBA # 03-44
Date: 5 / 7 /03

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

Re: ZBA# 03-44: Application of South Orangetown Ambulance Corps for a variance from Chapter 43, Section 6.1 (Parking of a commercial trailer in front yard of residential zone) for use during construction of an addition to the ambulance building. Premises are located at 70 Independence Avenue, Tappan, New York and are identified on the Orangetown Tax Map as Section 74.18, Block 3, Lot 40; R-15 zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, May 7, 2003 at which time the Board made the determination hereinafter set forth.

Robert Hoene, Architect, And David Jones appeared and testified.

The following documents were presented:

1. Architectural plans dated 4/0/03 signed and sealed by Robert Hoene, Architect.

Robert Hoene testified that the South Orangetown Ambulance Corps is ready to start construction; that the bays and the building need to be vacated during constructed; that they still need to be able to handle calls during the construction process; that they are proposing to install a temporary operations trailer in front of the stoned area of the existing building during construction; that they are expecting to start construction in May and hope to be finished in September or October; that the contractor needs a minimum of 20' clearance around the perimeter of the building to work; that the proposed trailer is 50' with 46.10' of usable interior space; and that it would provide a sitting area, shower/bath and office space.

The Board determined that the proposed action is classified as an "unlisted action" as defined by Section 617.2 (ak) of the New York State Environmental Quality Review Regulations (SEQRR) and that no agency other than the Orangetown Zoning Board of Appeals will have any significant involvement in the variance review process pursuant to Section 617.6 of SEQRA. On motion by Mr. Duffy, seconded by Mr. Munno, and carried as follows: Mr. Castagna, aye; Mr. Munno, aye; Mr. Mowerson, aye; and Mr.

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Duffy, aye; and the Board affirmed these determinations and declared itself as Lead Agency for the variance review process.

The Orangetown Zoning Board of Appeals, as Lead Agency, determined that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared. The reasons supporting this determination are as follows:

It will not have a significant impact upon the environment and a DEIS will not be prepared because the proposed action does not significantly affect air quality, surface or ground water quality, noise levels, drainage or existing traffic patterns. In addition, it will have no impact upon the aesthetics, agricultural or cultural resources of the neighborhood and no vegetation, fauna or wildlife species will be affected as a result of the proposed construction of the parking lot. The proposed action is consistent with the Town's Master Plan and will not have any adverse economic or social impacts upon the Town of Orangetown.

On motion by Mr. Duffy, seconded by Mr. Castagna and carried as follows: Mr. Castagna, aye; Mr. Mowerson, aye; Mr. Munno, aye; and Mr. Duffy, aye; the Board affirmed the foregoing determination for the reasons stated and made a Negative Declaration.

The Board members made a personal inspection of the premises on Sunday, May 4, 2003 and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing the documents presented, the Board found that:

1. The requested variance as conditioned would not produce an undesirable change in character of the neighborhood or a detriment to nearby properties. The services of the South Orangetown Ambulance Corps are essential to the community and the temporary trailer, to be used for operations and administration, would allow services to continue uninterrupted during construction.

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2. The requested variance as conditioned would have no adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
3. The benefits sought cannot be achieved by other means feasible for the applicant other than obtaining a variance.

DECISION: In view of the foregoing and the testimony and documents presented, the Board: **RESOLVED**, that the application is **APPROVED** with the **SPECIFIC CONDITION** that the trailer be removed from the premises no later than December 31, 2003; **AND FURTHER RESOLVED** that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

General Conditions:

- (i) The approval of any variance or Special Permit is granted by the Board in accordance with, and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.
- (ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to these conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.
- (iii) The Board gives no approval of any buildings plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to the variances being requested.
- (iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

APPROVED: _____

DATE: _____

(v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit does not constitute "substantial implementation" for the purposes hereof.

The foregoing resolution to approve the application for the variance as conditioned was presented and moved by Mr. Mowerson, seconded by Mr. Castagna, and carried as follows: Mr. Mowerson, aye; Mr. Munno, aye; Mr. Castagna, aye; and Mr. Duffy, aye

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: May 7, 2003

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 

Deborah Arbolino
Administrative Aide

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR - L.P.

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
MGMT. and ENGINEERING
FILE,ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

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PLANNING BOARD DECISION

**South Orangetown Ambulance Corp. Site Plan
Final Site Plan Approval
Subject to Conditions**

**PB #02-22
February 27, 2002
Page 1 of 4**

**TO: Paul Guttman
South Orangetown Ambulance Corp.
70 Independence Avenue
Tappan, NY 10913**

FROM: Orangetown Planning Board

RE: The application of the South Orangetown Ambulance Corp., owner, for Final Site Plan Approval at a site known as "South Orangetown Ambulance Corp Site Plan", in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the code of the Town of Orangetown. The site is located on 70 Independence Avenue, Tappan, Town of Orangetown, Rockland County, New York and as shown on the Orangetown Tax Map as Section 74.18, Block 3, Lot 40 in the R-15 zoning district.

Heard by the Planning Board of the Town of Orangetown at a meeting held Wednesday, February 27, 2002, at which time the Board made the following determinations:

Donald Brenner, Paul Guttman, Glen Albin, Robert Hoene and David Jones appeared and testified.

The Board received the following communications:

- 1. A Project Review Report dated February 20, 2002.**
- 2. An interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by John Giardiello, P.E., Director, dated February 27, 2002.**
- 3. An interdepartmental memorandum from the Department of Environmental Management and Engineering, Town of Orangetown, signed by Robert Beckerle, P.E., Director, dated February 12, 2002.**
- 4. A letter from Lawler, Matusky & Skelly Consulting Engineers, signed by Harvey Goldberg, P.E., dated February 19, 2002.**
- 5. Drainage Calculations prepared by McDougall Engineering Associates signed by David McDougall, P.E.**
- 6. Plans prepared by Robert Torgersen, A.S.L.A., Robert Hoene, R.A. and David McDougall, P.E., dated October 9, 2001:**
 - SP-1: Site Development Plan**
 - PL-1: Planting Plan**

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7. Copies of the following Board Decisions: PB #00-182, Preliminary Site Plan Approval Subject to Conditions, dated December 13, 2000, ZBA #01-22, Approved with Conditions, dated May 16, 2001, ZBA #01-22 (Part 2), Approved with Conditions, dated June 10, 2001 and ACABOR #01-75, Approved with Conditions, dated November 20, 2001.

The Board reviewed the plan.

The Board made a motion to close the Public Hearing portion of the meeting. The foregoing Resolution was made and moved by Bruce Bond seconded by Suzanne Barclay and carried as follows: Robert Dell, aye, John Foody, aye, Anthony Iurica, aye, Bruce Bond, aye, Suzanne Barclay, aye, Timothy Hopkins, aye, and Alfred Rossi, aye.

DECISION: In view of the foregoing and the testimony before the Board, the application was **GRANTED FINAL SITE PLAN APPROVAL SUBJECT TO THE FOLLOWING CONDITIONS:**

1. The applicant shall comply with all pertinent and applicable conditions of the following previous Board Decisions: PB #00-182, Preliminary Site Plan Approval Subject to Conditions, dated December 13, 2000, ZBA #01-22, Approved with Conditions, dated May 16, 2001, ZBA #01-22 (Part 2), Approved with Conditions, dated June 10, 2001 and ACABOR #01-75, Approved with Conditions, dated November 20, 2001.
2. At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a pre-construction meeting must be held with the DEMA, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility of the property owner to arrange such a meeting.
3. The site plan shall be revised to include all Board approval dates and project numbers and plan revision dates.
4. The applicant shall provide the Planning Board with its not for profit papers.
5. The existing sanitary building connection shall be shown on the plan, including all inverts.
6. The tax lot numbers of the adjoining properties shall be indicated on the site plan.

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7. The Drainage Consultant to the Planning Board recommends acceptance for drainage subject to the following conditions:

- A profile must be provided on the plans for the proposed 15-inch storm drain. Invert elevations for the existing catch basin must also be shown.
- Construction details including inverts of the trench drain must be shown on the plans.
- A 4-ft. diameter by 4-ft. deep drywell with an inlet grate shall be installed under the parking pavement in the southeast corner of the site. Details of the drywell must be shown on the plans.

8. All landscaping shown on the site plan shall be maintained in a vigorous growing condition throughout the duration of the use of this site. Any plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season.

9. Prior to the commencement of any site work, including the removal of trees, the applicant shall install the soil erosion and sedimentation control as required by the Planning Board. Prior to the authorization to proceed with any phase of the site work, the Town of Orangetown Department of Environmental Management and Engineering (DEME) shall inspect the installation of all required soil erosion and sedimentation control measures. The applicant shall contact DEME at least 48 hours in advance for an inspection.

10. The contractor's trailer, if any is proposed, shall be located as approved by the Planning Board.

11. If the applicant, during the course of construction, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant shall submit their recommendations as to the special treatment to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Wetlands - U.S. Army Corps of Engineers).

12. Permanent vegetation cover of disturbed areas shall be established on the site within thirty (30) days of the completion of construction.

TOWN CLERK'S OFFICE

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TOWN CLERK'S OFFICE

13. Prior (at least 14 days) to the placing of any road sub-base, the applicant shall provide the Town of Orangetown Superintendent of Highways and DEME with a plan and profile of the graded road to be paved in order that these departments may review the drawings conformance to the approved construction plans and the Town Street Specifications

14. The Planning Board shall retain jurisdiction over lighting, landscaping, signs and refuse control.

The foregoing Resolution was made and moved by Bruce Bond, seconded by Robert Dell and carried as follows: Timothy Hopkins, aye, Robert Dell, aye, John Foody, aye, Anthony Iurica, aye, Bruce Bond, aye, Suzanne Barclay, aye, and Alfred Rossi, aye.

The Clerk to the Board is hereby authorized, directed and empowered to sign this Decision and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

Dated: February 27, 2002 pg 14-17

Planning Board
Planning Board
Env. Mgt. Eng.
PRC
R3.doc

BY:  decd.
OBZPAE RC Planning RC Drainage RC Highway
LMS Town Board Assessor Town Attorney
Supervisor

TOWN CLERK

APR 10 2002

TOWN CLERK

PLANNING BOARD DECISION

South Orangetown Ambulance Corp Site Plan
Preliminary Site Plan Approval
Subject to Conditions
Neg. Dec.

PB #00-182
December 13, 2000

TO: Robert Hoene, A.I.A.
379 Piermont Ave.
Piermont, NY 10968

From: Town of Orangetown Planning Board

RE: The application of South Orangetown Ambulance Corp, owner for Prepreliminary/Preliminary Site Plan Review for a site known as "South Orangetown Ambulance Corp", in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the code of the Town of Orangetown. The site is located at 70 Independence Avenue, Tappan, Town of Orangetown, Rockland County, New York and as shown on the Orangetown Tax Map as Section 74.18, Block 3, Lot 40 in the R-15 zoning district.

Heard by the Planning Board of the Town of Orangetown at a meeting held Wednesday, December 13, 2000, at which time the Board made the following determinations:

Robert Hoene and Paul Gutman appeared and testified.

The Board received the following communications:

1. A Project Review Report dated December 6, 2000.
2. An interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by John Giardiello, P.E., Director, dated December 13, 2000.
3. An interdepartmental memorandum from the Department of Environmental Management and Engineering, Town of Orangetown, signed by Robert Beckerle, P.E., Director, dated December 7, 2000.
4. A letter from Lawler Matusky & Skelly Engineers, signed by Harvey Goldberg, P.E., dated December 8, 2000.
5. A letter from the Rockland County Department of Planning, signed by Josh Mastrangelo, Planner dated November 6, 2000.
6. A letter from Rockland County Highway Department, signed by Merle Mammato, Principal Engineering Technician, dated November 7, 2000.
7. A letter from Rockland County Drainage Agency, Division of the Highway Department, signed by Edward Devine, Executive Director, dated December 7, 2000.
8. A letter from Rockland County Sewer District #1, signed by Joseph LaFiandra, Engineer II, dated December 11, 2000.
9. A Short Environmental Assessment Form prepared by Robert Hoene, dated March 14, 2000.
10. Plans prepared by Robert Hoene, A.I.A., dated February 7, 2000, revised March 20, 2000:

Page 1 of 5: Site Plan.

Page 2 of 3: A-1 Floor Plan and Elevation

Page 3 of 3: A-2 Floor Plan and Elevation

TOWN CLERKS OFFICE

JAN 18 10 52 AM '01

TOWN OF ORANGETOWN

The Board reviewed the plan.

Public Comment: Deborah Arbolino, an abutting property owner and an employee of the Town of Orangetown Planning and Zoning Office, recused herself as a participant in the meeting. As an abutting property owner, she gave her support to the applicant in the proposed improvement of the site.

The proposed action is classified as an "unlisted action" as defined by Section 617.2 (ak) of the New York State Environmental Quality Review Regulations (SEQRR). No agency, other than the Orangetown Planning Board will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRR. On motion by Mary Ann Gavioli and seconded by John Foody, and carried as follows: Thomas Warren, aye, John Foody, aye, Mary Ann Gavioli, aye, Bruce Bond, aye, John Taylor, absent, Timothy Hopkins, aye, and Suzanne Barclay, aye, the Board declared itself as Lead Agency.

The Orangetown Planning Board, as lead agency, determined that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared. The reasons supporting this determination are as follows: It will not have a significant impact upon the environment and a DEIS will not be prepared because the proposed action does not significantly affect air quality, surface or ground water quality, noise levels, drainage or existing traffic patterns. In addition, it will have no impact upon the aesthetics, agricultural or cultural resources of the neighborhood and no vegetation, fauna or wildlife species will be affected as a result of the proposed construction. The proposed action is consistent with the Town's Master Plan and will not have any adverse economic or social impacts upon the Town of Orangetown.

On motion by Mary Ann Gavioli, seconded by Timothy Hopkins and carried as follows: Thomas Warren, aye, John Foody, aye, Mary Ann Gavioli, aye, Bruce Bond, aye, John Taylor, absent, Timothy Hopkins, aye, and Suzanne Barclay, aye, the Board made a Negative Declaration.

DECISION: In view of the foregoing and the testimony before the Board, the application was GRANTED A PRELIMINARY SUBDIVISION PLAN APPROVAL SUBJECT TO THE FOLLOWING CONDITIONS:

1. The Short Environmental Assessment Form is acceptable.
2. The Planning Board does not object to the applicant applying to the Town of Orangetown Zoning Board of Appeals for the following variances:

<u>Variance</u>	<u>Required</u>	<u>Proposed</u>
Maximum Floor Area Ratio	0.20	0.35
Minimum Front Yard	100 ft	10 ft
Minimum Side Yard	75 ft	19.1 ft
Total Side Yard	200 ft	57 ft
Minimum Rear Yard	100 ft	14.4 ft
Maximum Building Height	3.6 ft	20.58 ft

TOWN CLERK'S OFFICE

JAN 18 10 52 AM '00

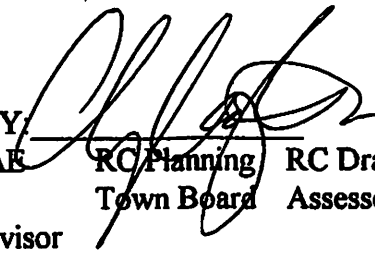
TOWN OF ORANGETOWN

3. The parking calculations need to be placed on the Bulk Table. A variance from the Town of Orangetown Zoning Board of Appeals may need to be granted for parking.
4. A New York State Licensed Land Surveyor shall sign and stamp the Site Plan.
5. The existing sanitary building connection shall be shown on the plan, including all inverts.
6. The tax lot numbers for the adjoining properties shall be indicated on the site plan.
7. Soil erosion and sediment control plans and details shall be submitted to the Town of Orangetown Department of Environmental Management and Engineering for review and approval.
8. The existing and proposed drainage facilities and impervious areas shall be clearly shown and labeled on the plans, and shall indicate how storm drainage is to be collected and conveyed. If the increase in impervious area is significant, a grading plan and drainage plan with drainage calculations and details must be provided showing how applicant intends to achieve a zero increase in runoff from the proposed site.
9. The Rockland County Department of Highways finds that the proposed project would not be adverse to county roads in the area.
10. Based upon the Rockland County Drainage Agency's (RCDA) evaluation of available mapping and the information submitted, it has been determined that the proposed activity is outside the jurisdiction of the RCDA. Accordingly, a permit from the RCDA is not required.
11. The Rockland County Sewer District #1 does not object to the plan as shown. This project does not affect any sanitary sewers within the District.

The foregoing Resolution was made and moved by Mary Ann Gavioli, seconded by Timothy Hopkins and carried as follows: Thomas Warren, aye, John Foody, aye, Mary Ann Gavioli, aye, Bruce Bond, aye, John Taylor, absent, Timothy Hopkins, aye, and Suzanne Barclay, aye.

The Clerk to the Board is hereby authorized, directed and empowered to sign this *Decision* and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

Dated: December 13, 2000
Planning Board
Planning Board
Env. Mgt. Eng.
PRC

BY		decd.
OBZPAE	RC Planning	RC Drainage
LMS	Town Board	Assessor
Supervisor		Town Attorney

TOWN CLERKS OFFICE

01 JAN 18 10:52

TOWN OF ORANGETOWN

State Environmental Quality Review Regulations
NEGATIVE DECLARATION
Notice of Determination of Non-Significance

Project Number: **PB #00-182**

Date: December 13, 2000

South Orangetown Ambulance Corp Site Plan

Preliminary Site Plan Approval

Subject to Conditions

Neg. Dec.

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Regulation) of the Environmental Conservation Law.

The PLANNING BOARD, TOWN OF ORANGETOWN, as Lead Agency, has determined that the proposed action described below will not have a significant impact on the environment and a Draft Environmental Impact Statement will not be prepared.

NAME OF ACTION: **South Orangetown Ambulance Corp Site Plan**

SEQR STATUS: Type I _____
 Unlisted XXXXXX

CONDITIONED NEGATIVE DECLARATION: Yes _____
 No XXXXXX

DESCRIPTION OF ACTION: Site Plan Review

LOCATION: The site is located at 70 Independence Avenue, Tappan, Town of Orangetown, Rockland County, New York and as shown on the Orangetown Tax Map as Section 74.18, Block 3, Lot 40 in the R-15 zoning district.

REASONS SUPPORTING THIS DETERMINATION:

The Orangetown Planning Board, as Lead Agency, determined that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared. The reasons supporting this determination are as follows:

The project will not have a significant impact upon the environment and a DEIS need not be prepared because the proposed action does not significantly affect air quality, surface or ground water quality, noise levels or existing external traffic patterns. In addition, it will have no impact upon the aesthetic, agricultural or cultural resources of the neighborhood. No vegetation, fauna or wildlife species will be affected as a result of this proposed development. The proposed action is consistent with the Town of Orangetown's Master Plan and will not have any adverse economic or social impacts upon the Town or its businesses or residences.

If Conditioned Negative Declaration, the specific mitigation is provided on an attachment.

For Further Information contact:

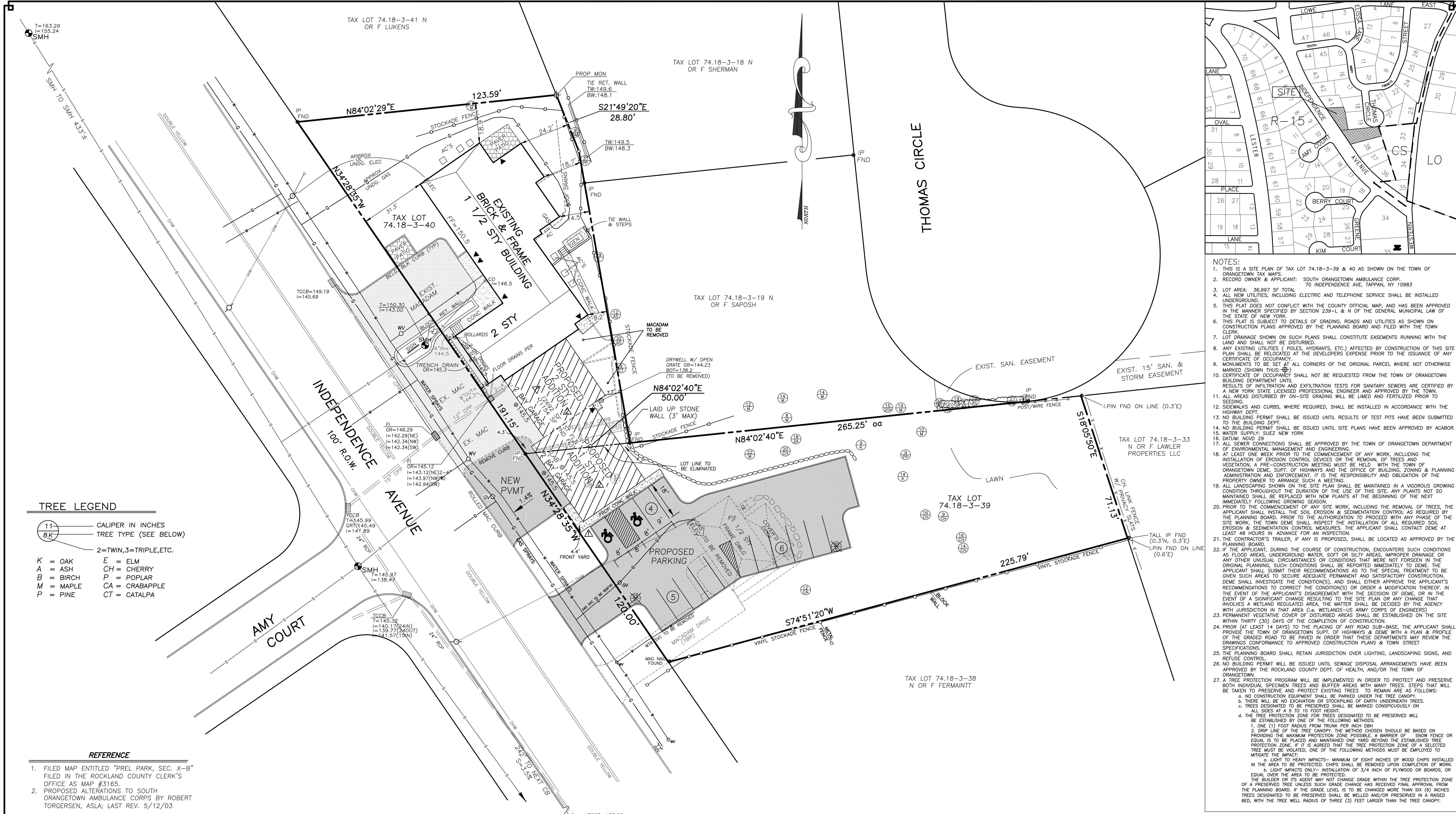
John Giardiello, P.E., Director, Office of Building, Zoning and Planning
Administration and Enforcement
Town of Orangetown
20 Greenbush Road
Orangeburg, NY 10962
Telephone Number: 845-359-5100

For Type I Actions and Conditioned Negative Declarations, a copy of this notice is sent:

- Commissioner, New York State Department of Environmental Conservation
- Region 3 Headquarters, NYSDEC
- Applicant
- Town Supervisor
- Involved Agencies

DEC 13 2000

TOWN OF ORANGETOWN



- NOTES:**
- THIS IS A SITE PLAN OF TAX LOT 74.18-3-39 & 40 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
 - RECORD OWNER & APPLICANT: SOUTH ORANGETOWN AMBULANCE CORP. 70 INDEPENDENCE AVE, TAPPAN, NY 10983
 - LOT AREA: 36,997 SF TOTAL
 - ALL NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239-2.6 & N OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - THIS PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION PLANS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK.
 - LOT DRAINAGE SHOWN ON SUCH PLANS SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND SHALL NOT BE DISTURBED.
 - ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
 - MONUMENTS TO BE SET AT ALL CORNERS OF THE ORIGINAL PARCEL WHERE NOT OTHERWISE MARKED (SHOWN THUS: \oplus)
 - CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE TOWN.
 - ALL AREAS DISTURBED BY ON-SITE GRADING WILL BE LIMED AND FERTILIZED PRIOR TO SEEDING.
 - NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPT.
 - NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE PLANS HAVE BEEN APPROVED BY ACABOR.
 - WATER SUPPLY: SUEZ NEW YORK
 - DATUM: NAD 83
 - ALL SEWER CONNECTIONS SHALL BE APPROVED BY THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING.
 - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPT. OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING & PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
 - ALL LANDSCAPING SHOWN ON THE SITE PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
 - PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION & SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD SUBJECT TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK. THE TOWN DEMO SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION & SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEMO AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION OR AN INSPECTOR FROM THE AGENCY WITH JURISDICTION IN THAT AREA (I.e. WETLANDS-US ARMY CORPS OF ENGINEERS).
 - PERMANENT VEGETATIVE COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
 - PROOF OF ANY LEAK (AT LEAST 14 DAYS) TO THE PLACING OF ANY ROAD SUB-BASE. THE APPLICANT SHALL PROVIDE THE TOWN OF ORANGETOWN SUPT. OF HIGHWAYS & DEMO WITH A PLAN & PROFILE OF THE GRADED ROAD TO BE PAVED IN ORDER THAT THESE DEPARTMENTS MAY REVIEW THE DRAWINGS CONFORMANCE TO APPROVED CONSTRUCTION PLANS & TOWN STREET SPECIFICATIONS.
 - THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING SIGNS, AND REFUSE CONTROL.
 - NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY DEPT. OF HEALTH, AND/OR THE TOWN OF ORANGETOWN.
 - A TREE PROTECTION PROGRAM WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH TREES.
 - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
 - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
 - DRIP LINE OF THE TREE CANOPY. THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
 - LIGHT TO HEAVY IMPACTS- MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 - LIGHT IMPACTS ONLY- INSTALLATION OF 3/4 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED.
 - THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.

- TREE LEGEND**
- 11 - CALIPER IN INCHES
8K - TREE TYPE (SEE BELOW)
- 2=TWIN, 3=TRIPLE, ETC.
- K = OAK
A = ASH
B = BIRCH
M = MAPLE
P = PINE
- E = ELM
CH = CHERRY
P = POPLAR
CA = CRABAPPLE
CT = CATALPA

- REFERENCE**
- FILED MAP ENTITLED "PREL PARK, SEC. X-B" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #3165.
 - PROPOSED ALTERATIONS TO SOUTH ORANGETOWN AMBULANCE CORPS BY ROBERT TORGENSEN, ASLA; LAST REV. 5/12/03

- LEGEND**
- 142--- CONTOUR
 - +141.5 SPOT GRADE
 - CB CATCH BASIN/FIELD INLET
 - FI DRAIN LINE
 - SMH SANITARY MANHOLE / PIPE
 - EDGE OF PAVEMENT
 - CONCRETE CURB
 - GAS LINE/ VALVE
 - WATER LINE / VALVE
 - UTILITY POLE
 - LIGHT POLE
 - OVERHEAD WIRES
 - UNDERGROUND ELECTRIC

BULK REGULATIONS									
ZONE R-15 USE GROUP "D"	MAX F.A.R.	MIN LOT AREA	MIN. LOT WIDTH	STREET FRONTAGE	FRONT YARD	SIDE YARD	TOTAL SIDE YARD	REAR YARD	MAX BLDG HT
REQUIRED	0.20	30,000 SF	250 FT	100 Ft	100 Ft	75 Ft	200 Ft	100 Ft	3'/FT
*EXISTING	0.34	14,994 SF	191.12'	191.12'	SEE NOTE #1 4.3'	SEE NOTE #2 18.9'	57'	14.4'	20'-7" \oplus
PROPOSED	0.22	36,997 SF	300 Ft	311.5 Ft	4.3'	18.9'	107.8'	4.2'	26'-5" \oplus

*NOTE: EXISTING BULK AS SHOWN ON APPROVED SITE PLAN FOR "SOUTH ORANGETOWN AMBULANCE CORPS" LAST DATED 5/12/03 AND APPROVED ON 5/22/13. NOTE: PLAN WAS PREPARED FOR ONLY TAX LOT 40. OFFSETS SHOWN ARE ONLY TO THAT LOT.

\oplus VARIANCES GRANTED: 01-22 & 01-22 (PART 2) ON 5/16/01 AND 6/10/01

NOTE #1: APPROVED SITE PLAN SHOWED 10' FRONT YARD

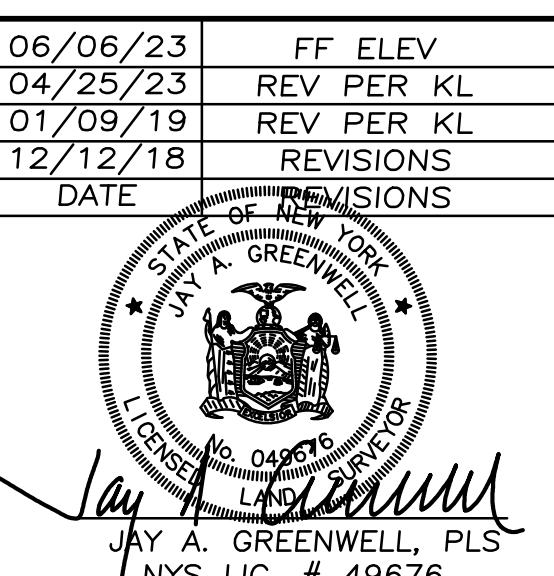
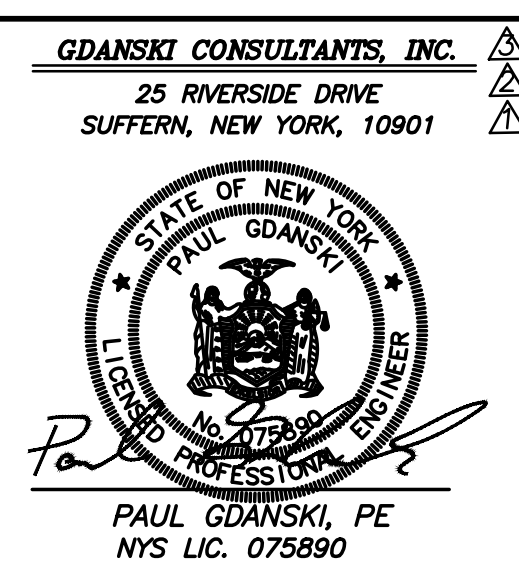
NOTE #2: APPROVED SITE PLAN SHOWED 19.1' SIDE YARD

** VARIANCES REQUIRED

ORANGETOWN PLANNING BOARD APPROVAL:

APPROVED FOR FILING BY OWNER

OWNER _____ DATE _____



TAX LOT 74.18-3-40 AREA=14,994 SF
TAX LOT 74.18-3-39 AREA=22,003 SF TOTAL = 36,997 SF

SITE PLAN FOR PROPOSED ADDITION

SO. ORANGETOWN AMBULANCE CORPS

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

JAY A. GREENWELL, PLS, LLC

LAND SURVEYING - LAND PLANNING
85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901
PHONE 845-357-0830 FAX 845-357-0756

TAX LOT #S
74.18-3-40
74.18-3-39

AREA
SEE ABOVE

FILE
21838SITE

SCALE
1"=20'

DATE
10/23/18

JOB NO.
21838

