

6/9

ZONING BOARD OF APPEALS

Town of Orangetown  
20 Greenbush Road  
Orangeburg, New York 10962  
(914) 359-8410 (ex. 4331)

Date: June 8, 2023

TO: OBAPAE

- Environmental Management and Engineering
- ✓ Rockland County Sewer District #1
- New York State Dept. of Transportation
- Palisades Interstate Park Commission
- Orange and Rockland Utilities
- Orangetown Highway

- Rockland County Drainage ✓
- Rockland County Health ✓
- Rockland County Planning ✓
- Rockland County Highway ✓

Review of Plans: Manuel Chaves, 18 Erie Street, Blauvelt, NY  
Section 70.14 Block 1 Lot 4; R-15 zone

This matter is scheduled for:

Chapter 43, R-15 District, Section 3.12, Group M, Column 10 (Total Side Yard: 50' required, 40' 4" proposed) for an addition to the existing building. The premises are located at 70 Independence Avenue, Tappan, New York and identified on the Orangetown Tax Map as Section 70.14, Block 1, Lot 4 in the R-15 zoning district.

**Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Zoning Board Office.**

**If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.**

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: [darbolino@orangetown.com](mailto:darbolino@orangetown.com) or
- Fax to the Town of Orangetown ZBA @845 359 8526

**Zoning Board Meeting Date: July 19, 2023**

- ( ) Comments attached
  - ( ) No Comments at this time. Please send future correspondence for review.
  - ( ) No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
  - ( ) This project is out of the jurisdiction of this agency and has no further comments.
- This project is before the Zoning Board on Wednesday July 19, 2023. Kindly forward your completed review to this office by July 19, 2023.**

Reviewing Agency \_\_\_\_\_

Name \_\_\_\_\_ date: \_\_\_\_\_

Signature: \_\_\_\_\_

Thank you, Deborah Arbolino



OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
**TOWN OF ORANGETOWN**

20 Greenbush Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**REFERRAL TO THE ZONING BOARD OF APPEALS**

Date: 5.9.23 Section: 70.14 Block: 1 Lot: 4

Applicant: Chaves

Address: 18 Erie ST, Blauvelt, NY

RE: Application Made at: same

Referred For:


Chapter 43, Bulk Table 3.12  
Column 1: R-15, Column 2: Group M, Column 3: Single Family Residence,  
Column 10: Total Side Yard 50' w/ 40'4" proposed  
One Variance Required

Comments: Rear Addition

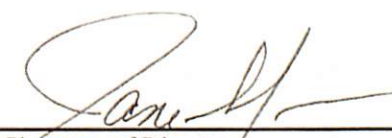
Dear Chaves:

Please be advised that the Building Permit Application # p23-3167, which you submitted on 4.28.23, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or [darbolino@orangetown.com](mailto:darbolino@orangetown.com).

Sincerely,

  
Richard Oliver  
Deputy Building Inspector

5/16/23

  
Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
1-30-2023

5-16-23  
Date  
Liz DeCort  
Debbie Arbolino

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: \_\_\_\_\_

*Please check all that apply:*

<input type="checkbox"/> Commercial <input checked="" type="checkbox"/> <b>Planning Board</b> <input checked="" type="checkbox"/> <b>Zoning Board of Appeals</b>  <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use  <input type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> <b>Historical Board</b> <input type="checkbox"/> <b>Architectural Board</b>  <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
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**PERMIT#:** BLDR - 3167 - 23  
**ASSIGNED**  
**INSPECTOR:** Dom

Referred from Planning Board: YES / NO  
 If yes provide date of Planning Board meeting: \_\_\_\_\_

**Project Name:** Rear Addition to Residential Home at 18 Erie St

**Street Address:** 18 Erie St. Blauvelt, NY 10913

**Tax Map Designation:**

Section: 70.14 Block: 1 Lot(s): 4  
 Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

**Directional Location:**

On the Right side of Erie St., approximately  
100 feet West of the intersection of Western Hwy & Erie, in the  
 Town of Orangetown in the hamlet/village of Blauvelt.

Acreage of Parcel _____	Zoning District <u>R-15</u>
School District <u>SOCSO</u>	Postal District <u>Blauvelt</u>
Ambulance District <u>SOAC</u>	Fire District <u>Blauvelt</u>
Water District <u>Veolia</u>	Sewer District <u>Orangetown</u>

**Project Description:** *(If additional space required, please attach a narrative summary.)*

Bedroom addition

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 6-5-2023 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

NIA  
ALL PAGE

FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

If subdivision:

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

If site plan:

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

If **special permit**, list special permit use and what the property will be used for.

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**Environmental Constraints:**

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_

Are there **streams** on the site? If yes, please provide the names. \_\_\_\_\_

Are there **wetlands** on the site? If yes, please provide the names and type:

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**Project History:**

Has this project ever been reviewed before? no \_\_\_\_\_

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

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List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

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<u>IS</u>	<u>PRINT KEY</u>	<u>NAME</u>	<u>ADDRESS</u>
2489	70.13-1-23.1	Andrew R Noble	36 W Erie St,Blauvelt, NY 10913
2489	70.13-1-23.2	Deborah Curran	38 W Erie St,Blauvelt, NY 10913
2489	70.13-1-23.6	Scott Michel	8 Pvt Del Regno Ct,Blauvelt, NY 10913
2489	70.14-1-1	Mildred E O'Leary-Tallon	588 Western Hwy,Blauvelt, NY 10913
2489	70.14-1-2.1	Mildred E O'Leary-Tallon	588 Western Hwy,Blauvelt, NY 10913
2489	70.14-1-2.2	Kevin Barbelet	10 Pvt Del Regno Ct,Blauvelt, NY 10913
2489	70.14-1-2.3	Richard Holihan	12 Pvt Del Regno Ct,Blauvelt, NY 10913
2489	70.14-1-3	Debra Sansone	584 Western Hwy,Blauvelt, NY 10913
2489	70.14-1-4	Manuel Chaves	18 W Erie St,Blauvelt, NY 10913
2489	70.14-1-5	Andrew G Pugliese	22 W Erie St,Blauvelt, NY 10913
2489	70.14-1-6	Munawar Ali Q Mohammed	43 W Erie St,Blauvelt, NY 10913
2489	70.14-1-7	Patrick Dizzine	33 West Erie St,Blauvelt, NY 10913
2489	70.14-1-8	Mark Stanford	23 W Erie St,Blauvelt, NY 10913
2489	70.14-1-10	Thomas P Hart	3 Carriage End,Blauvelt, NY 10913
2489	70.14-1-11	Raymond R Folmer	1 Carriage End,Blauvelt, NY 10913
2489	70.14-1-12	John B Cowan	580 Western Hwy,Blauvelt, NY 10913
2489	70.14-1-13	Susan M Bolger	578 Western Hwy,Blauvelt, NY 10913
2489	70.14-2-1.3	Donald Syko	587 Western Hwy,Blauvelt, NY 10913
2489	70.14-2-2	Lorraine M Holmes	581 Western Hwy,Blauvelt, NY 10913
2489	70.14-2-14	Mariajose Romero	577 Western Hwy,Blauvelt, NY 10913

DECISION

**SIDE YARD AND TOTAL SIDE YARD VARIANCES APPROVED**

To: Manuel Chaves  
18 West Erie Street  
Blauvelt, New York 10913

ZBA #18-89  
Date: December 5, 2018  
Permit #47891

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA#18-89: Application of Manuel Chaves for variances from Zoning Code (Chapter 43) of the Town of Orangetown Code, R-15 District, Section 3.12, Columns 9 (Side Yard: 20' required, 18' 3" proposed), and 10 (Total Side Yard: 50' required, 40' 3" proposed) for an addition to an existing single-family residence. The premises are located at 18 Erie Street, Blauvelt, New York and are identified on the Orangetown Tax Map as Section 70.14, Block 1, Lot 4; in the R-15 zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, December 5, 2018 at which time the Board made the determination hereinafter set forth.

Manuel Chaves and James Hughes appeared and testified.

The following documents were presented:

1. Site Plan for Chaves dated 08/28/2018 signed and sealed by Richard J Iuele, P.E., based on a survey by E.C. Getty, P.E., LS. Dated October 1961.
2. Architectural plan labeled "Sunroom Plan" dated 06/14/2018 not signed or sealed by Richard J. Iuele, P.E..
3. Installer Layout ( 7 pages) signed and sealed by Luay S. Esho, P.E..
4. A letter dated November 26, 2018 from Rockland County Department of Planning signed by Douglas J. Schuetz, Acting Commissioner of Planning.
5. A letter dated November 29, 2018 from the Rockland County Sewer District #1 signed by Joseph LaFiandra, Engineer II.
6. A letter dated December 4, 2018 from Rockland County Department of Health signed by Elizabeth Mello, P.E., Senior Public Health Engineer.
7. A sign off dated October 30, 2018 from Dyan Rajasingham, P.E., Rockland County Highway Department .

Mr. Sullivan, Chairman, made a motion to open the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

On advice of Denise Sullivan, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Mr. Sullivan moved for a Board determination that the foregoing application is a Type II action exempt from the State Environmental Quality Review Act (SEQRA), pursuant to SEQRA Regulations §617.5 (c) (9), (10), (12) and/or (13); which does not require SEQRA environmental review. The motion was seconded by Ms. Castelli and carried as follows: Mr. Bosco, aye; Ms. Salomon, aye; Mr. Sullivan, aye; Mr. Quinn, aye; Mr. Feroldi, aye; and Ms. Castelli, aye.

DECISION APPROVED  
TOWN OF ORANGETOWN  
DEC 10 2018

James Hughes testified that they are proposing to add a small section to the existing deck area so that a French door can be added at the existing dining area to enter into the new three season room; that they are not going past the dimension of the existing house; that the lot line does jut in at that side of the house; and that they presently do not meet the requirements for the total side yard.

Public Comment:

No public comment

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Mr. Sullivan made a motion to close the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

**FINDINGS OF FACT AND CONCLUSIONS:**

After personal observation of the property, hearing all the testimony and reviewing all the documents submitted, the Board found and concluded that the benefits to the applicant if the variance(s) are granted outweigh the detriment (if any) to the health, safety and welfare of the neighborhood or community by such grant, for the following reasons:

1. The requested side yard and total side yard variances will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. The sunroom will be located in the rear of the house and will align with the house; that the property juts in at the location of the proposed sunroom, which causes the 18.3' side yard and the total side yard is changing by two feet.
2. The requested front yard fence height variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. The sunroom will be located in the rear of the house and will align with the house; that the property juts in at the location of the proposed sunroom, which causes the 18.3' side yard and the total side yard is changing by two feet.
3. The benefits sought by the applicant cannot be achieved by other means feasible for the applicant to pursue other than by obtaining a variance.

TOWN OF GRANVILLE  
PLANNING DEPARTMENT  
180 E. 18th St.  
Columbus, OH 43201

4. The requested side yard and total side yard variances, although somewhat substantial, afford benefits to the applicant that are not outweighed by the detriment, if any, to the health, safety and welfare of the surrounding neighborhood or nearby community. The sunroom will be located in the rear of the house and will align with the house; that the property juts in at the location of the proposed sunroom, which causes the 18.3' side yard and the total side yard is changing by two feet.
  
5. The applicant purchased the property subject to Orangetown's Zoning Code (Chapter 43) and is proposing a new addition and/or improvements, so the alleged difficulty was self-created, which consideration was relevant to the decision of the Board of Appeals, but did not, by itself, preclude the granting of the area variances.

**DECISION:** In view of the foregoing and the testimony and documents presented, the Board **RESOLVED** that the application for the requested side yard and total side yard variances are **APPROVED**; and **FURTHER RESOLVED**, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

**General Conditions:**

- (i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.
  
- (ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.
  
- (iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.

PLANNING DEPARTMENT  
2018 DEC 18 10:28 AM  
TOWN OF ORANGETOWN



(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

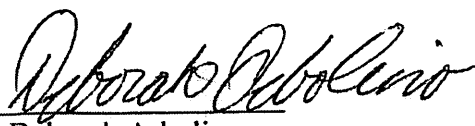
(v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

The foregoing resolution to approve the application for the requested side yard and total side yard variances are APPROVED; was presented and moved by Mr. Bosco, seconded by Ms. Castelli and carried as follows: Mr. Bosco, aye; Mr. Quinn, aye; Mr. Sullivan, aye; Ms. Salomon, aye; and Ms. Castelli, aye.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: December 5, 2018

ZONING BOARD OF APPEALS  
TOWN OF ORANGETOWN

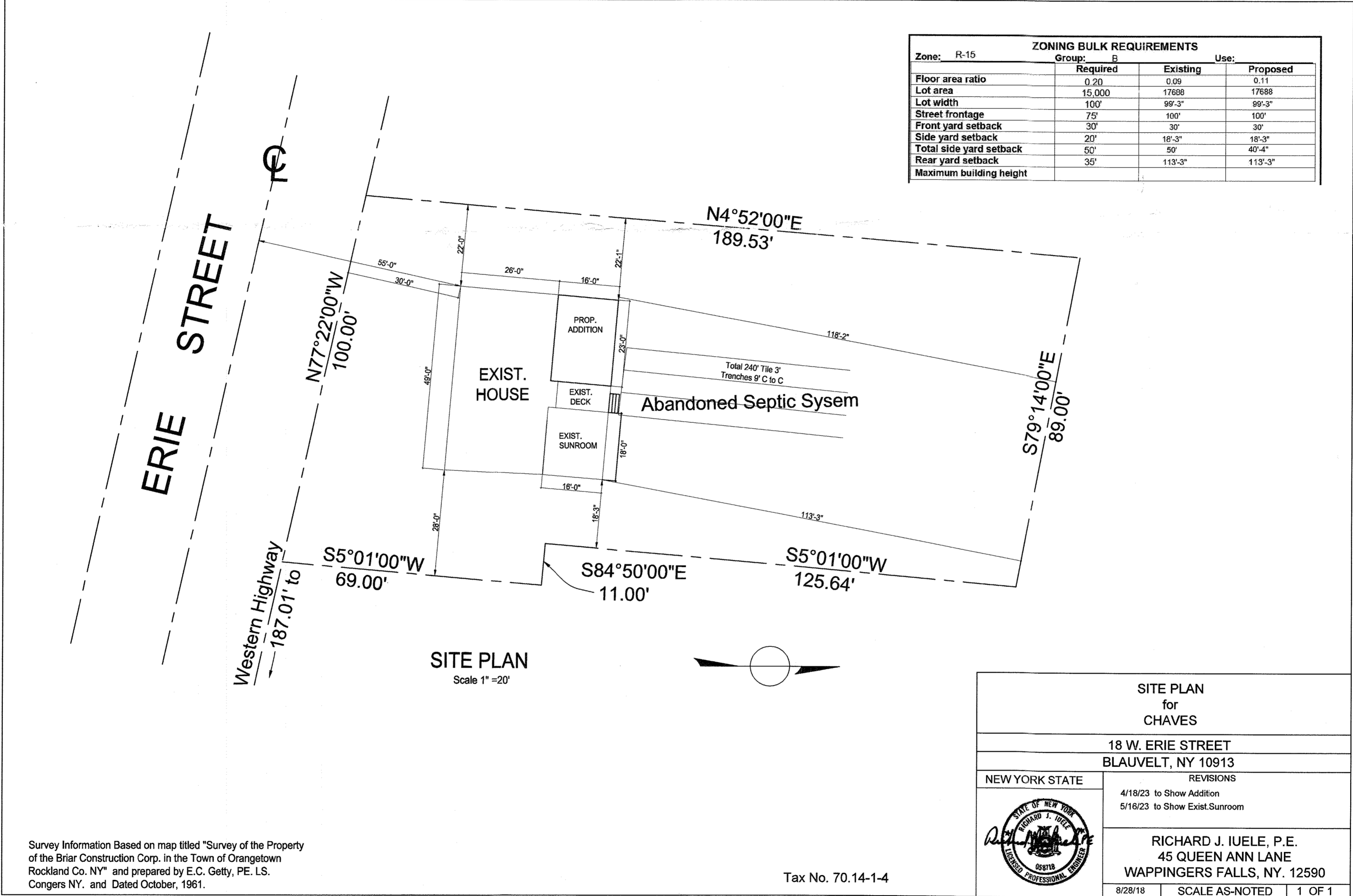
By   
Deborah Arbolino  
Administrative Aide

DISTRIBUTION:

APPLICANT  
ZBA MEMBERS  
SUPERVISOR  
TOWN BOARD MEMBERS  
TOWN ATTORNEY  
DEPUTY TOWN ATTORNEY  
OBZPAE  
BUILDING INSPECTOR-D.M.

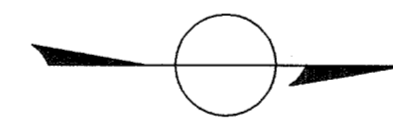
TOWN CLERK  
HIGHWAY DEPARTMENT  
ASSESSOR  
DEPT. of ENVIRONMENTAL  
MGMT. and ENGINEERING  
FILE ZBA, PB  
CHAIRMAN, ZBA, PB, ACABOR

TOWN CLERK'S OFFICE  
2018 DEC 18 10:00 AM  
TOWN OF ORANGETOWN



ZONING BULK REQUIREMENTS			
Zone:	Group:	Use:	
R-15	B	Required	Proposed
Floor area ratio	0.20	Existing	0.11
Lot area	15,000	17688	17688
Lot width	100'	99'-3"	99'-3"
Street frontage	75'	100'	100'
Front yard setback	30'	30'	30'
Side yard setback	20'	18'-3"	18'-3"
Total side yard setback	50'	50'	40'-4"
Rear yard setback	35'	113'-3"	113'-3"
Maximum building height			

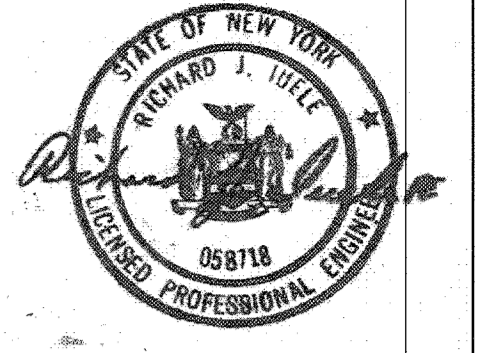
**SITE PLAN**  
Scale 1" = 20'



SITE PLAN for CHAVES	
18 W. ERIE STREET BLAUVELT, NY 10913	
NEW YORK STATE	REVISIONS
	4/18/23 to Show Addition
	5/16/23 to Show Exist. Sunroom
<b>RICHARD J. IUELE, P.E.</b> 45 QUEEN ANN LANE WAPPINGERS FALLS, NY, 12590	
8/28/18	SCALE AS-NOTED 1 OF 1

Survey Information Based on map titled "Survey of the Property of the Briar Construction Corp. in the Town of Orangetown Rockland Co. NY" and prepared by E.C. Getty, PE. L.S. Congers NY. and Dated October, 1961.

Tax No. 70.14-1-4



date: 2/27/2023

Revised:

RICHARD J. IUELE, P.E.

39 TRENTON ROAD  
FISHKILL NY, 12524

ADDITION AND PLAN

CHAVES RESIDENCE

18 ERIE STREET  
BLAUVELT, NY

dwg:

project:

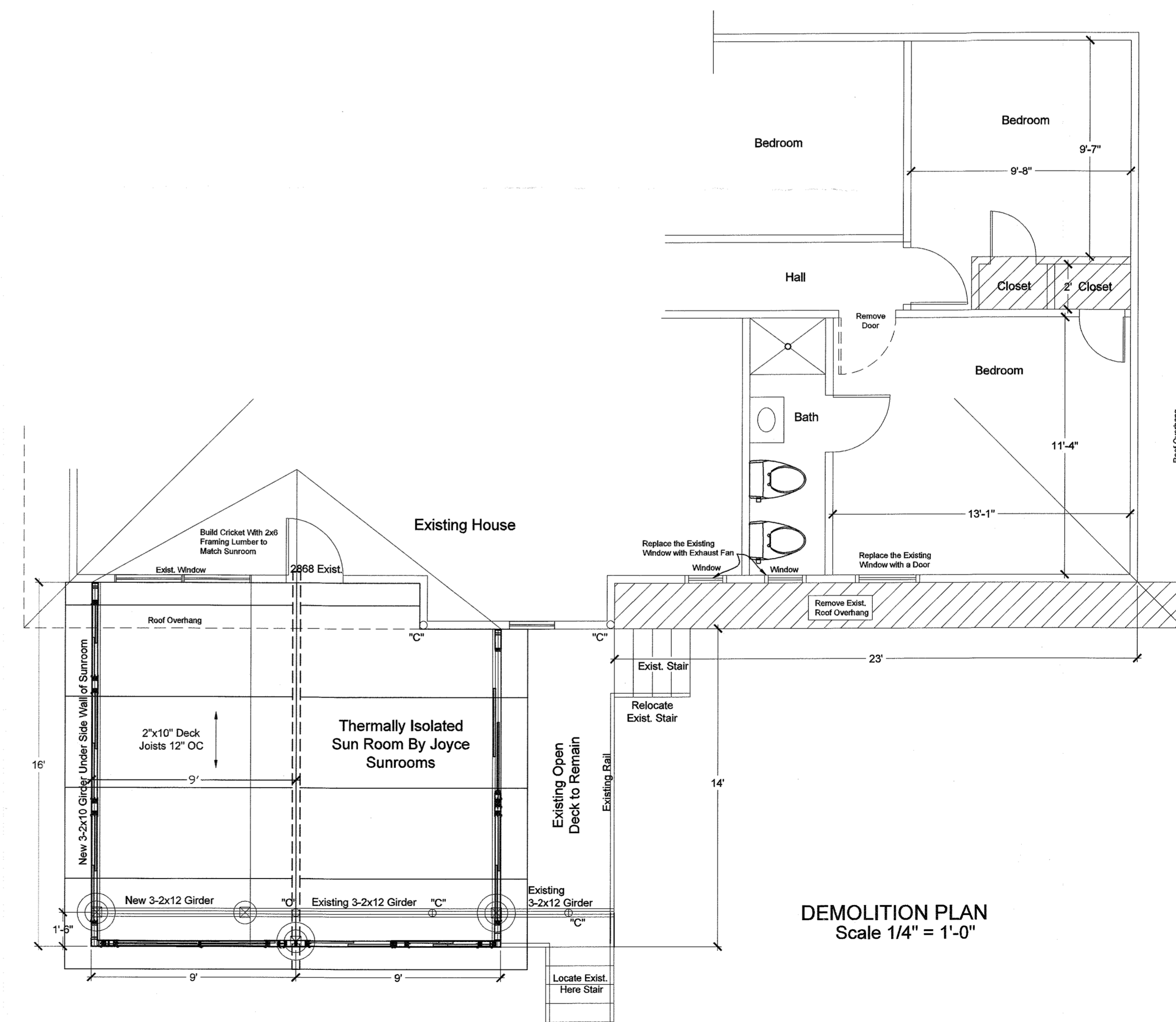
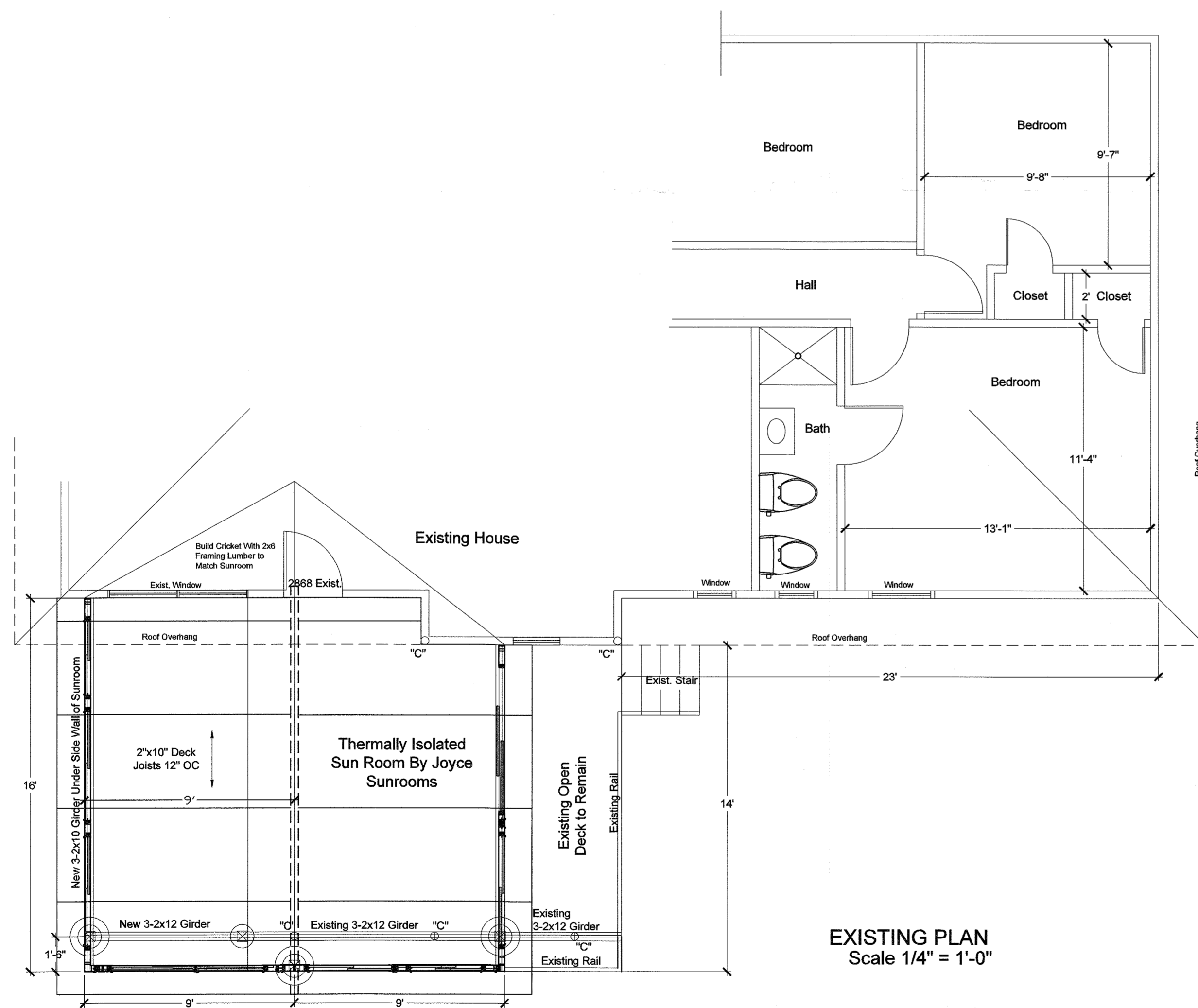
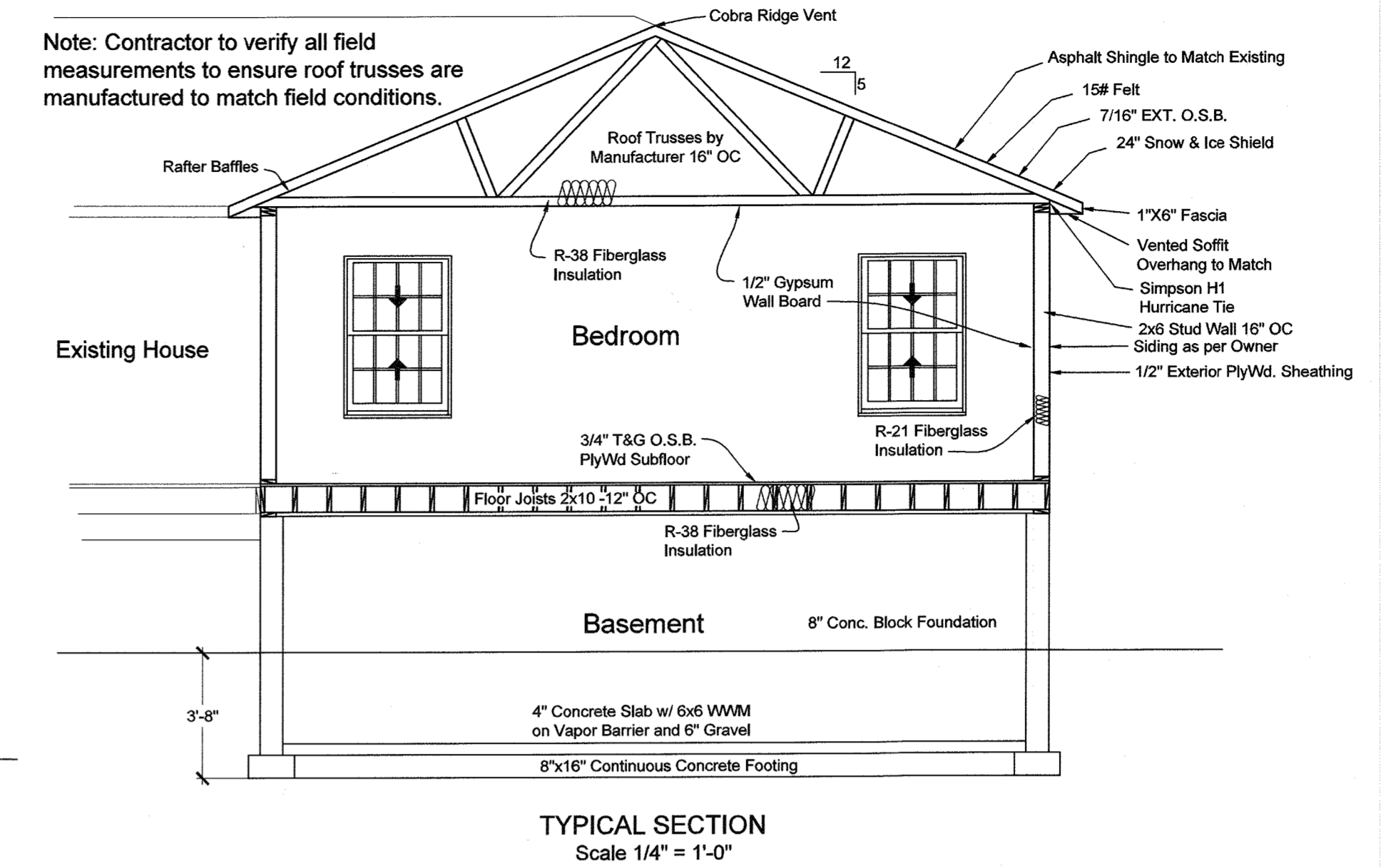
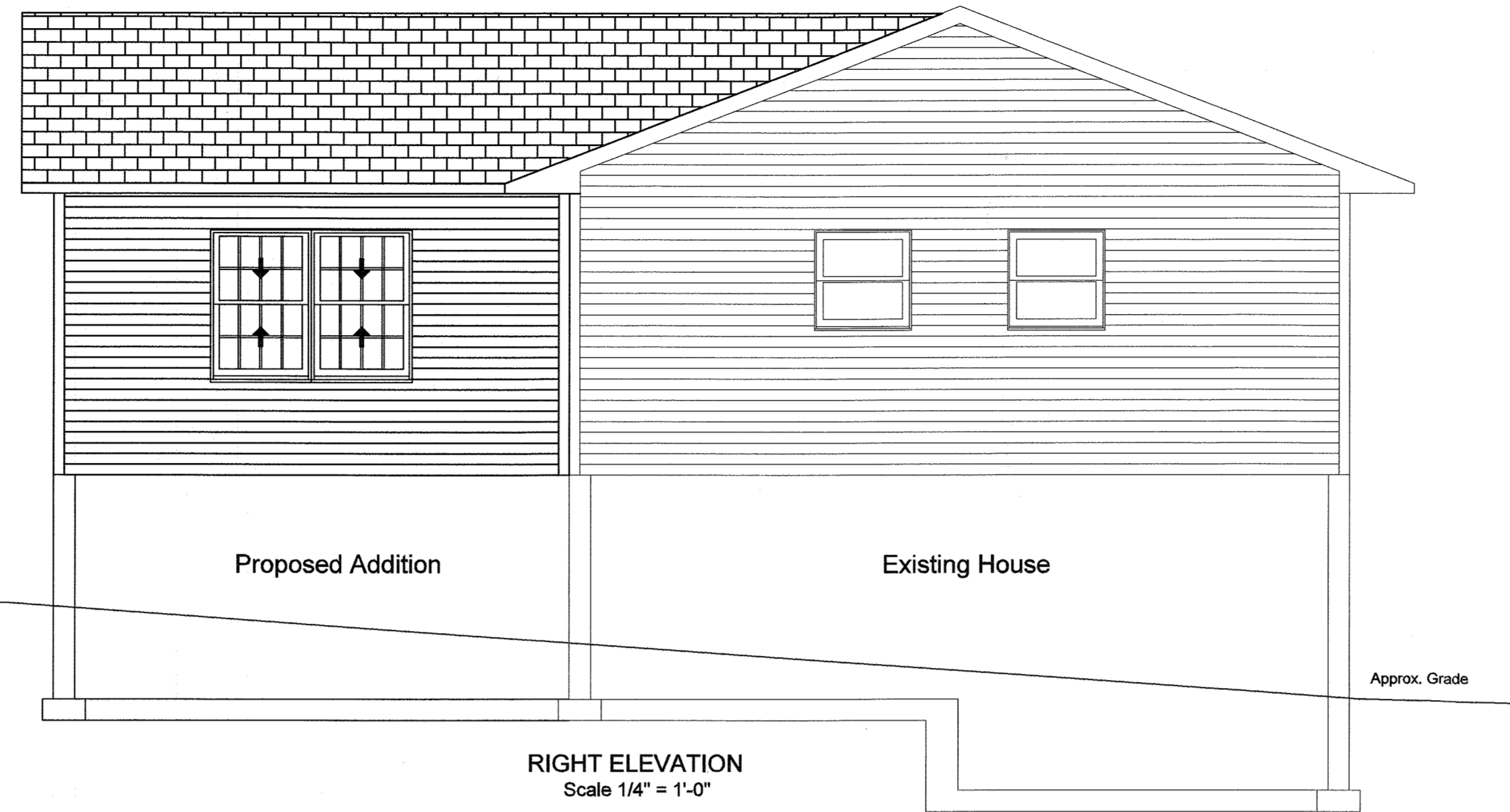
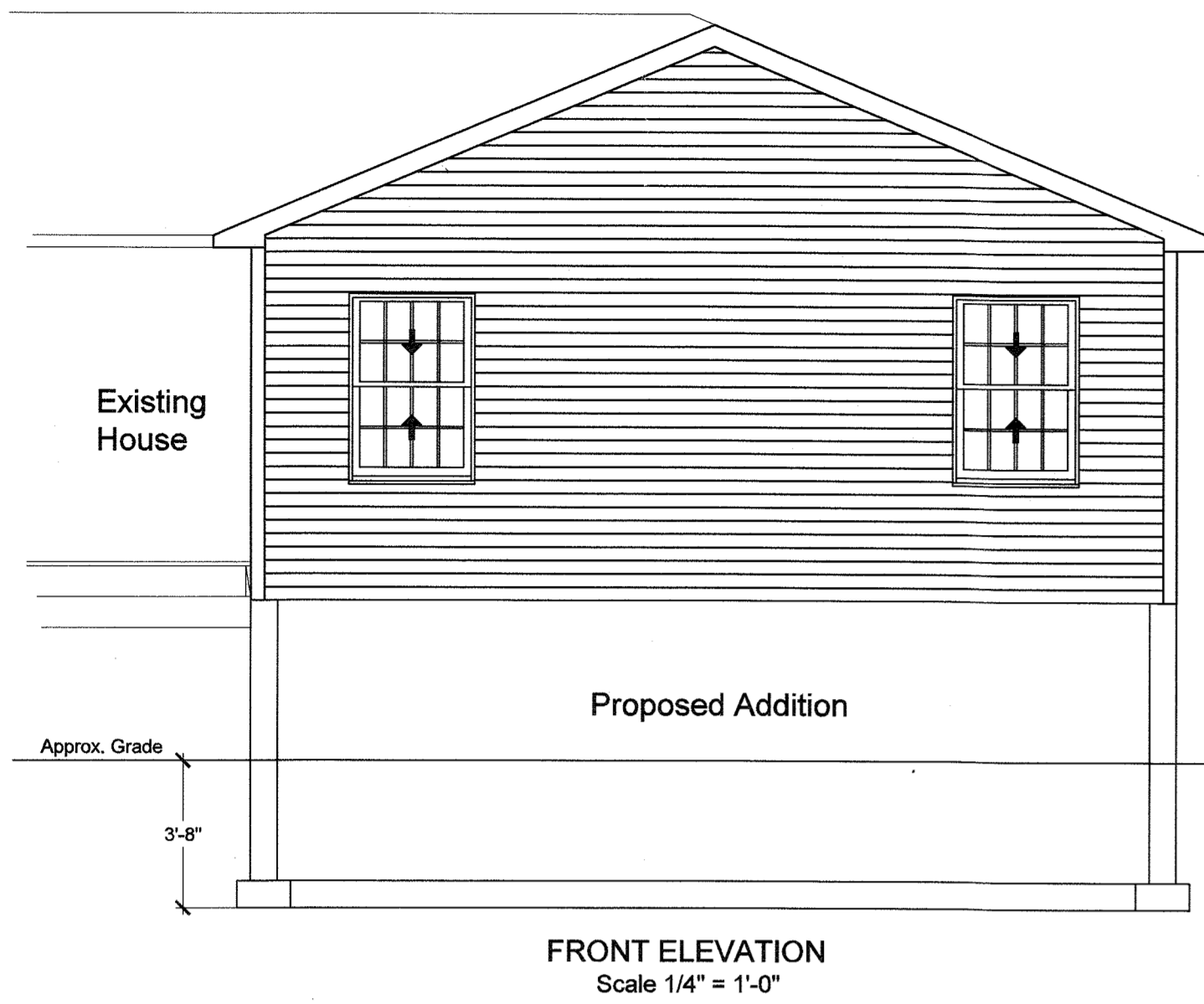
job no:

drwn by:

scale:  
As noted

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**A**  
1 of 2



**GENERAL CONSTRUCTION**

1. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE CODE WITH THE NYS SUPPLEMENTS
2. ALL ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL CODES.
3. ALL PLUMBING TO BE INSTALLED IN ACCORDANCE WITH THE NYS BUILDING CODE AND ALL APPLICABLE LOCAL CODES.
4. THE CONTRACTOR SHALL MAKE NO DEVIATION FROM THE DRAWINGS OR SPECIFICATIONS UNLESS AUTHORIZED IN WRITING BY THE ENGINEER.
5. THE CONTRACTOR SHALL BRING ALL NON-TYPICAL FIELD CONDITIONS, NOT COVERED BY THE DRAWINGS AND SPECIFICATIONS, TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING ANY WORK AFFECTED BY THESE CONDITIONS.
6. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS TO ENSURE THAT ALL NEW WORK MATCHES THE EXISTING STRUCTURE.
7. ALL WORK SHALL COMPLY WITH LOCAL AND STATE CODE REQUIREMENTS REGARDLESS OF WHETHER OR NOT THEY ARE SPECIFIED IN THESE NOTES AND IN THE DRAWINGS. CODE REQUIREMENTS SHALL GOVERN.
8. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE STRUCTURE DURING CONSTRUCTION.
9. THESE PLANS ARE FOR THE INTENDED USE BY A COMPETENT CONTRACTOR ONLY. CONTRACTOR SHOULD HAVE AN UNDERSTANDING OF THE NYS BUILDING CODE AS WELL AS BE EXPERIENCED WITH WOOD FRAME CONSTRUCTION.

**DESIGN LOADS**

1.	LIVE LOAD FIRST FLOOR	40 PSF	
2.	LIVE LOAD SECOND FLOOR	30 PSF	
3.	LIVE LOAD ATTIC FLOOR	20 PSF	
4.	SNOW LOAD	30 PSF	
5.	DEAD LOADS FLOOR	10 PSF	WALLS 5 PSF

**FRAMING**

1. ALL STRUCTURAL LUMBER (FLOOR JOISTS AND WOOD GIRDERS) TO BR SPF#2 OR BETTER AND HAVE A MIN. BENDING STRESS OF 875 PSI, AND A MODULUS OF ELASTICITY = TO 1,400,000 PSI.
2. ALL FRAMING LUMBER IN CONTACT WITH MASONRY TO BE PRESSURE TREATED.
3. LALLY COLS. SHALL BE SECURED AT TOP AND BOTTOM.
4. USE ONLY LUMBER WITH OUT DEFECTS EFFECTING STRENGTH, DURABILITY, AND APPEARANCES FOR THE INTENDED USE.
5. PROVIDE WOOD OR METAL BRIDGING AT MAX. 8'-0" O.C.
6. DOUBLE ALL JOISTS UNDER PARTITION WALLS.
7. THE MINIMUM STUD SIZE AND SPACING SHALL BE: 2"x4"- 16" ON CENTER FOR INTERIOR WALLS AND 2"x6"-16" ON CENTER FOR ALL EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
8. DOUBLE END JOISTS DIRECTLY OVER SILLS RUNNING PARALLEL TO FLOOR SPANS.
9. PROVIDE SOLID BLOCKING UNDER PLYWOOD AT ALL POST POINTS TO TRANSFER LOADS.
10. PROVIDE FIRE STOPPING AT ALL JOIST SUPPORTS.
11. PROVIDE MINIMUM 3-2"x4" POSTS UNDER ALL WOOD GIRDERS.  
MINIMUM HEADER SIZES AS FOLLOWS:  
OPENING LESS THAN 4'-0" 2-2"x8"  
OPENING 4'-0" TO 5'-11" 2-2"x10"  
OPENING 6'-0" TO 8'-0" 2-2"x12"
12. PROVIDE SOLID BLOCKING HALF WAY UP ALL INTERIOR AND EXTERIOR BEARING WALLS.
13. SECURE POSTS TOP AND BOTTOM WITH SIMPSON CONNECTORS AS REQUIRED.

**EXTERIOR**

1. ALL WINDOWS TO BE DOUBLE PANE INSULATING WINDOWS. ("ANDERSEN" OR APPROVED EQUAL)
2. RUBBER ROOF COVERING FOR FLAT OR SHALLOW PITCH ROOF
3. USE ALUMINUM OR GALVANIZED NAILS ONLY, ON EXTERIOR WORK.
4. PROVIDE METAL FLASHING AT ALL ROOF/SIDEWALL INTERSECTIONS. PROVIDE FLASHING FOR ALL VALLEYS ETC. AS NECESSARY FOR A COMPLETE JOB. INSTALL AS PER ROOF MANUFACTURER RECOMMENDATIONS.
5. SIDING AS PER OWNER
6. FOOTING DRAINS IF REQUIRED TO BE CONNECTED TO THE EXISTING FOOTING DRAINS. ROOF DRAINS TO DISCHARGE INTO THE EXISTING ROOF DRAIN SYSTEM IF AVAILABLE OR TO THE GROUND SURFACE AND DIRECTED AWAY FROM THE HOUSE.

**INTERIOR**

1. STAIRS TO HAVE A MINIMUM TREAD OF 9" WITH A 3/4" MIN. NOSING 1-1/4" MAX. NOSING AND A MAXIMUM 8-1/2" RISER. ALL STAIRS TO BE PROVIDED WITH RAILINGS, BETWEEN 30"-36" HIGH WITH 1-1/2" CLEARANCE.
2. INTERIOR WALLS AND CEILINGS TO BE FINISHED WITH 1/2" GYPSUM BOARD. GARAGE AND FURNACE ROOM WALLS AND CEILING TO BE FINISHED WITH FIRE RATED TYPE X 5/8" GYPSUM BOARD.
3. DOOR INTO THE GARAGE TO BE SELF-CLOSING AND BOTH THE DOOR AND JAMB TO HAVE A 1/2 HOUR FIRE RATING.
4. DO NOT PENETRATE GARAGE FIREWALL WITH DUCTS, EXHAUST VENTING, ETC.
5. ENTRY DOOR TO BE 36" X 8'-8" INSULATED DOOR WITH WEATHER STRIPPING.
6. ALL SLIDING GLASS DOORS, FRENCH DOORS, OR WINDOWS WITH GLASS WITHIN 18" OF THE FLOOR TO BE GLAZED WITH TEMPERED GLASS.
7. PROVIDE SHELVES AND POLE IN EACH CLOSET.
8. KITCHEN AND ALL BATHROOMS/POWDER ROOMS TO HAVE IMPERVIOUS FLOOR.
9. INTERIOR BATHS AND BATHS WITH NO WINDOWS SHALL HAVE A MINIMUM 35 CFM EXHAUST FAN DUCTED TO THE EXTERIOR.
10. INSTALL SMOKE/CARBONDIOXIDE DETECTORS IN EACH BEDROOM, OUTSIDE EACH SLEEPING AREA AND ON EACH FLOOR LEVEL THE ALARMS SHALL BE INTERCONNECTED AND HARD WIRED.

**CONCRETE**

1. ALL CONCRETE WORK SHALL CONFORM TO ACI DESIGN AND SPECIFICATIONS. CONCRETE SHALL BE A MINIMUM OF 3000-PSI IN STRENGTH.
2. THE TOP COURSE OF CONCRETE BLOCK TO BE SOLID.
3. ALL FOOTINGS SHALL BE A MINIMUM OF 4'-0" BELOW FINISHED GRADE ON UNDISTURBED SOIL AND BEARING ON SOIL OF NOT LESS THAN 2 TONS PER SQUARE FOOT CAPACITY. FOOTINGS SHALL NOT BE PLACED ON BACKFILL MATERIAL.
4. CHANGES IN FOOTING ELEVATIONS SHALL BE STEPPED. THE STEP IS NOT TO EXCEED 2:1.
5. FOUNDATION DRAINS TO BE 4" DIAMETER PVC SET IN CRUSHED STONE AND DIRECTED AWAY FROM THE FOUNDATION.
6. THE MAXIMUM BACKFILL AGAINST THE CONCRETE BLOCK AS MEASURED FROM THE TOP OF THE BASEMENT FLOOR SLAB TO THE TOP OF FINISHED GRADE SHALL BE IN ACCORDANCE WITH THE FOLLOWING TABLE:

Table R301.2(1)  
Climatic and Geographic Design Criteria

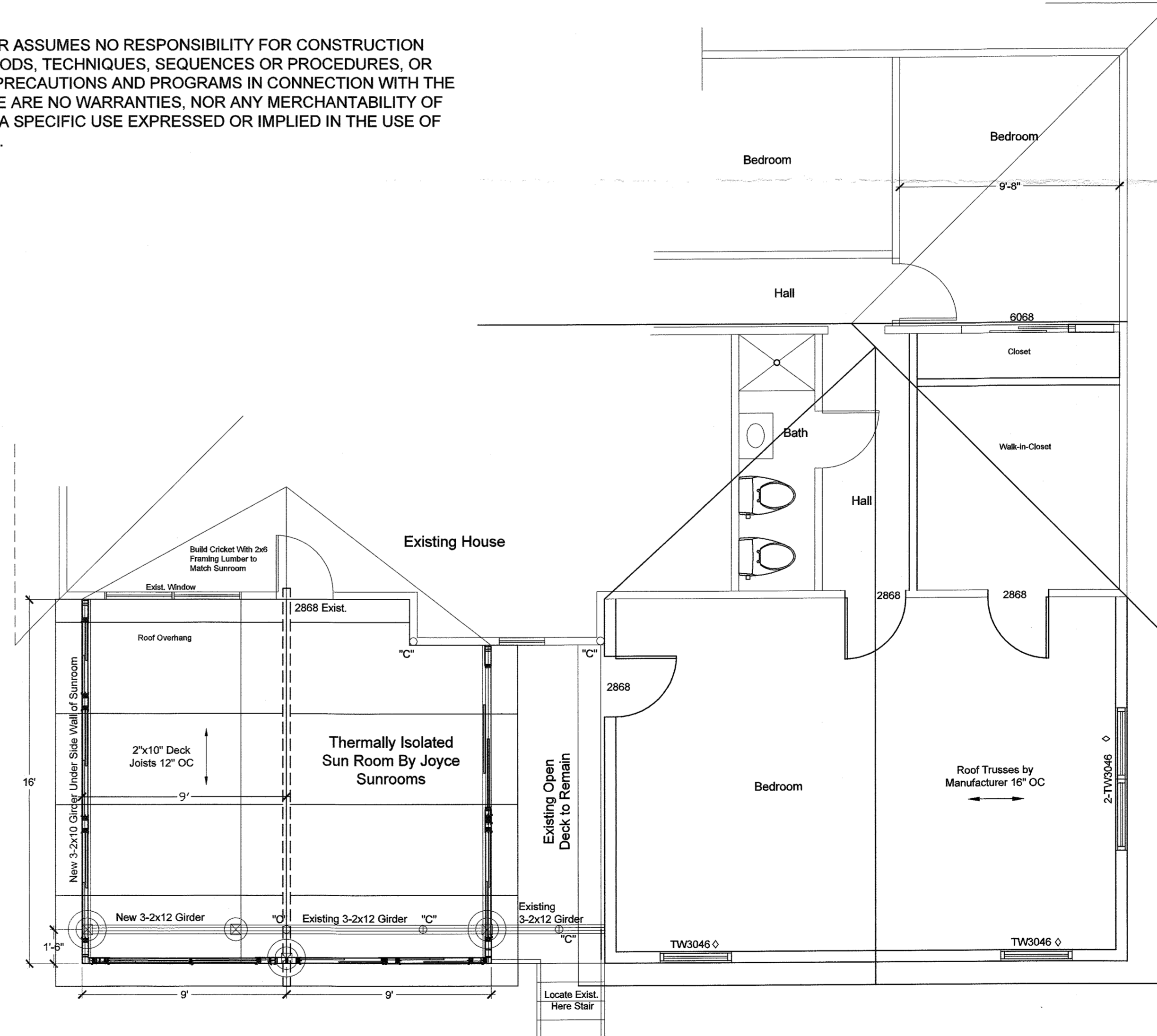
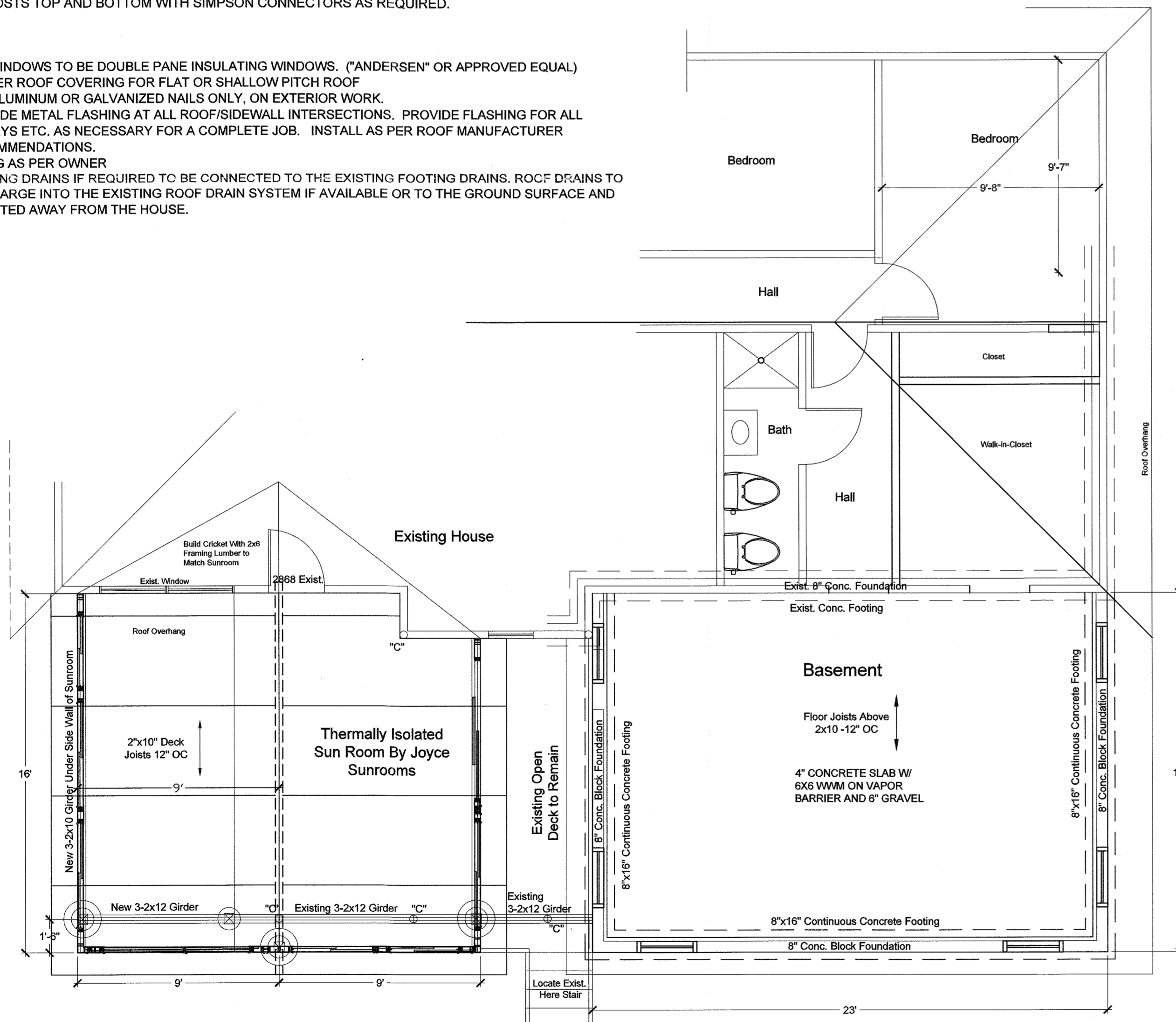
Ground Snow Load	Wind Design				Seismic Design Category	Subject to Damage From			Winter Design Temp.	Ice Shield Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temp.
	Speed MPH	Topographic Effects	Special Wind Region	Windborne Debris Zone		Weathering	Frost Line Depth	Termite					
30	115	No	Yes	No	B	Severe	48"	Moderate to Heavy	2	Yes	Local	1160	52.1

**ENERGY**

1. ENERGY CODE REQUIREMENTS: SEE RESCHECK
2. SEAL ALL PENETRATIONS; CAULK OPENINGS BETWEEN WALLS AND ROOF/CEILING. CAULK AND WEATHER-STRIP DOORS AND WINDOWS.
3. MINIMUM R-VALUE FOR PIPES CARRYING HOT WATER: 1" PIPE R= 3, 1.25" TO 4" PIPE R= 4.
4. ALL DUCTWORK IN UNHEATED AREAS TO BE INSULATED WITH A MINIMUM 1-1/2" FIBERGLASS INSULATION R-6.
5. CAULK ALL JOINTS EXPOSED TO THE WEATHER.
6. IN ENCLOSED FURNACE ROOMS, PROVIDE OUTSIDE FRESH AIR FOR COMBUSTION, SIZED TO BE BASED ON THE SIZE OF THE FURNACE.
7. DOMESTIC HOT WATER SYSTEM SHALL HAVE THERMOSTATIC CONTROLS WITH MAXIMUM 140-DEGREE WATER TEMPERATURE CAPABLE OF ADJUSTMENT FROM LOWEST TO HIGHEST ACCEPTABLE TEMPERATURE SETTING. ALL SYSTEMS SHALL HAVE A VALVE OR SWITCH WHICH SHALL PREVENT TURNING OFF THE ENERGY IN THE HEATING SYSTEM.
8. PROVIDE SEPARATE HEATING ZONES FOR EACH FLOOR. EXTEND THE EXISTING HEATING SYSTEM INTO THE ADDITION.
9. ALL GAS OR OIL FIRED HEATING EQUIPMENT MUST HAVE COMBUSTION EFFICIENCY IN EXCESS OF 84%. ALL SYSTEMS TO BE THERMOSTATICALLY CONTROLLED AND EACH ZONE TO HAVE ITS OWN THERMOSTAT WITH MANUAL AND/OR AUTOMATIC CONTROL FOR REDUCING ENERGY CONSUMPTION IN PERIODS OF NON-USE.
10. FIREPLACE (WHEN APPLICABLE) PROVIDE FRESH AIR FROM THE EXTERIOR 6"x6" FROM BOTTOM OR 2-4"x4" AT THE SIDES.
11. SLAB EDGE INSULATION SHALL EXTEND FROM THE TOP OF THE SLAB TO EITHER A MINIMUM DEPTH OF 24" OR TO THE BOTTOM OF THE SLAB THEN HORIZONTALLY BENEATH THE SLAB FOR A MINIMUM TOTAL DISTANCE OF 24"
12. PROVIDE WATER SAVING PLUMBING FIXTURES, INCLUDING TOILETS ETC.
13. PROVIDE AN ADDITIONAL ZONE TO THE EXISTING HEATING SYSTEM.
14. The existing mechanical system shall be evaluated for adequacy by qualified industry personnel or a registered design professional. Additions shall not cause an existing system to become unsafe, hazardous or overloaded.
15. Additions to any plumbing system shall conform to the requirements for a new plumbing system without requiring the existing plumbing system to comply with all the requirements of this code. Additions shall not cause an existing system to become unsafe, unsanitary or overloaded.
16. Any addition to an existing electrical system shall be made in conformity with the provisions of NYS Building Code and the National Electrical Code. No portion of the existing system to have loads exceeding those permitted by the code.

THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL FIELD DIMENSIONS AND MATCH TO THE PROPOSED ADDITION.

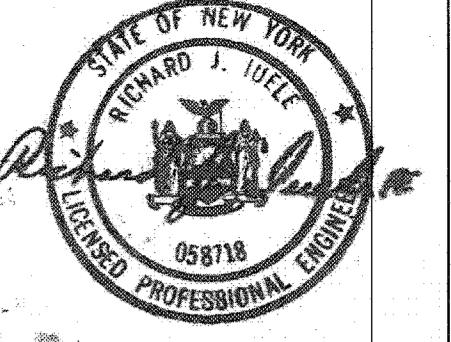
THE ENGINEER ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THERE ARE NO WARRANTIES, NOR ANY MERCHANTABILITY OF FITNESS FOR A SPECIFIC USE EXPRESSED OR IMPLIED IN THE USE OF THESE PLANS.



THESE PLANS ARE FOR THE INTENDED USE BY A COMPETENT CONTRACTOR ONLY. CONTRACTOR SHOULD HAVE AN UNDERSTANDING OF THE NYS BUILDING CODE AS WELL AS BE EXPERIENCED WITH WOOD FRAME CONSTRUCTION.

It is a violation of the law for any person, unless acting under the direction of a licensed professional, to alter an item in any way. If an item bearing the seal of a licensed professional is altered, the altering licensed professional shall affix to their item their seal and the notation "altered by" followed by their signature and the date of such alteration, and a specific description of the alteration.

NEW YORK STATE



date: 2/27/2023

Revised:

RICHARD J. IUELE, P.E.

39 TRENTON ROAD  
FISHKILL NY, 12524

ADDITION AND PLAN

CHAVES RESIDENCE

18 ERIE STREET  
BLAUVELT, NY

dwg:

project:

job no:

drwn by:

scale:

As noted

dwg no:

A

2 of 2