

Historical Areas Board of Review(HABR)

Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 667 Oak Tree Rd. Palisades Section/Block/Lot: 78.17-2-31

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:	Charcoal Gray	Architectural Shingles	Timberline Lifetime
Siding:	Horizontal	Hardie Plank	Rich Espresso
Decorative Siding:			
Soffits & Fascia:	HC-168 Chelsea Gray	Wood or Azek	
Gutters & Leaders:	① Copper ② Bronze	Metal	TBD - 1/2 round
Windows:	Bronze	Clad	Marvin or Ego
Trim:	HC-168 Chelsea Gray	Wood or Azek	
Shutters:	none		
Front Door:	Bronze/glass	Clad/Glass	Marvin or Ego
Side Back Door:	Bronze	Clad/Glass	Marvin or Ego
Garage Door(s):	—		
Other Door(s):	—		
Lighting:	Gloss Mist Blue	Bronze or Gunmetal	Revolution Carson Goose-neck Sconces
Lighting:			
Stone or Rock being used on Structure:	—		
Stone or Rock being used on walkway(s):	Bluestone		
Other:			
POOL	BLUESTONE COPING BLUESTONE PATIO		

POOL LIGHTS (INSIDE) PENTAIR MICRO WHITE LED ④
POOL FINISH (INSIDE) HYDRAZZO, GRECIAN WHITE

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2023 LAND USE BOARD APPLICATION

Please check all that apply:	
<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: POOLR-3074-23

ASSIGNED

INSPECTOR: Glenn

Referred from Planning Board: YES / NO

If yes provide date of Planning Board meeting: _____

Project Name: CAMPBELL

Street Address: 667 OAK TREE RD PALISADES NY 10964

Tax Map Designation:

Section: 78.17 Block: 2 Lot(s): 31

Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the EAST side of OAK TREE RD, approximately 500 feet NORTH of the intersection of CLOSTER ROAD, in the Town of Orangetown in the hamlet/village of PALISADES.

Acreage of Parcel 79,723 sqft (1.83)

School District SOUTH ORANGETOWN

Ambulance District SOUTH ORANGETOWN

Water District TOWN OF ORANGETOWN

Zoning District R40

Postal District PALISADES

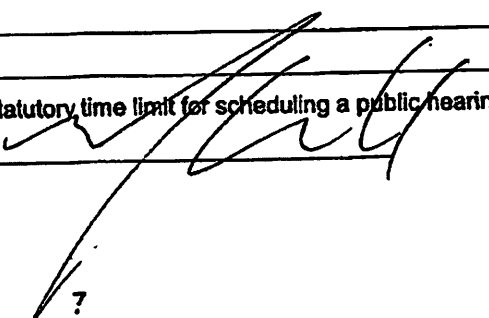
Fire District SPARKILL-PALISADES

Sewer District TOWN OF ORANGETOWN

Project Description: (If additional space required, please attach a narrative summary.)

IN GROUND POOL AND CABANA

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 5/15/23 Applicant's Signature: 

APPLICATION REVIEW FORM

Applicant: MICHAEL CAMPBELL Phone # 845-359-3190

Address: 667 OAK TREE RD PALISADES NY 10964
Street Name & Number (Post Office) City State Zip Code

Property Owner: CAMPBELL Phone # 845-359-3190

Address: 667 OAK TREE RD PALISADES NY 10964
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: THOMAS SKRABLE Phone # 201-529-5010

Address: 65 RAMAPO VALLEY RD MAHWAH NJ 07430
Street Name & Number (Post Office) City State Zip Code

Attorney: _____ Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

Contact Person: CEIL PIESCO Phone # 845-352-0110

Address: 85 S PASCACK RD NANUET NY 10954
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

_____ State or County Road
_____ Long Path
_____ Municipal Boundary

_____ State or County Park
_____ County Stream
_____ County Facility

List name(s) of facility checked above:

Referral Agencies:

_____ RC Highway Department
_____ RC Drainage Agency
_____ NYS Dept. of Transportation
_____ NYS Thruway Authority
_____ Adjacent Municipality _____
_____ Other _____

_____ RC Division of Environmental Resources
_____ RC Dept. of Health
_____ NYS Dept. of Environmental Conservation
_____ Palisades Interstate Park Commission

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 79,723
- 2) Total square footage _____
- 3) Number of dwelling units 1

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

FEDERAL WETLANDS

Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

<u>78.17-2-30</u>	<u>78.17-2-32</u>
<u>78.17-2-27</u>	<u>78.17-2-33</u>

#IS	PRINT KEY	NAME	ADDRESS
489	78.17-2-12	Guy Raoul	668 Oak Tree Rd,Palisades, NY 10964
489	78.17-2-13	Sunthorn Bunyaviroch	672 Oak Tree Rd,Palisades, NY 10964
489	78.17-2-22	Palisades Free Library	19 Closter Rd,Palisades, NY 10964
489	78.17-2-23	Teri R Zehentner	21 Closter Rd,Palisades, NY 10964
489	78.17-2-24	Jennifer A Crosby	23 Closter Rd,Palisades, NY 10964
489	78.17-2-25	Diane Donnelly	25 Closter Rd,Palisades, NY 10964
489	78.17-2-26	Charles Hyun Choi	P.O. Box 54,Palisades, NY 10964
489	78.17-2-27	Emelyn DePalma	76 Fern Rd,Palisades, NY 10964
489	78.17-2-28	Pierre Rolland	685 Oak Tree Rd,Palisades, NY 10964
489	78.17-2-29	Sunny Park	679 Oak Tree Rd,Palisades, NY 10964
489	78.17-2-30	Palisades Community Center Inc	P.O. Box 222,Palisades, NY 10964
489	78.17-2-31	Quarter Waters LLC	888 7th Ave Fl 4,New York, NY 10106
489	78.17-2-32	Burke S Anderson	245 S Broadway,Nyack, NY 10960
489	78.17-2-33	Matthew Bartels	6 Post Ln,Palisades, NY 10964
489	78.17-2-34	Dorian Tunell	P.O. Box 591,Palisades, NY 10964
489	78.17-2-35	Abhineet Soni	43 Carroll St,Brooklyn, NY 11231
489	78.17-2-37	Roberta M Smith	645 Oak Tree Rd,Palisades, NY 10964
489	78.17-2-38	Carol Anne Knudson	35 Closter Rd,Palisades, NY 10964
489	78.17-2-39	Laraine Slavitt	41 Closter Rd,Palisades, NY 10964
489	78.17-2-40	Keith Buterbaugh	47 Closter Rd,Palisades, NY 10964
489	78.17-2-42	Matthew Bartels	6 Post Ln,Palisades, NY 10964

Guy Raoul
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Palisades NY 10964

Emelyn DePalma
76 Fern Rd
Palisades NY 10964

Dorian Tunell
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Nyack NY 10960

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Palisades NY 10964

Charles Hyun Choi
PO Box 54
Palisades NY 10964

Matthew Bartels
6 Post Lane
Palisades NY 10964

Matthew Bartels
6 Post lane
Palisades NY 10964

May 17, 2023

Orangetown Building Department
20 Greenbush Rd
Orangeburgh Ny 10962

Re: Pool equipment coverage

To Whom it may Concern:

Tree/strubs will be planted by the landscaper to cover the pool equipment at 667 Oak Tree rd. Palisades NY 10964.

Kind regards,

Ceil Piesco
Cool Pool Representative
85 S Pascack Rd
Nanuet NY 10954

May 15, 2023

Building Department
20 Greenbush Rd.
Orangeburg NY 10962

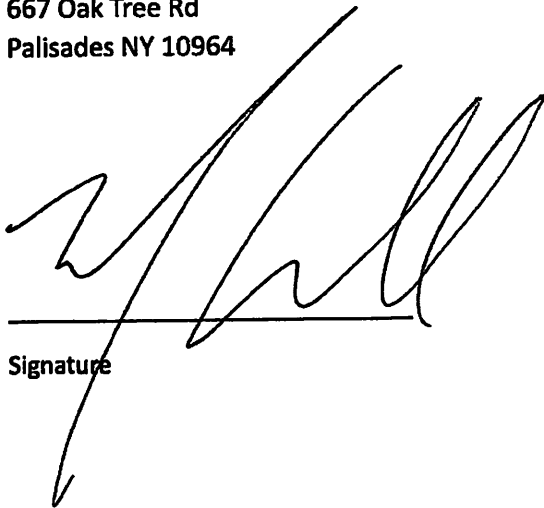
Re: Proposed additions and alterations at 667 Oak Tree Rd.

To Whom it May Concern:

I, Michael Campbell, give my authorization to have Meg Fowler appear in front of the any of the Town Boards as may be required for proposed work on my property at 667 Oak Tree Rd.

Kind regards,

Michael Campbell
667 Oak Tree Rd
Palisades NY 10964

A handwritten signature in black ink, appearing to be 'Michael Campbell', written over a horizontal line. The signature is stylized with large, sweeping loops.

Signature

5/15/23
Date



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE HISTORICAL AREAS BOARD OF REVIEW

Date: 4.13.23 Section: 78.17 Block: 2 Lot: 31

Applicant: Campbell

Address: 667 Oak Tree Rd, Palisades, NY

RE: Application Made at: same

Referred For: § Section 12-4 (A) requires HABR Approval

Comments:

Cabana and Pool with Patio


Dear Campbell:

Please be advised that the Building Permit Application # p23-3074, which you submitted on 4.11.23, has been referred to the Historical Areas Board of Review. The Clerk to the Historical Areas Board of Review, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com

Sincerely,


Richard Oliver
Deputy Building Inspector

4/13/23


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
4-30-2023 JSA

4/13/23
Date
Liz DeCort
Debbie Arbolino

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.
APPLICATION FOR BUILDING / DEMOLITION PERMIT

TOWN OF ORANGETOWN

20 Greenbush Road, Orangetown, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: R-40 OFFICIAL USE ONLY ACREAGE: 1.8
Inspector: Alen Date App Received: 04-11-23 Received By: L12
Permit No. POOL-3074-23 Date Issued: _____
CO No. _____ Date Issued: _____
Permit Fee: \$10738 Ck# 11228 Paid By: COOL POOL INC
GIS Fee: \$220 Ck# _____ Paid By: _____
Stream Maintenance Fee Ck# _____ Paid By: _____
Additional Fee: _____ Ck# _____ Date Paid: _____ Paid By: _____
1st 6 mo. Ext.: _____ Ck# _____ Exp. Date: _____ Paid By: _____
2nd 6 mo. Ext.: _____ Ck# _____ Exp. Date: _____ Paid By: _____

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application,
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: _____

Property Location: 667 OAK TREE RD PALISADES NY 10964
Section: 78.17 Block: 2 Lot: 31
Property Owner: MICHAEL CAMPBELL
Mailing Address: 667 OAK TREE RD PALISADES NY 10964
Email: KIANA.WATKINS@NBCUNI.COM Phone #: 845-359-3190
Lessee (Business Name): _____
Mailing Address: _____ Phone #: _____
Email: _____
Type of Business / Use: _____
Contact Person: CEIL PIESLO Relation to Project: POOL BUILDER
Email: PERMITS@COOLPOOL.COM Phone#: 845-352-0110
Architect/Engineer: THOMAS SKRABIE NYS Lic # 075377
Address: 65 RAMMO VALLEY RD MAHWAH NJ 07430 Phone#: 201-524-5010
Builder/General Contractor: COOL POOL RC Lic # 11-01490
Address: 85 S. PASCALK RD NANUET NY 10927 Phone#: 845-352-0110
Plumber: H & R PLUMBING RC Lic # P511
Address: 53 MASSACHUSETTS AVE GINGER NY 10920 Phone#: 845-843-0548
Electrician: EZ ELECTRIC RC Lic # E-00435
Address: 526 HIGHLAND AVE NYACK NY 10960 Phone#: 845-644-1330
Heat/Cooling: _____ RC Lic#: _____
Address: _____ Phone#: _____
Existing use of structure or land: _____
Proposed Project Description: IN GROUND POOL AND CABANA
Proposed Square Footage: 1428 Estimated Construction Value (\$): 367,000

Proposed Project Description: _____

Proposed Square Footage: _____ Estimated Construction Value (\$): _____

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____

PERMIT REFERRED / DENIED FOR:

Chapter 12, Section 12-4(A) Requires NABR approval

4/13/23 4-13-23
Historic

FOR OFFICE
USE ONLY

SECTION

BLOCK

LOT

NAME

PERMIT#

SCANNED

APR 11 2023

2023

GENERAL NOTES:

- 1. ALL CONSTRUCTION METHODS SHALL CONFORM TO THE TOWN OF ORANGETOWN BUILDING CODE, THE 2020 NEW YORK STATE STRETCH RESIDENTIAL BUILDING CODE AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- 2. ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. CONTRACTOR TO NOTIFY OWNER/ ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
- 3. UPGRADE EXISTING ELECTRICAL AS REQ'D, INCLUDING SERVICE, DEDICATED CIRCUITS, GFIC OUTLETS IN KITCHEN & BATHS, AS REQ'D TO MEET ALL APPLICABLE CODES AND SAFETY STANDARDS. ALL WORK TO BE PERFORMED BY A CONTRACTOR LICENSED IN ROCKLAND COUNTY.
- 4. UPGRADE ALL PLUMBING SUPPLY LINES, PROVIDE VENTING AND MAINTAIN CONSTANT SLOPE IN ALL WASTE LINES. PROVIDE NEW MINI-SPLIT HVAC TO CONDITION THE SPACE TO MEET STANDARD HEATING REQUIREMENTS. ALL PLUMBING WORK TO BE PERFORMED TO MEET ALL APPLICABLE CODES BY A PLUMBING CONTRACTOR LICENSED IN ROCKLAND COUNTY.

DEMOLITION NOTES:

- 1. ALL EXISTING CONSTRUCTION TO REMAIN TO BE SHORED ADEQUATELY WITH TEMPORARY BRACING PRIOR TO ANY REMOVALS.
- 2. CONTRACTOR TO TAKE EXTREME CAUTION NOT TO DAMAGE ANY WORK TO REMAIN.
- 3. CONTRACTOR TO BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEMOLISHED MATERIAL AND CONSTRUCTION DEBRIS. DEBRIS, DUST AND DIRT TO BE KEPT TO A MINIMUM, AND TO BE CLEARED FROM SITE PERIODICALLY TO PREVENT EXCESSIVE ACCUMULATION.
- 4. AT AREAS TO RECEIVE NEW FINISH FLOORING, REMOVE ALL EXISTING FLOORING. REPAIR, LEVEL AND PREPARE SURFACE TO RECEIVE NEW FINISHES - TYPICAL.
- 5. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY UNFORESEEN STRUCTURAL CONDITIONS, THESE CONDITIONS TO BE REVIEWED BY ARCHITECT AND A STRUCTURAL ENGINEER IF NECESSARY TO DETERMINE ANY FURTHER ACTION REQUIRED.

DESIGN LOADS (Micucci Engineering):

FLOOR LOADS:per ASCE 7-10

- DEAD LOAD: 12 PSF - 2X10 JOIST AT 16" O.C., 3/4" SUBFLOOR & MISC.
- LIVE LOAD: 30 PSF - HABITABLE ATTICS & SLEEPING AREA
- 40 PSF - ALL OTHER AREAS EXCEPT STAIRS
- UNOCCUPIED ATTIC SPACE: 5 PSF DL + 20 PSF LL = 25 PSF

ROOF LOADS:

- DEAD LOAD: 20 PSF - 2x10S AT 16"oc 5/8" SHEATHING & SHINGLE ROOFING
- LIVE LOAD: 30 PSF

ASCE 7-10 DESIGN CRITERIA

ROOF SNOW LOADS:

- GROUND SNOW LOAD (Pg): 30 PSF
- FLAT ROOF SNOW LOAD (Pf): 21.0 PSF
- SNOW EXPOSURE FACTOR (Ce):1.0
- SNOW LOAD IMPORTANCE FACTOR (Is): 1.0
- THERMAL FACTOR (Ct): 1.0

WIND LOADS:

- ULTIMATE DESIGN WIND SPEED (Vult): 115 MPH
- RISK CATEGORY: II
- WIND EXPOSURE CATEGORY: B
- INTERNAL PRESSURE COEFFICIENT: +/- 0.18

TABLE R301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD ^a	WIND DESIGN				SEISMIC DESIGN CATEGORY ^f	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP ^g	ICE BARRIER UNDERLAYMENT REQUIRED ^h	FLOOD HAZARDS ⁱ	AIR FREEZING INDEX ^j	MEAN ANNUAL TEMP ^k
	Speed ^d (mph)	Topographic effects ^a	Special wind region ^f	Windborne debris zone ^m		Weathering ^a	Frost line depth ^b	Termite ^c					
30 psf	115	NO	YES	NO	B	SEVERE	3'-6"	MODERATE TO HEAVY	10 ^h F	YES	YES	1500	49.6 ^k F

CONSTRUCTION NOTES:

- 1. ALL DIMENSIONS GIVEN ARE TO FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED.
- 2. PARTITIONS SHOWN ALIGNED WITH EXISTING CONSTRUCTION SHALL BE FLUSH AND SMOOTH WITH EXISTING SURFACES U.O.N.
- 3. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
- 4. ALL FRAMING MEMBERS SHALL BE DOUGLAS FIR NO. 2 OR BETTER, SURFACE DRY WITH 19% MAX MOISTURE CONTENT. FB = 850 PSI MIN., FV- = 95 PSI, FC = 625 PSI, E = 1,600,000 PSI.
- 5. ALL FRAMING MEMBERS (LEDGERS, SILL PLATES, ETC.) THAT TIE NEW CONSTRUCTION INTO EXISTING ARE TO BE SECURED WITH 3/8" x 5" (MIN.) LAG BOLTS @ 16" O.C. MIN. INTO EXISTING HOUSE STRUCTURAL FRAMING (NOT SHEATHING ONLY).
- 6. INSTALL FIRE-BLOCKING WHEREEVER POSSIBLE IF EXISTING STRUCTURE IS BALLOON FRAMING THAT BECOMES EXPOSED AT SECOND FLOOR LEVEL.
- 7. ALL ENGINEERED FRAMING MEMBERS ARE TO BE BY TRUS JOIST WEYERHAEUSER OR APPROVED EQUAL.
- 8. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC. UNLESS SPECIFICALLY NOTED OR APPROVED BY THE ARCHITECT OR STRUCTURAL ENGINEER IN ADVANCE.
- 9. ALL **STRUCTURAL LUMBER** AND FASTENINGS SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF TABLE 2304.9.1 OF THE IBC, LATEST EDITION.
- 10. **ROOF SHEATHING** SHALL BE 19/32" MIN. A.P.A. RATED SHEATHING 32/16 EXPOSURE I. LAY FACE GRAIN AT RIGHT ANGLE TO SUPPORTS. PROVIDE 1/8" SPACE BETWEEN SHEETS AT END AND SIDE JOINTS. SHEATHING SHALL BE CONTINUOUS OVER A MIN. OF TWO SPANS. PROVIDED 10D COMMON NAILS AT 6" OC ALONG SUPPORTED EDGES AND 12" OC ALONG INTERMEDIATE SUPPORTS. PROTECT ROOF SHEATHING FROM MOISTURE UNTIL ROOFING IS INSTALLED.
- 11. INSTALL NEW WINDOWS & DOORS AT NEW LOCATIONS AS SHOWN ON PLANS; PATCH & REPAIR EXISTING WALLS & EXTERIOR CLADDING AS REQ'D.
- 12. INSTALL NEW 5/8" G.W.B. @ ALL NEW INTERIOR WALLS & CEILINGS, U.O.N. PATCH, REPAIR AND/OR PREPARE ALL EXISTING CONSTRUCTION AT AREAS TO ACCEPT NEW, AND WHERE AFFECTED BY DEMOLITION AND CONSTRUCTION.
- 13. INSTALL FINISH FLOORING OVER 3/4" T&G PLYWOOD SUBFLOOR - TYP UON.
- 14. ALL NEW INTERIOR DOORS TO BE SOLID WOOD paneled doors TO MATCH EXISTING AS CLOSELY AS POSSIBLE. HARDWARE TO MATCH EXISTING, REVIEW WITH OWNER.
- 15. ALL INSTALLATION OF MATERIALS, DEVICES, APPLIANCES, FIXTURES, ETC. TO BE AS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS AND AS PER ALL APPLICABLE CODES.
- 16. PROVIDE VAPOR BARRIER AT EXTERIOR SIDE OF ALL NEW CONCRETE FOUNDATION WALLS CONTINUOUSLY FROM FOOTING TO TOP OF GRADE.

LIST OF DRAWINGS

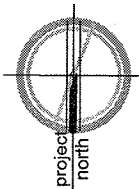
- A-0.0 GENERAL NOTES
- A-1.1 FIRST FLOOR PLAN
- A-1.2 FIRST FLOOR - POWER & LIGHTING
- A-2.1 ROOF FRAMING PLAN
- A-3.1 EXT. ELEVATIONS (EAST & NORTH)
- A-3.2 EXT. ELEVATIONS (WEST & SOUTH)
- A-4.1 INT. ELEVATIONS
- A-4.2 INT. ELEVATIONS
- A-5.1 WALL SECTION

ENERGY NOTES:

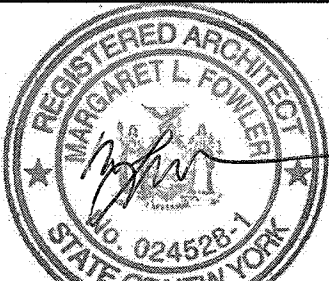
- 1. THIS BUILDING DESIGN IS BY ACCEPTABLE PRACTICE AND SHALL COMPLY WITH THE 2020 STRETCH NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
- 2. ALL INSTALLATIONS AND MATERIALS SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE ENERGY CODE.
- 3. ALL NEW CONSTRUCTION TO ACHIEVE THE FOLLOWING MIN. INSULATION VALUES: HIGH DENSITY BATT IN WALLS = R-21 AND FLOORS = R-30; COMBINATION CLOSED CELL SPRAY FOAM/ BATT INSULATION IN ROOF FRAMING = R-49.
- 4. WHEREEVER EXISTING FRAMING IS EXPOSED, INSTALL HIGH-DENSITY BATT INSULATION OR SPRAYED IN FOAM TO ACHIEVE HIGHEST R-VALUE POSSIBLE WITHIN EXISTING SPACE. FULLY SEAL ALL AIR PENETRATIONS
- 5. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED AND WEATHER-STRIPPED. ALL WINDOWS TO BE .32 U-VALUE OR LOWER WITH LOW E 2 ARGON INSULATED GLASS. ALL DOORS AND WINDOWS TO BE MARVIN, OR APPROVED EQUAL.
- 6. PROVED THERMAL ENVELOP WITH CONTINUOUS INSULATION AND AIR BARRIER AND SEAL ALL JOINTS, CORNERS, SILL PLATES, TOP PLATES AND PENETRATIONS PER SECTION R402 OF THE ENERGY CODE.

SMOKE DETECTOR NOTES:

- 1. PROVIDE (1) COMBINATION CARBON MONOXIDE & SMOKE DETECTOR PER DWELLING, LOCATED PER CODE.



architect
Margaret Fowler Architect LLC
500 North Broadway Upper Nyack, NY 10960
NYS License # 024528-1
t: (845) 680.9475
megfowlerarchitect@gmail.com



alterations and additions to
Campbell Residence
667 Oak Tree Road
Palisades, NY 10964

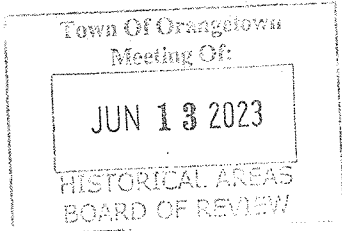
date:
04/05/23

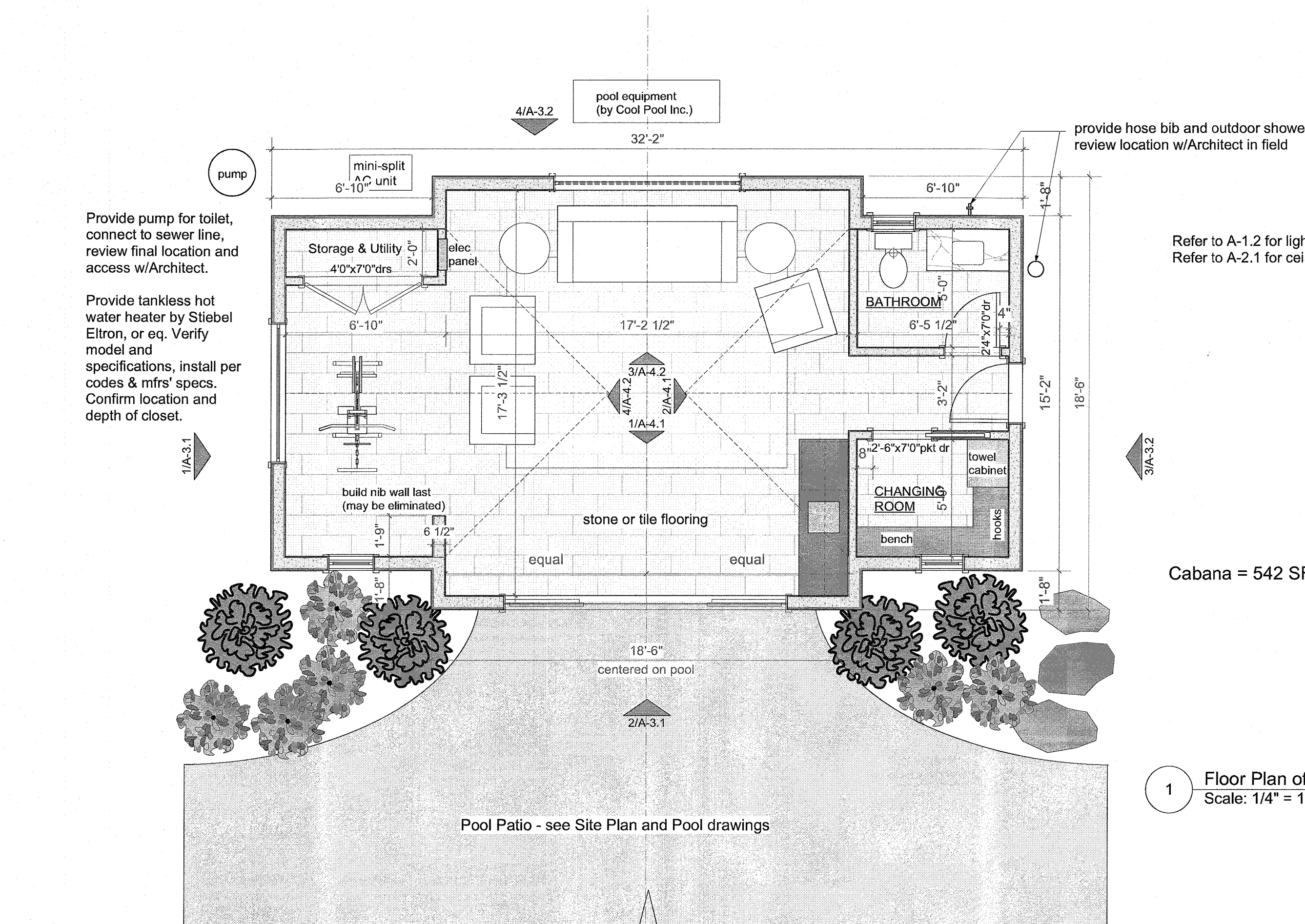
as noted

issue:

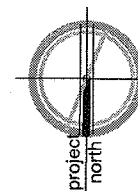
drawing no.

A-0.0

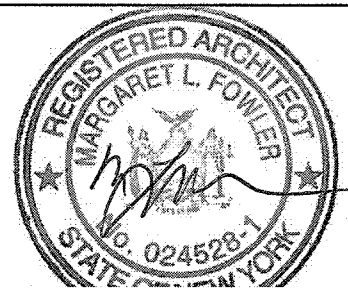




1 Floor Plan of Cabana
Scale: 1/4" = 1'-0"



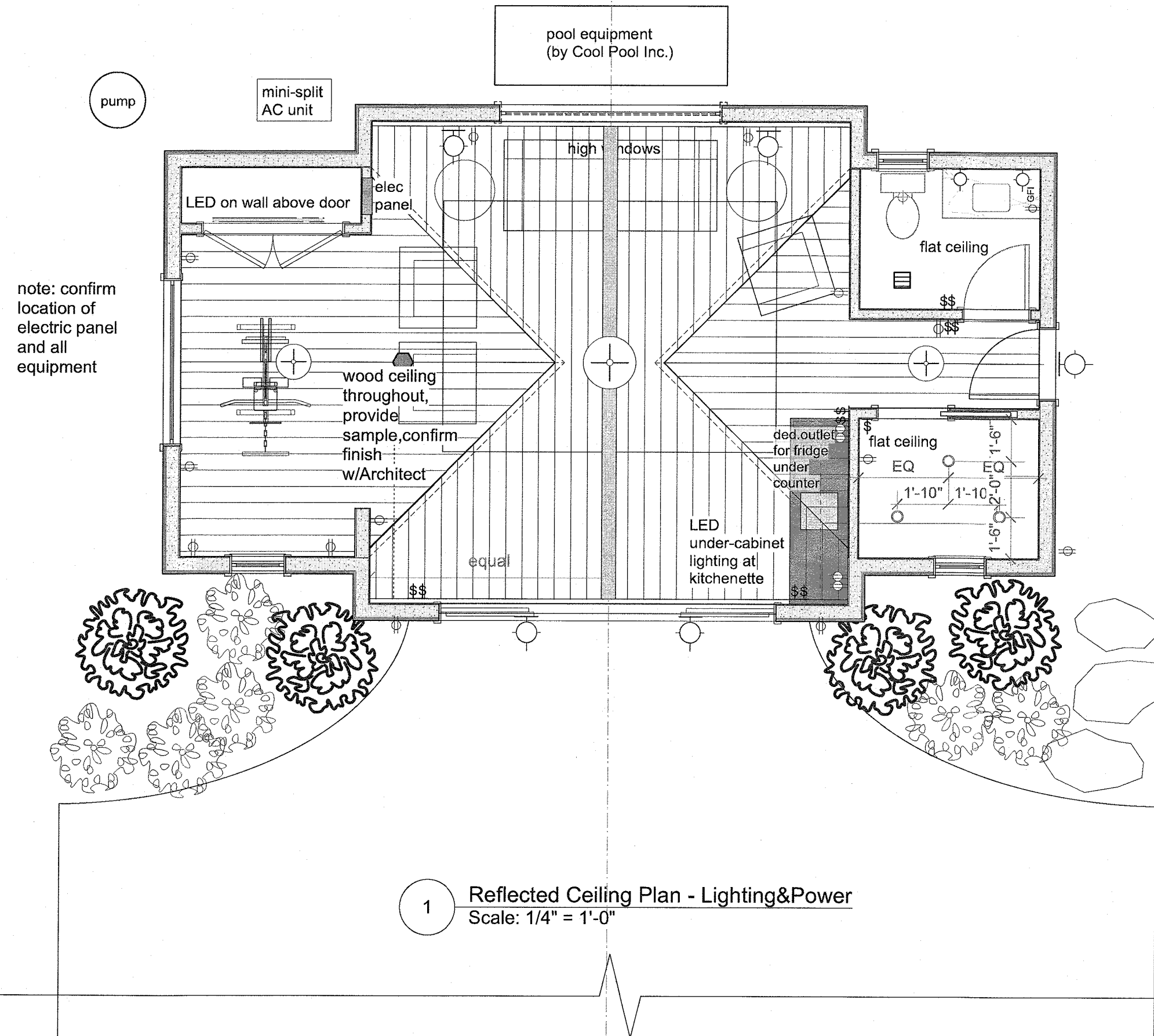
architect
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 as noted
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A-1.0

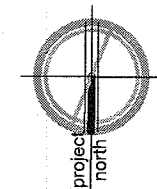


⌀	DUPLEX OUTLET
⌀ GFI	GROUND FAULT OUTLET
⊕	PENDANT LIGHT FIXTURE
⊕	CEILING FIXTURE, FLUSH MT'D
⊙	4" RECESSED DOWNLIGHT
●	LOW VOLTAGE HALOGEN
⊕	WALL SCONCE
---	LED STRIP LIGHTING
⊕	CEILING EXHAUST FAN
COAX CAT3 CAT5	PHONE, TV, INTERNET HOOKUP
\$	SWITCH
⬢	SMOKE DETECTOR
⊕	SPEAKER

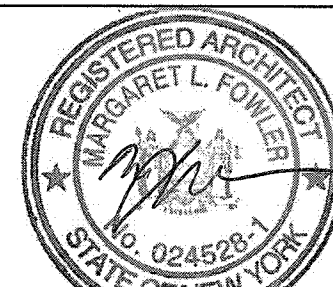
Cabana = 542 SF

General Lighting Notes:

1. Review and confirm all lighting and switch locations in field upon completion of framing w/Owner prior to final installation. All switches on dimmers. Ceiling pendant fixture(s) locations and qty to be confirmed upon fixture selection.
2. Install switches as close to door trim as possible to leave wall space for artwork - typical
3. Outlets shown on plan grouped with switches to be centered on wall below switch(es) at 12" AFF (typ)
4. Owner to review phone/cable/fiber optics/audio locations in field w/contractor prior to any installations.
5. Provide LED lighting within all closets mounted on wall above door (unless otherwise noted on plans) activated by motion sensors as allowed per ny state electrical code.
6. All electrical work to conform to chapter 38 of the most recent residential building code, upgrade as req'd.



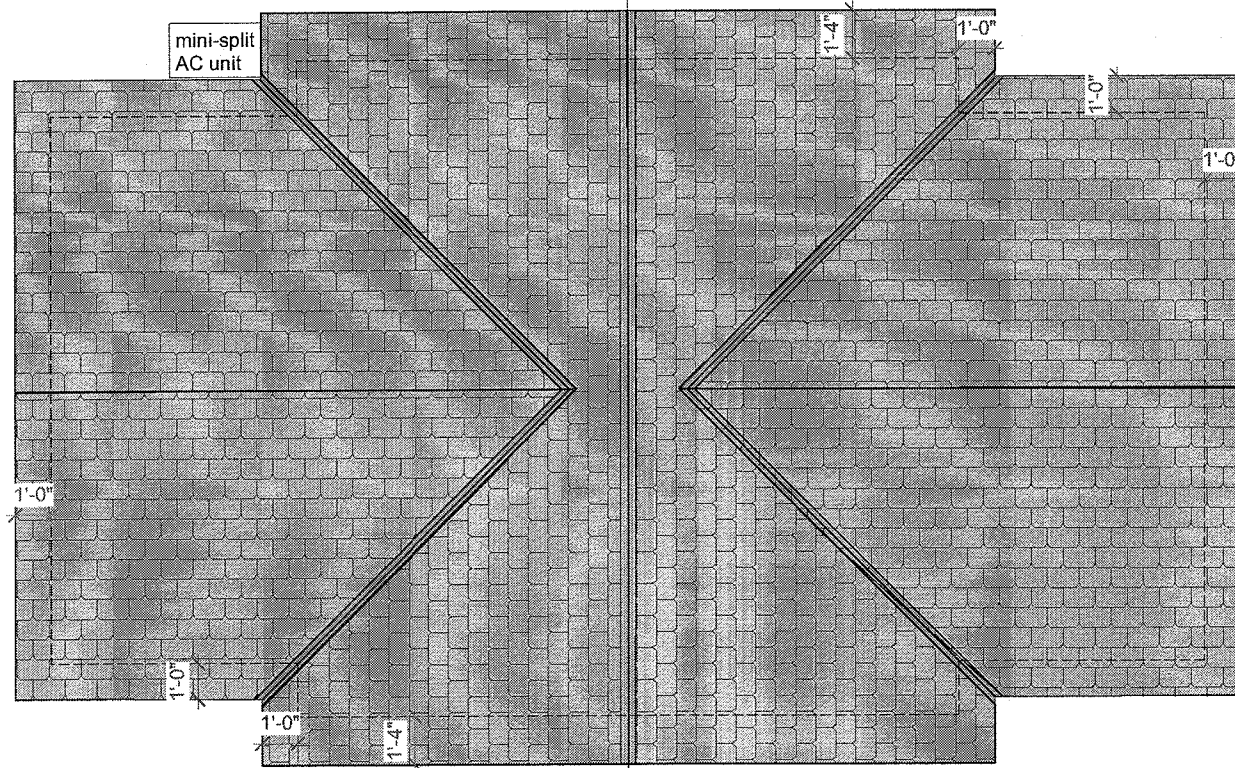
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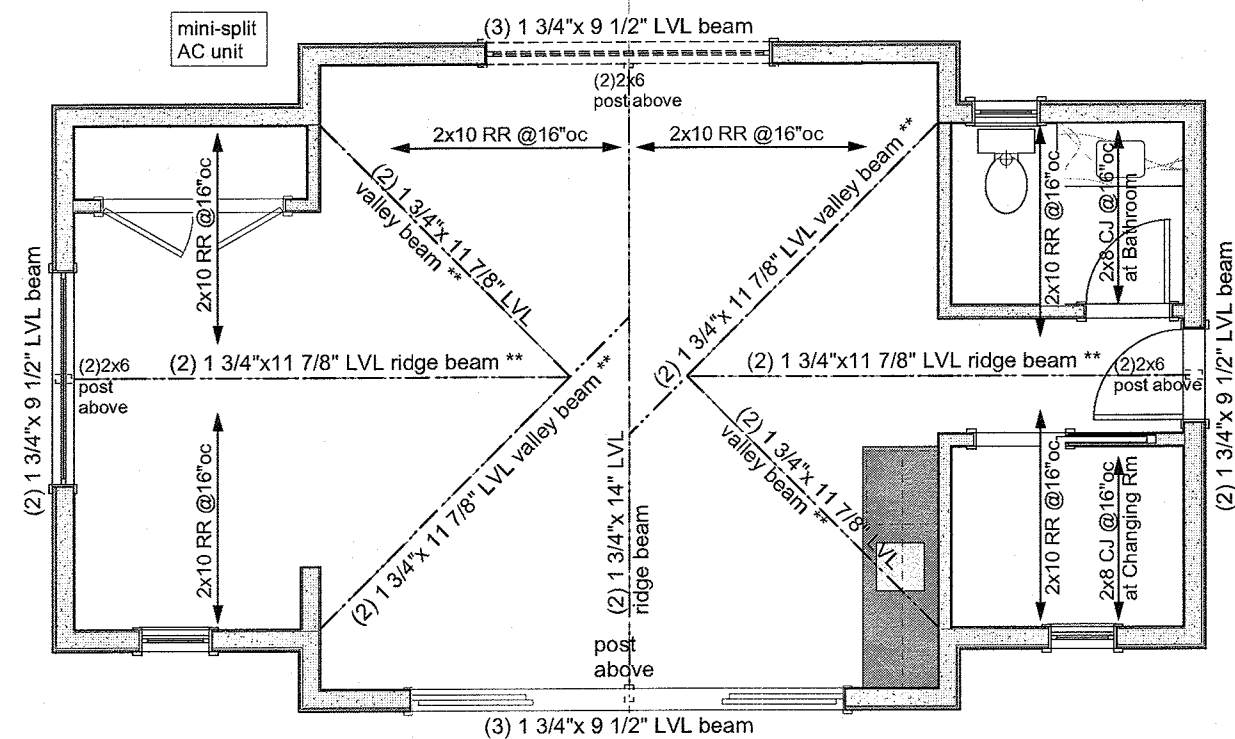
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Note: Timberline lifetime architectural shingles - color to match main house. Copper valleys and top ridge cap as shown.

1 **Roof Plan of Cabana**
Scale: 3/16" = 1'-0"

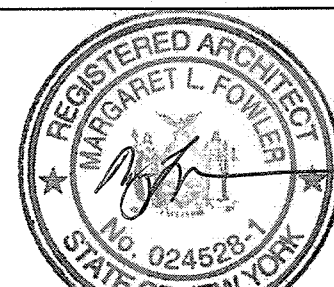


- Notes:
1. All windows to have (2)2x8 headers, UON.
 2. All headers and beams to bear on (2)2x6 posts.
 3. Simpson LCE post cap typical.
 4. ' * ' - provide AC4 post cap inverted.
 5. ' * * ' - provide slopeable/skewable rafter hangers and hip-ridge connectors (Simpson L55R/LSU or equal).

2 **Roof/Clg Framing Plan of Cabana**
Scale: 3/16" = 1'-0"



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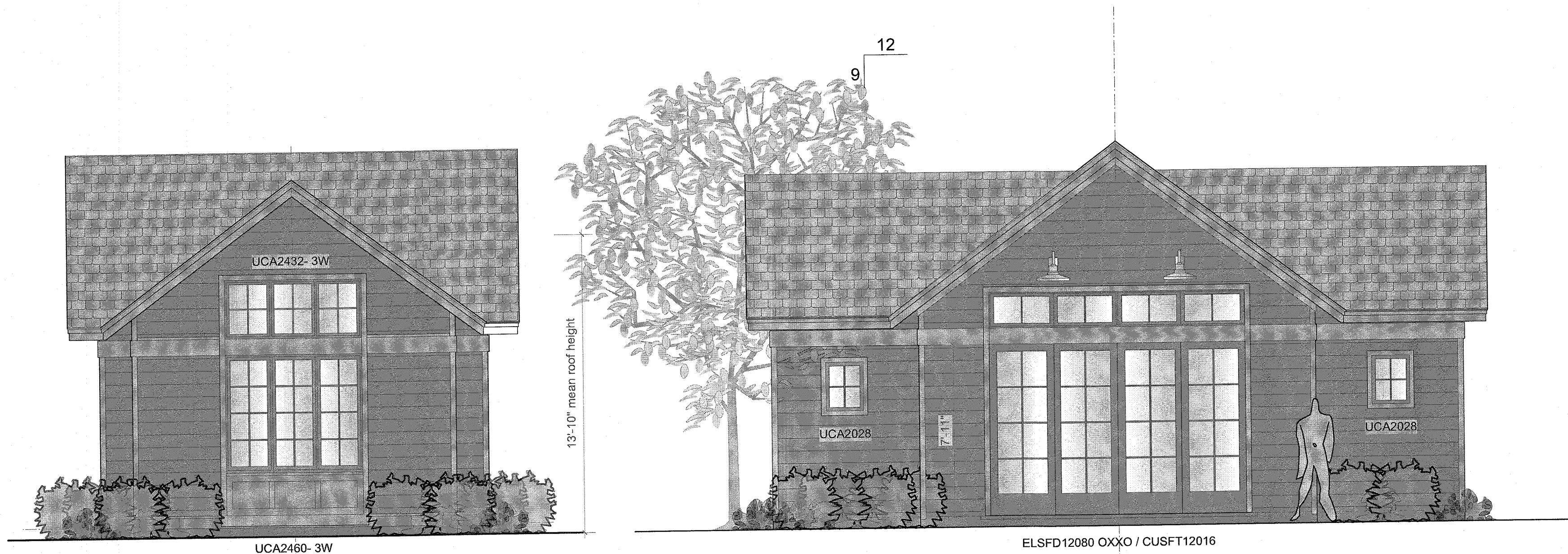
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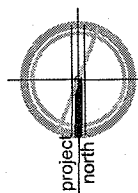
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A-2.0

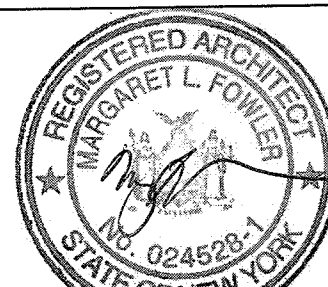


1 East Side Elevation
Scale: 1/4" = 1'-0"

2 North Elevation (front)
Scale: 1/4" = 1'-0"



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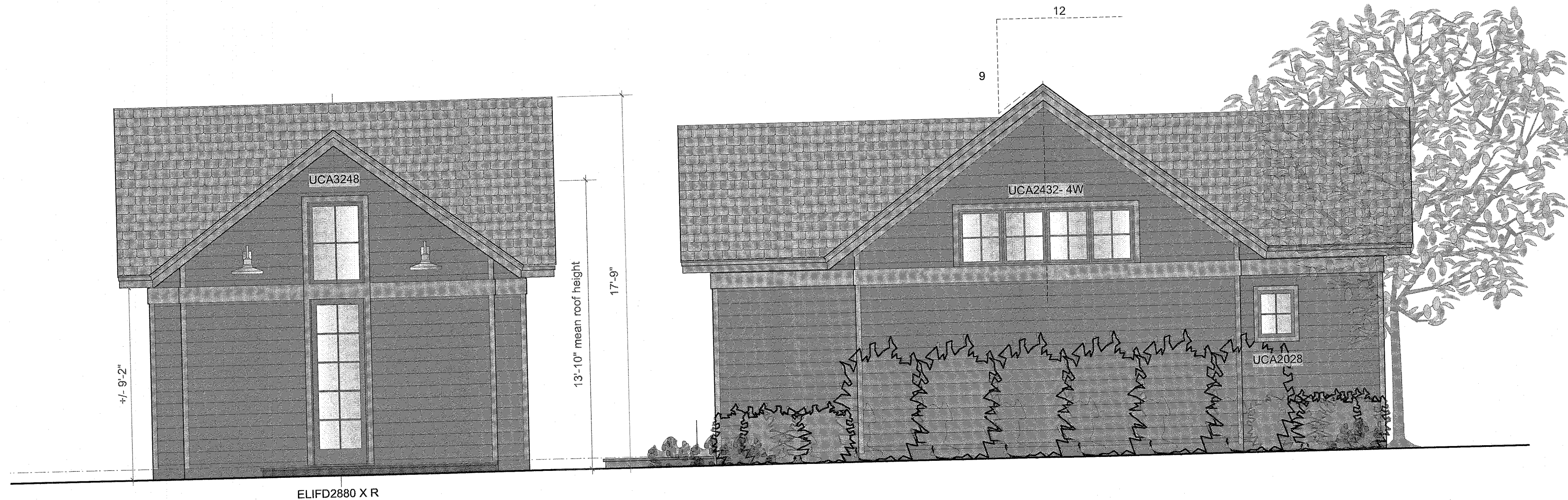
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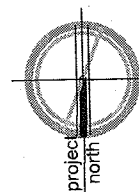
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A-3.1

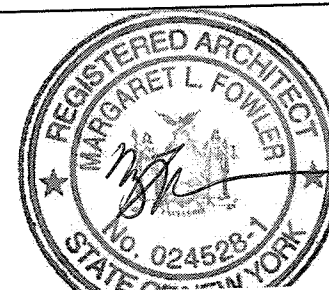


3 West Side Elevation
Scale: 1/4" = 1'-0"

4 South Elevation (back)
Scale: 1/4" = 1'-0"



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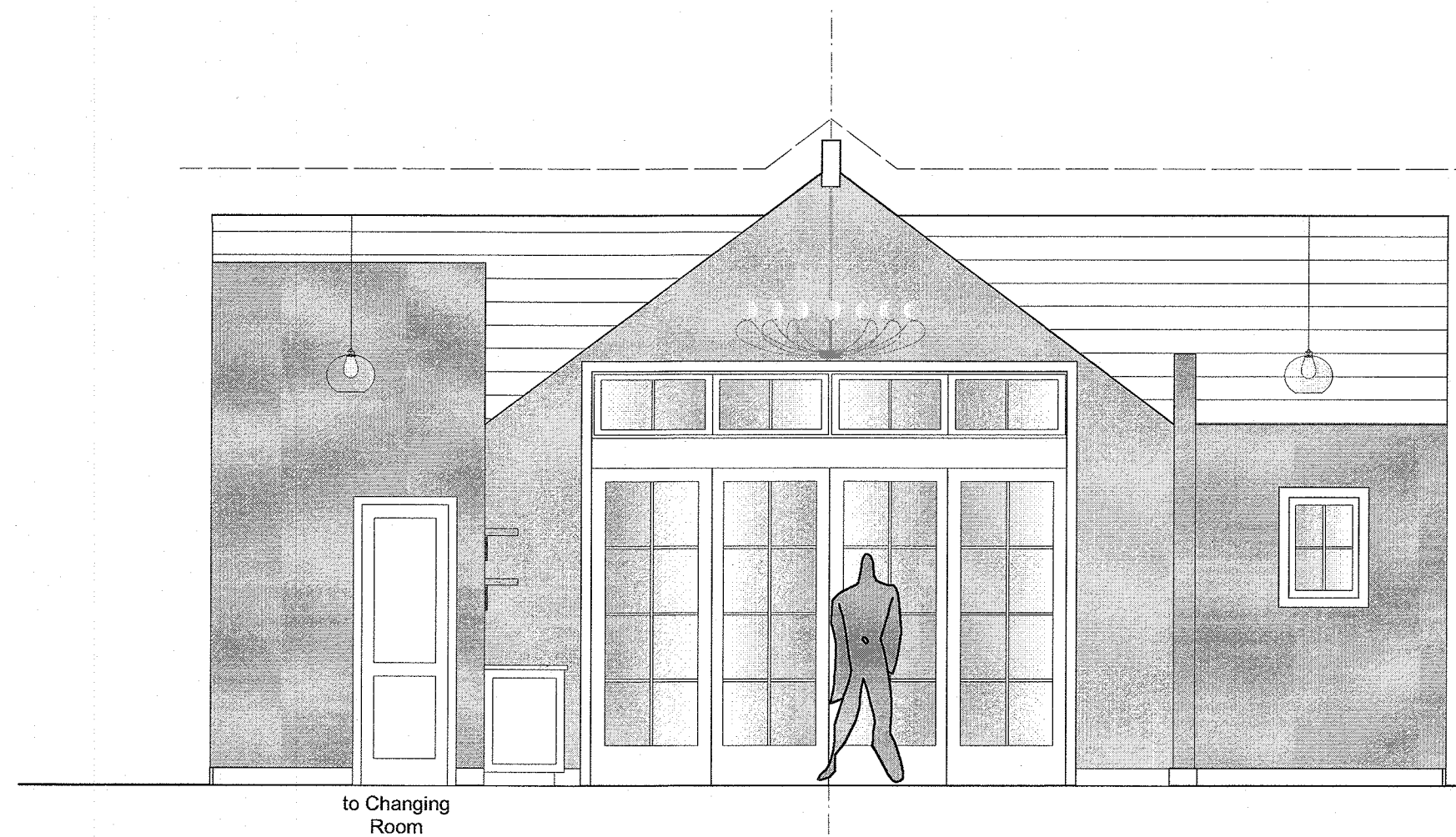


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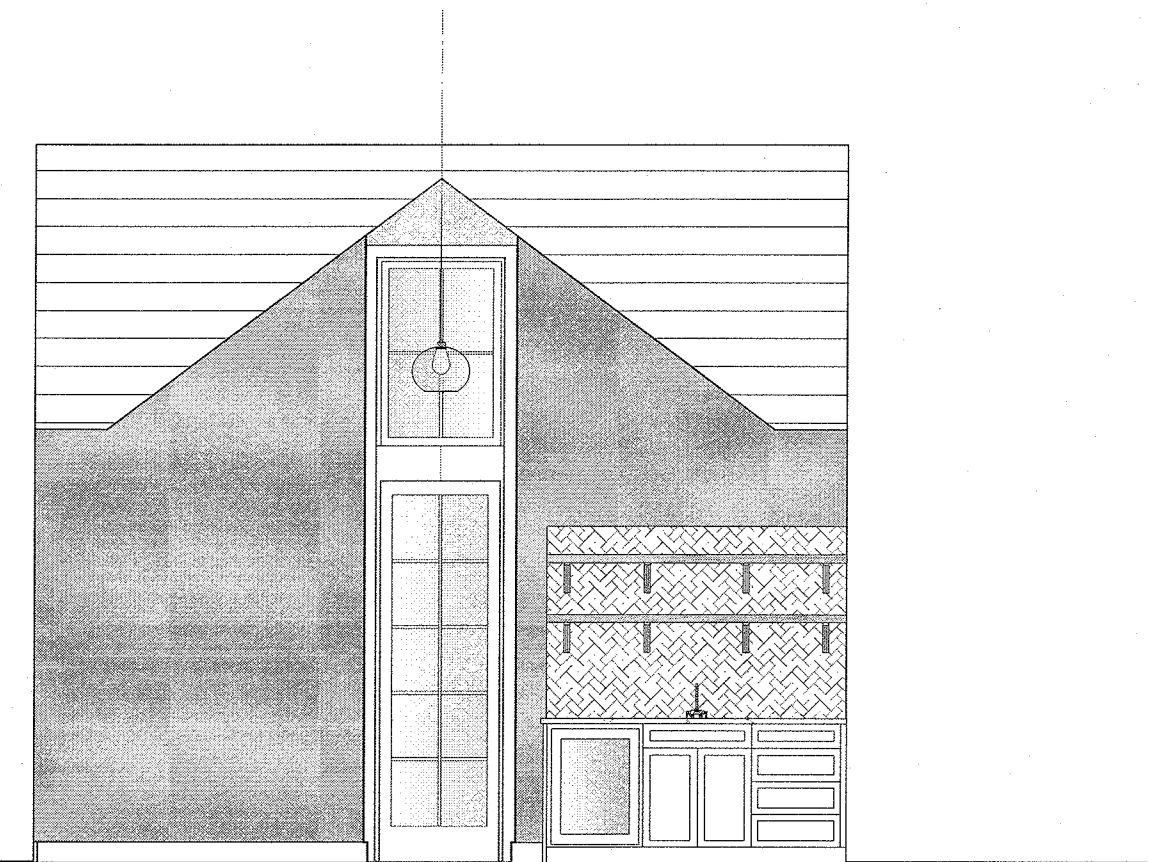
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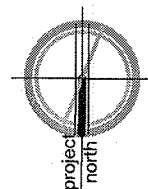
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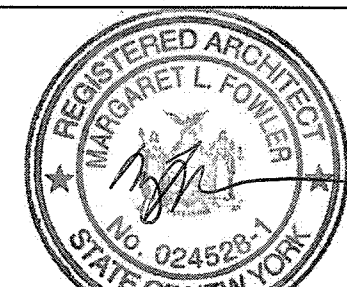
1 Interior Elevation looking North
Scale: 1/4" = 1'-0"



2 Interior Elevation looking West
Scale: 1/4" = 1'-0"



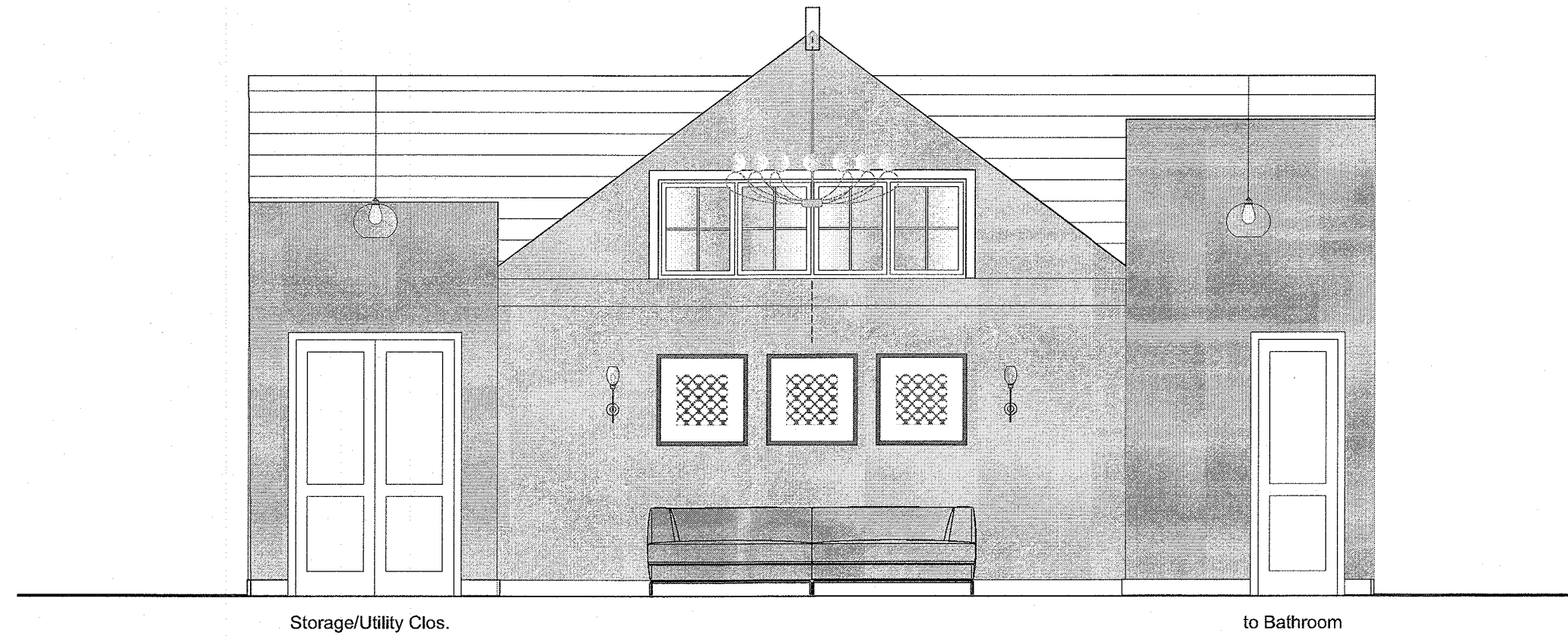
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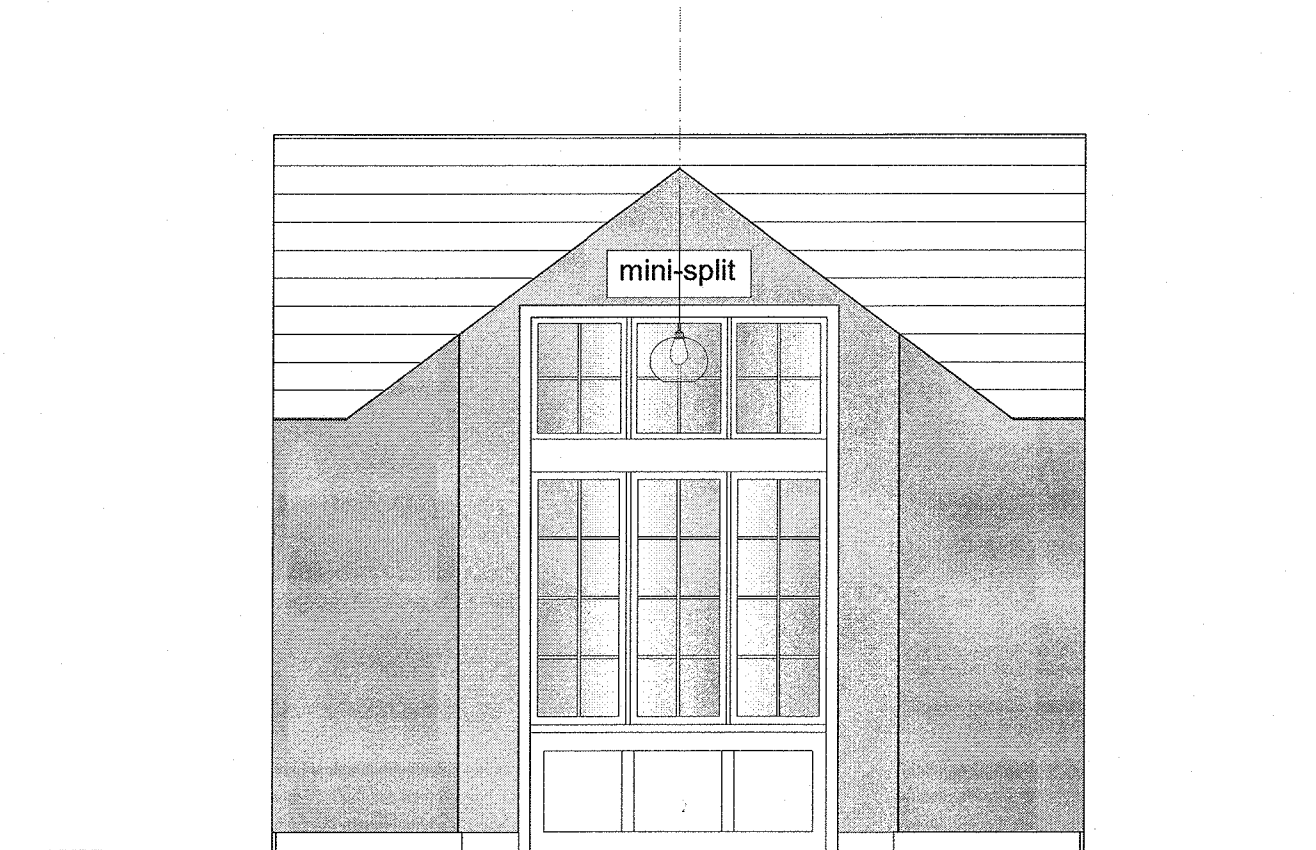
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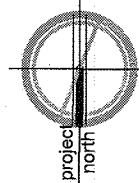
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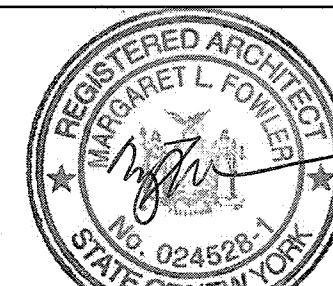
3 Interior Elevation looking South
Scale: 1/4" = 1'-0"



4 Interior Elevation looking East
Scale: 1/4" = 1'-0"



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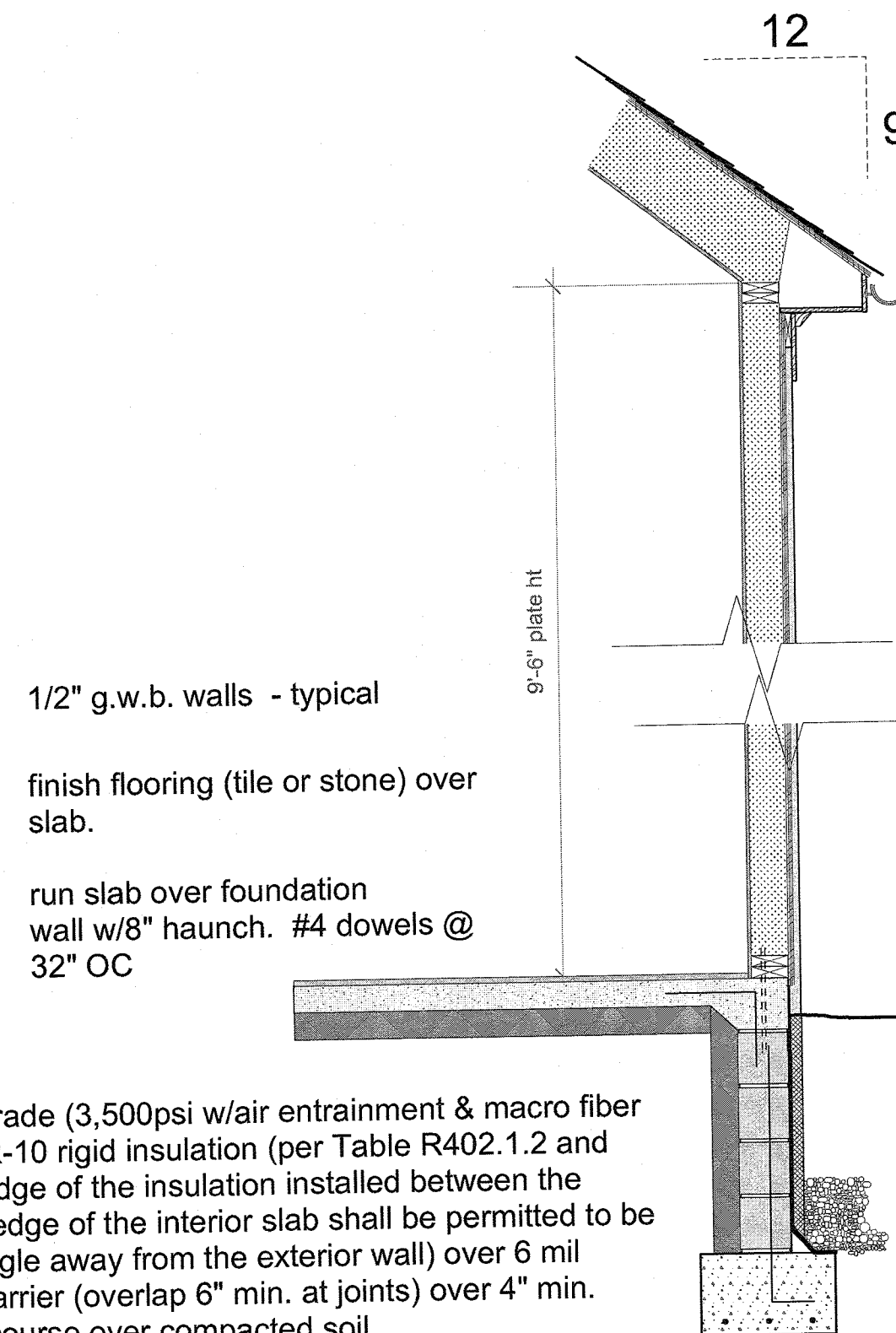
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A-4.1



Timberline lifetime architectural shingle roofing (Charcoal grey) over 15# building felt over 5/8" Zip System Roof Sheathing installed per manufacturer's specifications. Ice-shield as req'd to meet code.

roof rafters @ 16"OC w/Simpson ties to code w/combination of 4" closed-cell spray foam insulation (R-28), thermal break - no ventilation required, and 5.5" high-density batt insulation (R-21) within RR to achieve required R-49 in roof space. Completely cover top plate with spray foam insulation.

1x clad wood fascia. New 1/2 round gutters and leaders to provide positive drainage

2x6 wood studs @ 16"OC with R-21 high density batt insulation (or spray foam) and 1" R-3 Zip Sheathing install per mfr's specifications to achieve R-24 (R-21min.req'd) and 5" horizontal siding (Hardi-Plank or eq), see elevations.

double 2x6 wood sill plate (trt'd) anchor-bolted to conc. foundations - 1/2" bolts into block 15" min., 6'-0" max. o.c., 2 per sill pc min., 1'-0' from corner, typ. all sills.

slope grade away from foundation

stucco finish over exposed foundation wall below siding.

waterproofing membrane at conc block walls from top of footing to level of finished grade

8" cmu w/#4s @ 32" OC foundation grout all cells solid, install 4" rigid insulation and dampproofing from top of footing to underside of slab

#4 @32" OC dowel into footing

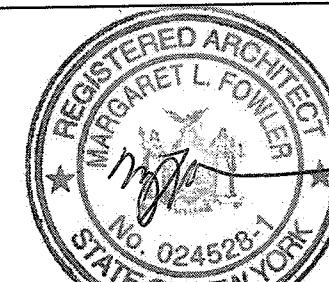
no footing drain required

12" x 24" continuous concrete ftg. (3500 psi min.) at 3'-6" below grade min. (3) #4 bars continuous

1 Wall Section - TYP
Scale: 1/2" = 1'-0"



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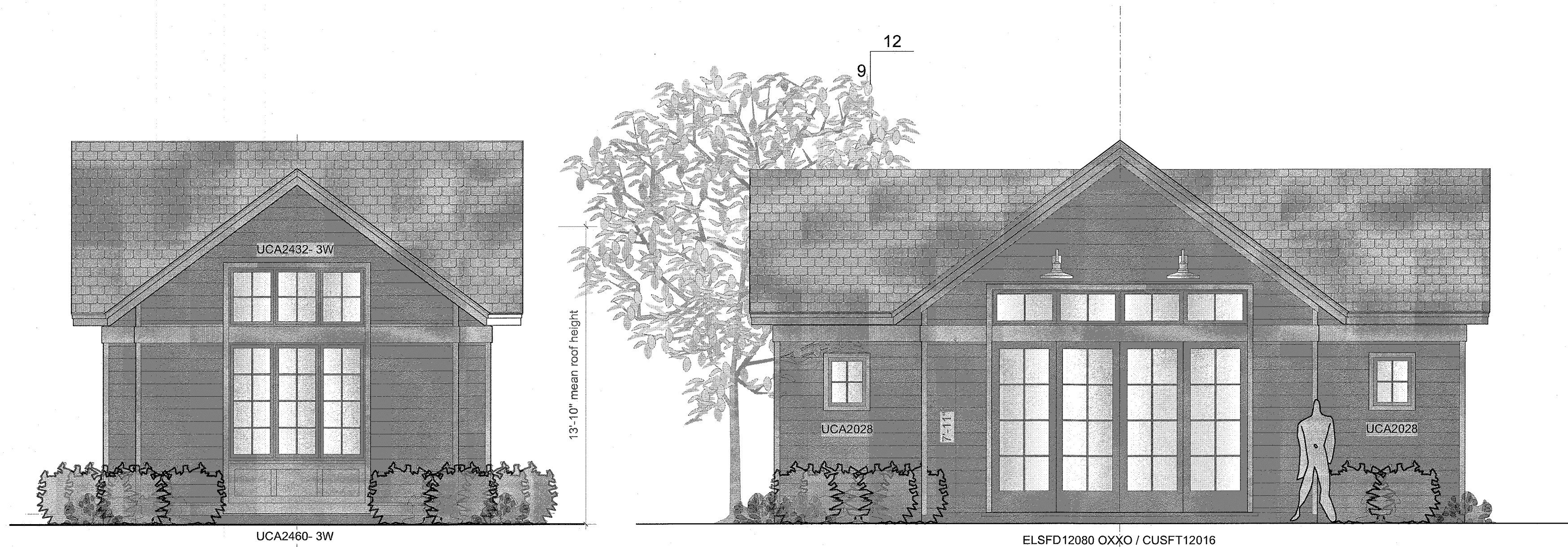
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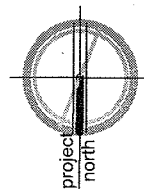
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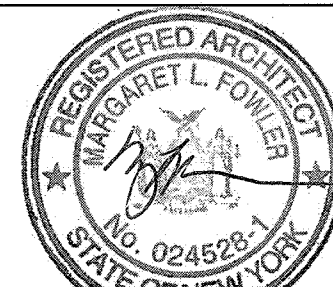


1 East Side Elevation
Scale: 1/4" = 1'-0"

2 North Elevation (front)
Scale: 1/4" = 1'-0"



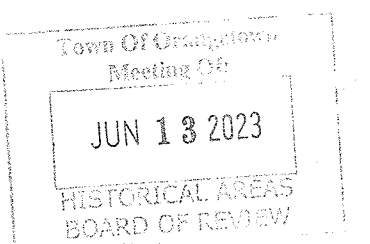
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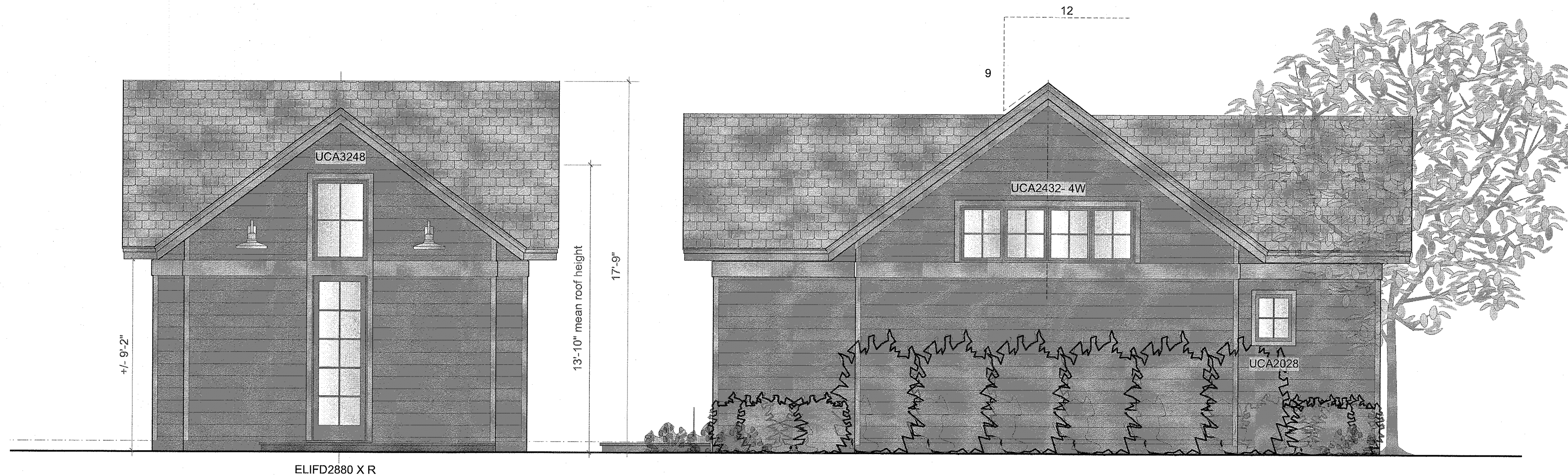


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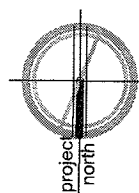
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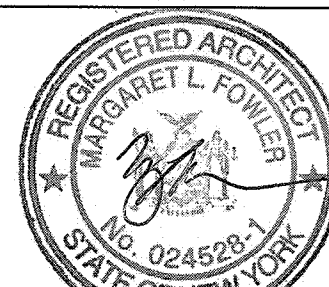


3 West Side Elevation
Scale: 1/4" = 1'-0"

4 South Elevation (back)
Scale: 1/4" = 1'-0"



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