

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input type="checkbox"/> Residential <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final <input type="checkbox"/> Interpretation
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

PERMIT#: BDR-3136-23
ASSIGNED
INSPECTOR: Dom

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: KORNUELN RESIDENCES

Street Address: 420 WHITE OAK ROAD
PALISADES, NY 10964

Tax Map Designation:
Section: 77.20 Block: 1 Lot(s): 27
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the SOUTH side of WHITE OAK ROAD, approximately 0 feet EAST of the intersection of RED OAK DRIVE, in the Town of ORANGETOWN in the hamlet/village of PALISADES.

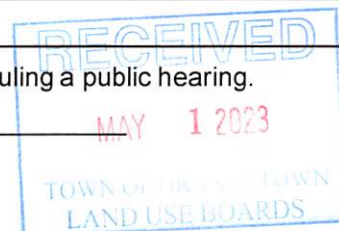
Acreage of Parcel <u>.51</u>	Zoning District <u>R-22</u>
School District <u>SOUTH ORANGETOWN</u>	Postal District <u>PALISADES</u>
Ambulance District <u>S. ORANGETOWN</u>	Fire District <u>SPARHILL F.D.</u>
Water District <u>UNITED WATER</u>	Sewer District <u>ORANGETOWN</u>

Project Description: (If additional space required, please attach a narrative summary.)

ADDITION TO SECOND FLOOR ABOVE EXISTING DECK

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 4/19/23 Applicant's Signature: _____



APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____ *N/A*

Are there **streams** on the site? If yes, please provide the names. _____ *No*

Are there **wetlands** on the site? If yes, please provide the names and type:

_____ *No*

Project History:

Has this project ever been reviewed before? _____ *No*

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 4.27.23 Section: 77.20 Block: 1 Lot: 27

Applicant: Kornvein

Address: 420 White Oak Rd, Palisades, NY

RE: Application Made at: same

Referred For:

Chapter 43, Bulk Table 3.12 Col 1 R-22 District, Col 2 Group I, Col 3 sfr, Col 4 Maximum Floor Area Ratio 20% with 21.6% proposed.

One Variance required

Comments:

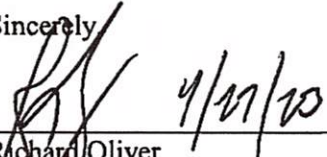
Second floor over existing one story rear addition

FAR Variance


Dear Kornvein:

Please be advised that the Building Permit Application # p23-3136, which you submitted on 4.21.23, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com.

Sincerely


Richard Oliver
Deputy Building Inspector




Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

4/27/23
Date
CC: Liz DeCort
Debbie Arbolino

VIS	PRINT KEY	NAME	ADDRESS
2489	77.20-1-8	Charles Cohen	405 Red Oak Dr,Palisades, NY 10964
2489	77.20-1-25	Ronald Greenberg	422 White Oak Rd,Palisades, NY 10964
2489	77.20-1-26	Ethan D Scher	421 White Oak Rd,Palisades, NY 10964
2489	77.20-1-27	Jonathan Kornvein	420 White Oak Rd,Palisades, NY 10964
2489	77.20-1-28	Kevork Kalayjian	328 Bridge Plaza N Unit 1H,Fort Lee, NJ 07024
2489	77.20-1-29	Paul W Padiak	40 Muroney Ave,Palisades, NY 10964
2489	77.20-1-30	Thomas M Devine	418 White Oak Rd,Palisades, NY 10964
2489	77.20-2-1	Paul W Padiak	40 Muroney Ave,Palisades, NY 10964
2489	77.20-2-2	Joseph Savattieri	162 Park Av,Palisades, NY 10964
2489	77.20-2-3	Sean Peyton	166 Park Av,Palisades, NY 10964



Kornvein
420 White Oak Road
Palisades, New York 10964

April 13, 2023

Building Inspector
Town of Orangetown
20 Greenbush road
Orangeburg, New York 10962

Re:
Kornvein Residence
420 White Oak Road
Palisades, New York 10964

To whom it may concern,

This letter should act as confirmation that John Perkins Architect should act as our agent in all phases of preparing the application for the Zoning Board of Appeals and Building permit applications. It should be noted Mr. Perkins will be acting as our contact and representative at any Board meetings. Please grant access to any reference materials in filing these applications in our file.

If you have any questions, please feel free to contact us.

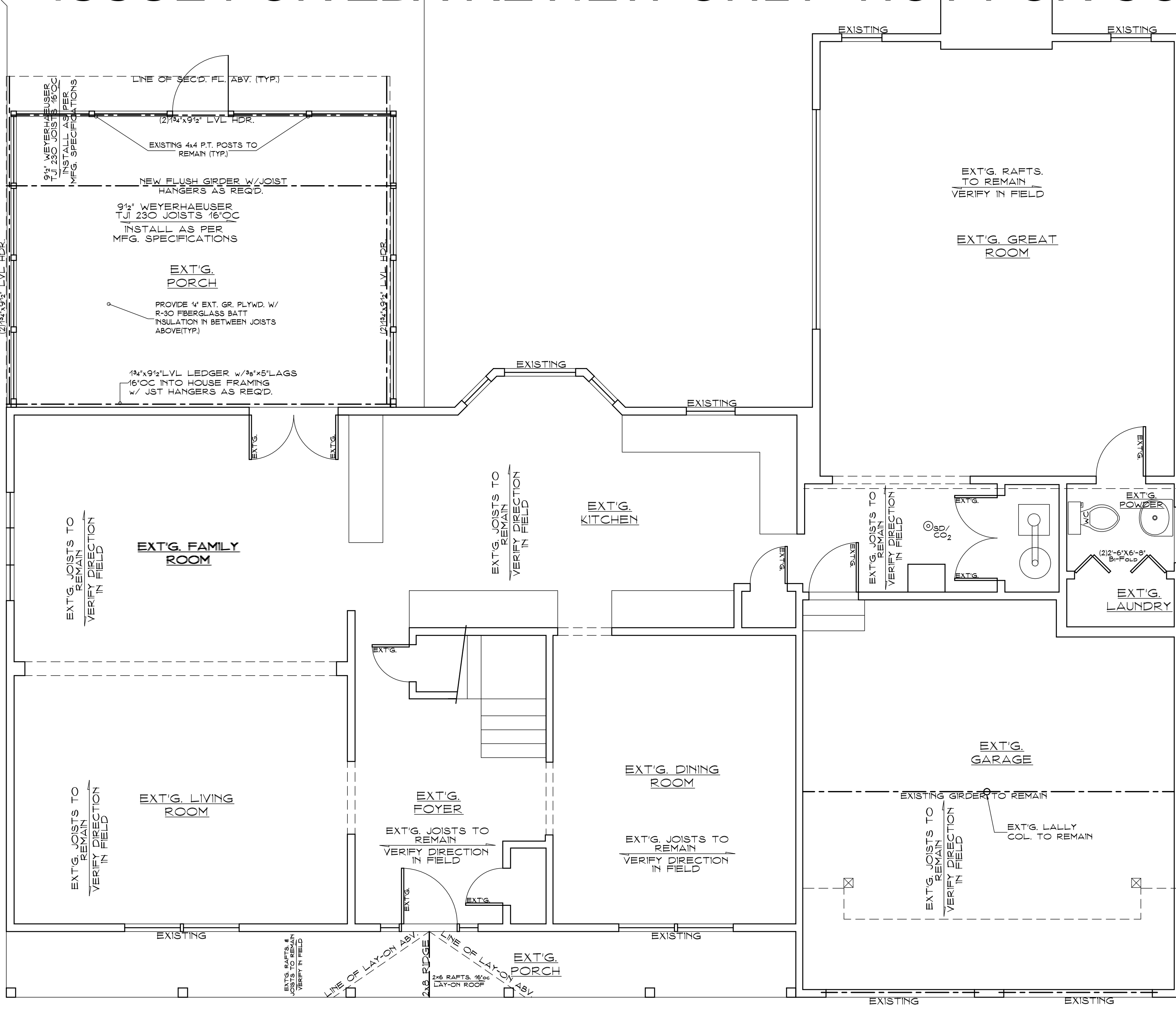
Respectfully Yours,



Lisa Bottiglieri- Kornvein & Jonathan Kornvein



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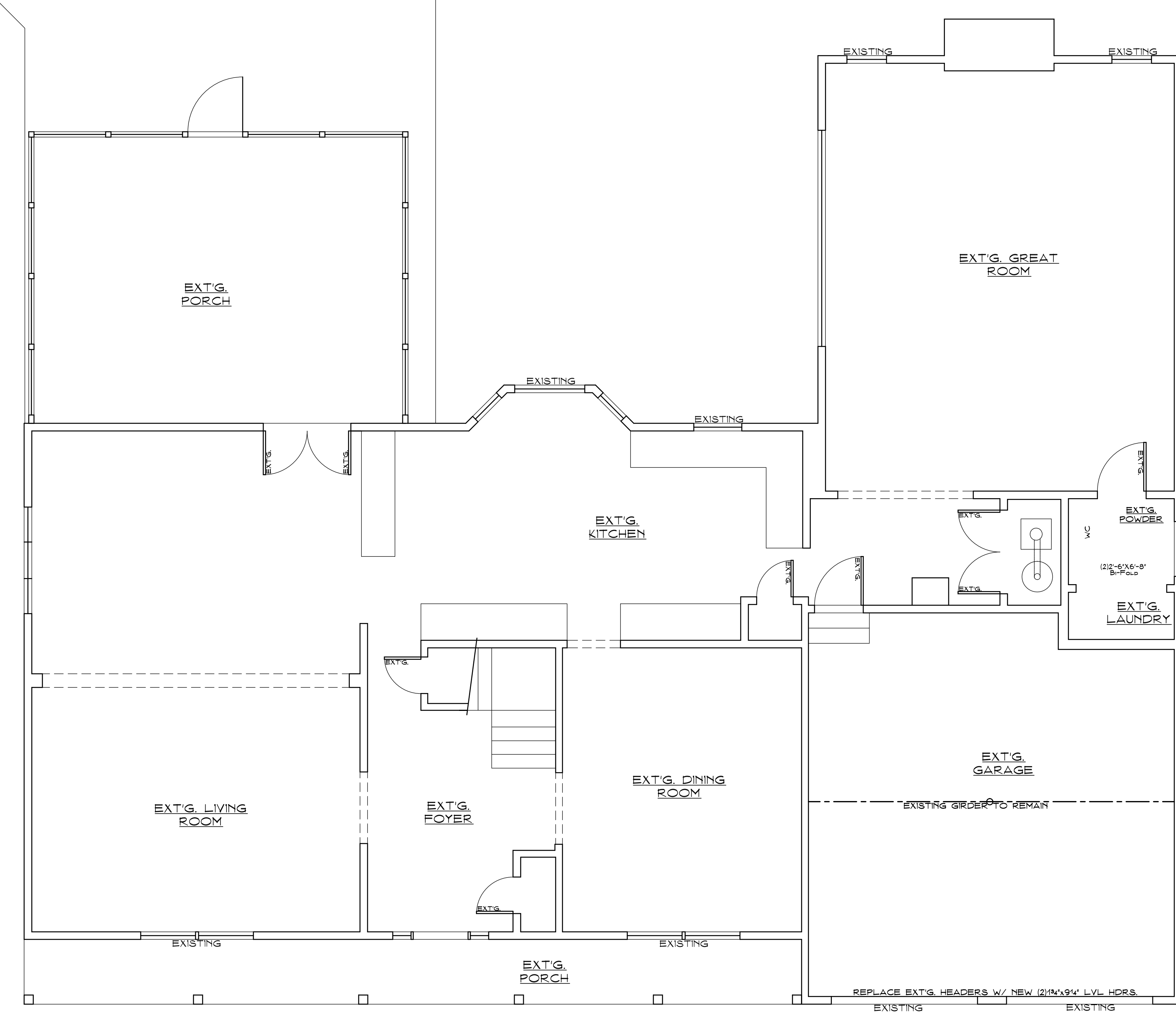


PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

ALL NOTES TYPICAL UNLESS NOTED OTHERWISE ON PLAN-
 -DIMENSIONS ARE TO NEAREST INCH/ ACTUAL ROOM SIZES VARY DUE TO GYPSUM BOARD
 -ALL LUMBER TO BE GOOD GRADE STRAIGHT, CLEAN & FREE FROM ROT & DEFECTS
 -HAVING A MINIMUM BENDING STRESS OF 1300 PSI
 -MINIMUM DOUBLE STUDS AROUND ALL WALL OPENINGS PLUS JACK STUD UNDER HEADERS
 -TRIPLE STUDS IN ALL CORNERS / SOLID STUDS OF SAME WIDTH UNDER HEADERS
 -BEAMS & GIRDERS WITH ADDED STUDS EITHER SIDE WHERE SPACE PERMITS
 -HEADERS TO BE MIN 12x12 FOR SPANS UP TO 4'-10" / 12x12 -OR- 12x12 FOR SPANS UP TO 8'-4" UNLESS NOTED OTHERWISE ON PLANS
 -ALL GIRDERS TO BE OF THE SIZES INDICATED MRG. BY 'ANTHONY' - LSL POWER BEAMS W/ BENDING STRESS OF 3000 PSI -OR- EQUAL
 -3x6 JACK STUDS IN OPENINGS OVER 8'-0" AND TRIPLE JACK STUDS IN OPENINGS OVER 8'-0" UNLESS NOTED OTHERWISE ON PLANS.

-DOUBLE JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL W/ FLOOR SPANS
 -ALL GLAZING LESS THAN 18" ABOVE FINISHED FLOOR TO BE TEMPERED
 -ALL WINDOW IN HABITABLE SPACES TO CONFORM WITH STATE EGRESS REQUIREMENTS
 -ALL DOORS TO CONFORM TO STATE CODE SIZE REQUIREMENTS
 -ALL RAILINGS TO CONFORM TO THE RESIDENTIAL CODE OF NEW YORK STATE
 -REQUIREMENTS WITH MAXIMUM OF 4" OPENINGS
 -RIDGE BEAMS TO BE MIN 2" DEEPER THAN RAFTER SIZES JOINING IT-CONVENTIONAL LUMBER UP TO 16'-0" SPANS/LVL MATERIAL GREATER THAN 16 FT. UNLESS NOTED OTHERWISE
 -HIP RAFTERS TO BE MIN 2" DEEPER THAN RAFTER SIZES JOINING IT-CONVENTIONAL LUMBER UP TO 18'-0" SPANS/LVL MATERIAL GREATER THAN 16 FT. UNLESS NOTED OTHERWISE
 -DOUBLE VALLEY RAFTERS TO BE MIN 2" DEEPER THAN RAFTER SIZES JOINING IT-CONVENTIONAL LUMBER UP TO 14'-0" SPANS/LVL MATERIAL GREATER THAN 14 FT.
 -POST ALL RIDGE/ HIP/ VALLEY INTERSECTIONS DOWN TO MINIMUM TRIPLE 2"x8" CLG. JOISTS ALL RIDGE/ HIP/ VALLEY INTERSECTIONS TO RECEIVE 36" WIDE ICE & WATER SHIELD -OR- EQUAL
 -OR- EQUAL OVER EXTERIOR SHEATHING



FIRST FLOOR DEMOLITION PLAN

SCALE: 1/8"=1'-0"

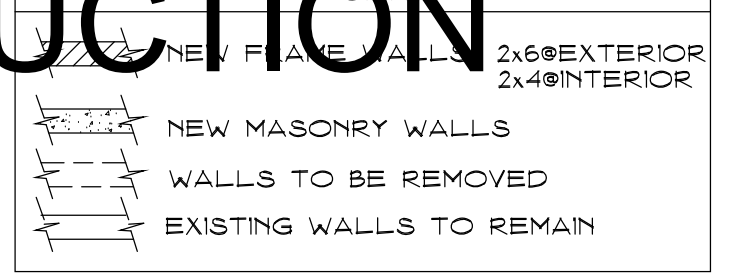
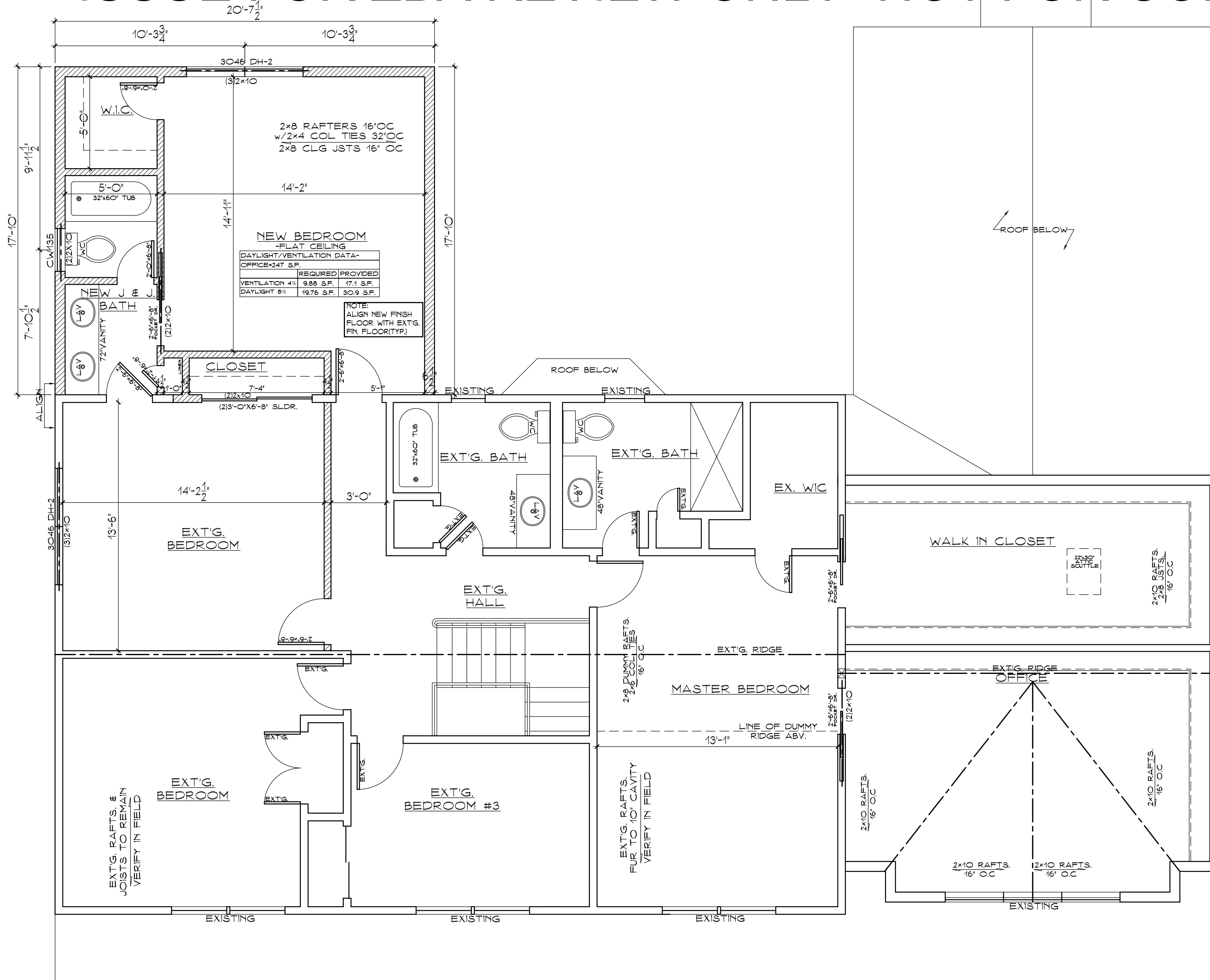
PROJECT GUIDELINES
 -ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS AND/OR PROJECT SITE CONDITIONS
 -GENERAL PUBLIC ALL NON-CONSTRUCTION RELATED PERSONS SHALL NOT ENTER ANY AREAS AFFECTED BY THESE PLANS UNTIL A VALID CERTIFICATE OF OCCUPANCY IS ISSUED BY LOCAL BUILDING DEPARTMENT
 -PROJECT SITE TO BE PROPERLY POSTED AND TAPED AND/OR FENCED OFF TO ENSURE PUBLIC SAFETY AND SAFEGUARD THE PUBLIC
 -GENERAL CONTRACTOR AND ANY SUBCONTRACTORS WORKING WITH THIS PROJECT TO KEEP PROJECT SITE HAZARD FREE AT ALL TIMES
 -AND TO OBEY ALL OSHA AND ALL OTHER SAFETY REGULATIONS
 -FAILURE TO ADHERE WITH THESE GUIDELINES VIOLATES ARCHITECT'S RESPONSIBILITY OF ANY OCCURRENCE AND/OR INCIDENT OF INJURY OR OTHERWISE
 -CONTRACTOR TO BE RESPONSIBLE FOR ALL SHORING BRACING FINING AND ALL TEMPORARY SUPPORTS - PRIOR TO DEMOLITION CONSTRUCTION OR EXCAVATIONS
 -PROVIDE WEATHERPROOFING AT END OF EACH OF EACH WORK DAY
 -PROJECT SITE IS TO BE SECURED AND HAZARD FREE AT END OF EACH WORK DAY
 -ALL CONTRACTORS & SUBCONTRACTORS SHALL CARRY ALL NECESSARY INSURANCE AND LICENSES REQUIRED BY BUILDING DEPARTMENT AND NEW YORK STATE CODES.

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PLANS VALID FOR PERMIT & BOARD PRICING ONLY

ISSUE FOR ZBA REVIEW ONLY- NOT FOR CONSTRUCTION	REVISION _____ _____ _____	 John Perkins ARCHITECT. Professional Limited Liability Company N.C.A.R.B. Certified NYS License: 02953.1 NJ License: 21A0104700 Post Office Box 271 Tomkins Cove, New York 10986 (845)429-4225 www.JPerkinsArchitect.com	DRAWING TITLE: <h2>FIRST FLOOR PLANS</h2>	PROPOSED ADDITIONS/ALTERATIONS TO THE <h3>KORNVEIN RESIDENCE</h3> 420 WHITE OAK ROAD HAMLET OF PALISADES TOWN OF ORANGETOWN, NEW YORK	DATE JANUARY 23, 2023 Issue For ZBA REVIEW JANUARY 27, 2023	SHEET: <h1>1 OF 3</h1>

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 -OWNER TO AGREE WITH THESE GUIDELINES AND ARCHITECT'S RESPONSIBILITY OF ANY OCCURRENCE AND/OR INCIDENT OF INJURY OR OTHERWISE.
 -CONTRACTOR TO BE RESPONSIBLE FOR ALL SHORING, BRACING, FIRING AND ALL TEMPORARY SUPPORTS - PRIOR TO DEMOLITION, CONSTRUCTION OR EXCAVATING.
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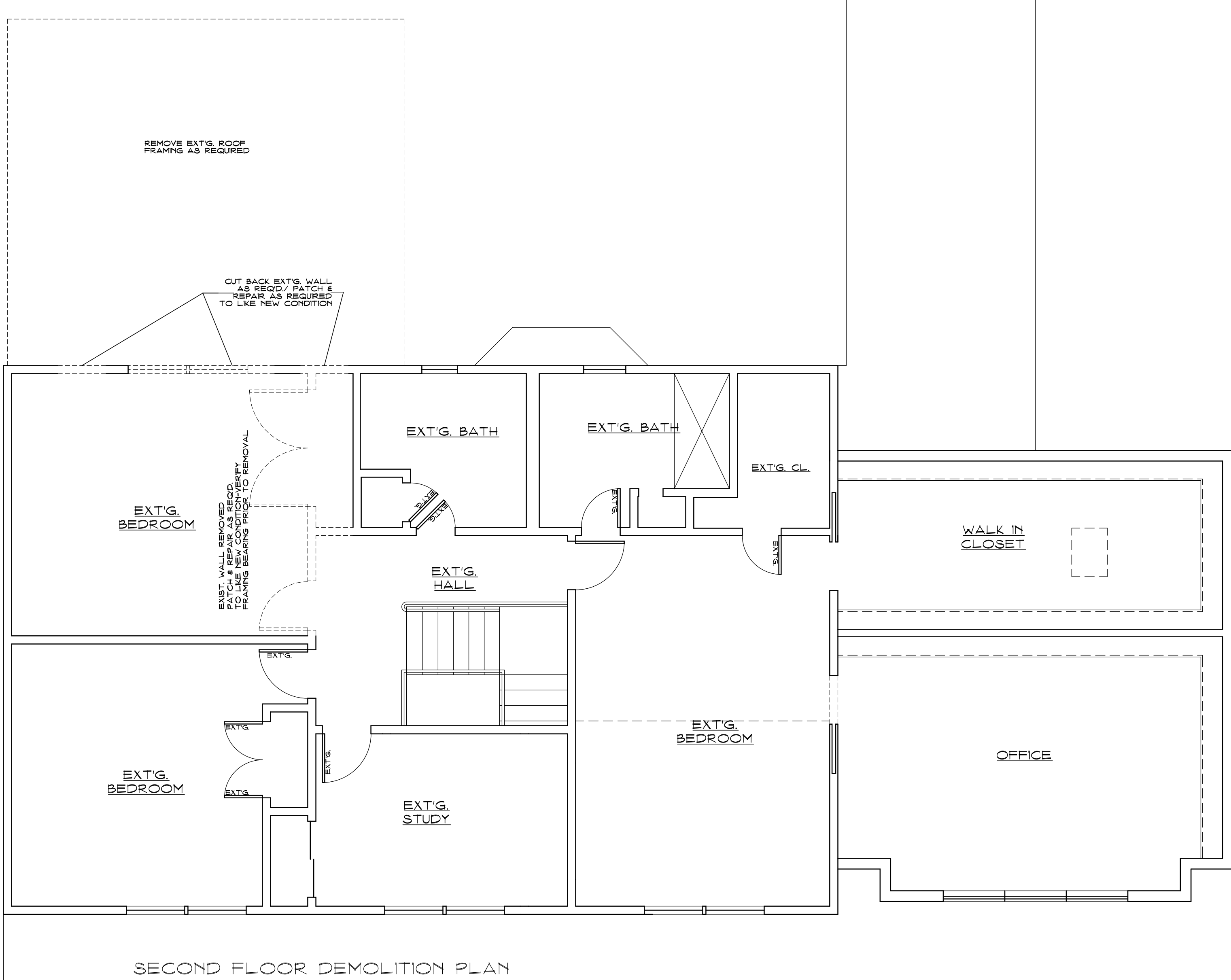
AREA DATA

CELLAR AREA	• NOT APPLICABLE
EXT'G. SHED AREA	• 100 +/- SQ. FT.
EXT'G. FIRST FLOOR AREA	• 2754 +/- SQ. FT.
EXT'G. SECOND FLOOR AREA	• 1627 +/- SQ. FT.
TOTAL EXT'G. FLOOR AREA	• 4491 +/- SQ. FT.
PROP. SECOND FLOOR AREA	• 367 +/- SQ. FT.
TOTAL FL. AREA AFTER ADD	• 4858 +/- SQ. FT.
EXISTING FLOOR AREA RATIO	• 4.492/22500 = .1996
PROPOSED FLOOR AREA RATIO	• 4.858/22500 = .2163

PROPOSED SECOND FLOOR PLAN

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 -HP RAFTERS TO BE MIN. 2" DEEPER THAN RAFTER SIZES JOINING IT-CONVENTIONAL LUMBER UP TO 18'-0" SPANS / LVL MATERIAL GREATER THAN 18' FT. UNLESS NOTED OTHERWISE
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SCALE: 1/4"=1'-0"



SECOND FLOOR DEMOLITION PLAN

SCALE: 1/4"=1'-0"

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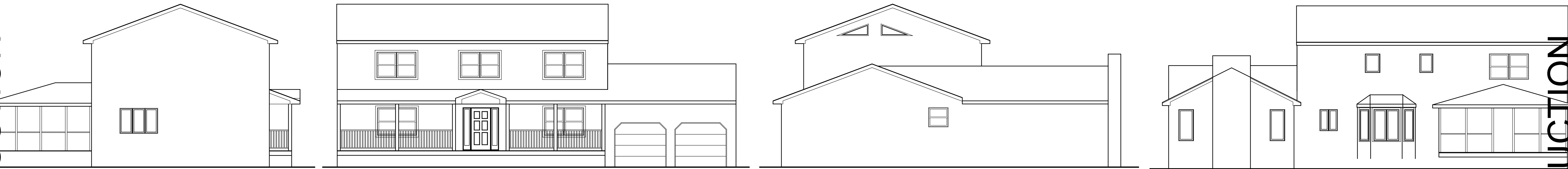
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EXISTING LEFT ELEVATION
SCALE: 1/4"=1'-0"

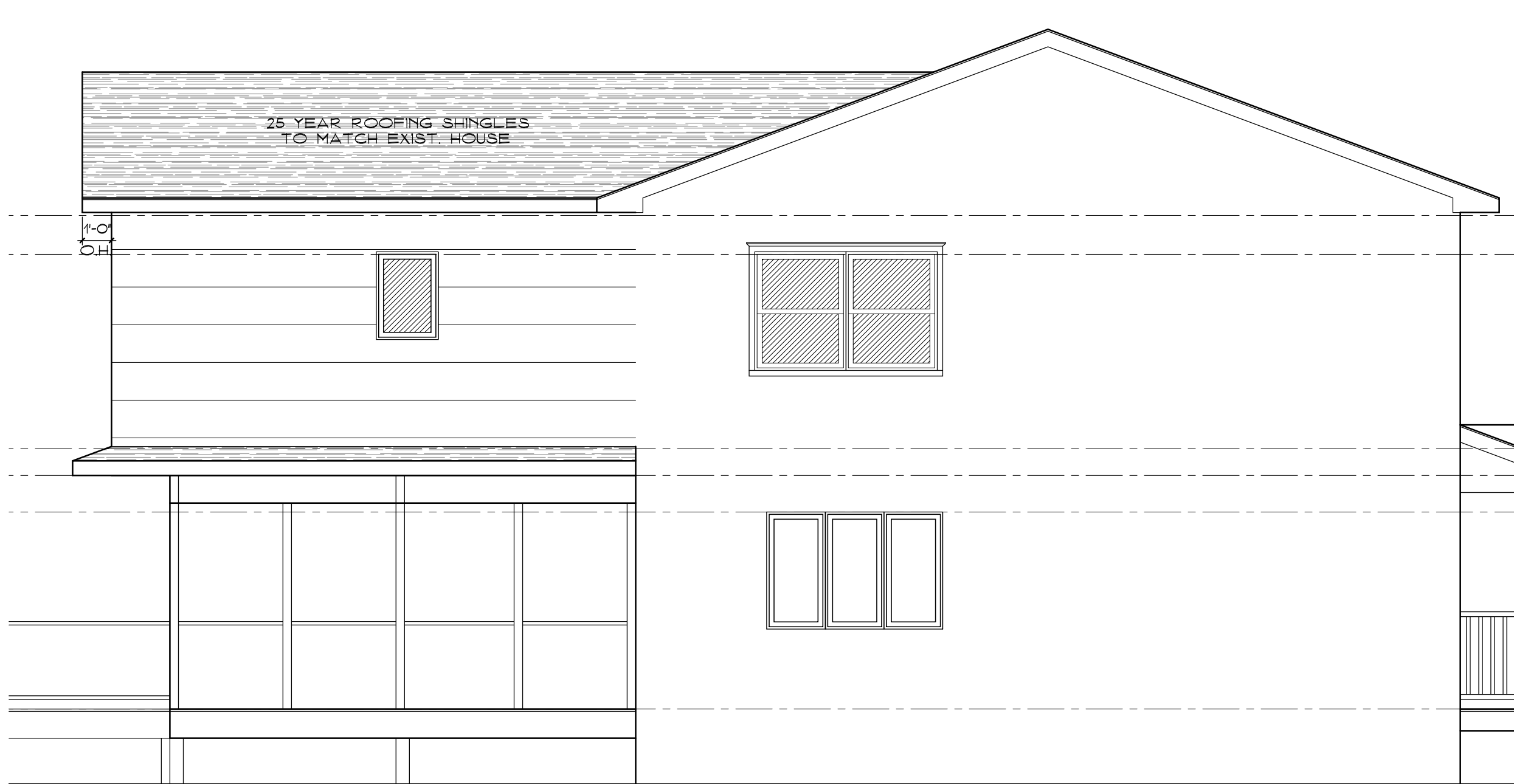
EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"

EXISTING RIGHT ELEVATION
SCALE: 1/4"=1'-0"

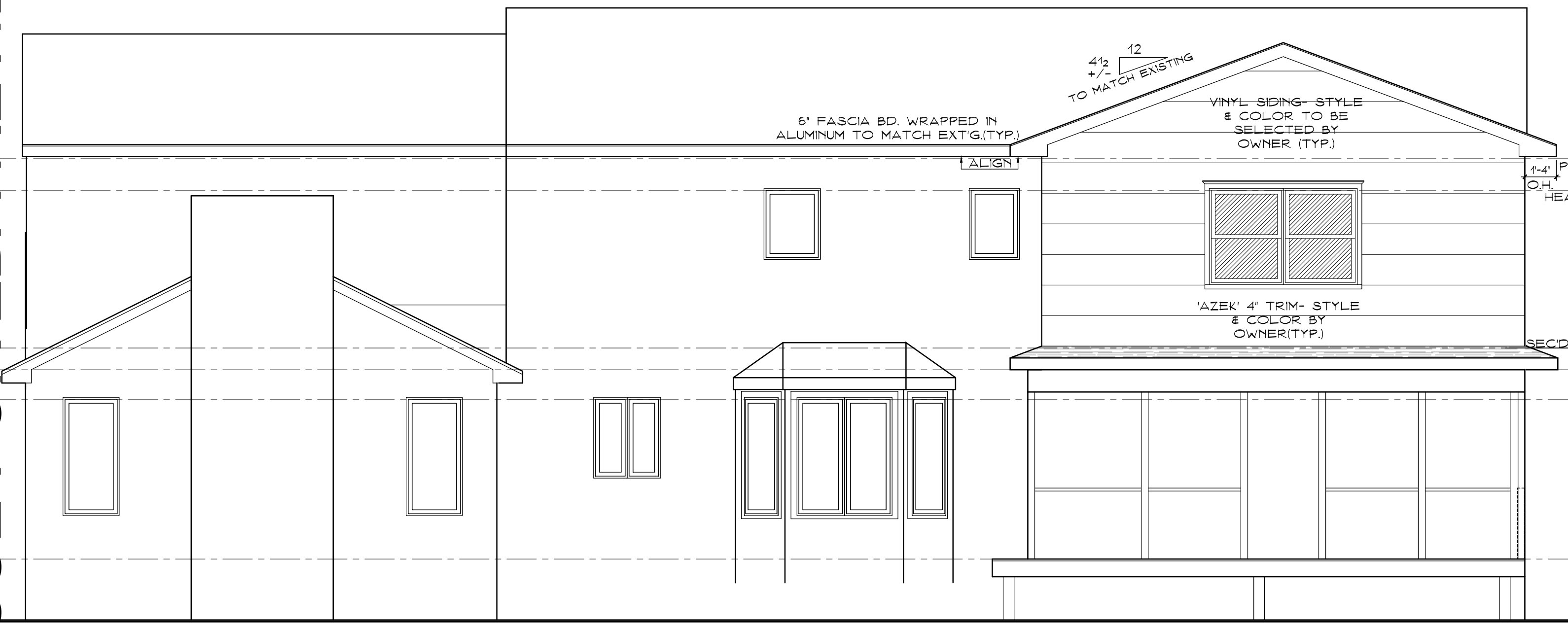
EXISTING REAR ELEVATION
SCALE: 1/4"=1'-0"



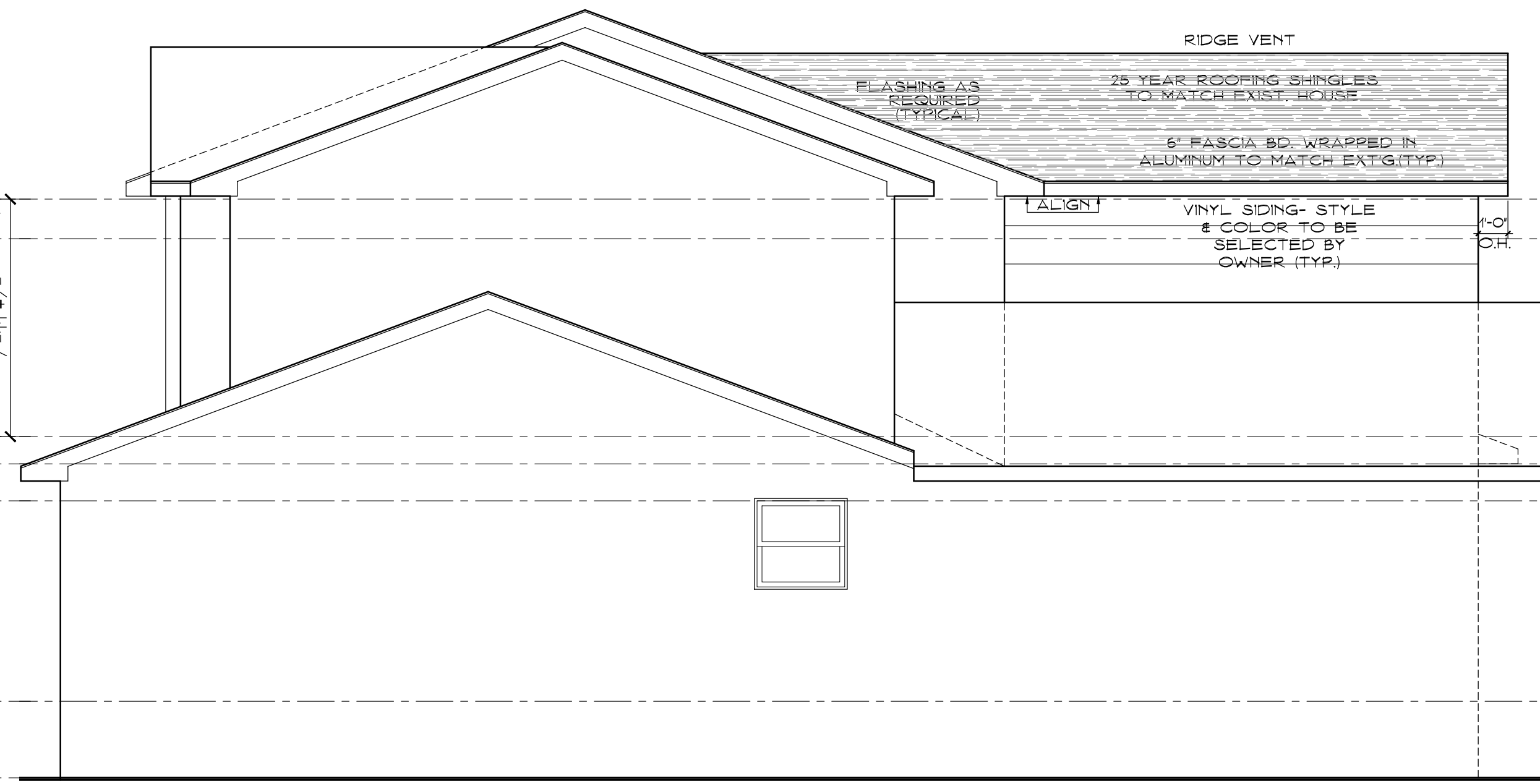
PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED LEFT ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED RIGHT ELEVATION
SCALE: 1/4"=1'-0"

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PROPOSED ADDITIONS/ALTERATIONS TO THE
KORNVEIN RESIDENCE
 420 WHITE OAK ROAD
 HAMLET OF PALISADES
 TOWN OF ORANGETOWN, NEW YORK

DRAWING TITLE:
ELEVATIONS

John Perkins ARCHITECT
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