

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(845) 359-8410 (ext. 4316)
Date: **April 18, 2024**

TO: OBAPAE

- Environmental Management and Engineering
- ✓ Rockland County Sewer District #1
- New York State Dept. of Transportation
- Palisades Interstate Park Commission
- Orange and Rockland Utilities
- Orangetown Highway

- Rockland County Drainage ✓
- Rockland County Health ✓
- Rockland County Planning ✓
- Rockland County Highway ✓

Review of Plans: **Onyx Equities, LLC., 64 & 140 Leber Road, Blauvelt, New York, 10913**
Section 70.06 Block 1 Lot 50.4 & 47 R-40 & LO zone
This matter is scheduled for: **June 5, 2024**

Chapter 43, R-40 and LO District, Section 3.11, LO district, Column 7, #3, (Use regulation no parking permitted in any required yard, with parking proposed), Section 3.12, Group x, Column #2(100' buffer required from district line abutting R-40 zone & front yard setback 100' required equally 200' required overall, with 100' proposed on the South side of the property and 10' proposed on the East side of the property), and from Article VI, Section 6.33 (required off-street parking spaces 1,000' walking distance permitted, 1,872' proposed) for lot merger of vacant land to create and accessory park lot for electric vehicle storage. The premises are located at 64 & 140 Leber Road, Blauvelt, New York and identified on the Orangetown Tax Map as Section 70.06, Block 1, Lot 50.4 & 47 in the LO & R-40 zoning districts.

Please review the information enclosed and provide comments. These comments may be mailed by **June 5, 2024**, e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: Kbettmann@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: June 5, 2024

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, June 5, 2024**. **Kindly forward your completed review to this office by June 5, 2024.**

Reviewing Agency _____

Name _____ date: _____

Signature: _____

Thank you, Katlyn Bettmann



OFFICE OF BUILDING, ZONING, PLANNING,
 ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
 20 Greenbush Road
 Orangeburg, N.Y. 10962

Jane Slavin, R.A.
 Director

(845)359-8410

Fax: (845) 359-8526

ZONING BOARD OF APPEALS

Date: April 9, 2024

Applicant: Onyz Equities, LLC.

Address: 64 & 140 Leber Rd., Blauvelt

Section: 70.06

Block: 1

Lot: 50.4 & 47

Permit# BLDC-3812-23

Plans Submitted: Sight line plan and profile exhibit, signed and sealed by Zachary A. Kamm, P.E., dated 2/12/2024. Minor Subdivision plan,, signed and sealed by James D. Sens, dated 10/17/2023

Preliminary and Final Site plan, signed and sealed by Zachary A. Kamm, dated 10/2/2023

with the latest revision date of 4/2/2024.

Project Name: Onyx Equities, LLC.

Date of Submittal to Land Use Board: April 4, 2024

Date of Board Meeting: TBD

Sincerely,

Katlyn Bettmann

Senior Clerk Typist

Date/Initial of OBZPAE Review Completed:

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 4/4/2024

Please check all that apply:

<input type="checkbox"/> Commercial <input type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use <input type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input type="checkbox"/> Residential <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
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PERMIT#: _____
 ASSIGNED
 INSPECTOR: _____

Referred from Planning Board: YES / NO
 if yes provide date of Planning Board meeting: _____

Project Name: 64 and 140 Leber Proposed Accessory Parking Lot

Street Address: 64 & 140 Leber Road
Blauvelt, New York 10913

Tax Map Designation:
Section: 70.06 Block: 1 Lot(s): 50.4
Section: 70.06 Block: 1 Lot(s): 47

Directional Location:

On the western side of the CSX rail line
850 feet south of the intersection of Oritani Drive & CSX Rail Crossing, in the
Town of Orangetown in the hamlet/village of Blauvelt.

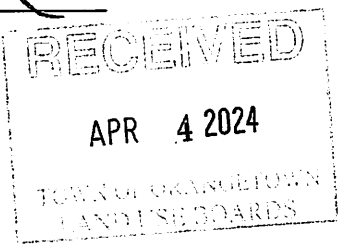
Acreage of Parcel <u>13.131 AC (64 Leber) & 2.053 AC (140 Leber)</u>	Zoning District <u>LO/R-40</u>
School District _____	Postal District _____
Ambulance District _____	Fire District _____
Water District _____	Sewer District _____

Project Description: *(If additional space required, please attach a narrative summary.)*

Resubdivision of the contiguous 64 & 140 Leber parcels owned by the Applicant and the improvement of vacant land to create a 633-space vehicle parking lot accessory to Rivian's approved electric vehicle sales/distribution/service center use at 800 Bradley Hill Road, Blauvelt, New York.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 3/22/24 Applicant's Signature: _____



APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area N/A

Are there **streams** on the site? If yes, please provide the names. N/A

Are there **wetlands** on the site? If yes, please provide the names and type:

N/A

Project History:

Has this project ever been reviewed before? Yes

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

PB #24-07, pending Site Plan Review by the Planning Board (preliminary approval granted 3/27/24)

PB #24-08, Resubdivision Approval by the Planning Board (final approval granted 3/27/24)

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

70.06-1-46 & 1.12

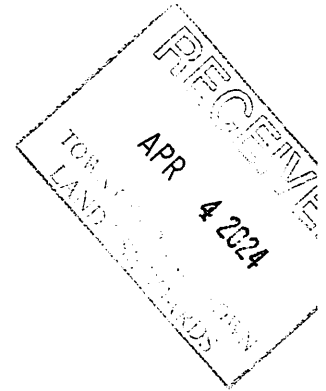
McCULLOUGH, GOLDBERGER & STAUDT, LLP

Attorneys at Law

1311 Mamaroneck Ave., Suite 340, White Plains, NY 10605

TEL (914) 949-6400 FAX (914) 949-2510

mcculloughgoldberger.com



April 4, 2024

SETH M. MANDELBAUM

Managing Partner

smandelbaum@mgsllawyers.com

Honorable Chairperson Daniel Sullivan
and Members of the Zoning Board of Appeals
Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962

Re: Onyx Management Group, LLC
Area Variance Application
64 & 140 Leber Road, Blauvelt, New York

Dear Hon. Chairperson Sullivan and Members of the Zoning Board,

This firm represents Onyx Management Group, LLC.¹ (the “Applicant”), the manager of the properties identified as Section 70.06, Block 1, Lot 50.4 (“64 Leber”)² and Section 70.06, Block 1, Lot 47 (“140 Leber”)³ on the Town of Orangetown Tax Map and commonly known as 64 and 140 Leber Road (collectively, the “Property”). The 64 Leber Property is located within the LO “Laboratory Office” and R-40 “Low Density Residential” Zoning Districts, and the 140 Leber Property is within the R-40 District. The Property is part of the larger Hudson Crossing Industrial Park development owned by the Applicant, which was previously known as Bradley Corporate Park.

In April 2023, the Town of Orangetown Planning Board issued the Applicant Final Site Plan Approval for the use of 800 Bradley Hill Road (“800 BHR”) by Rivian, LLC as an electric vehicle sales/distribution/service center. *See* PB #23-13. The Applicant is now seeking approvals from the Town to permit the Property for use as an accessory parking lot. At its meeting on March 27, 2024, the Planning Board granted Preliminary Site Plan Approval and Final Resubdivision Approval, and adopted a Negative Declaration under SEQRA declaring that the proposed action will not result in any significant adverse environmental impacts. The Applicant is specifically proposing to lease the 64 Leber portion of the Property to Rivian for use as an accessory parking area for the electric vehicles that are pre-ordered by customers and are awaiting preparation and customer pickup at the nearby 800 BHR facility. Under Town Zoning Ordinance § 6.33, required accessory parking spaces may be provided to a lot that is located within 1,000 feet walking distance of the use to which the parking spaces are accessory. Here, the proposed accessory 64 Leber parking

¹ Onyx Management Group, LLC has been authorized by the owners of the property, to manage the properties, including leasing the properties and applying for any necessary permits and land use approvals. Therefore, Onyx Management Group, LLC is the Applicant for the Site Plan and Resubdivision applications.

² Owned by PG-OE 64 Leber Road Owner LLC

³ Owned by PG-OE 140 Leber Road Owner LLC

lot is approximately 1,872 feet from the approved principal use at 800 BHR. Accordingly, an area variance for the additional distance beyond the 1,000-foot walking distance is required.

The Property is currently an unimproved vacant lot. To prepare the Property for use by Rivian, the Applicant proposes to merge the contiguous 64 and 140 Leber properties to create one 13-acre parcel.⁴ The Applicant proposes to improve the Property with a new parking area to accommodate 633 vehicles, together with appropriate striping, directional arrows and traffic signage, two 30-foot access driveways, and curbing. The proposed parking lot extends within the required yards and the Applicant has received preliminary approval from the Planning Board at its March 27, 2024 meeting to permit parking within the required yards pursuant to Table 3.11, LO District Column 7, #3. As the Property abuts the R-40 Zoning District on the eastern and southern sides, a 100-foot buffer is also required.⁵ However, under Section 5.22 of the Zoning Ordinance, the R-40 zoning district boundary line that runs through the eastern and southern portions of the Property is considered a lot line for purposes of determining compliance with the bulk regulations. This provision effectively imposes a greater buffer requirement on the Applicant because the zoning district boundary lines are approximately 142 feet⁶ from the eastern lot line and 35 feet from the front lot line. The Applicant provides a compliant 100-foot buffer from the southern zoning district line to the proposed parking lot, for a total distance of 135 feet from the proposed parking lot to the southern lot line. However, though the proposed parking lot is at least 143.4 feet⁷ from the eastern lot line, the proposed driveway is only 10 feet from the R-40 zoning line and thus requires a 90-foot area variance from the 100-foot required buffer.

To mitigate any potential impacts on the single-family residences to the south of the Property, the Applicant proposes a minimum 135-foot landscaped buffer from the southern property line, together with significant additional proposed vegetative screening (including into the existing berm), which has been enhanced at the Planning Board's request that will further shield the proposed parking area from view. The Applicant also proposes additional screening along the southeastern portion of the site. It should be noted that the parking lot is proposed entirely within the LO District portion of the Property and no vehicles will be parked within the R-40 portions of the site. Further, a densely wooded buffer is located directly to the west of the Property, an active freight train right-of-way owned by CSX is located directly to the east, and to the north is the larger Hudson Crossing Industrial Park owned by the Applicant.

It is respectfully submitted that the required area variances should be granted by the Board for the reasons detailed herein.

Analysis

Statement of Law

The role of the Zoning Board of Appeals is to provide a safety valve and flexibility from the rigid enforcement of the zoning ordinance. Salkin, *New York Zoning Law and Practice* §§ 27:08 & 27:09 [4th ed. 2022]. The standard for granting an area variance is a balancing test, weighing the benefit to the applicant against the detriment to the

⁴ For purposes of calculating the applicable bulk and dimensional requirements, the site plans show the 64 and 140 Leber parcels as being merged. The Planning Board granted the Applicant Final Resubdivision approval at its meeting on March 27, 2024.

⁵ Office of Building, Zoning Planning, Administration and Enforcement ("OBZPAE") Director Jane Slavin has opined that the required buffer is in addition to a required 100-foot yard, for a total distance of 200 feet. However, since the Planning Board has granted the Applicant preliminary approval to provide parking within the required yards, yard variances are not required.

⁶ The eastern zoning district boundary line is approximately 142 feet from the northeastern corner of the Property and 164 feet to the southeastern corner.

⁷ The proposed parking lot is 143.4 feet from the northeastern edge of the eastern lot line and 177.6 feet from the southern edge of the eastern lot line.

health, safety and welfare of the neighborhood or community. *Sasso v. Osgood*, 86 N.Y.2d 374 [Ct App 1995]; *see also Monroe Beach, Inc. v. Zoning Bd. of Appeals of Long Beach*, 898 N.Y.S.2d 194, 195 [Ct App 2010].

Section 7-712-b of the NY Village Law sets forth the elements that a Zoning Board is to consider in determining whether an area variance should be granted, including specifically:

1. whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance;
2. whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance;
3. whether the requested area variance is substantial;
4. whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and
5. whether the alleged difficulty was self-created, which consideration shall be relevant to the decision of the board of appeals, but shall not necessarily preclude the granting of the area variance.

The law further requires that after an analysis of the application in light of the five factors, the Board is to undertake a balancing, taking into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community, if any. Additionally, the Board of Appeals is to review each application on its own facts on a case-by-case basis. When your Board balances the benefit to the Applicant in this case against any detriment to the neighborhood, it is respectfully submitted that the benefits must prevail, supporting the granting of the requested variances.

Analysis of the Variance Request

1. **No Undesirable Change to the Character of the Neighborhood.**

The Applicant requests an area variance from the 1,000-foot walking distance requirement to permit the 64 Leber portion of the Property for use exclusively by Rivian as a parking lot accessory to the approved electric vehicle sales/distribution/service center use at 800 BHR, which is 1,872 feet away within the Hudson Crossing development. The location of the proposed parking lot is consistent with the character of the neighborhood, which is largely commercial in nature with the Hudson Crossing development owned by the Applicant to the north and an active CSX freight rail line directly to the east. The Property is screened from the residences to the west due to an existing densely wooded buffer. Likewise, the Applicant proposes significant additional landscaping consisting of 291 new trees of various species at the Property, particularly along the berm and the southern portion of the Property that will effectively screen the proposed parking lot from the view of the residences to the south. *See* enclosed Landscape Plan.

The parking lot will be used Monday through Friday from 8:00 a.m. to 6:00 p.m., Saturday from 9:00 a.m. to 5:00 p.m., and will be closed on Sundays. Car carriers will deliver vehicles to the Property approximately one to three times per day, and all activities at the Property will comply with the Town's noise ordinance. Further, all activities relating to the proposed parking lot will occur within the commercial Hudson Crossing development. Vehicle transporters will travel through Hudson Crossing to deliver the vehicles to the Property, and the electric vehicles will then be driven through Hudson Crossing on an as-needed basis to the 800 BHR facility for preparation and customer pickup. The electric vehicles traveling to the 800 BHR facility produce less sound and emissions than an internal combustion vehicle. Significantly, no access to the Property from Leber Road is proposed, and the parking lot is entirely within the LO portion of the Property. In addition, the enclosed Lighting Plan demonstrates that the resulting light from the proposed LED light poles will measure zero footcandles at the property line and accordingly will not impact neighboring properties. There is a minimal concern that light will reflect on the residential properties, as no buildings are proposed. At the Planning Board's request, the Applicant lowered the height of the LED light poles from 25 feet to 20 feet as to not be visible above the berm. It is respectfully submitted that the requested variance from the

1,000-foot walking distance requirement will not produce an undesirable change in the character of the neighborhood nor be detrimental to nearby properties.

The requested buffer variance will similarly not produce an undesirable change in the character of the neighborhood nor cause a detriment to nearby properties. Though a 10-foot buffer is proposed from the parking lot to the eastern zoning district line, the Board must note that the actual property line is at least 142 feet from the zoning district line and the proposed parking lot is at least 143.4 feet from the eastern side lot line. As a result of the significant additional screening proposed by the Applicant combined with the site topography, the proposed parking lot will be screened from the view from the residences to the south. The lack of visual impacts associated with the Applicant's proposal is further confirmed by the enclosed Visual Analysis. Dynamic Engineering prepared four line-of-sight analyses of the Property comprising three views taken from Leber Road and one from Sgt. Raymond Demeola Road. The Visual Analyses consider the existing topography, the proximity of the proposed parking lot to the residential properties, and the existing and proposed vegetative landscaping. As demonstrated by the Visual Analyses, the proposed parking lot (and the electric vehicles and the visiting car carriers therein) will be screened from the view of the nearby residences and will not result in any negative visual impacts. Accordingly, it is respectfully submitted that the requested variances will not create an undesirable change in the character of the neighborhood nor be detrimental to nearby properties.

2. No Feasible Alternative.

There are no feasible alternatives that would permit the Applicant to construct the proposed accessory parking lot without the requested area variances. There is no available property within 1,000 feet of the 800 BHR facility that could accommodate the 633 parking spaces needed by Rivian. Further, the proposed parking lot is not feasible without the requested buffer variance. As a result of the required buffer being measured from the R-40 zoning district line rather than the property lines, the Applicant is effectively required to provide a 242-foot buffer on the eastern portion of the Property (which is nearly $\frac{1}{4}$ of the total width of the Property). It is simply not feasible to construct a parking lot that meets Rivian's needs and adheres to the required 100-foot buffer from the eastern zoning district line. It is respectfully submitted that there are no feasible alternatives for the Applicant to pursue, other than the requested variances.

3. The Requested Variance Is Not Substantial.

While "[t]he zoning board of appeals must consider the magnitude of the requested variance in light of the impact of the variance . . . [it] is not [to be] achieved by using a simple mathematical formula." Salkin & Anderson, New York Zoning Law and Practice § 29:15 (4th ed. 2018). When determining if a variance is substantial, the actual circumstances and effects of the proposed variances should be considered rather than reliance on mere statistics or figures. See Niceforo v. Zoning Board of Appeals of Appeals of the Town of Huntington, 537 N.Y.S.2d 579 (2d Dept. 1989); Kleinhaus v. Zoning Board of Appeals of the Town of Cortlandt, N.Y.L.J. March 26, 1996, p. 37, col. 7 [Sup Ct Westchester Co. 1996].

Although the requested area variances may appear substantial, the *impacts* of the variances are not substantial. The proposed parking lot is accessory to Rivian's approved electric vehicle sales/distribution/service center use at 800 BHR. Both the Property and the 800 BHR facility are part of the Hudson Crossing Industrial Park owned by the Applicant. All activities involving the proposed parking lot, including the transport of the electric vehicles thereto and delivery of the vehicles to the 800 BHR facility, will occur within the Hudson Crossing development. The Applicant will not use Leber Road to access the Property, and the proposed parking lot is entirely within the portion of the Property zoned LO. Further, the Board must note that there are no buildings proposed as part of the Site Plan and the proposed parking lot is significantly less intensive than other uses permitted by right on the Property, including schools,

business/professional offices, and research, experiment, and testing laboratories.⁸ It is respectfully submitted that the requested variance to permit the accessory parking lot 1,872 feet from the 800 BHR facility is not substantial.

As discussed above, the requested buffer variance appears substantial due to a technical provision within the Zoning Ordinance that requires the buffer to be measured from the R-40 zoning district line, rather than the actual property line. The proposed parking lot is at least 143.4 feet from the eastern side lot line (which abuts an active CSX freight rail line) and 135 feet from the southern lot line and is well-screened from the surrounding residences by significant existing and proposed landscaping. The enclosed Visual Analysis demonstrates that the requested variances to accommodate the proposed accessory parking lot will not have a substantial impact on the surrounding residences when considering the existing and proposed landscaped screening, site topography, and proximity of the parking lot from the property line. Likewise, as discussed above, the enclosed Lighting Plan demonstrates that the proposed LED lighting will measure zero footcandles at the property lines and will not negatively impact the neighboring residences. The proposed 20-foot LED light poles, which the Applicant reduced in height from 25 feet at the Planning Board's request, will not be visible above the berm and will provide concentrated lighting that will properly illuminate the proposed parking lot without spilling onto neighboring properties. Overall, it is respectfully submitted that the requested variances are not substantial.

4. No Adverse Impact on the Physical or Environmental Conditions of the Neighborhood.

The variances are requested to permit the Applicant to use a portion of the Property as a parking lot accessory to Rivian's approved electric vehicle sales/distribution/service center use 800 BHR. The Planning Board has conducted an environmental review in connection with the Applicant's proposal and adopted a Negative Declaration under SEQRA, finding that the proposed action will not have any significant adverse effects on the environment. As part of the site development, the Applicant proposes the installation of a stormwater management system that will prevent runoff onto adjacent properties in addition to significant additional landscaping at the Property. No buildings or electric vehicle charging stations are proposed on the Property and no employees will remain on-site except to briefly transport an electric vehicle (which produces less sound and emissions than an internal-combustion vehicle) to the nearby 800 BHR facility. The only traffic generated in connection with the proposed parking lot is from the car carriers that arrive and depart only a couple of times per day within Rivian's business hours. The Board should note that no car carriers will remain on the Property long term – the carriers depart promptly once the electric vehicles are unloaded. There is no site access from Leber Road – all movements to and from the Property are exclusively via the commercial Hudson Crossing Development. It is respectfully submitted that the requested area variances will not have an adverse impact or effect on the physical or environmental conditions of the neighborhood.

5. The Difficulty is Not Self-Created.

The Applicant's difficulty arises from the location of the proposed accessory parking lot in relation to Rivian's 800 BHR facility. As discussed above, there are no available sites within 1,000 feet of the 800 BHR facility that can accommodate the amount of parking spaces needed by Rivian. The Property is the closest available location for the Applicant to pursue. Furthermore, the Applicant's difficulty arises from the application of the Zoning Ordinance to the Property. The 64 Leber parcel is primarily within the LO District; however, the southern portion of the lot is within the R-40 District. Likewise, the 140 Leber parcel is also within the R-40 District; once the lots are merged, the R-40 zoning district line will bisect the eastern side of the Property. Section 5.22 of the Zoning Ordinance requires that the zoning district lines be considered lot lines for purposes of determining compliance with the bulk requirements. As a result, significantly greater buffer requirements are imposed on the Applicant than what is technically required within the Zoning Ordinance. Though the Zoning Ordinance requires a 100-foot buffer, measuring the buffer from the zoning district line as required by Section 5.22 imposes an effective 242-foot required buffer on the eastern portion of the Property. It is not feasible for the Applicant to comply with this enhanced buffer requirement. It is respectfully

⁸ See Zoning Ordinance § 3.11, 43 Attachment 8 "Table of General Use Regulations: LO District"

submitted that the Applicant's hardship is not self-created. However, even if the difficulty were deemed to be self-created, New York Town Law specifically provides that such a hardship "shall not necessarily preclude the granting of the area variance." N.Y. Town Law § 267-b (McKinney 2018).

Conclusion

Based on the foregoing, there is no detriment to the health, safety and welfare of the neighborhood or community. It is respectfully submitted that the area variances from the applicable requirements from the Harrison Zoning Ordinance should be granted.

In furtherance of this application, we are pleased to enclose the following documents for your consideration, together with a check for the required fee:

1. Completed and signed Zoning Board Application Parts I and II;
2. Site Plan package showing the existing conditions and proposed site plan modifications for the Property, prepared by Dynamic Engineering, dated April 2, 2024;
3. Resubdivision Plan showing the proposed merger of the 64 and 140 Leber Properties, prepared by Control Point Associates, Inc., dated October 17, 2023;
4. Visual Analysis, prepared by Dynamic Engineering, dated February 12, 2024;
5. Deeds evincing ownership of the Property;
6. Completed and signed Entity Disclosure Forms for the ownership entities of each parcel;
7. Organizational Chart, depicting ownership of the Property;
8. Short Environmental Assessment Form, dated February 16, 2024; and
9. Noticing List and pre-stamped envelopes.

The requisite additional copies of the Plans will be submitted to the Zoning Board upon review of this application by Town Staff. We respectfully request that the Zoning Board place this matter on the next available agenda. If you have any questions or require additional information, please do not hesitate to contact our office.

Very truly yours,

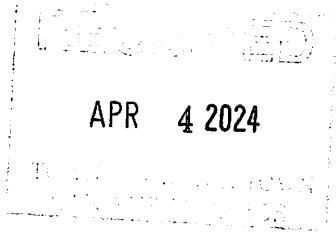

Seth M. Mandelbaum

SMM:tsr

Enc.

cc. Onyx Management Group, LLC

Short Environmental Assessment Form Part 1 - Project Information



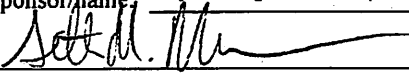
Instructions for Completing

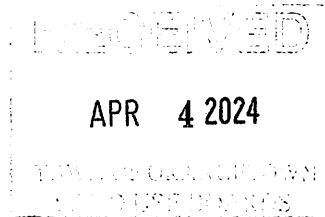
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

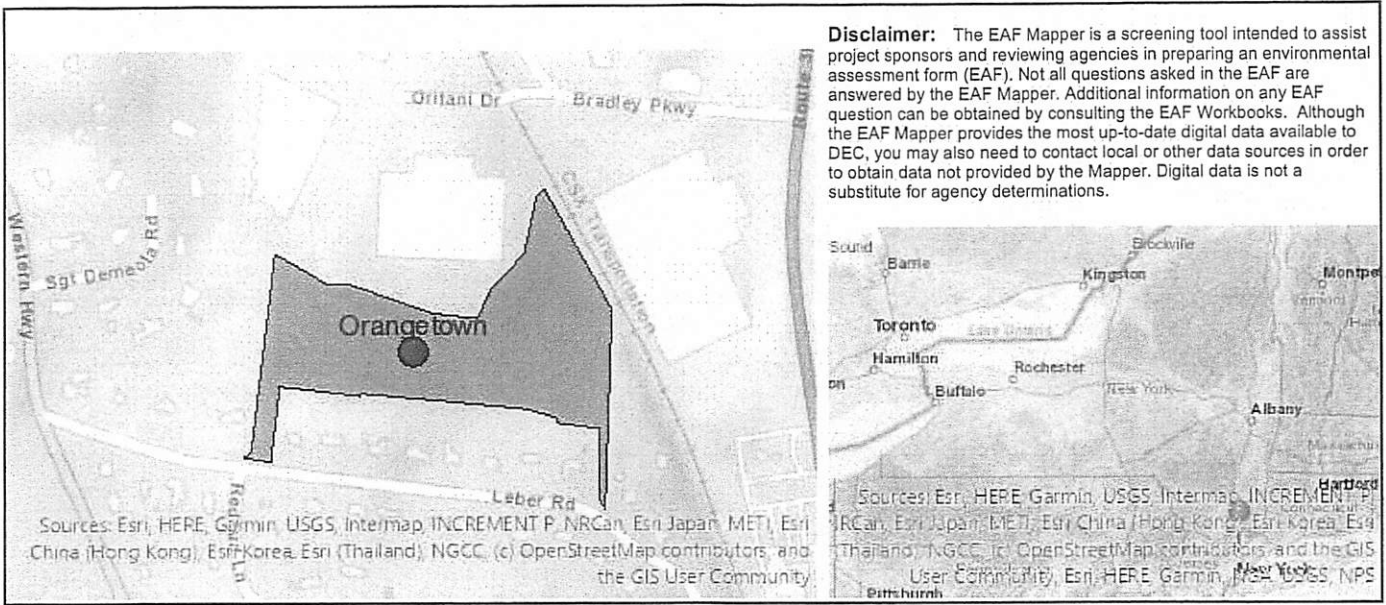
Part 1 – Project and Sponsor Information			
Name of Action or Project: 64/140 Leber Road - Site Plan and Resubdivision Applications			
Project Location (describe, and attach a location map): 64 & 140 Leber Road, Blaauvelt, NY - south of the intersection of Oritani Drive & CSX Rail Crossing			
Brief Description of Proposed Action: The 64 and 140 Leber Road properties are under common ownership and are undeveloped. The applicant proposes to merge the two lots (resubdivision) and install a parking lot accessory to Rivian's approved use at 800 Bradley Hill Road.			
Name of Applicant or Sponsor: Onyx Management Group, LLC		Telephone: (732) 850-5689	
		E-Mail: nvasquez@onyxequities.com	
Address: 900 Route 9 North, Suite 400			
City/PO: Woodbridge		State: NJ	Zip Code: 07095
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Building Permit, Orangetown OBZPAE; Area Variance(s), Zoning Board of Appeals; Watercourse Diversion Permit, Town Board			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		13.184 acres	
b. Total acreage to be physically disturbed?		6.399 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		13.184 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: N/A _____ _____		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ N/A - the proposed action does not require access to potable water. _____		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ N/A - the proposed action does not require processing of wastewater _____		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

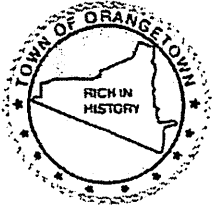
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: The stormwater runoff generated as a result of the proposed action will be routed to the underground facility prior to discharging to the existing conveyance system to the north.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: #344021 & #344050	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Onyx Management Group, LLC</u> Date: <u>February 16, 2024</u> Signature: <u></u> Title: <u>As Attorney</u>		



PRINT FORM



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes



OFFICE OF BUILDING, ZONING, PLANNING,
 ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
 20 Greenbush Road
 Orangeburg, N.Y. 10962

Jane Slavin, R.A.
 Director

(845)359-8410

Fax: (845) 359-8526

Referral to the Planning Board

Date: August 23, 2023 Section: 70.06 Block: 1 Lot: 50.4

Applicant: Rivian

Address: 64 Leber Rd. Blauvelt, NY

RE: Application Made at: same

§ 21A-4

Site development plan approval required.
 [Amended 9-4-2018 by L.L. No. 11-2018]

A.

No building permit or certificate of occupancy shall be issued, other than for a single- or two-family residence and structures accessory thereto, except for a building or use that is in conformity with a site development plan approved by the Planning Board,

B.

Approval of a site plan by the Planning Board is required for the development or redevelopment of any property or structure for a new use, the expansion or relocation of any existing use, or a change of use. A change of use of a building, structure or lot is interpreted for purposes of this code as:

(1)

A change that results in a difference in the numerical listing or the use column (Uses Permitted by Right, Uses by Special Permit, Conditional Uses, General Accessory Uses) for all uses as set forth in Chapter 43, § 3.11, Table of General Use Regulations.

(2)

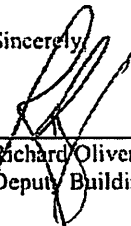
A change in the off-street parking requirements for a use as specified in Chapter 43, § 3.11, Table of General Use Regulations.

Comments: Site work for parking area

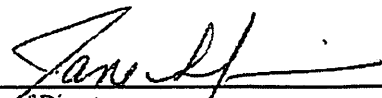
Dear Rivian:

Please be advised that the Building Permit Application, which you submitted on August 9, 2023, has been referred to the Orangetown Planning Board. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for referral. The Clerk to the Planning Board, Cheryl Coopersmith, will assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4330 or CCoopersmith@orangetown.com

Sincerely,


 Richard Oliver
 Deputy Building Inspector

8/23/23


 Signature of Director
 NOTE: PLEASE KEEP FOR YOUR RECORDS
 8-12-20-CCC

8/23/23

Date
 Liz Decort
 Cheryl Coopersmith



OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGEBURG, N.Y. 10962

Jane Slavin, RA
Director

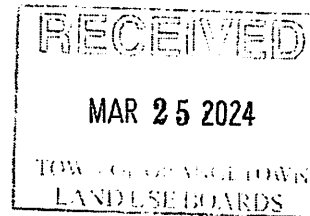
(845) 359-8410

Fax: (845) 359-8526

Date: March 25, 2024

To: Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.



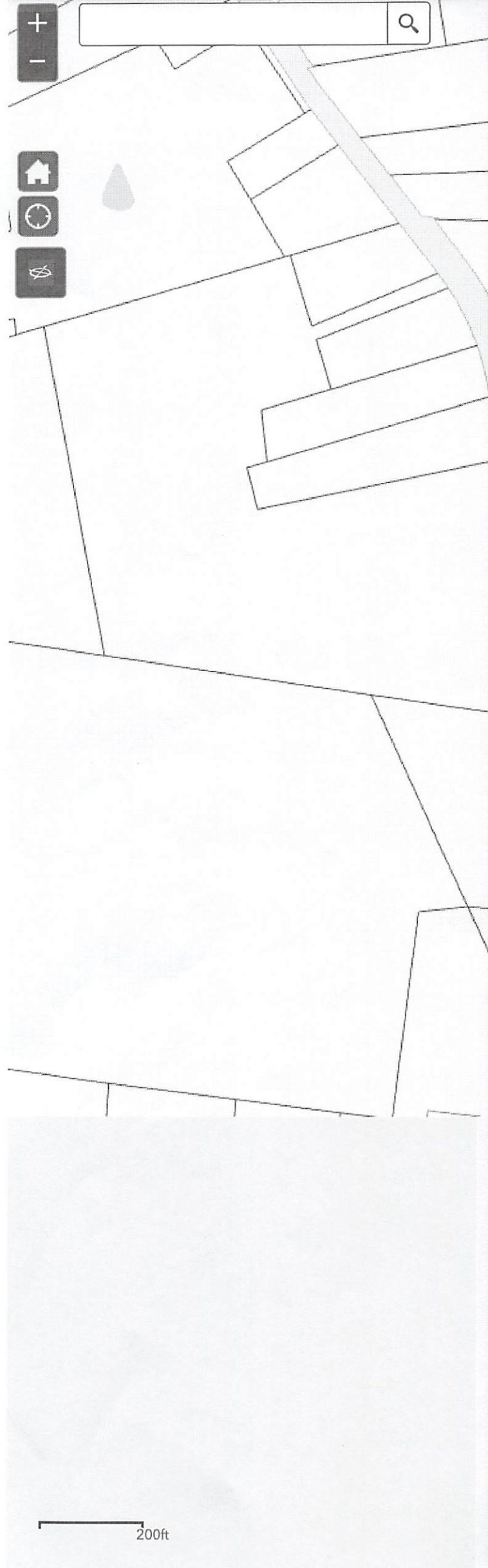
Subject: **Onyx Equities Site Plan** **PB #24-08**
Accessory Parking Lot Plan
Prepreliminary/Preliminary/Final Site Plan and SEQRA Review
64 & 140 Leber Road, Blauvelt; 70.06/1/50.4 & 47;
R-40 and LO zoning district

Submission Reviewed:

Site plan package as prepared by Dynamic Engineering, dated 2/18/24.
This memo supersedes my January 19, 2024 memo.

- 1) The following variances are required Per Chapter 43;
 - a) Table 3.11, LO District Column 7, #3; *"No parking is permitted in any required yard, unless permitted by any board or town agency having jurisdiction. This permission may be given at the time of site review..."*
 - b) Table 3.12, Notes to Use & Bulk Tables, #2, Required buffer is 100' from the zoning district line abutting the R-40 Zoning District plus a required Front Yard Setback of 100' for a total required distance of 200' from the zoning district line to the proposed parking area on the south side and east side of the site. The proposed setback on the south side of the property is 100' and on the east side is 10'.
 - c) Chapter 43, Article VI, Section 6.33; *"Location and ownership of required accessory parking facilities. Required accessory parking spaces, open or enclosed, may be provided upon the same lot as the use to which they are accessory, or elsewhere, provided that all spaces therein are located within 1,000 feet walking distance of such lot."* This proposed lot is 1,872 feet from the facility.

- 2) Details and elevations of the proposed retaining wall and chain link fence must be provided, signed and sealed by a NYS Licensed Engineer.
- 3) Per Chapter 2, Article II, Section 2-4, ACABOR review and approval is required, however this requirement may be waived by the Planning Board at the time of site plan review.
- 4) The applicant is reminded that no work can begin and no permit will be issued until all comments are met from the various agencies, all approvals are obtained, the Final Site Plan is stamped and the construction plans are reviewed and approved by the inspector.



GML Sec. 239

Select By ID Buffer Results

[Export Search URL](#) [Zoom All](#) [Clear](#) [Report](#)

Features selected: 1 [Export All to CSV](#)

OWNER2:
 ADDITIONAL OWNERS:
 ADDRESS: 64 LEBER RD 70.06-1-50.4
 ADDRESS2:
 ALTERNATE ADDRESS:
 CITY: BLAUVELT
 STATE: NY
 ZIP: 10913
 BOOK-PAGE:
 INSTRUMENT: 2021-00017556
 DEED_DATE: 04/18/2021
 MUNICIPALITY: Orangetown
 TOWN: Orangetown
 VILLAGE: -
 DEED_ACRES: 11.18
 GIS_ACRES: 11.21733445
 GML_REVIEW: YES
 ROW - PALISADES INTERSTATE PARKWAY: NO
 ROW - NYS THRUWAY: NO
 ROW - COUNTY HWY: YES
 ROW - STATE HWY: NO
 COUNTY REGULATED STREAM: NO
 LONG PATH TRAIL: NO
 COUNTY PARK: NO
 STATE PARK: NO
 STATE FACILITY: NO
 COUNTY FACILITY: NO
 VILLAGE BOUNDARY: NO
 TOWN BOUNDARY: NO
 ORANGE COUNTY: NO
 SPLIT_ZONE: YES
 ZONES: 2
 ZONE1: LO
 ZONE1 DESCRIPTION: Laboratory-Office District
 ZONE2: R-40
 ZONE2 DESCRIPTION: Low Density Residential Distr
 ZONE3: -
 ZONE3 DESCRIPTION: -
 ZONE OVERLAY: -
 LAND USE: Vacant
 NATIONAL HISTORIC SITE: NO
 HISTORIC REVIVAL SITE: NO
 HISTORIC DUTCH SITE: NO
 HISTORIC DISTRICT: NO
 ELECTION DISTRICT: 26
 LEGISLATIVE DISTRICT: 16
 ASSEMBLY DISTRICT: 97
 SENATE DISTRICT: 38
 CONGRESSIONAL DISTRICT: 17
 SCHOOL DISTRICT: South Orangetown Central

GML Sec. 239

Select By ID Buffer Results

[Export Search URL](#) [Zoom All](#) [Clear](#) [Report](#)

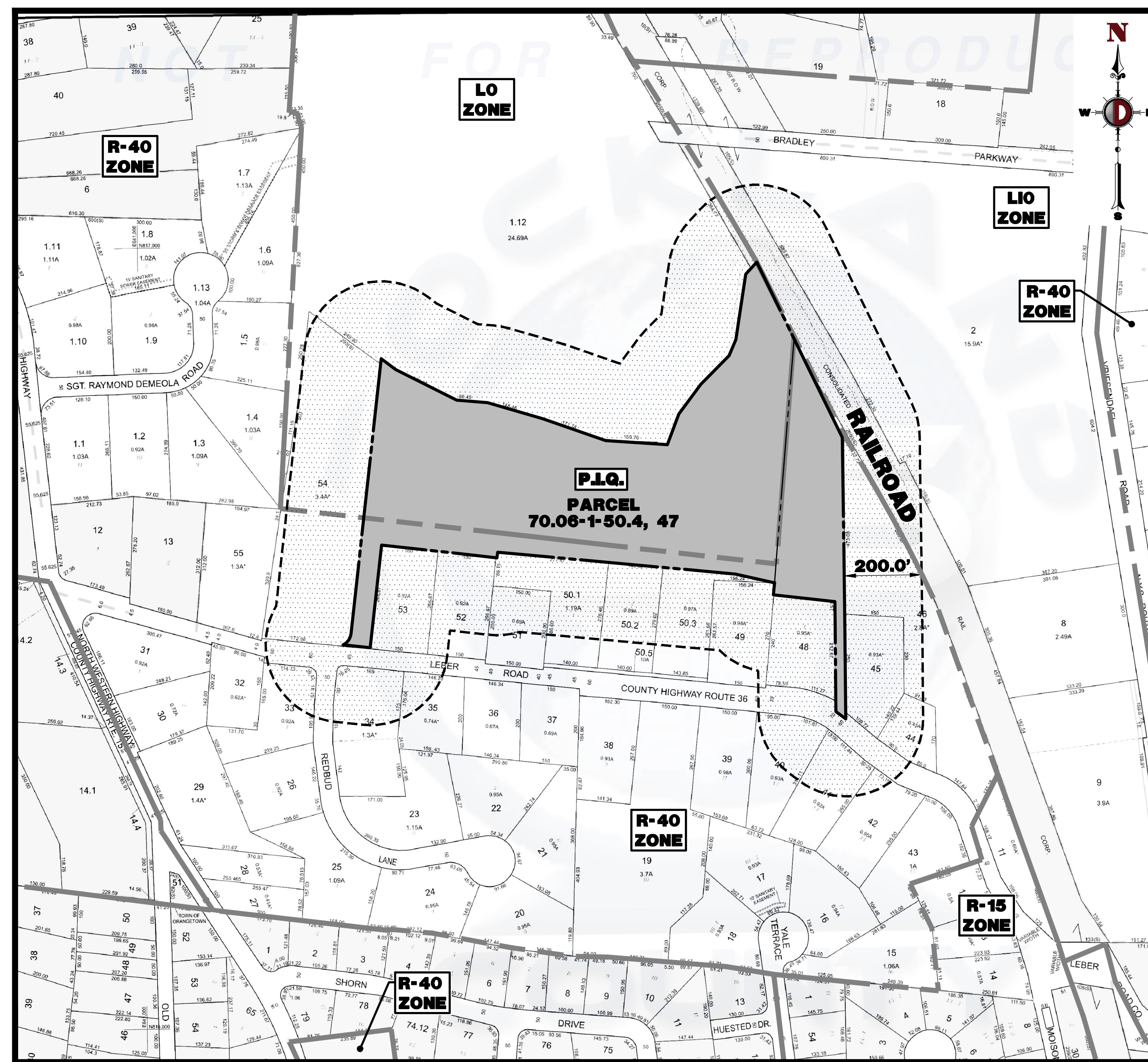
Features selected: 1 [Export All to CSV](#)

OWNER2:
 ADDITIONAL OWNERS: 70.06-1-47
 ADDRESS: 140 LEBER RD
 ADDRESS2:
 ALTERNATE ADDRESS:
 CITY: BLAUVELT
 STATE: NY
 ZIP: 10913
 BOOK-PAGE:
 INSTRUMENT: 2021-00017557
 DEED_DATE: 04/18/2021
 MUNICIPALITY: Orangetown
 TOWN: Orangetown
 VILLAGE: -
 DEED_ACRES:
 GIS_ACRES: 2.03002071
 GML_REVIEW: YES
 ROW - PALISADES INTERSTATE PARKWAY: NO
 ROW - NYS THRUWAY: NO
 ROW - COUNTY HWY: YES
 ROW - STATE HWY: NO
 COUNTY REGULATED STREAM: NO
 LONG PATH TRAIL: NO
 COUNTY PARK: NO
 STATE PARK: NO
 STATE FACILITY: NO
 COUNTY FACILITY: NO
 VILLAGE BOUNDARY: NO
 TOWN BOUNDARY: NO
 ORANGE COUNTY: NO
 SPLIT_ZONE: NO
 ZONES: 1
 ZONE1: R-40
 ZONE1 DESCRIPTION: Low Density Residential Distr
 ZONE2: -
 ZONE2 DESCRIPTION: -
 ZONE3: -
 ZONE3 DESCRIPTION: -
 ZONE OVERLAY: -
 LAND USE: Vacant
 NATIONAL HISTORIC SITE: NO
 HISTORIC REVIVAL SITE: NO
 HISTORIC DUTCH SITE: NO
 HISTORIC DISTRICT: NO
 ELECTION DISTRICT: 26
 LEGISLATIVE DISTRICT: 16
 ASSEMBLY DISTRICT: 97
 SENATE DISTRICT: 38
 CONGRESSIONAL DISTRICT: 17
 SCHOOL DISTRICT: South Orangetown Central

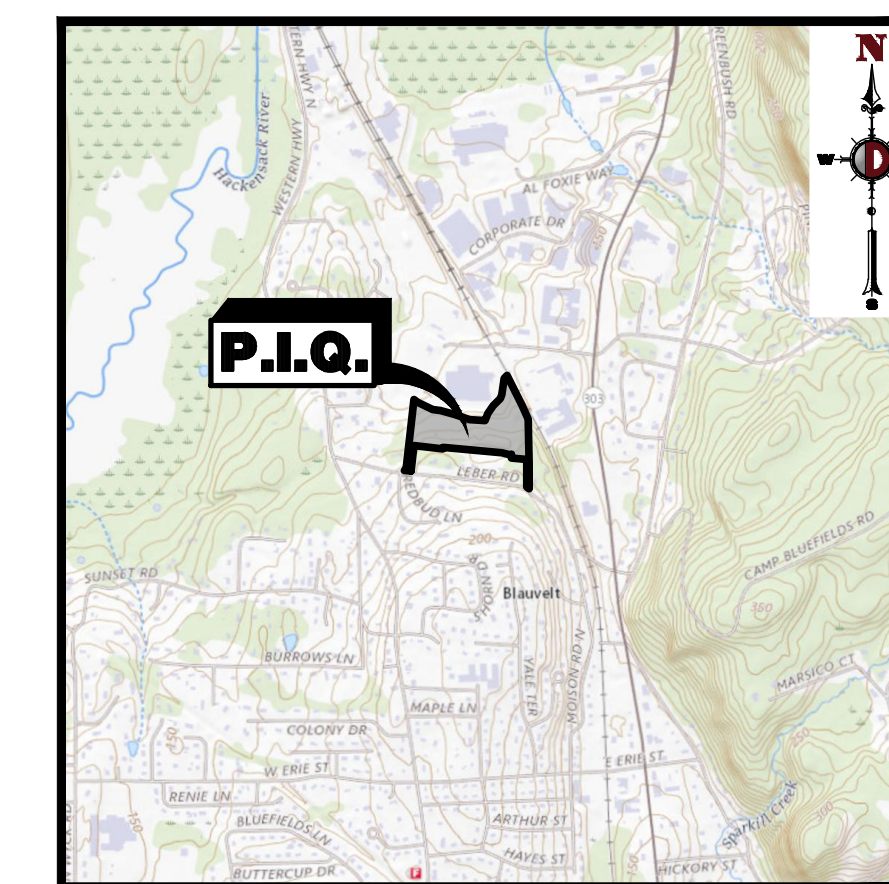
PRELIMINARY AND FINAL SITE PLAN

FOR ONYX EQUITIES, LLC PROPOSED ACCESSORY PARKING LOT

PARCEL 70.06-1-50.4 & 47; TAX MAP SHEET #70.06 - LATEST REV. DATED 06-16-1992
64 & 140 LEBER ROAD,
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK



AREA MAP
1" = 200'



KEY MAP
1" = 2000'

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COVER SHEET	1 of 28
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DEMOLITION PLAN 'A' - 'B'	6 - 7 of 28
OVERALL GRADING PLAN	8 of 28
GRADING PLAN 'A' - 'B'	9 - 10 of 28
OVERALL DRAINAGE AND UTILITY PLAN	11 of 28
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STREAM PROFILES	14 - 15 of 28
LANDSCAPE PLAN 'A' - 'B'	16 - 17 of 28
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VEHICLE CIRCULATION PLAN (CAR CARRIER TRAILER)	27 of 28
VEHICLE CIRCULATION PLAN (TRUCK)	28 of 28

REV.	DATE	COMMENTS
1	10/27/2024	REV. PER PLANNING BOARD SUBMISSION
2	04/02/2024	REV. PER TOWN BOARD OF AERIALS SUBMISSION
3	04/02/2024	REV. PER TOWN BOARD OF AERIALS SUBMISSION

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PROJECT: **ONYX EQUITIES, LLC**
Proposed Accessory Parking Lot
64 AND 140 LEBER ROAD
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK

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ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 88623

ZACHARY A. TAMM
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 107071

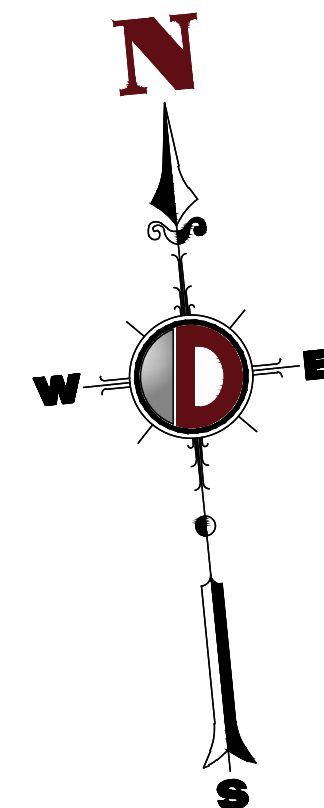
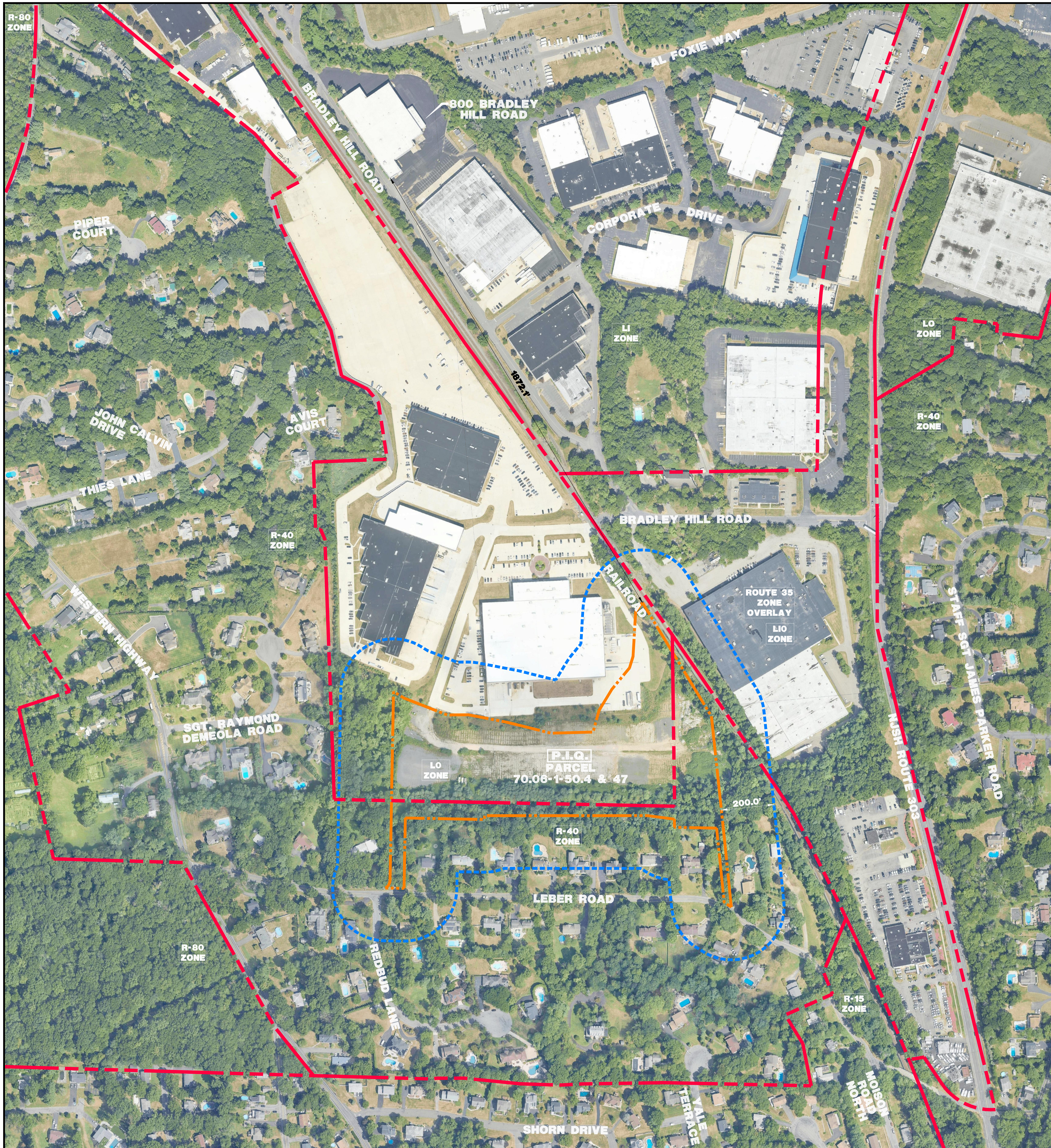
TITLE:
COVER SHEET

SCALE(S) AS SHOWN: 10/02/2023
PROJECT No: 1739-22-02023

SHEET No: **1** of 28
Rev. #:

PREPARED BY
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50 PARK PLACE - SUITE 901
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Plotfile: 04/02/24 - 247_PN_Rev_01.dwg
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		DATE	1/22/2023	REVISION	REVISED PER PLANNING BOARD SUBMISSION
		DATE	1/22/2023	REVISION	REVISED PER PLANNING BOARD SUBMISSION
PROJECT: ONYX EQUITIES, LLC PROPOSED ACCESSORY PARKING LOT 64 AND 140 LEBER ROAD TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK		DATE	1/22/2023	REVISION	REVISED PER PLANNING BOARD SUBMISSION
DRAWN BY: [] CHECKED BY: [] DESIGNED BY: [] PROJECT MANAGER: []		DATE	1/22/2023	REVISION	REVISED PER PLANNING BOARD SUBMISSION

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

PROJECT: ONYX EQUITIES, LLC
 PROPOSED ACCESSORY PARKING LOT
 64 AND 140 LEBER ROAD
 TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK

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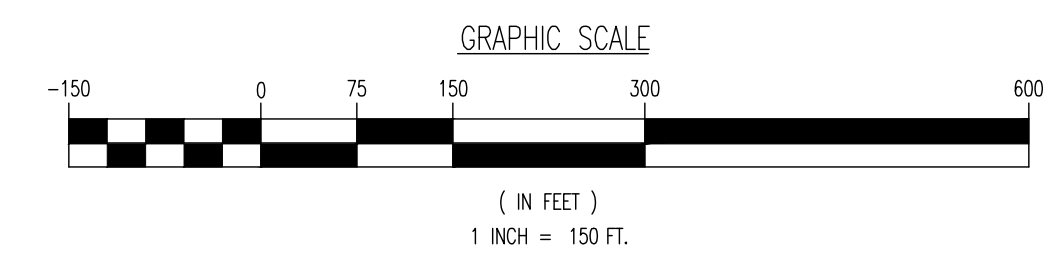
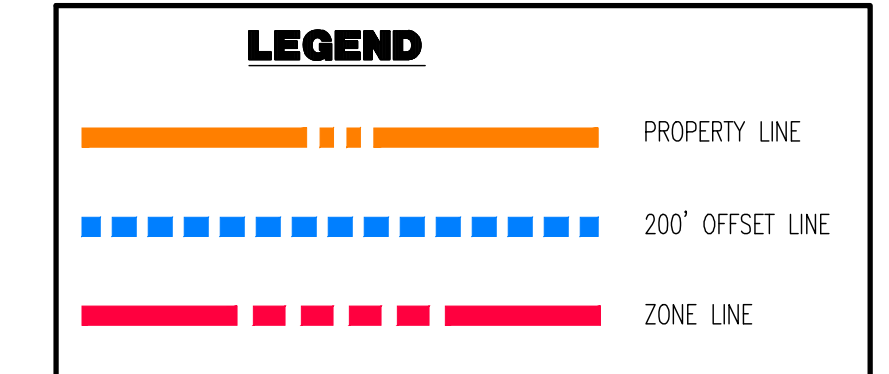
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TITLE:
AERIAL MAP

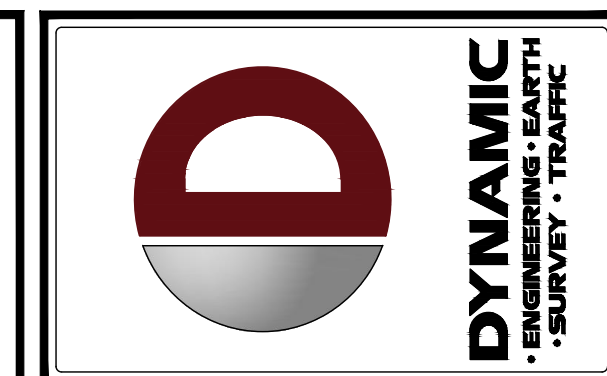
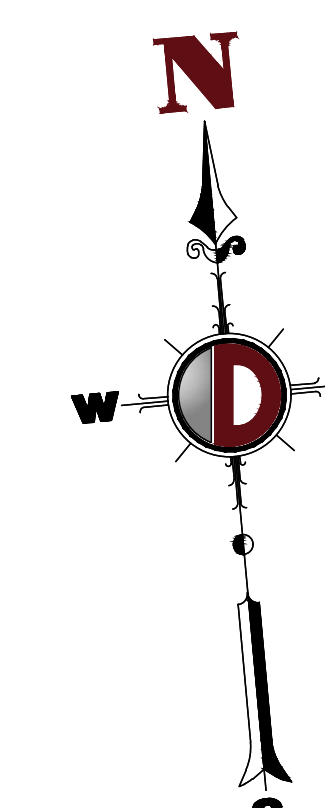
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 PROJECT NO.: 1739-22-02023

SHEET NO.: **2**
 OF 2

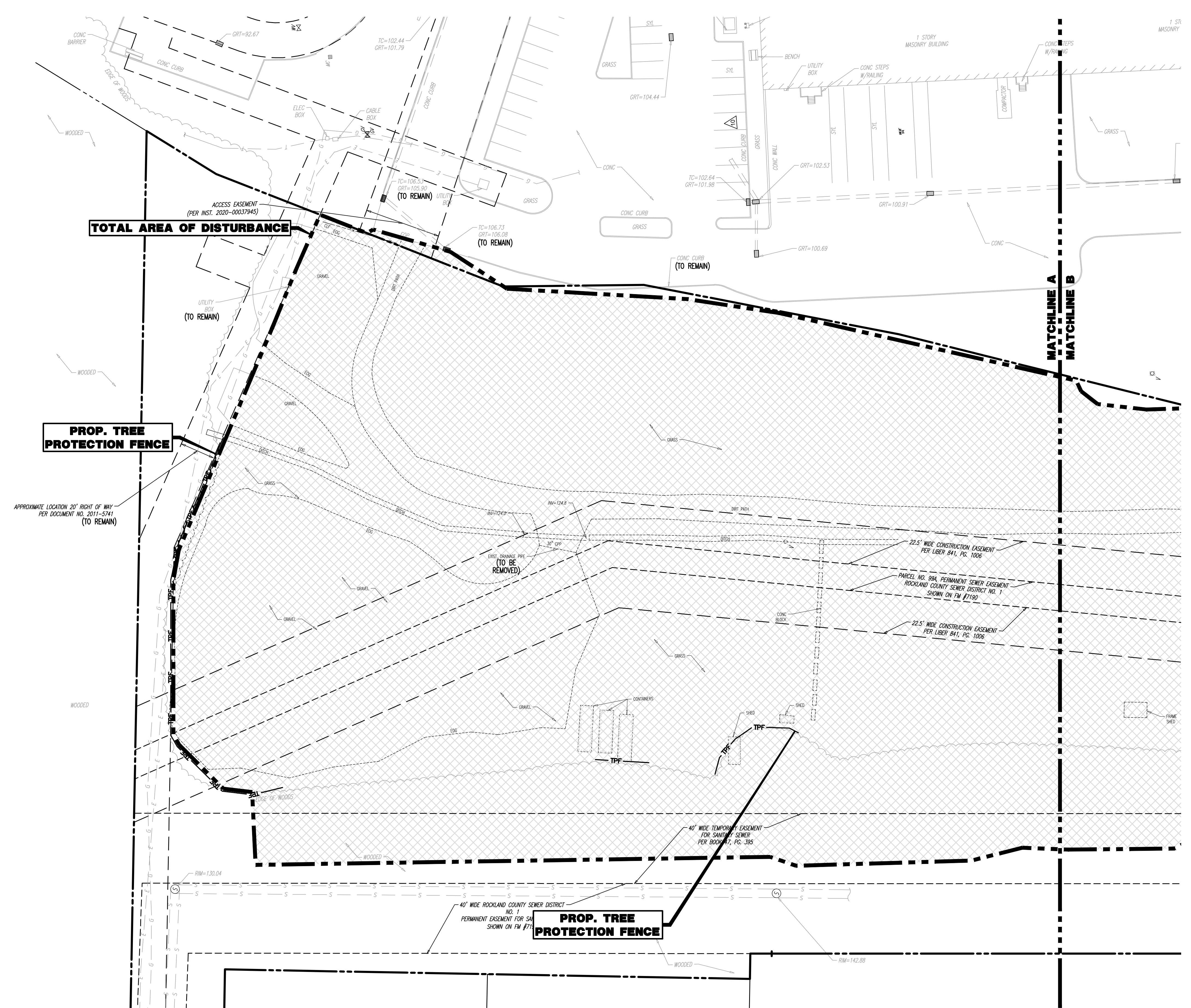


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Printed: 04/02/24 - 2:48 PM. By: []
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REV.	DATE	COMMENTS
1	10/27/2023	REV. PER PLANNING BOARD SUBMISSION
2	04/02/24	REV. PER PLANNING BOARD OF AREAS SUBMISSION

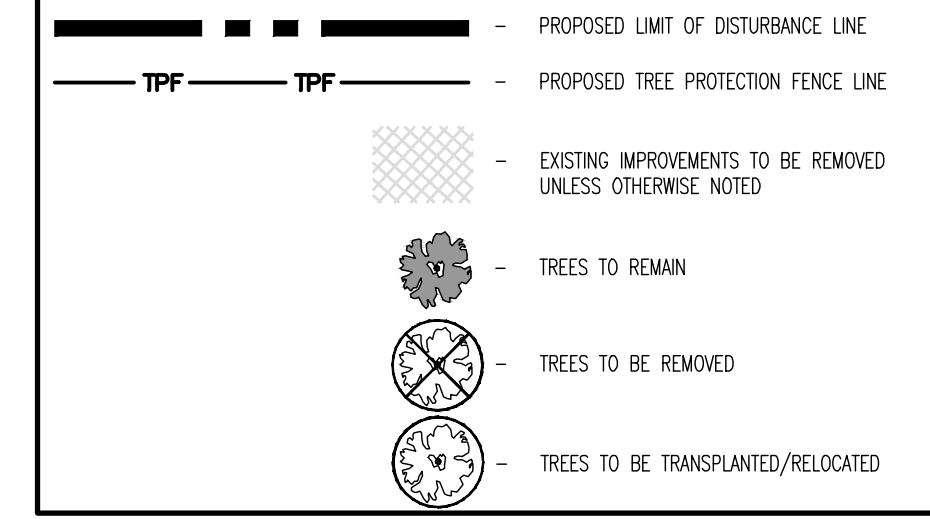


DEMOLITION NOTES

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TERRACE BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRANE SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. DIRECT AND MAINTAIN CONEDED PROCEEDMENTS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND PERSONS. PLACE THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DRIFT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, CORREL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, NAILS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN THICKNESS AND COMPACT EACH LAYER AT PLACEMENT TO PERMIT OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBER, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION WORK FOR POSITIVE ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO DISCONTINUE THE CONTRIBUTION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
19. VERIFY THAT ALL ENVIRONMENTAL CONCERNS INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD BASED PAINT, HAZARDOUS MATERIALS, UNDERGROUND STORAGE TANKS, AND TRANSFORMERS HAVE BEEN REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. THESE ARE NOT SHOWN ON THE PLANS. REFER TO ENVIRONMENTAL REPORTS AND DOCUMENTS FOR LOCATIONS AND DISPOSAL PROCEDURES.

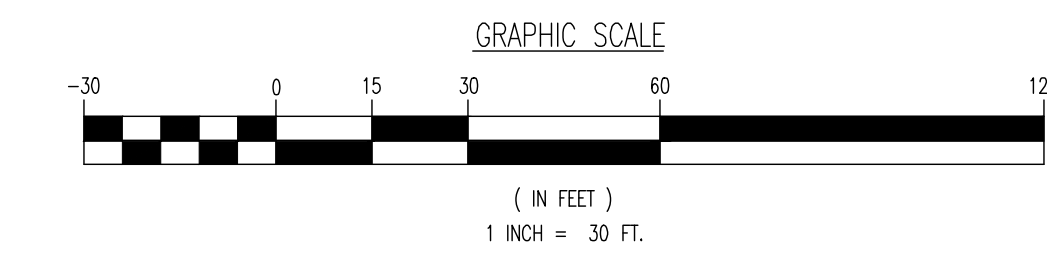
- NOTES**
1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
 3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
 4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.
 5. CONTOURS ARE IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

DEMOLITION PLAN LEGEND



TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

NOTE: ALL EXISTING UTILITIES TO REMAIN, UNLESS SPECIFICALLY NOTED.



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: **ONYX EQUITIES, LLC**
Proposed Accessory Parking Lot
14 AND 140 LEEBER ROAD
TOWN OF DRANETOWN, ROCKLAND COUNTY, NEW YORK

DATE: 10/27/2023

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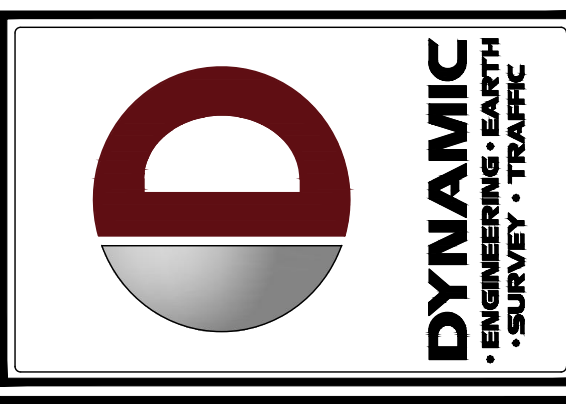
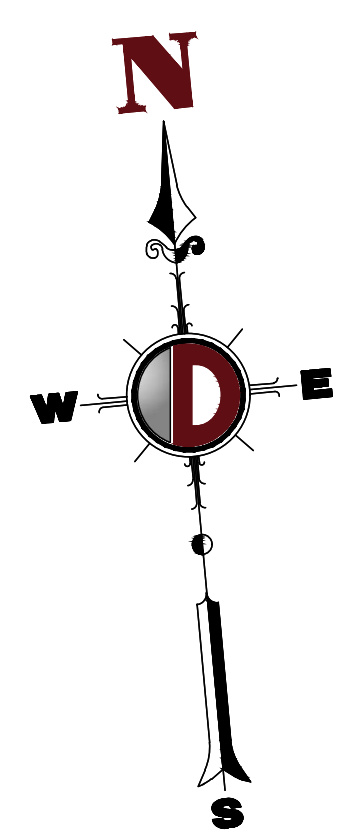
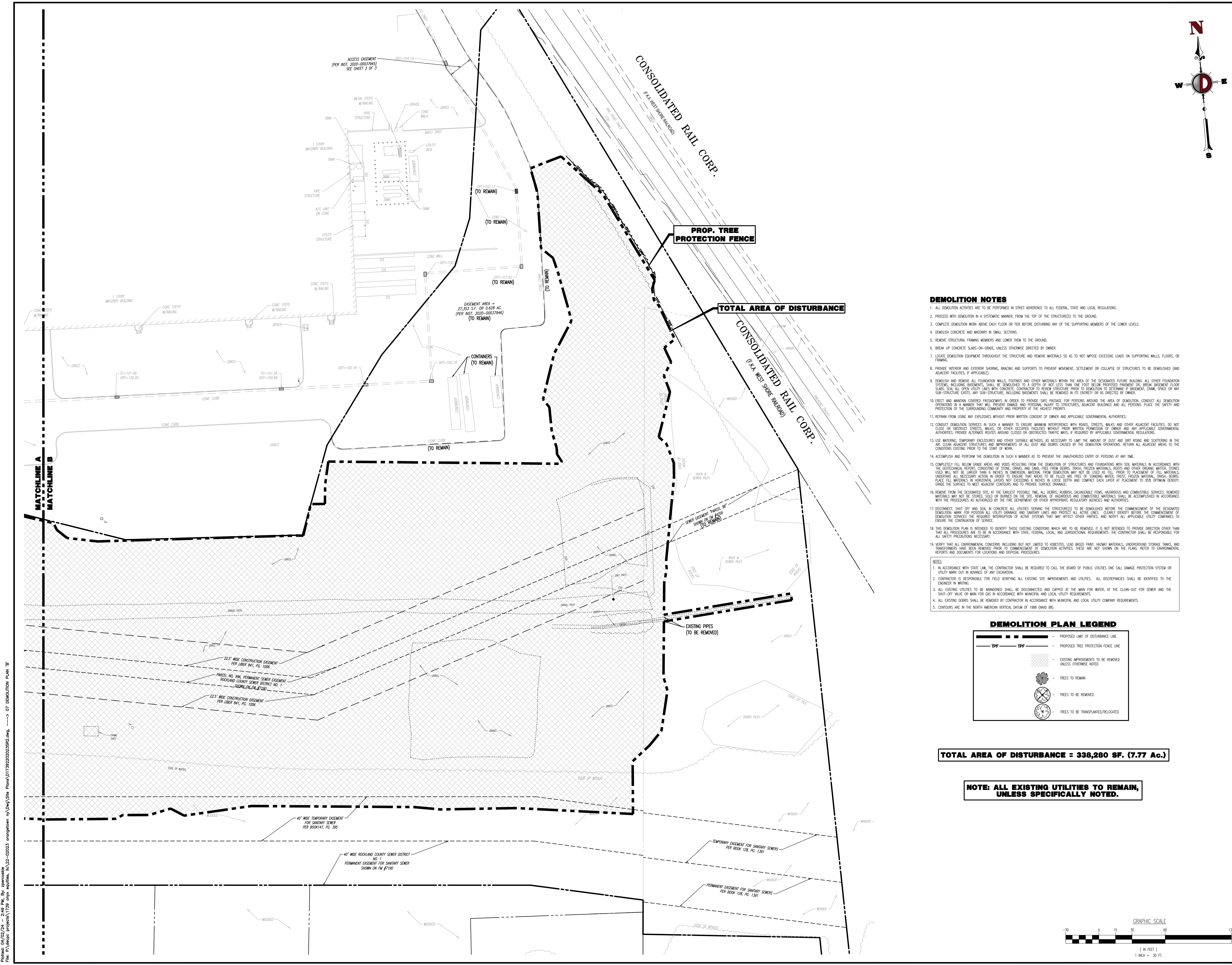
ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 88623

ZACHARY A. HAMM
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 207071

TITLE:
DEMOLITION PLAN 'A'

SCALE: (H) 1"=30'
(V) 1"=30'
DATE: 10/02/2023
PROJECT No: 1739-22-02023

SHEET No: **6** of 28
Rev. #:



REV.	DATE	COMMENTS
1	10/02/2023	REV. PER PLANNING BOARD SUBMISSION
2	10/02/2023	REV. PER PLANNING BOARD SUBMISSION
3	10/02/2023	REV. PER PLANNING BOARD SUBMISSION

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: **ONYX EQUITIES, LLC**
Proposed Accessory Parking Lot
144 West Shore Boulevard
East and 140 Leffler Road
Town of Cranford, Rockland County, New York

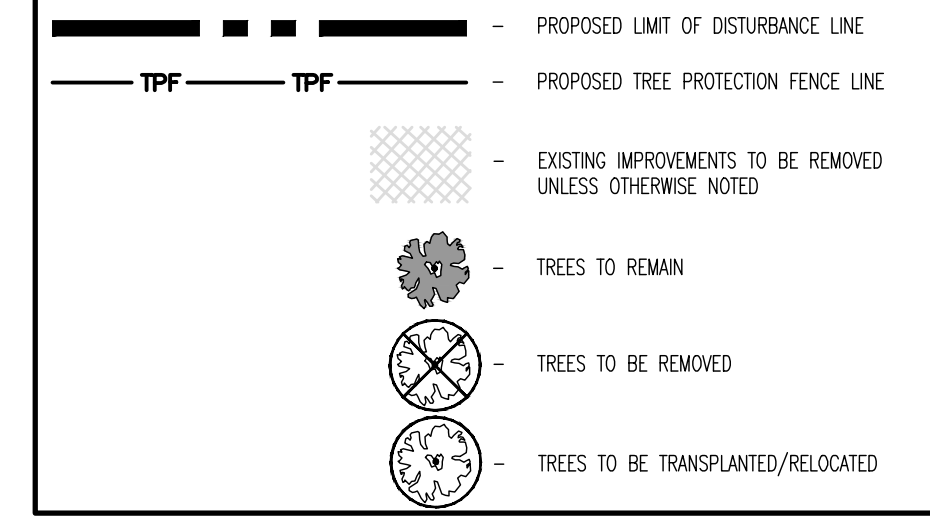
DEMOLITION NOTES

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL TRUSSING MEMBERS AND LOWER THEM TO THE GROUND.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
8. REMOVE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING TREATMENTS SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PARKING OR BREAK-BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PRESSUREWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS. PLACE THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND SOIL RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM BEANS, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERLIE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER BY PLACEMENT TO SPEC OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, FLUORISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOIL OR BURIED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY GRABAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
19. VERIFY THAT ALL ENVIRONMENTAL CONCERNS INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD BASED PAINT, HAZARDOUS MATERIALS, UNDERGROUND STORAGE TANKS, AND TRANSFORMERS HAVE BEEN REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. THESE ARE NOT SHOWN ON THE PLANS. REFER TO ENVIRONMENTAL REPORTS AND DOCUMENTS FOR LOCATIONS AND DISPOSAL PROCEDURES.

NOTES

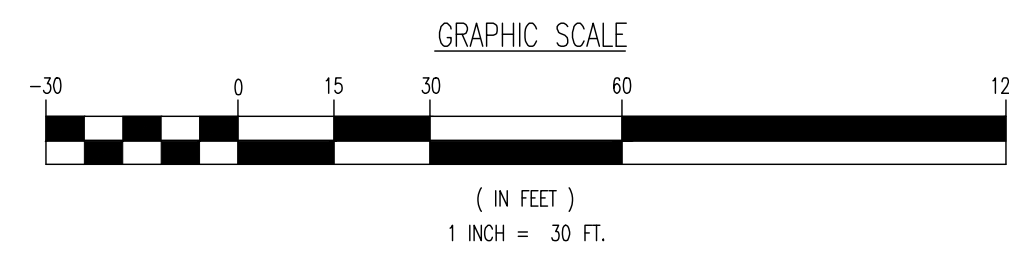
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2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.
5. CONTOURS ARE IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

DEMOLITION PLAN LEGEND



TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

NOTE: ALL EXISTING UTILITIES TO REMAIN, UNLESS SPECIFICALLY NOTED.



Project: 04/02/23 - 249 PN, Rev. 07/2023
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 07 DEMOLITION PLAN 'B'

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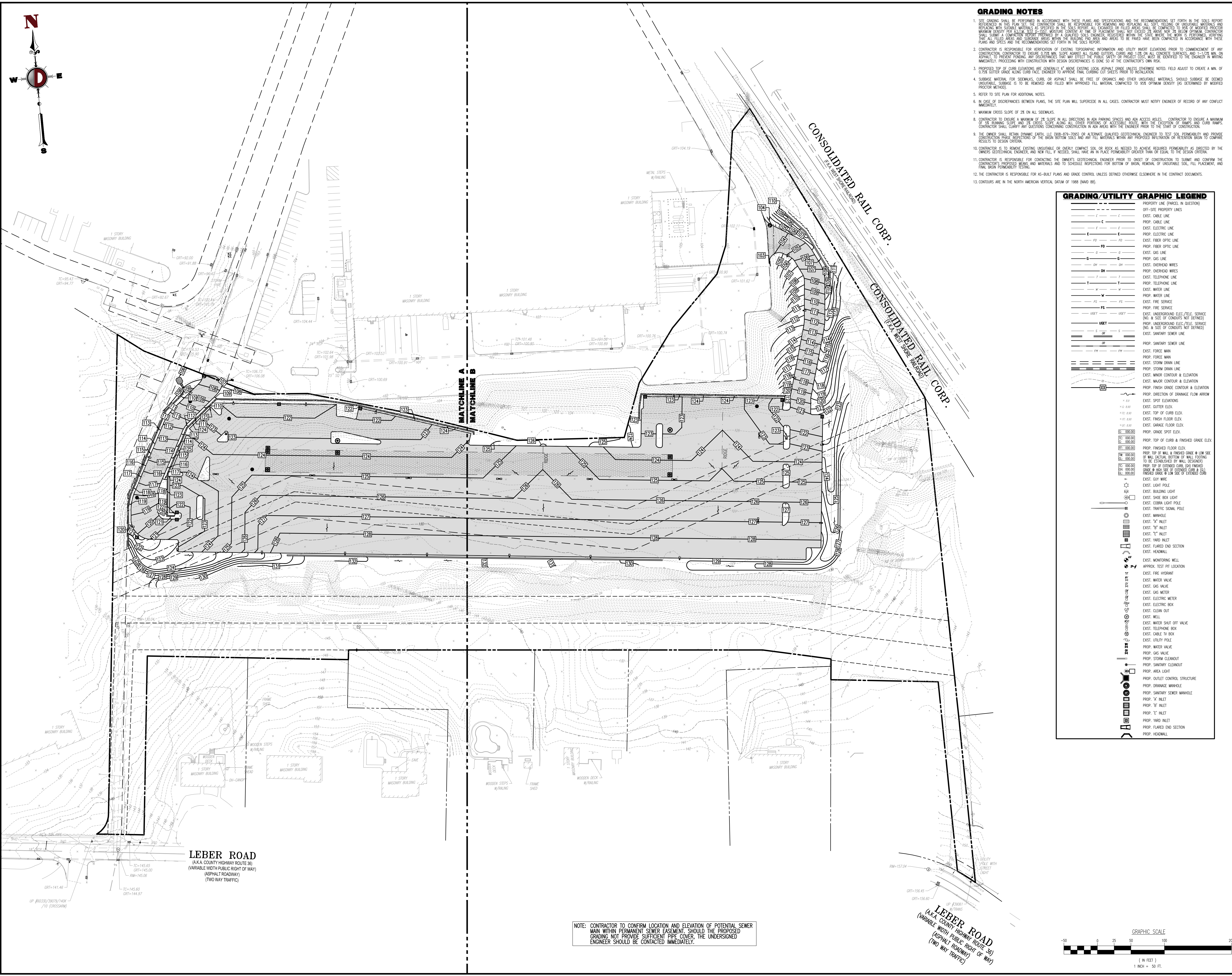
ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 88623

ZACHARY A. HAMM
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 87071

TITLE:
DEMOLITION PLAN 'B'

SCALE: (H) 1"=30'
(V) 1"=30'
DATE: 10/02/2023
PROJECT No: 1739-22-02023

SHEET No: **7** of 28
Rev. #:



GRADING NOTES

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D1557. THE CONTRACTOR SHALL SUBMIT A COMPACTION REPORT TO THE ENGINEER PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING FOOT PRINT AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 10% MIN. SLOPE AGAINST ALL EXISTING CURBS AND 2% ON ALL CONCRETE SURFACES AND 1-1/2% MIN. ON ASPHALT TO PREVENT POOLING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS SOLELY AT THE CONTRACTOR'S OWN RISK.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
4. SUBGRADE MATERIAL FOR SIDEWALKS, CURBS OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEEMED UNSUITABLE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
5. REFER TO SITE PLAN FOR ADDITIONAL NOTES.
6. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
7. MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
8. CONTRACTOR TO DISBURSE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESSIBLE AREAS. CONTRACTOR TO ENSURE A MAXIMUM OF 1% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE. WITH THE EXCEPTION OF DUMPS AND CURB RAMPS, CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
9. THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (908-879-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SIDES AND ANY FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
10. CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
11. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
12. THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL, UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.
13. CONTOURS ARE IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

GRADING/UTILITY GRAPHIC LEGEND

	PROPERTY LINE (PARCEL IN QUESTION)
	OFF-SITE PROPERTY LINES
	EXIST. CABLE LINE
	PROP. CABLE LINE
	EXIST. ELECTRIC LINE
	PROP. ELECTRIC LINE
	EXIST. FIBER OPTIC LINE
	PROP. FIBER OPTIC LINE
	EXIST. GAS LINE
	PROP. GAS LINE
	EXIST. OVERHEAD WIRES
	PROP. OVERHEAD WIRES
	EXIST. TELEPHONE LINE
	PROP. TELEPHONE LINE
	EXIST. WATER LINE
	PROP. WATER LINE
	EXIST. FIRE SERVICE
	PROP. FIRE SERVICE
	EXIST. UNDERDRAIN ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
	PROP. UNDERDRAIN ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
	EXIST. SANITARY SEWER LINE
	PROP. SANITARY SEWER LINE
	EXIST. FORCE MAIN
	PROP. FORCE MAIN
	EXIST. STORM DRAIN LINE
	PROP. STORM DRAIN LINE
	EXIST. MINOR CONTOUR & ELEVATION
	EXIST. MAJOR CONTOUR & ELEVATION
	PROP. FINISH GRADE CONTOUR & ELEVATION
	PROP. DIRECTION OF DRAINAGE FLOW ARROW
	EXIST. SPOT ELEVATIONS
	EXIST. GUTTER ELEV.
	EXIST. TOP OF CURB ELEV.
	EXIST. FINISH FLOOR ELEV.
	EXIST. GARAGE FLOOR ELEV.
	PROP. GRADE SPOT ELEV.
	PROP. TOP OF CURB & FINISHED GRADE ELEV.
	PROP. FINISHED FLOOR ELEV.
	PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	PROP. TOP OF EXTENDED CURB (OR FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & TOP OF FINISHED GRADE @ LOW SIDE OF EXTENDED CURB)
	EXIST. CLAY WIRE
	EXIST. LIGHT POLE
	EXIST. BUILDING LIGHT
	EXIST. STREET LIGHT POLE
	EXIST. TRAFFIC SIGNAL POLE
	EXIST. MANHOLE
	EXIST. 'A' INLET
	EXIST. 'B' INLET
	EXIST. 'C' INLET
	EXIST. 'D' INLET
	EXIST. FLARED END SECTION
	EXIST. HEADWALL
	EXIST. MONITORING WELL
	APPROX. TEST PIT LOCATION
	EXIST. FIRE HYDRANT
	EXIST. WATER VALVE
	EXIST. GAS VALVE
	EXIST. GAS METER
	EXIST. ELECTRIC METER
	EXIST. ELECTRIC BOX
	EXIST. CLEAN OUT
	EXIST. WELL
	EXIST. WATER SHUT OFF VALVE
	EXIST. TELEPHONE BOX
	EXIST. CABLE TV BOX
	EXIST. UTILITY POLE
	PROP. WATER VALVE
	PROP. GAS VALVE
	PROP. STORM CLEANOUT
	PROP. SANITARY CLEANOUT
	PROP. AREA LIGHT
	PROP. OUTLET CONTROL STRUCTURE
	PROP. DRAINAGE MANHOLE
	PROP. SANITARY SEWER MANHOLE
	PROP. 'A' INLET
	PROP. 'B' INLET
	PROP. 'C' INLET
	PROP. 'D' INLET
	PROP. YARD INLET
	PROP. FLARED END SECTION
	PROP. HEADWALL

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<p>THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION</p>	<p>PROJECT: ONYX EQUITIES, LLC Proposed Accessory Parking Lot 64 AND 140 Leber Road TOWN OF DRACETOWN, ROCKLAND COUNTY, NEW YORK</p>
<p>PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF EXHAUSTION, RESIGNATION, OR ANY PERSON PROPRIETARY TO SECURE THE SHOWN SERVICE WORKERS IN ANY STATE</p> <p style="font-size: 24pt; font-weight: bold; color: green;">811</p> <p>Call before you dig Long 978 666 6666</p> <p>FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM</p>	<p style="font-weight: bold; font-size: 18pt;">DYNAMIC ENGINEERING</p> <p>LAND DEVELOPMENT CONSULTING • PERMITTING GEOTECHNICAL • ENVIRONMENTAL TRAFFIC • SURVEY • PLANNING & ZONING</p>
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<p>ROBERT P. FREUD</p> <p>PROFESSIONAL ENGINEER NEW YORK LICENSE No. 88623</p>	
<p>ZACHARY A. HAMM</p> <p>PROFESSIONAL ENGINEER NEW YORK LICENSE No. 20771</p>	
<p>TITLE: OVERALL GRADING PLAN</p>	
<p>SCALE: (H) 1"=50' (V) 1"=10'</p> <p>DATE: 10/02/2023</p> <p>PROJECT No: 1739-22-02023</p> <p>SHEET No: 8 Rev. #:</p>	

NOTE: CONTRACTOR TO CONFIRM LOCATION AND ELEVATION OF POTENTIAL SEWER MAIN WITHIN PERMANENT SEWER EASEMENT. SHOULD THE PROPOSED GRADING NOT PROVIDE SUFFICIENT PIPE COVER, THE UNDERSIGNED ENGINEER SHOULD BE CONTACTED IMMEDIATELY.

Plot No: 04/02/23 - 249 PN, Rev. 08/2023
 File: P:\proj\1739\1739_08_2023\1739_08_2023.dwg
 Plot: 04/02/23 - 249 PN, Rev. 08/2023
 File: P:\proj\1739\1739_08_2023\1739_08_2023.dwg

REV.	DATE	COMMENTS
1	10/27/2023	REV. PER PLANNING BOARD SUBMISSION
2	04/02/24	REV. PER TOWN BOARD OF APPEALS SUBMISSION

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DESIGNED BY: KMG
CHECKED BY: AGC
DATE: _____

PROJECT: **ONYX EQUITIES, LLC**
Proposed Accessory Parking Lot
E4 AND 140 LEBER ROAD
TOWN OF DRANETOWN, ROCKLAND COUNTY, NEW YORK

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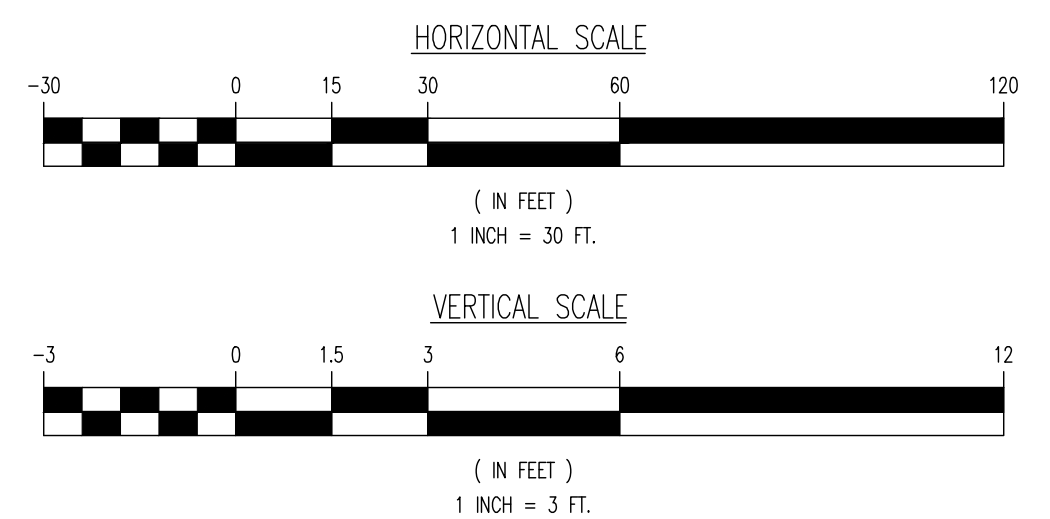
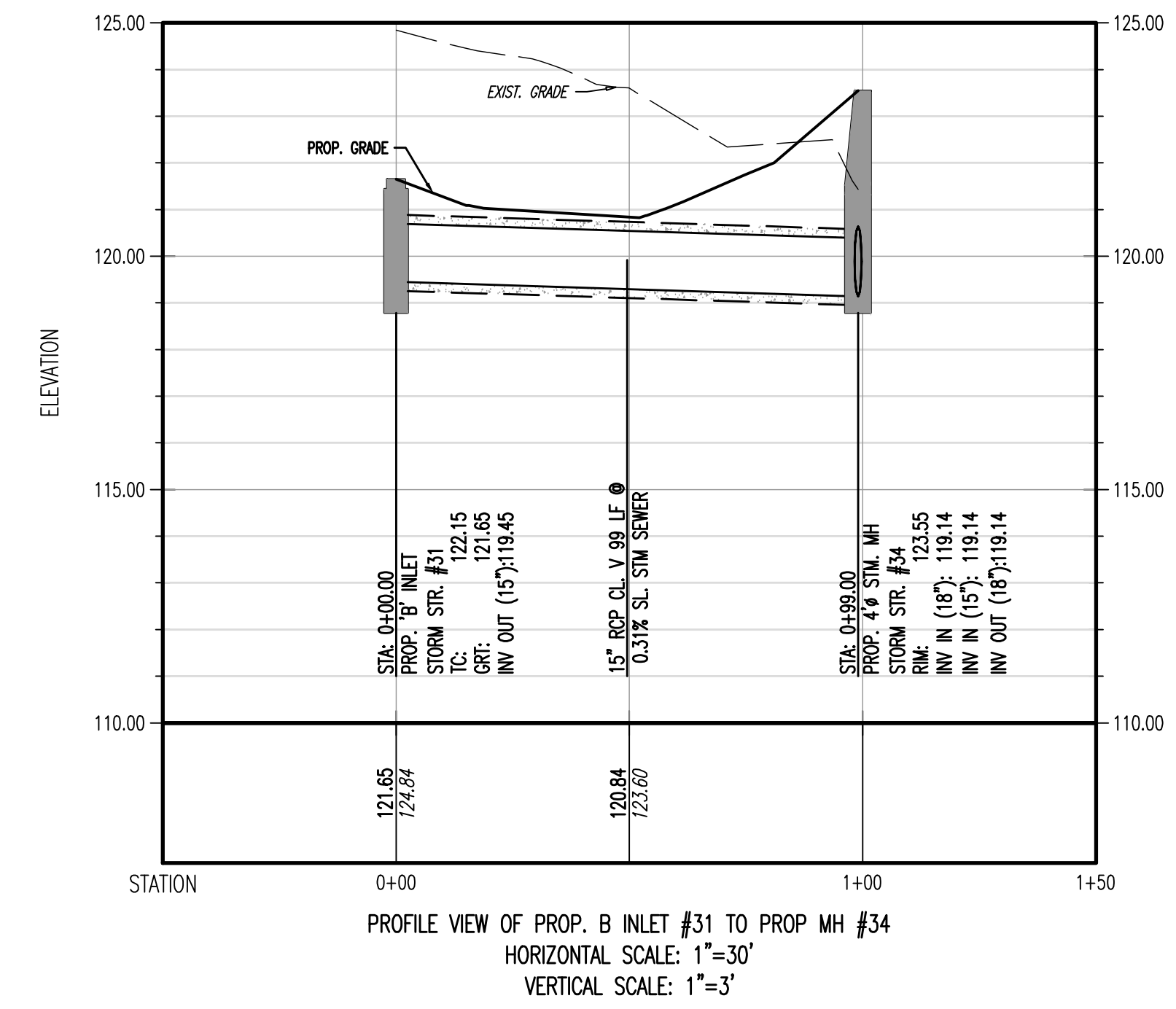
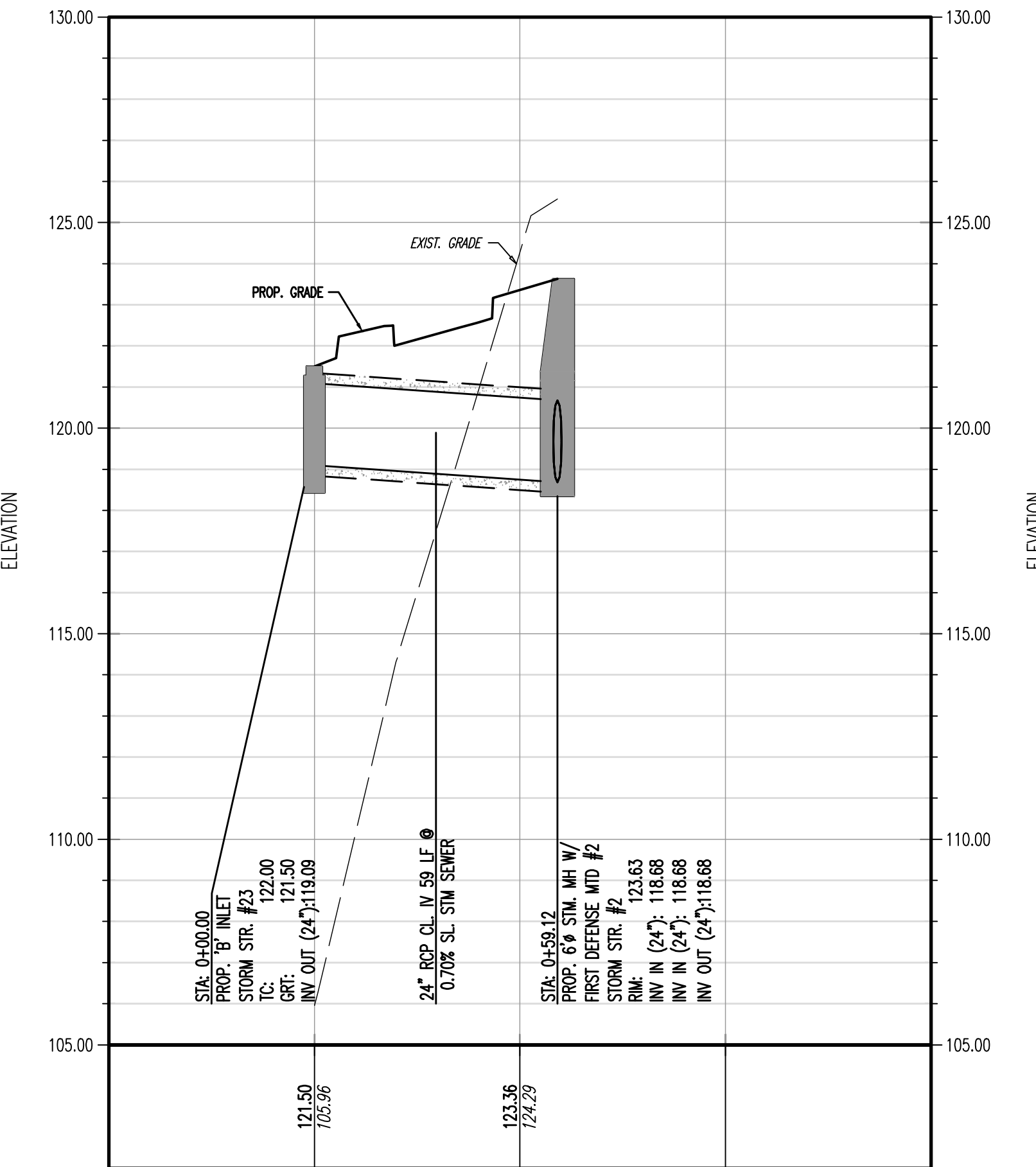
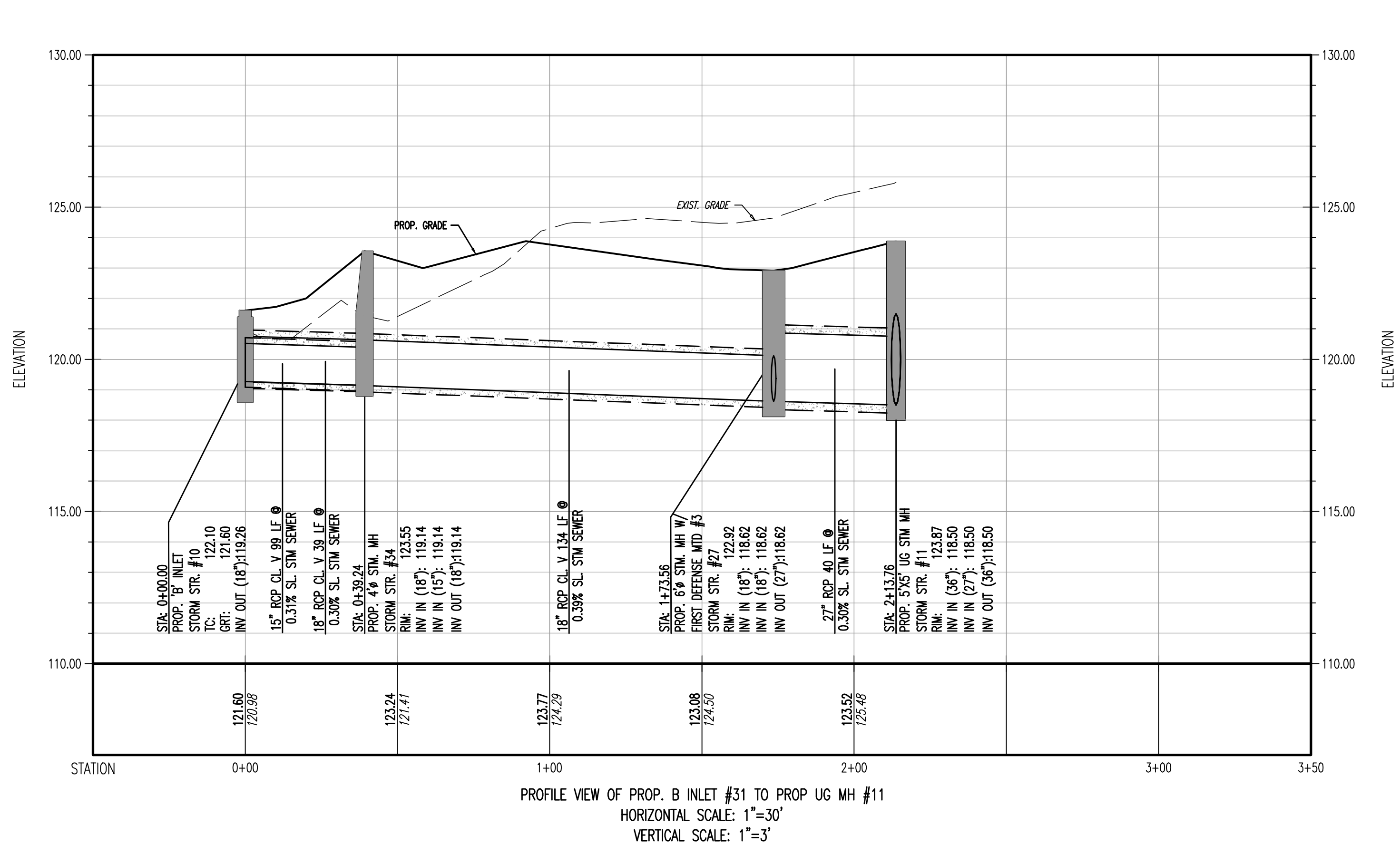
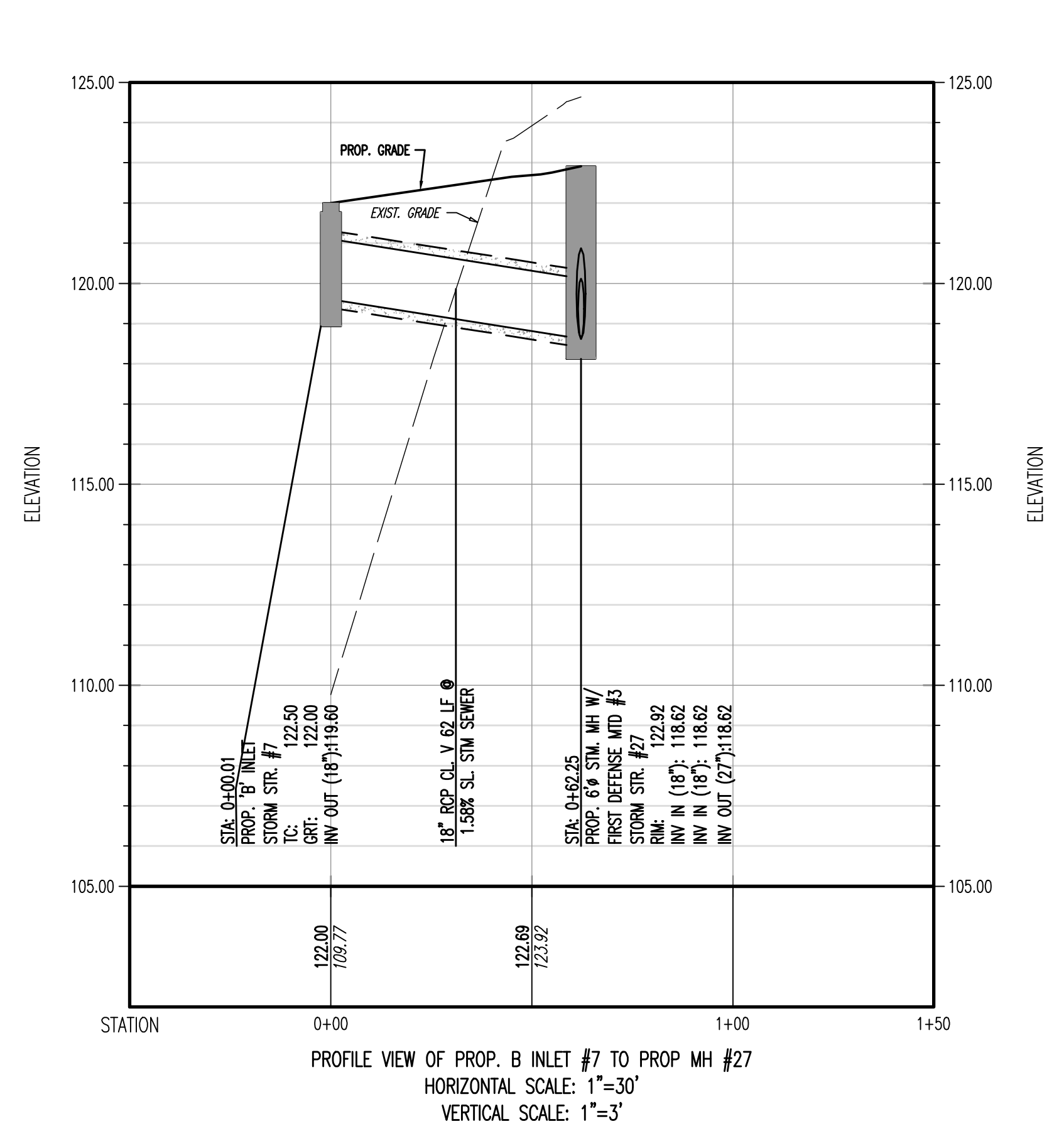
ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 88623

ZACHARY A. KAMM
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 207071

TITLE:
STORM PROFILES

SCALE (BY AS SHOWN): 1 INCH = 30 FT.
DATE: 10/02/2023
PROJECT NO: 1739-22-02023

SHEET NO: **15** OF 28
REV. #:



THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

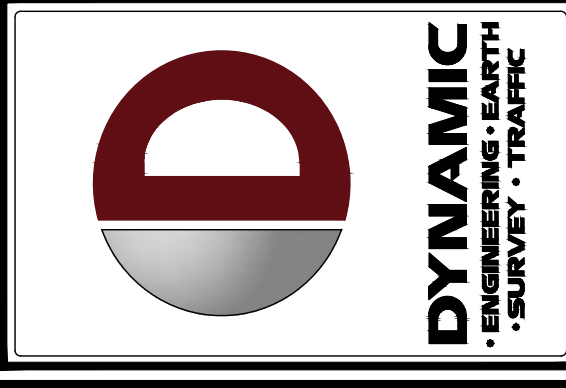


Table with columns: NO., REV., DATE, COMMENTS. Includes revision history for the plan.

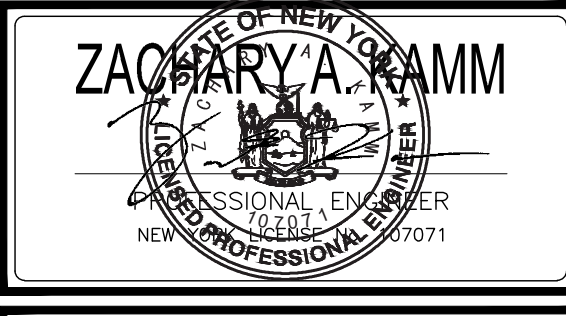
PROJECT: ONYX EQUITIES, LLC Proposed Accessory Parking Lot. Location: 50 Park Place, Suite 901, Newark, NJ 07102.

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ROBERT P. FREUD, PROFESSIONAL ENGINEER, NEW YORK LICENSE NO. 88623.



TITLE: LANDSCAPE PLAN 'A'

SCALE: (H) 1"=30', (V) 1"=30'. DATE: 10/02/2023. PROJECT No: 1739-22-02023. SHEET No: 16 of 28.

- PLANTING NOTES: 1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES... 3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY...

Table with columns: TYPE, QUANTITY, DATE. Lists plant types like TREES, SHRUBS, and their quantities.

FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON... ANY PLANTING INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL...

PLANTING SPECIFICATIONS

- 1. SCOPE OF WORK: THIS WORK SHALL CONSIST OF PERFORMING, CLEANING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE... 2. MATERIALS: A. GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS... B. TOPSOIL - 100% ORGANIC, FREE FROM DISEASE AND INSECTS... 3. FERTILIZER AND SOIL CONDITIONERS: A. ORGANIC FERTILIZER - SHALL BE PROCESSED SLOWER SLUDGE WITH ANNUAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID... B. ORGANIC FERTILIZER AND SOIL CONDITIONERS SHALL BE APPLIED TO THE SOIL SURFACE...

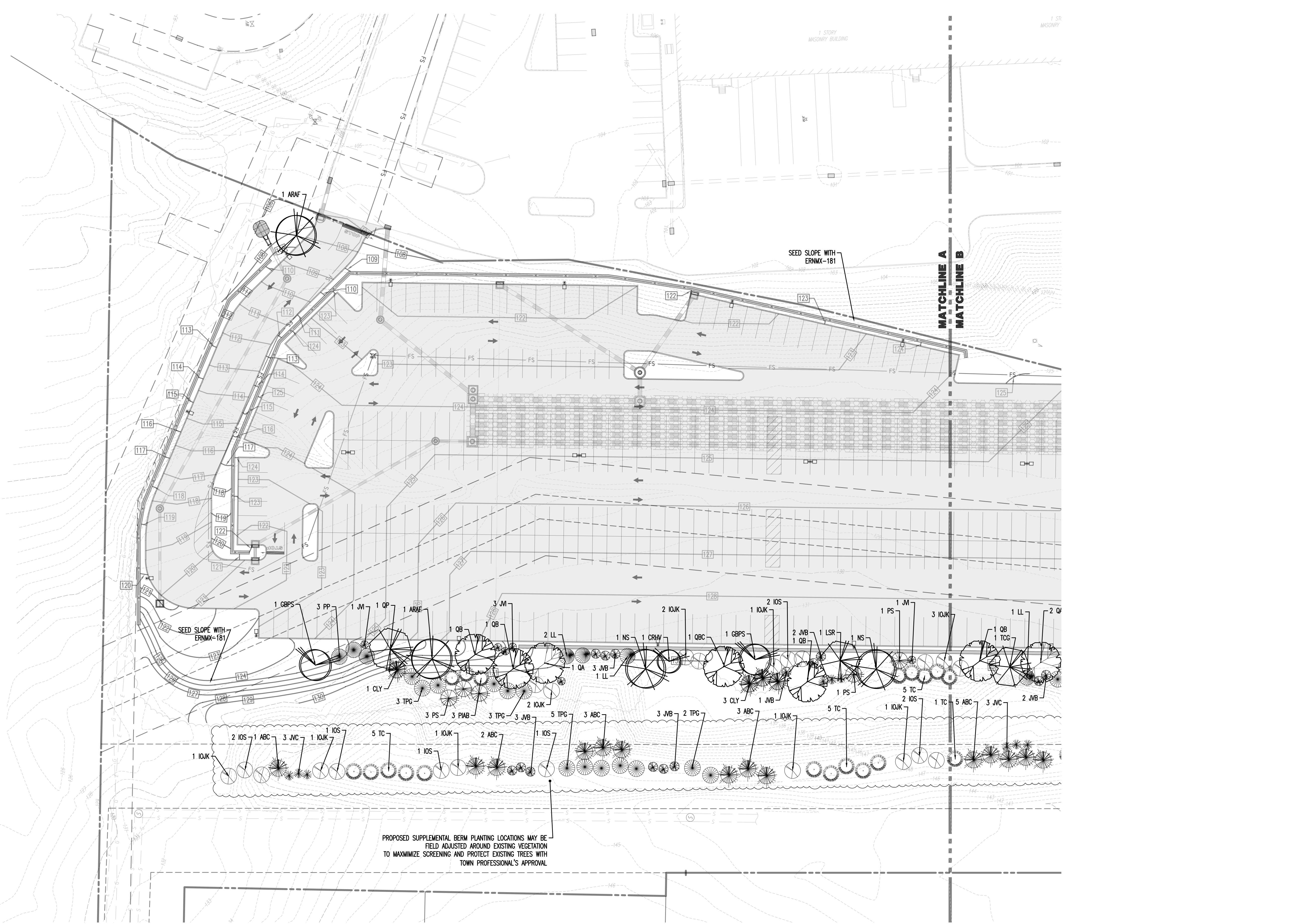
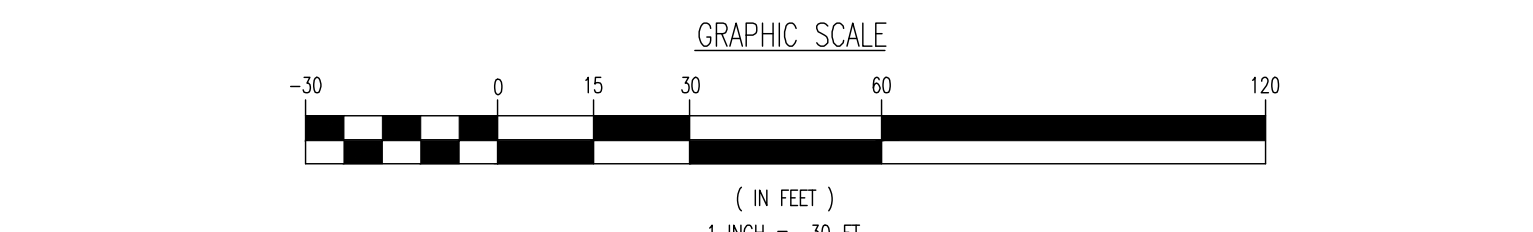
ERNST CONSERVATION SEEDS NATIVE STEEP SLOPE MIX W/ ANNUAL RYEGRASS (ERNMX-181):

- 31.10 % SORGHASTRUM NUTANS, NEW ENGLAND E COTYPRE
20.00 % LOLIUM MULTIFLORUM
14.00 % ANDROPOGON GERARDII, 'NAGAHAM'
10.00 % ELYMUS VIRGINICUS, MADISON-NY ECOTYPRE
7.00 % ELYMUS CANADENSIS
4.00 % ACRISOLIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPRE
4.00 % PANICUM VIRGATUM, 'CARTHAGE', NC ECOTYPRE
3.00 % PANICUM GLANDULOSUM, 'TODD'
1.00 % ECHINACSA PURPUREA
1.00 % CHAMERICUSIA FASCICULATA, PA ECOTYPRE
1.00 % BELLYCORN RELIQUINENSIS, PA ECOTYPRE
1.00 % COREOPUS LANCEOLATA
1.00 % RUBICUNDUS VIRIDIS
0.30 % MONARDA FISTULOSA, FORT INDIANUM GAP-PA ECOTYPRE
0.20 % SOLIDAGO VIRGATA
0.20 % COLUBAZO RUPESTRIS, PA ECOTYPRE
0.10 % ASTER LATIFOLIUS
0.10 % ASTER PLOSCUS, PA ECOTYPRE
100%

SEEDING RATE: 60 LB PER ACRE, OR 1.5 LB PER 1,000 SQ FT. EROSION CONTROL AND RE-VEGETATION

TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

SEE SHEET 22 OF 28 FOR LANDSCAPE PLAN DETAILS



PROPOSED SUPPLEMENTAL BERM PLANTING LOCATIONS MAY BE FIELD ADJUSTED AROUND EXISTING VEGETATION TO MAXIMIZE SCREENING AND PROTECT EXISTING TREES WITH TOWN PROFESSIONAL'S APPROVAL

LANDSCAPE SCHEDULE table with columns: QUANTITY, BOTANICAL NAME, COMMON NAME, SIZE, REMARKS. Lists plants like ACER RUBRUM, QUERCUS ALBA, etc.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.

Vertical text on the left margin: Plot No. 04/02/23 - 285, P.N. By: [unreadable], Date: 10/02/23, Project: 1739-22-02023, Scale: 1"=30', Title: LANDSCAPE PLAN 'A'

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

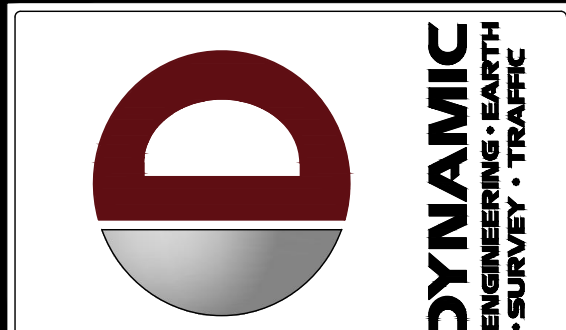


Table with columns: NO., DATE, REV., DESCRIPTION, COMMENTS. Includes revision history for the landscape plan.

PROJECT: ONYX EQUITIES, LLC PROPOSED ACCESSORY PARKING LOT. TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK.

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TITLE: LANDSCAPE PLAN 'B'

SCALE: (H) 1"=30' (V) 1"=10'. DATE: 10/02/2023. PROJECT No: 1739-22-02023

SHEET No: 17 OF 28. Rev. #:

PLANTING NOTES

- 1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT... 3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY... 4. CONTRACTOR SHALL REMOVE ANY SOIL OR DRAINAGE CONDITIONS... 5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR... 6. AS FAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY... 7. QUALITY AND SIZE OF PLANTS... 8. QUALITY AND SIZE OF PLANTS... 9. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS... 10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS... 11. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED... 12. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED... 13. ALL PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED PERIODS... 14. ALL PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED PERIODS... 15. ALL PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED PERIODS... 16. ALL PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED PERIODS... 17. ALL PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED PERIODS... 18. ALL PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED PERIODS... 19. ALL PLANTING SHALL BE COMPLETED WITHIN THE SPECIFIED PERIODS...

Table with columns: TREE PLANTS, DATE. Lists plant types and their planting dates.

FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON... AFTER RUBBING, BETAULUS VARIETIES, QUERCUS VARIETIES, SALSOLIA VARIETIES, LIQUIDAMBAR STRYCHALIA, LINDERA VARIETIES, PLATANUS AEROLIA.

PLANTING SPECIFICATIONS

- 1. SCOPE OF WORK: THIS WORK SHALL CONSIST OF PERFORMING, CLEANING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE... 2. MATERIALS: ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS... 3. PREPARATION AND SOIL CONDITION: ORGANIC FERTILIZER SHALL BE PROCESSED... 4. GENERAL WORK PROCEDURES: LANDSCAPE WORK SHALL COMMENCE AS SOON AS PORTIONS... 5. WEEDING: BEFORE AND DURING PRELIMINARY GRADING... 6. TOPSOIL: CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER... 7. SOIL CONDITIONING: CULTIVATE ALL AREAS TO BE PLANTED... 8. PLANTING: THOROUGHLY MIX ORGANIC MATTER INTO THE TOP 6 TO 12 IN... 9. SOIL TESTING: CONTRACTOR SHALL SUBMIT SAMPLES... 10. FINISH GRADING: ALL GRADING SHALL BE RECEIVED BY THE CONTRACTOR... 11. GUARANTEE: CONTRACTOR SHALL GUARANTEE ALL PLANTS... 12. CLEANUP: UPON THE COMPLETION OF ALL PLANTING WORK...

ERNST CONSERVATION SEEDS

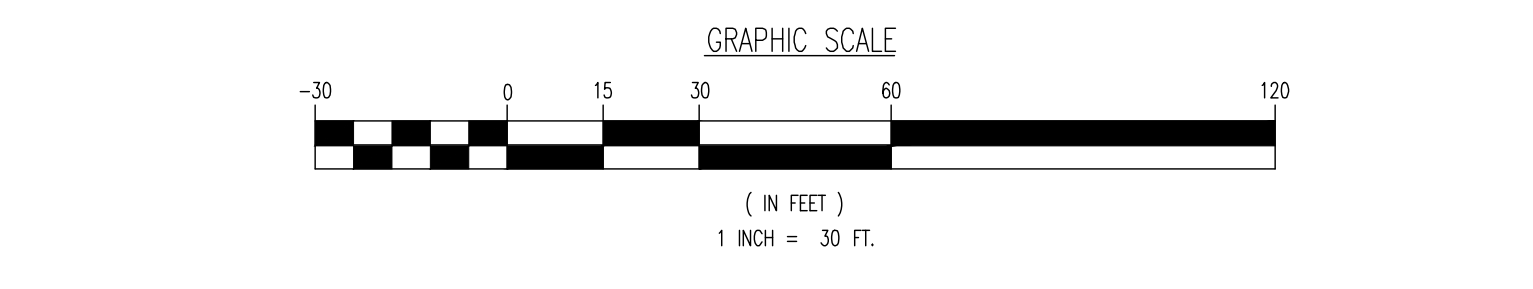
NATIVE STEEP SLOPE MIX W/ ANNUAL RYEGRASS (ERNX-181):

Table with columns: BOTANICAL NAME, COMMON NAME. Lists various plant species and their common names.

SEEDING RATE: 60 LB PER ACRE, OR 1.5 LB PER 1,000 SQ FT. EROSION CONTROL AND RE-VEGETATION.

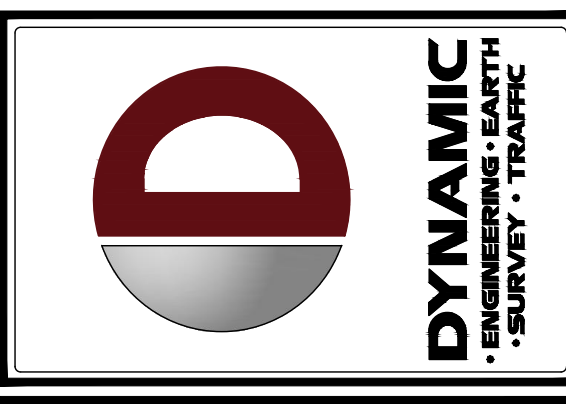
TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

SEE SHEET 22 OF 28 FOR LANDSCAPE PLAN DETAILS

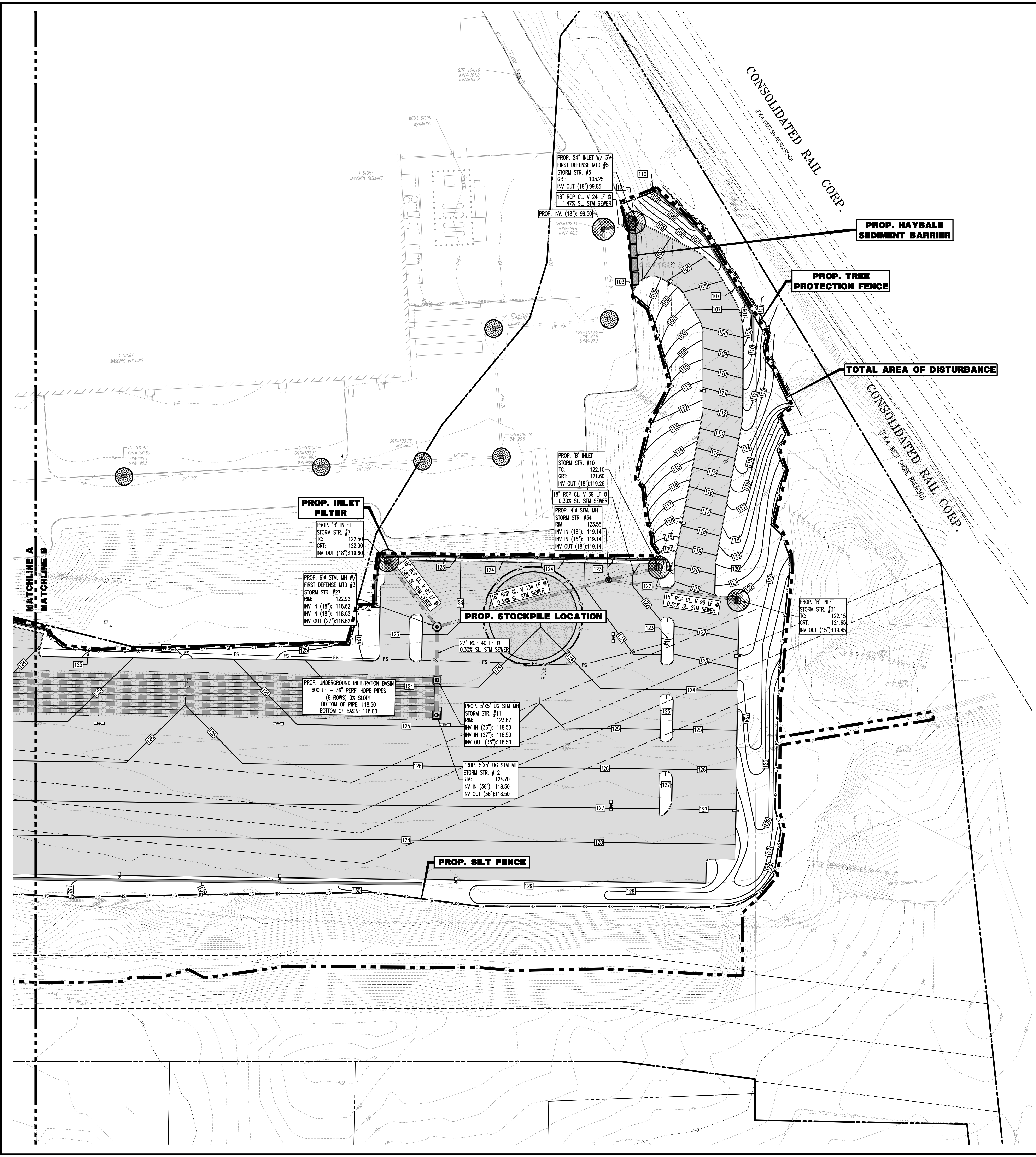
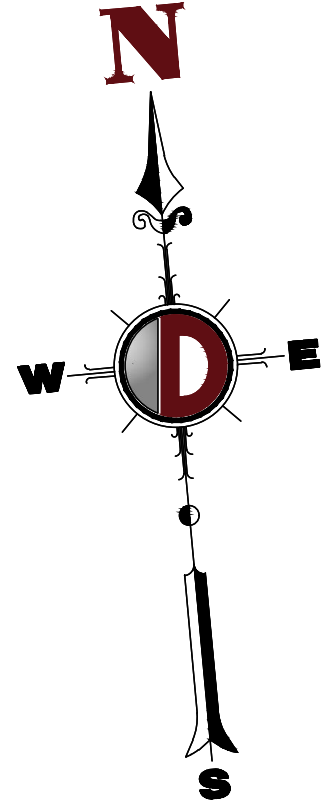


PROPOSED SUPPLEMENTAL BERM PLANTING LOCATIONS MAY BE FIELD ADJUSTED AROUND EXISTING VEGETATION TO MAXIMIZE SCREENING AND PROTECT EXISTING TREES WITH TOWN PROFESSIONAL'S APPROVAL

Plot No: 04/02/24 - 245_PN_01; File: P:\proj\1739-22-02023\1739-22-02023.dwg; Date: 10/02/2023 11:13:00 AM; User: rpf; Project: 1739-22-02023



REV.	DATE	COMMENTS
1	10/27/2023	REV. PER PLANNING BOARD SUBMISSION
2	04/02/24	REV. PER BOARD OF AGENCIES SUBMISSION



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PROJECT: **ONYX EQUITIES, LLC**
Proposed Accessory Parking Lot
 140 LEIBER ROAD
 TOWN OF DRACETOWN, ROCKLAND COUNTY, NEW YORK

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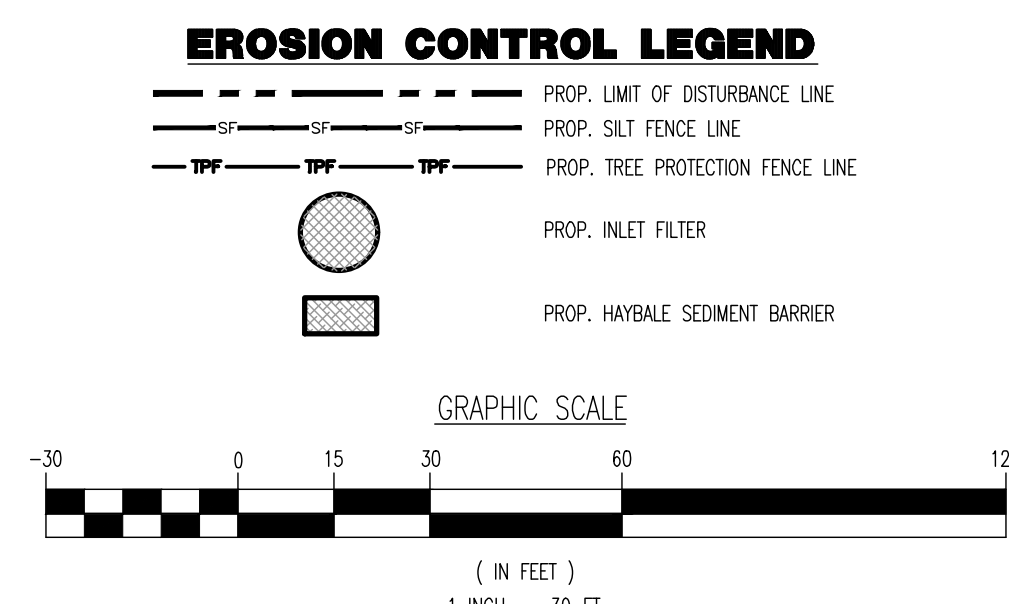


TITLE: **SOIL EROSION AND SEDIMENT CONTROL PLAN 'B'**

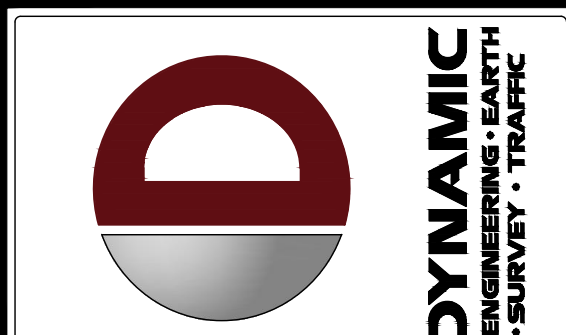
SCALE: (H) 1"=30'
 (V) 1"=30'
 DATE: 10/02/2023
 PROJECT No: 1739-22-02023
 SHEET No: **21** of 28
 Rev. #:

SEE SHEET 22 OF 28 FOR SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)



Plotfile: 04/02/24 - 2453_Plan_B.mxd
 File: P:\proj\1739\1739_onyx_eq\1739_onyx_eq.dwg
 Plot: 04/02/24 10:00:00 AM
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NO.	REV.	DATE	BY
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CONSTRUCTION PHASING:

- PHASE 1: INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION SEDIMENT CONTROL MEASURES INCLUDING DOWN SLOPE PERIMETER HAY BALES AND SILT FENCING.
- PHASE 2: CLEAR AND ROUGH GRADE FOR NEW BUILDING SITE AND OTHER STRUCTURES REQUIRING EXCAVATION.
- PHASE 3: EXCAVATION, CONSTRUCTION AND STABILIZATION OF (BASINS), EXCAVATE AND INSTALL UNDERGROUND PIPING AND DRAINAGE STRUCTURES.
- PHASE 4: EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBS, UNDERGROUND PIPING, AND DRAINAGE STRUCTURES.
- PHASE 5: FINAL GRADING ON SITE.
- PHASE 6: INSTALL FINISH CONCRETE AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING.

SOIL EROSION & SEDIMENT CONTROL NOTES:

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY UNSTABILIZED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE EXPOSED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BE BOUND IN ACCORDANCE WITH THE STATE STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT AT A RATE OF 2 TONS PER ACRE, ACCORDING TO STATE STANDARDS.
- STABILIZATION SPECIFICATIONS – TEMPORARY SEEDING AND MULCHING:
 - LIKE – 90 LBS/1,000 SF OF GROUND LIMESTONE FERTILIZER – 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4".
 - SEEDS:
 - COOL SEASON: PERENNIAL RYE GRASS 100LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - WARM SEASON: PEARL MILLET AT 20 LBS/AC OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 15 AND AUGUST 15.
 - MULCH – SALT HAY OR SMALL GRASS STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- TEMPORARY BARRIERS ARE TO BE INSTALLED ON ALL CLOSURE ROADWAYS AND EXISTENCE AREAS IN ACCORDANCE WITH THE STATE STANDARDS.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, SUB-BASES WILL BE INSTALLED WITHIN 10 DAYS OF PRELIMINARY GRADING.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUN-OFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACK FILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER 3:1).
- ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
- STOODPIPES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOOD PLAIN, SLOPE, ROADWAY, OR DRAINAGE FACILITY. THE BASE OF ALL STOODPIPES MUST BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE.
- A CRUSHED STONE VEHICLE WHEEL CLEANING BLANKET WILL BE INSTALLED IMMEDIATELY AFTER INITIAL SITE DISTURBANCE AND WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. BLANKET SHALL BE 1-1/2" TO 2" CRUSHED STONE AND AT LEAST 30' X 100', AND MUST BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
- MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- ANY INDIVIDUAL ACCESS ROADS OR DRIVES MUST BE STABILIZED WITH 2-1/2" CRUSHED STONE PRIOR TO COMMENCEMENT OF CONSTRUCTION IN THAT AREA.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- ALL CATCH BASIN INLETS MUST BE PROTECTED WITH A CRUSHED STONE OR HAY BALE FILTER (SEE DETAIL).
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUT FALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- ALL DE-WATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHALL BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC (SEE DETAIL).
- PERMANENT VEGETATION TO BE SEEDING OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING; MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
- PERMANENT STABILIZATION SPECIFICATIONS: SEEDING
 - A. MULCH MATERIALS TO BE UNLIMTED SALT HAY, HAY, OR SMALL GRASS STRAW AT THE RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 POUNDS PER 1,000 SQ. FT.
 - B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE COVERED.
 - C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
 - (1) PEG AND TWINE
 - (2) MULCH NETTING
 - (3) LIQUID MULCH-BINDERS
- ANY UNSTABILIZED AREAS TO BE SPRINKLED WITH WATER UNTIL MET AT THE BEGINNING OF EACH DAY TO CONTROL DUST.
- ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF 12" OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDING PREPARATION.
- AT THE TIME OF SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION, ANY SOIL NOT SUITABLE TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER WILL BE REMOVED OR TREATED IN SUCH A WAY TO PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. (IF REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE PROVIDED).
- ALL SITE WORK FOR SITE PLANS WILL HAVE TO BE COMPLETED PRIOR TO THE SOIL CONSERVATION DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- THE SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION. THE DISTRICT SHALL BE NOTIFIED IN WRITING 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.

STABILIZATION SPECIFICATIONS - TEMPORARY SEEDING AND MULCHING

- LIKE – 90 LBS/1,000 SF OF GROUND LIMESTONE; FERTILIZER – 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4".
- SEEDS:
 - COOL SEASON: PERENNIAL RYE GRASS 100LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - WARM SEASON: PEARL MILLET AT 20 LBS/AC OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 15 AND AUGUST 15.
- MULCH – SALT HAY OR SMALL GRASS STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

STABILIZATION SPECIFICATIONS - PERMANENT SEEDING

- PERMANENT STABILIZATION SPECIFICATIONS: SEEDING
 - 1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 1/2" DIAMETER.
 - 2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- 3. SEEDING RATES:

PERENNIAL PROGRESS	1/2	100/1,000	50 FT
KENTUCKY BLUEGRASS	1/2	100/1,000	50 FT
SOY BEAN	1/2	100/1,000	50 FT
SEASONING PASTURE	1/2	100/1,000	50 FT
FERTILIZER (05/10/10)	1/2	100/1,000	50 FT
MULCH	100	100/1,000	50 FT
- 4. PERMANENT AREAS WILL HAVE AS TO TIME OF YEAR FOR SOILING, CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND IS ESTABLISHED BY OWNER.
- PERMANENT STABILIZATION SPECIFICATIONS: MULCHING
 - A. MULCH MATERIALS TO BE UNLIMTED SALT HAY, HAY, OR SMALL GRASS STRAW AT THE RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 POUNDS PER 1,000 SQ. FT.
 - B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE COVERED.
 - C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
 - (1) PEG AND TWINE
 - (2) MULCH NETTING
 - (3) LIQUID MULCH-BINDERS

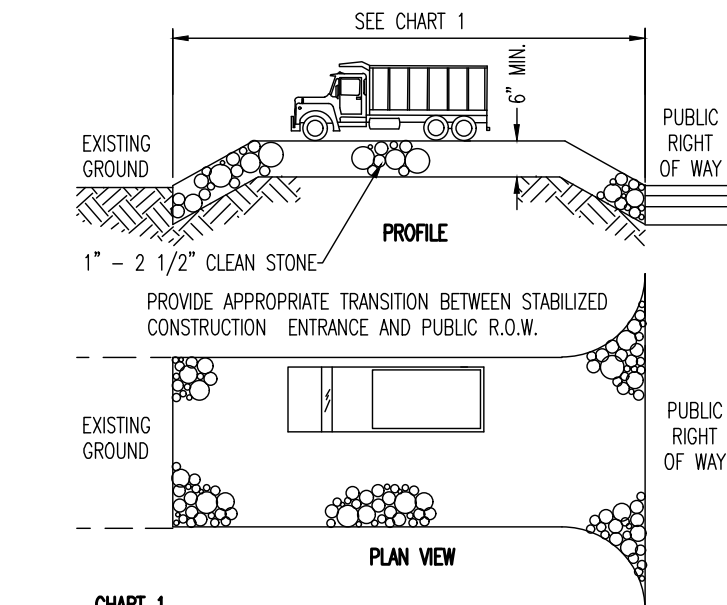
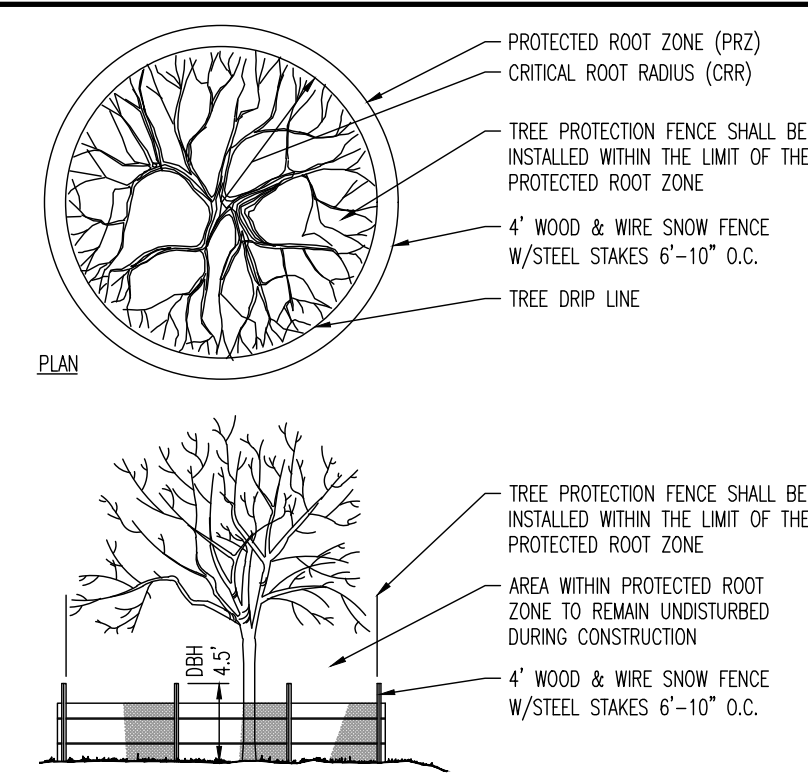
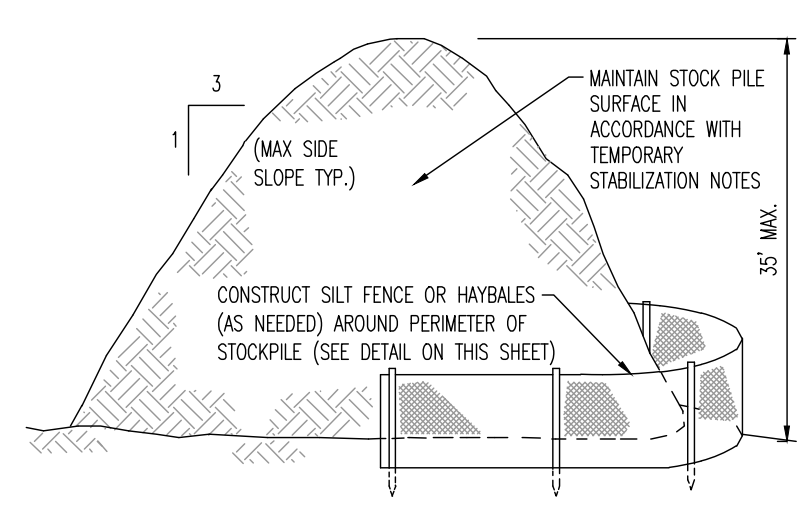
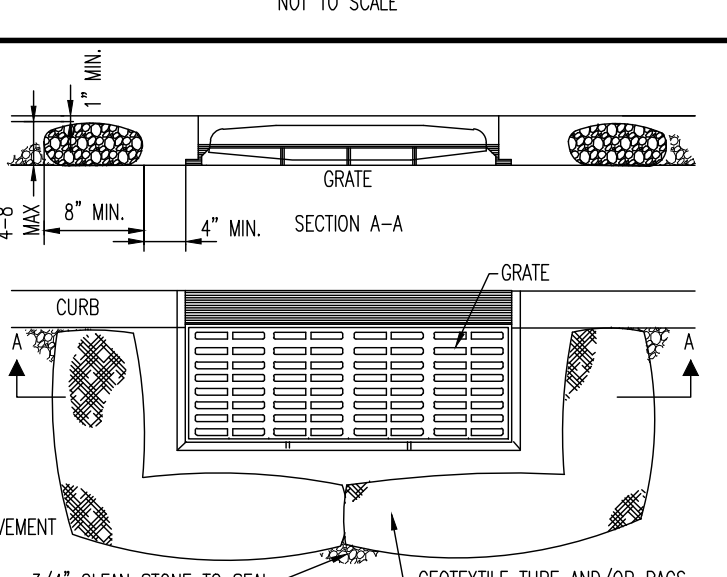


CHART 1

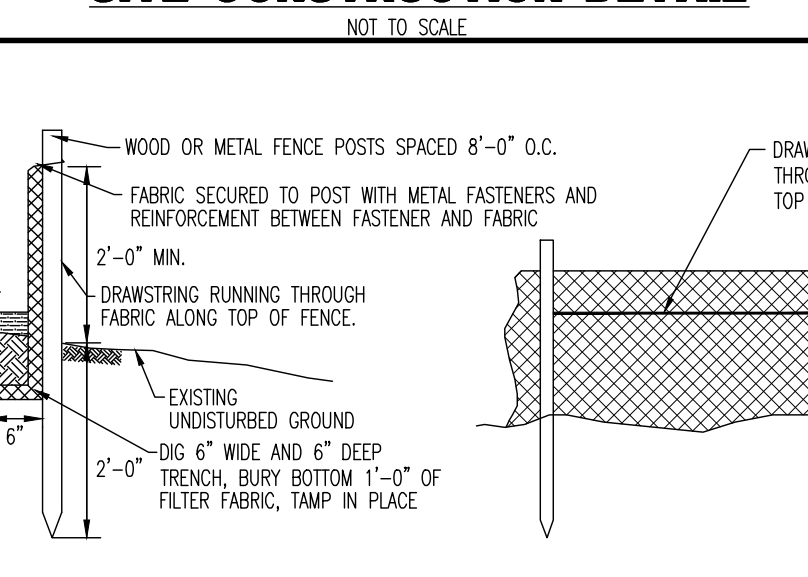
PERCENT SLOPE	LENGTH OF STONE REQUIRED
0 TO 2%	50 FT
2% TO 5%	100 FT
5% TO 8%	200 FT

NOTE: STONE ENTRANCE CHANNELS WITH BASE COURSE (1) SHALL BE AS PRESCRIBED BY LOCAL JURISDICTION OR OTHER GOVERNING AUTHORITY.

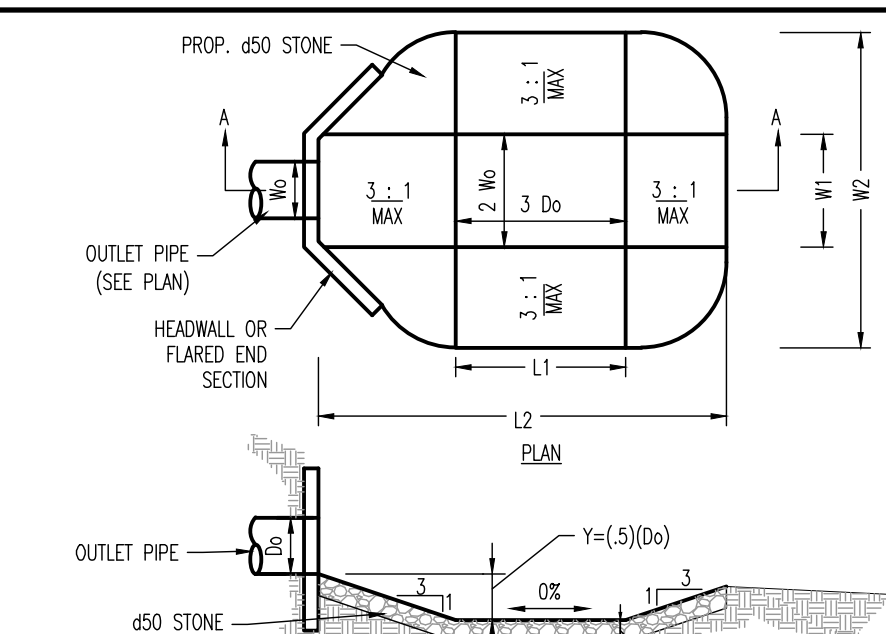
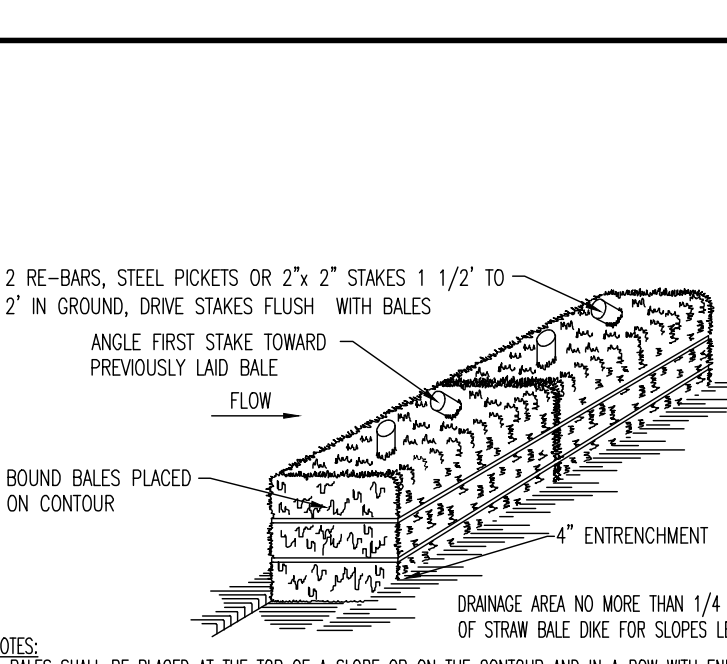
TEMPORARY STOCKPILE DETAIL



TREE PROTECTION DURING SITE CONSTRUCTION DETAIL



STABILIZED CONSTRUCTION ENTRANCE



INLET FILTER DETAIL



SILT FENCE DETAIL



HAYBALE SEDIMENT BARRIER DETAIL



PREFORMED SCOUR HOLE DETAIL



Project: 04/07/24 - 253_Plan_01.dwg
 File: P:\proj\253_Plan_01.dwg
 User: jlb
 Date: 02/07/24 10:00 AM
 Scale: 1/8" = 1'-0"
 Title: SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS
 Project: 1739-22-02023
 Date: 10/02/2023
 Sheet: 22 of 28

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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 Proposed Accessory Parking Lot
 140 LEIBER ROAD
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK

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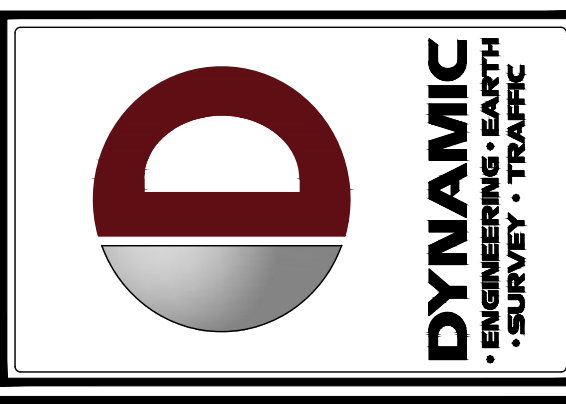
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TITLE:
SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

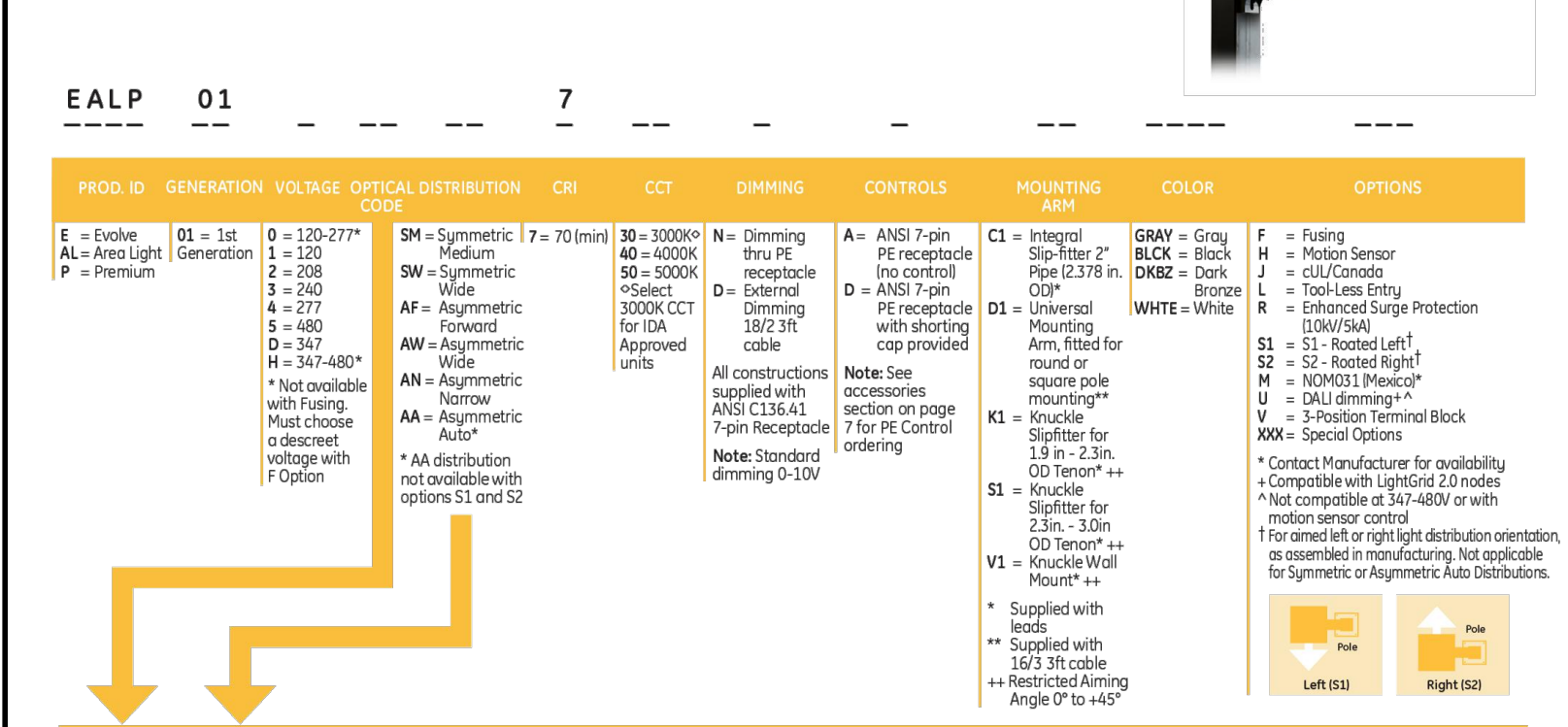
SCALE: (BY) NOT TO (BY) SCALE
 DATE: 10/02/2023
 PROJECT NO: 1739-22-02023
 SHEET NO: 22 of 28
 Rev. #:



NO.	DATE	REVISION	BY	CHKD.	APP'D.	COMMENTS
1	10/27/24	REV. PER PLANNING BOARD SUBMISSION	UV	ASG		
2	04/02/24	REV. PER PLANNING BOARD SUBMISSION	UV	ASG		
3	02/16/24	REV. PER PLANNING BOARD SUBMISSION	UV	ASG		

Ordering Number Logic

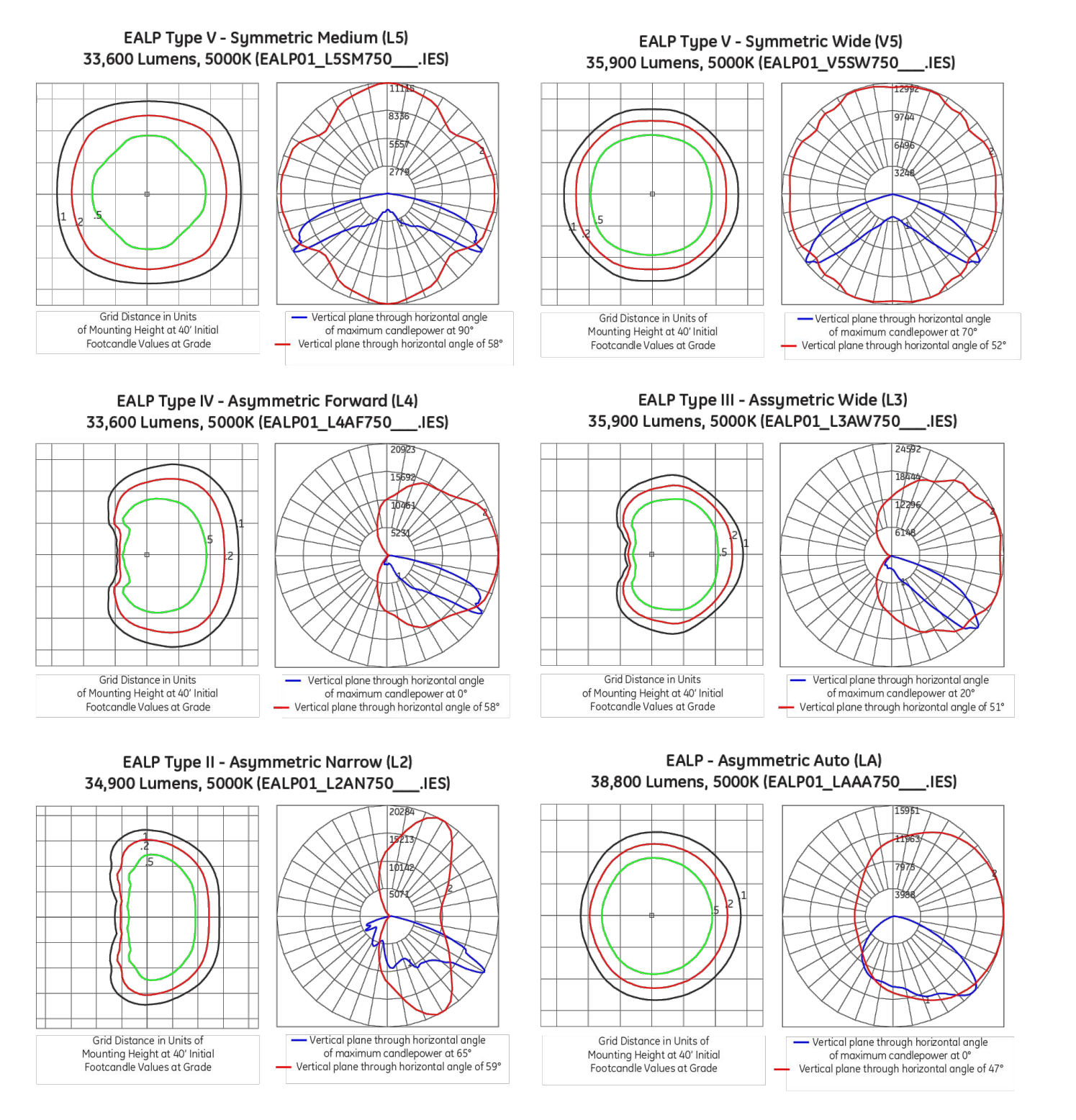
Evolve™ LED Area Light (EALP)



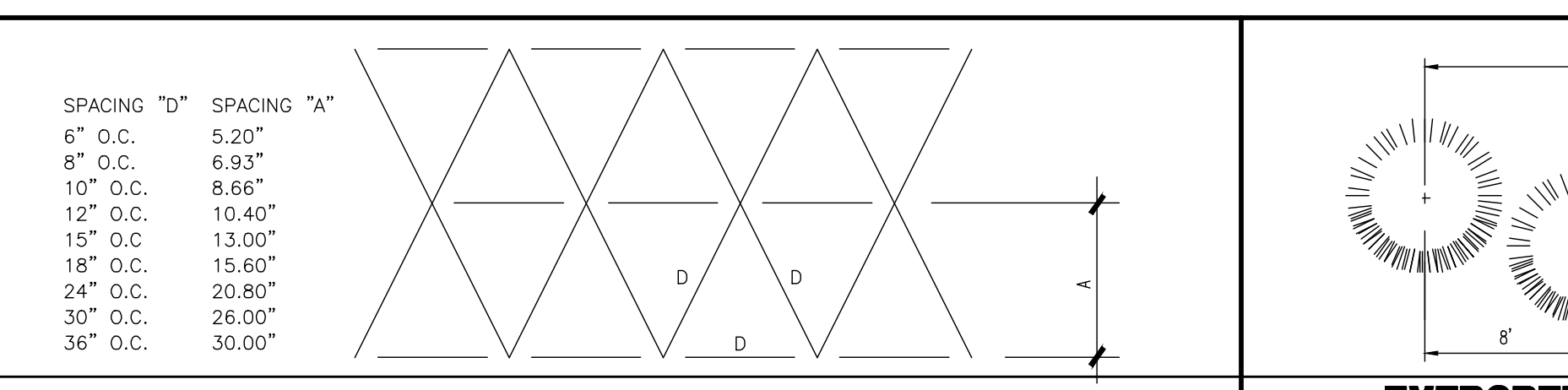
TYPE	TYPE I	TYPE II	TYPE III	TYPE IV	TYPE V							
CS	Symmetric Medium	7500	8000	67	85-04-02	85-04-02	EALP01_CS07500__IES	IES	EALP01_CS07500__IES	IES	EALP01_CS07500__IES	IES
DS	Symmetric Medium	1400	2000	89	85-04-02	85-04-02	EALP01_DS1400__IES	IES	EALP01_DS1400__IES	IES	EALP01_DS1400__IES	IES
FS	Symmetric Medium	34100	15000	140	85-04-02	85-04-02	EALP01_FS34100__IES	IES	EALP01_FS34100__IES	IES	EALP01_FS34100__IES	IES
HS	Symmetric Medium	18800	20000	183	85-04-02	85-04-02	EALP01_HS18800__IES	IES	EALP01_HS18800__IES	IES	EALP01_HS18800__IES	IES
MS	Symmetric Medium	22000	25000	220	85-04-02	85-04-02	EALP01_MS22000__IES	IES	EALP01_MS22000__IES	IES	EALP01_MS22000__IES	IES
KS	Symmetric Medium	28300	30000	274	85-04-03	85-04-03	EALP01_KS28300__IES	IES	EALP01_KS28300__IES	IES	EALP01_KS28300__IES	IES
LS	Symmetric Medium	33800	33800	337	85-04-04	85-04-04	EALP01_LS33800__IES	IES	EALP01_LS33800__IES	IES	EALP01_LS33800__IES	IES
MS	Symmetric Wide	8000	8500	67	85-04-01	85-04-01	EALP01_MS8000__IES	IES	EALP01_MS8000__IES	IES	EALP01_MS8000__IES	IES
NS	Symmetric Wide	10000	10000	89	85-04-01	85-04-01	EALP01_NS10000__IES	IES	EALP01_NS10000__IES	IES	EALP01_NS10000__IES	IES
OS	Symmetric Wide	15100	15000	140	85-04-01	85-04-01	EALP01_OS15100__IES	IES	EALP01_OS15100__IES	IES	EALP01_OS15100__IES	IES
PS	Symmetric Wide	20100	21300	183	85-04-01	85-04-01	EALP01_PS20100__IES	IES	EALP01_PS20100__IES	IES	EALP01_PS20100__IES	IES
TS	Symmetric Wide	25100	26700	220	85-04-01	85-04-01	EALP01_TS25100__IES	IES	EALP01_TS25100__IES	IES	EALP01_TS25100__IES	IES
US	Symmetric Wide	30200	32000	274	85-04-01	85-04-01	EALP01_US30200__IES	IES	EALP01_US30200__IES	IES	EALP01_US30200__IES	IES
VS	Symmetric Wide	33800	33900	337	85-04-01	85-04-01	EALP01_VS33800__IES	IES	EALP01_VS33800__IES	IES	EALP01_VS33800__IES	IES
CA	Asymmetric Forward	2000	7500	71	85-04-01	85-04-01	EALP01_CA2000__IES	IES	EALP01_CA2000__IES	IES	EALP01_CA2000__IES	IES
DA	Asymmetric Forward	3400	10000	93	85-04-02	85-04-02	EALP01_DA3400__IES	IES	EALP01_DA3400__IES	IES	EALP01_DA3400__IES	IES
FA	Asymmetric Forward	22500	25000	220	85-04-02	85-04-02	EALP01_FA22500__IES	IES	EALP01_FA22500__IES	IES	EALP01_FA22500__IES	IES
GA	Asymmetric Forward	28300	30000	274	85-04-03	85-04-03	EALP01_GA28300__IES	IES	EALP01_GA28300__IES	IES	EALP01_GA28300__IES	IES
LA	Asymmetric Forward	33800	33800	337	85-04-03	85-04-03	EALP01_LA33800__IES	IES	EALP01_LA33800__IES	IES	EALP01_LA33800__IES	IES
CB	Asymmetric Wide	10000	10000	89	85-04-02	85-04-02	EALP01_CB10000__IES	IES	EALP01_CB10000__IES	IES	EALP01_CB10000__IES	IES
DB	Asymmetric Wide	15100	15000	140	85-04-02	85-04-02	EALP01_DB15100__IES	IES	EALP01_DB15100__IES	IES	EALP01_DB15100__IES	IES
FB	Asymmetric Wide	20100	21300	183	85-04-02	85-04-02	EALP01_FB20100__IES	IES	EALP01_FB20100__IES	IES	EALP01_FB20100__IES	IES
GB	Asymmetric Wide	25100	26700	220	85-04-02	85-04-02	EALP01_GB25100__IES	IES	EALP01_GB25100__IES	IES	EALP01_GB25100__IES	IES
LB	Asymmetric Wide	30200	32000	274	85-04-03	85-04-03	EALP01_LB30200__IES	IES	EALP01_LB30200__IES	IES	EALP01_LB30200__IES	IES
VB	Asymmetric Wide	33800	33900	337	85-04-03	85-04-03	EALP01_VB33800__IES	IES	EALP01_VB33800__IES	IES	EALP01_VB33800__IES	IES
CC	Asymmetric Narrow	7100	7900	71	85-04-02	85-04-02	EALP01_CC7100__IES	IES	EALP01_CC7100__IES	IES	EALP01_CC7100__IES	IES
DC	Asymmetric Narrow	8800	10600	89	85-04-02	85-04-02	EALP01_DC8800__IES	IES	EALP01_DC8800__IES	IES	EALP01_DC8800__IES	IES
FC	Asymmetric Narrow	14700	15600	136	85-04-03	85-04-03	EALP01_FC14700__IES	IES	EALP01_FC14700__IES	IES	EALP01_FC14700__IES	IES
GC	Asymmetric Narrow	18800	20800	183	85-04-03	85-04-03	EALP01_GC18800__IES	IES	EALP01_GC18800__IES	IES	EALP01_GC18800__IES	IES
HC	Asymmetric Narrow	24500	26000	220	85-04-03	85-04-03	EALP01_HC24500__IES	IES	EALP01_HC24500__IES	IES	EALP01_HC24500__IES	IES
IC	Asymmetric Narrow	29600	31200	274	85-04-03	85-04-03	EALP01_IC29600__IES	IES	EALP01_IC29600__IES	IES	EALP01_IC29600__IES	IES
LC	Asymmetric Narrow	33000	34000	337	85-04-04	85-04-04	EALP01_LC33000__IES	IES	EALP01_LC33000__IES	IES	EALP01_LC33000__IES	IES
KA	Asymmetric Auto	33700	34000	337	85-04-03	85-04-03	EALP01_KA33700__IES	IES	EALP01_KA33700__IES	IES	EALP01_KA33700__IES	IES
LA	Asymmetric Auto	34600	38800	327	85-04-03	85-04-03	EALP01_LA34600__IES	IES	EALP01_LA34600__IES	IES	EALP01_LA34600__IES	IES

Photometrics

Evolve™ LED Area Light (EALP)



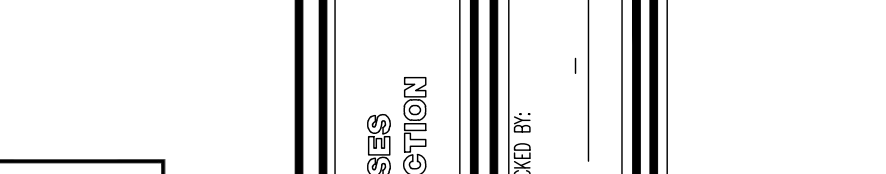
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL



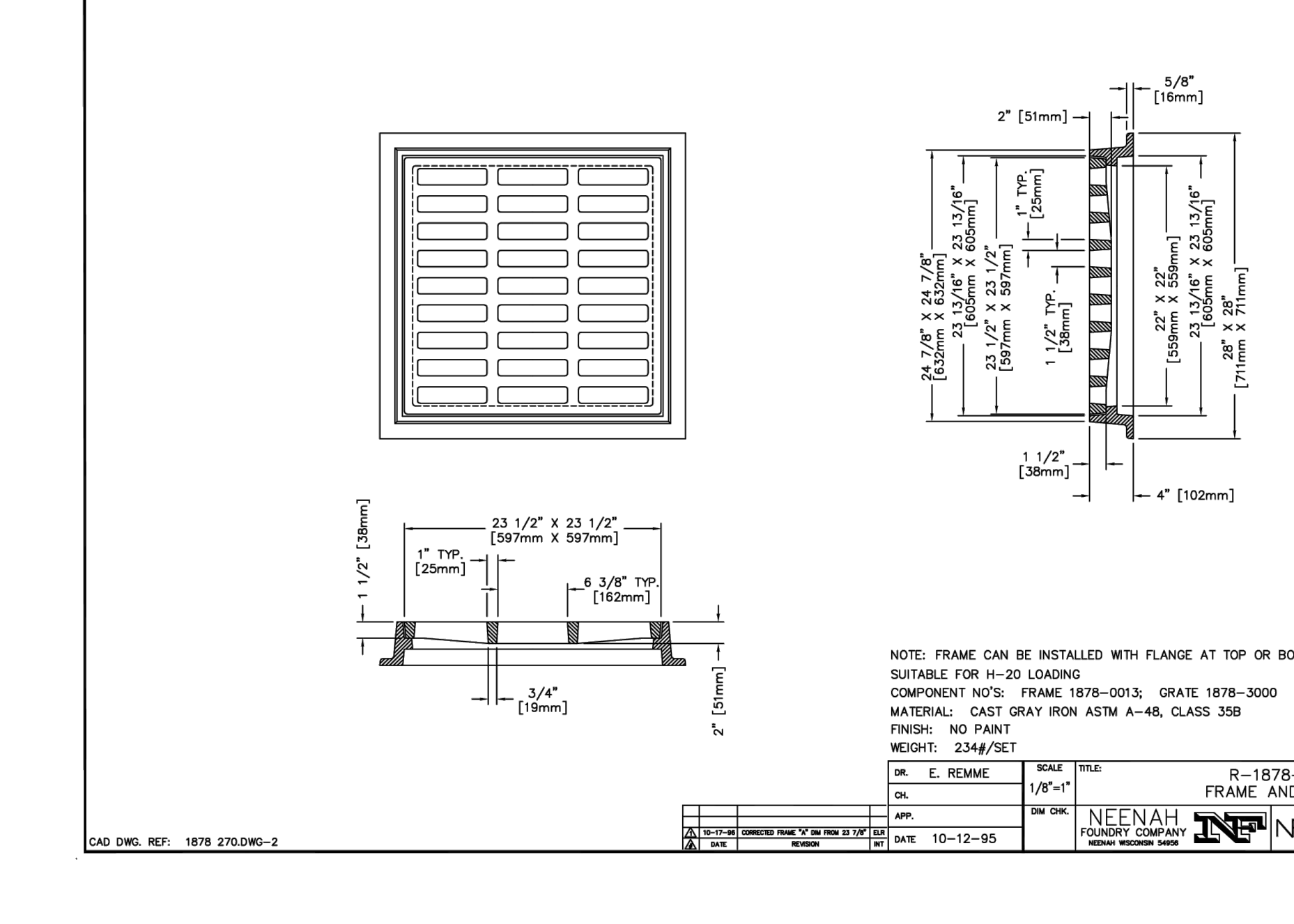
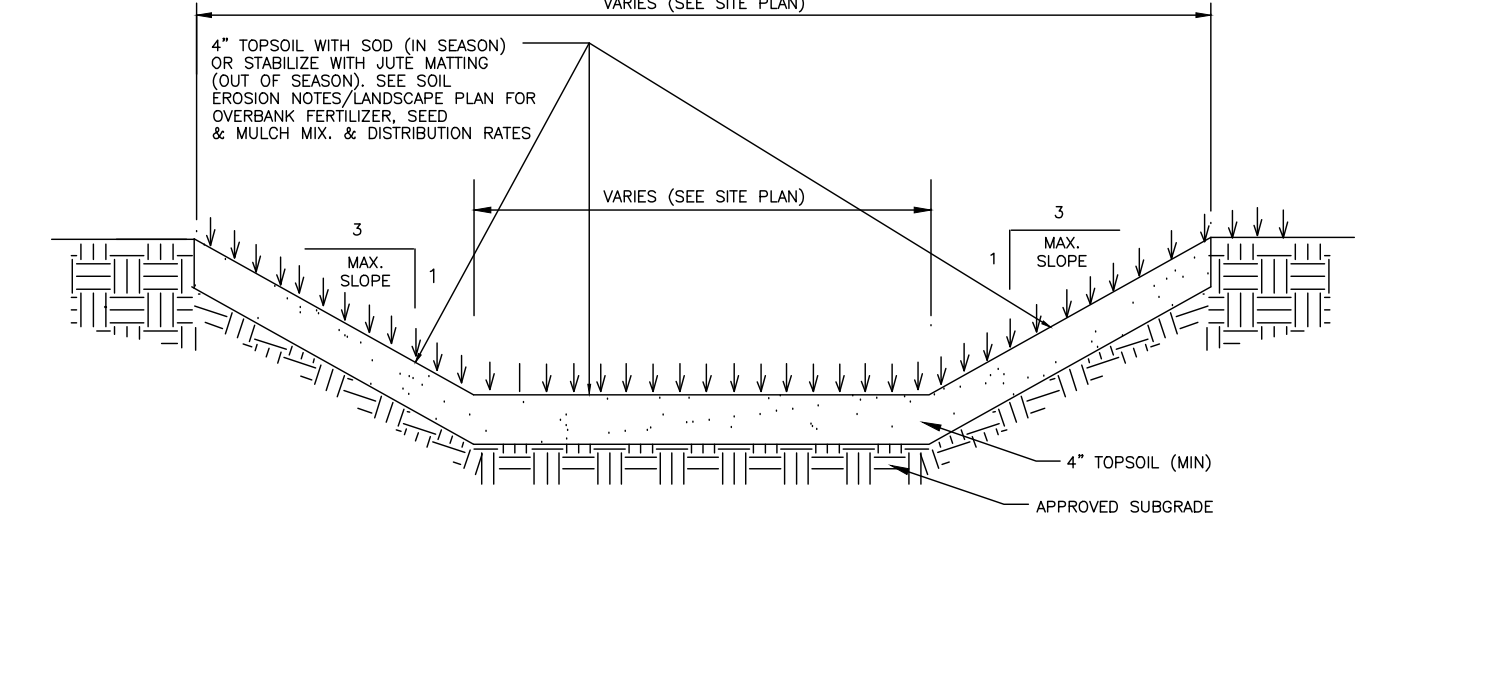
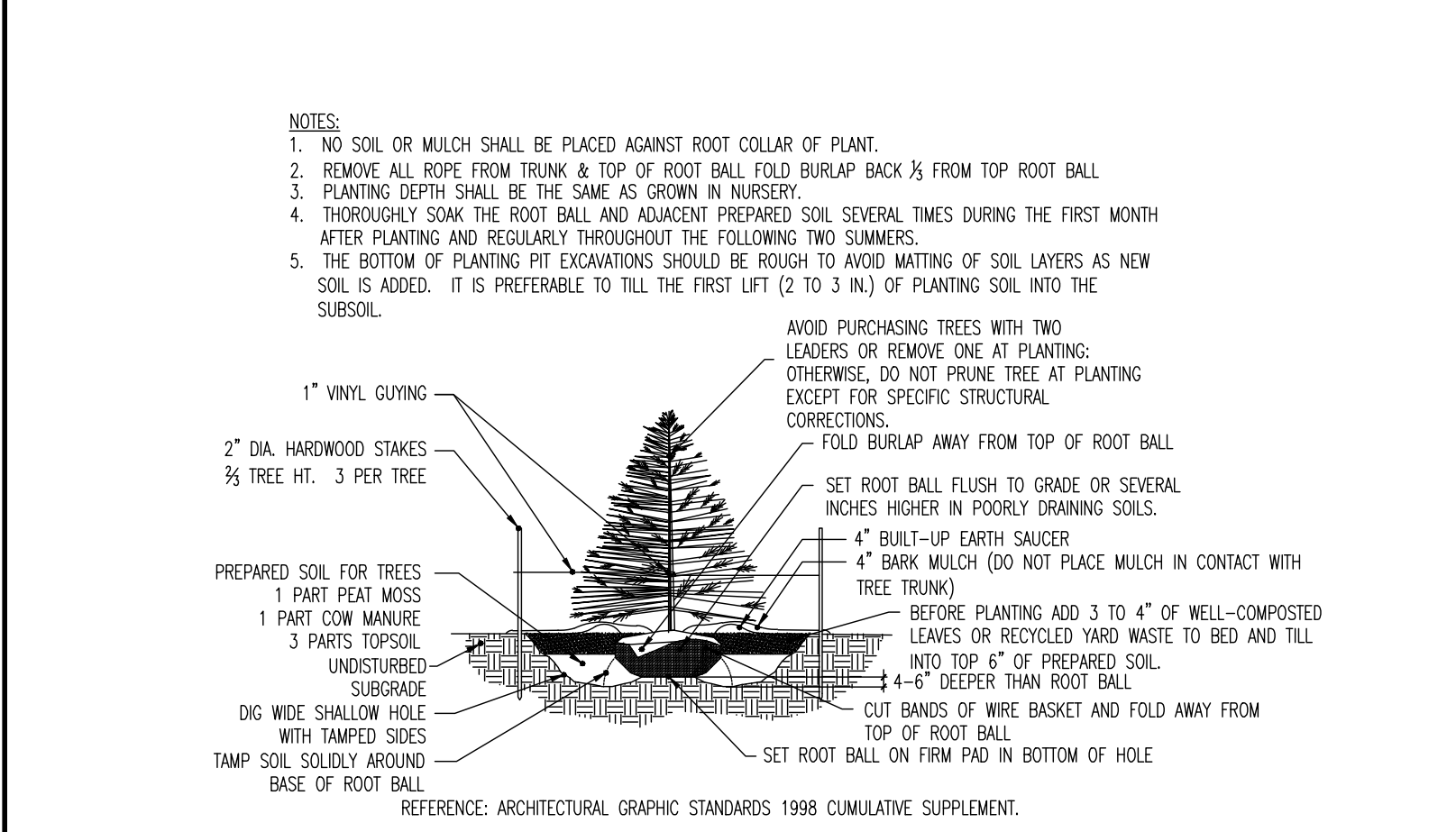
PERENNIAL GROUNDCOVER/SPACING DETAIL



EVERGREEN SCREENING SPACING DETAIL



AREA LIGHT FOUNDATION DETAIL



DECIDUOUS TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



FRAME AND GRATE DETAIL



CONSTRUCTION DETAILS

1. CONTRACTOR TO VERIFY ALL LIGHT POLE & FOUNDATION DIMENSIONS PRIOR TO CONSTRUCTION.
 2. CONTRACTOR TO PROVIDE ADJUSTED POLE HEIGHT RESULTING IN MOUNTING HEIGHT 'A', TAKING INTO CONSIDERATION PEDESTAL (PED) OR FLUSH MOUNT (FM) FOUNDATION DESIGNATION AT EACH POLE LOCATION.
 3. PROPOSED CONCRETE FOUNDATION AND POLE TO BE CONSTRUCTED WITHIN SUBJECT PROPERTY UNLESS OTHERWISE NOTED. SETBACK FROM CURB IS PREFERRED BUT IS TO BE ACCOMMODATED AS NECESSARY TO PREVENT ENCROACHMENT OVER PROPERTY LINE.
 4. BASE PLATE & ANCHOR BOLTS PER MANUFACTURER. LARGER FOOTING DIAMETER AND/OR ALTERNATE ARRANGEMENT OF REINFORCING STEEL MAY BE REQUIRED TO ACCOMMODATE ANCHOR BOLT CONFIGURATION. CONTRACTOR RESPONSIBLE TO COORDINATE DIMENSIONAL REQUIREMENTS FOR BASE PLATE, ANCHOR BOLTS & REINFORCING STEEL PRIOR TO CONSTRUCTION.

CONSTRUCTION DETAILS

1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL FOLD BURLAP BACK 1/2 FROM TOP ROOT BALL.
 3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
 4. THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERRED TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.

CONSTRUCTION DETAILS

1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL FOLD BURLAP BACK 1/2 FROM TOP ROOT BALL.
 3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
 4. THOROUGHLY SOAK THE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERRED TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.

PROJECT: ONYX EQUITIES, LLC
 PROPOSED ACCESSORY PARKING LOT
 64 AND 64D LEBER ROAD
 TOWN OF DRANETOWN, ROCKLAND COUNTY, NEW YORK

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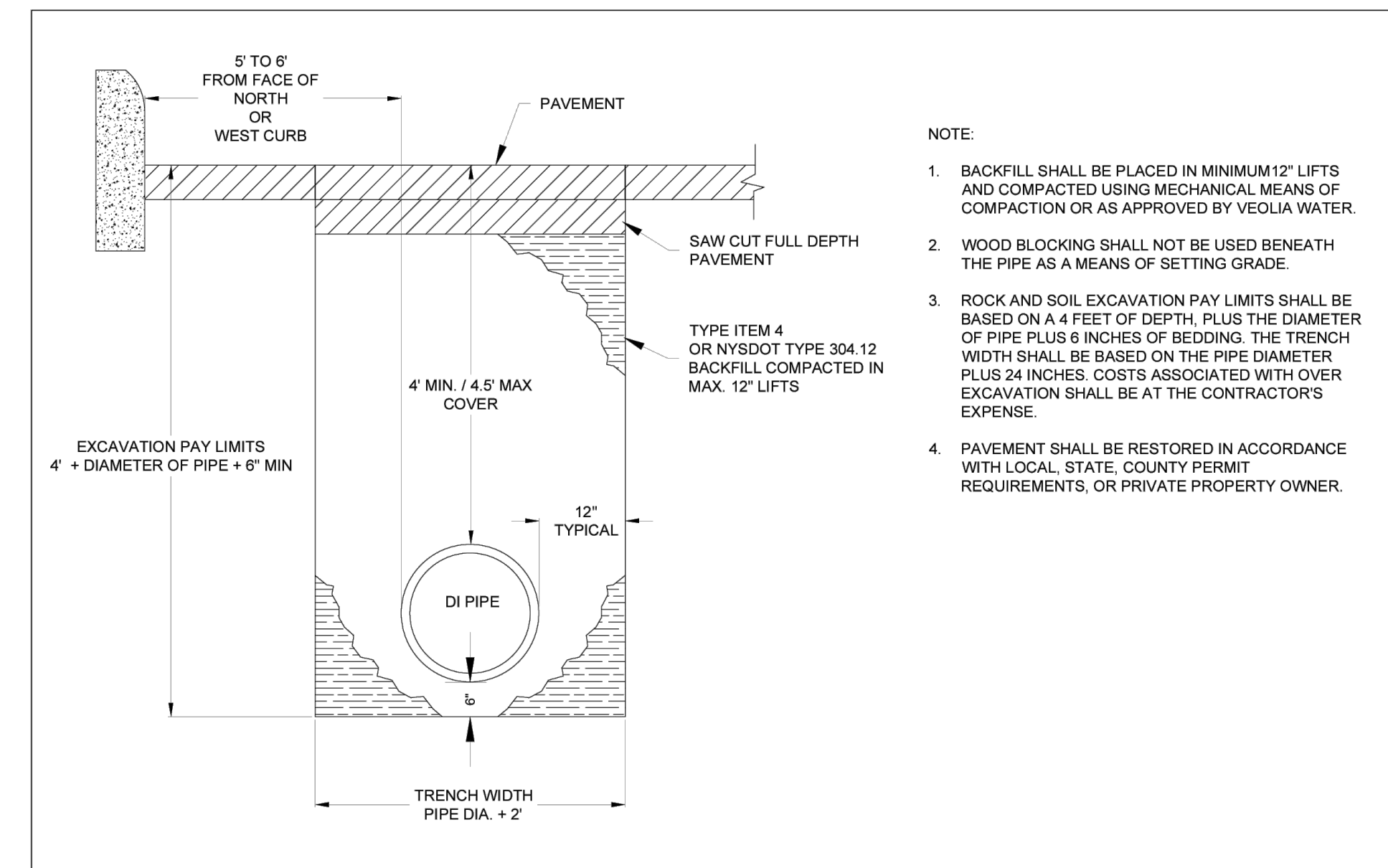
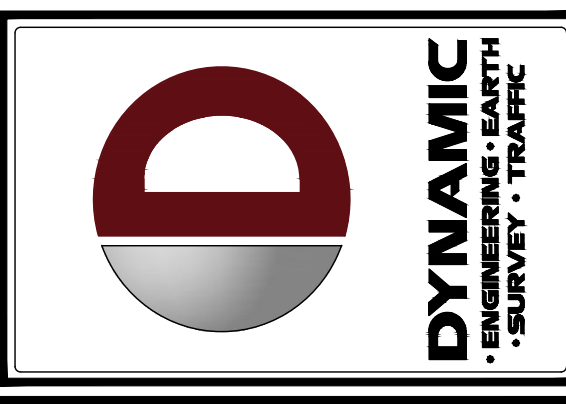
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 PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 88623

ZACHARY A. HAMM
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 137071

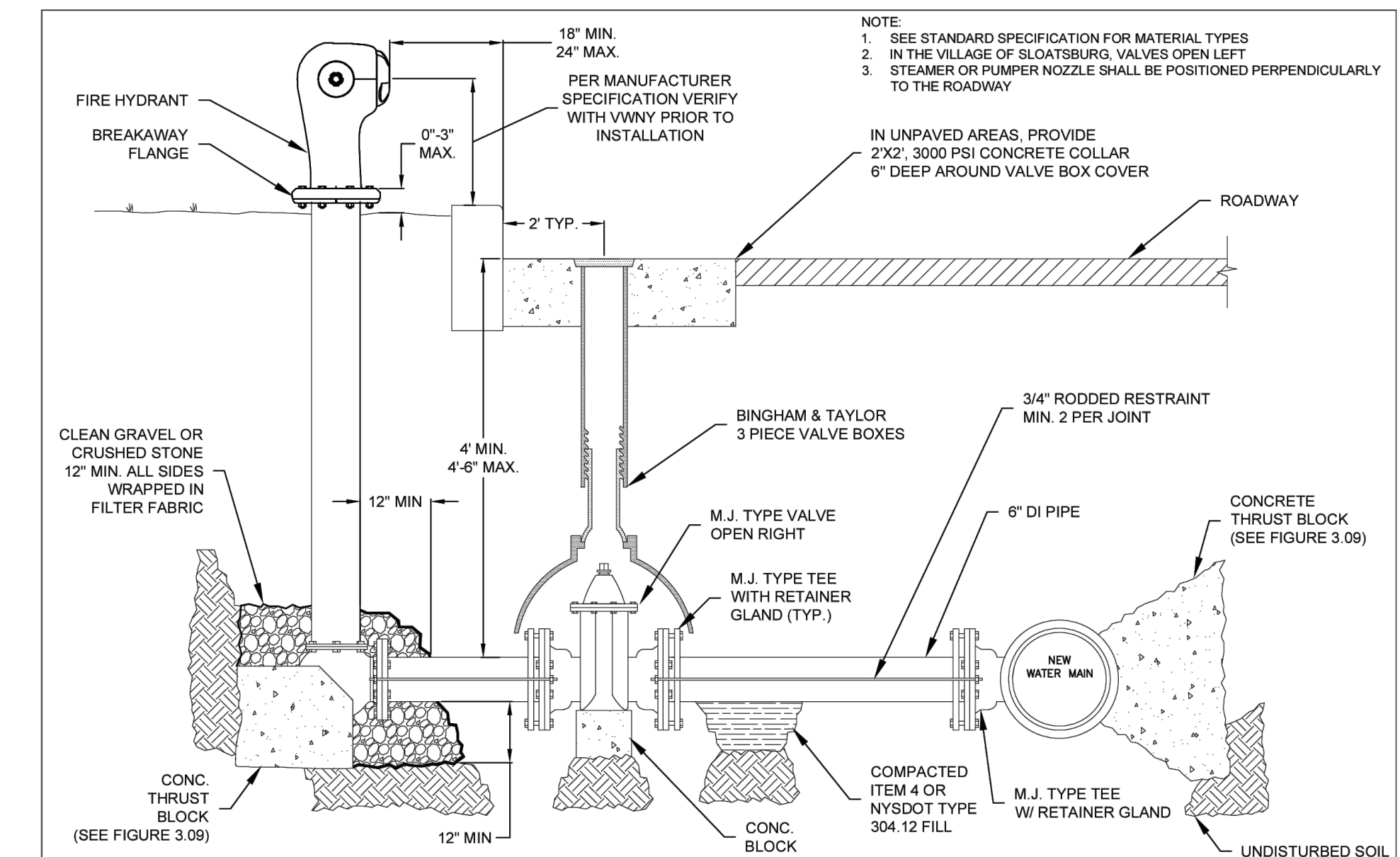
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CONSTRUCTION DETAILS
 (2 of 4)

SCALE: NOT TO SCALE
 DATE: 10/02/2023
 PROJECT: 1739-22-02023

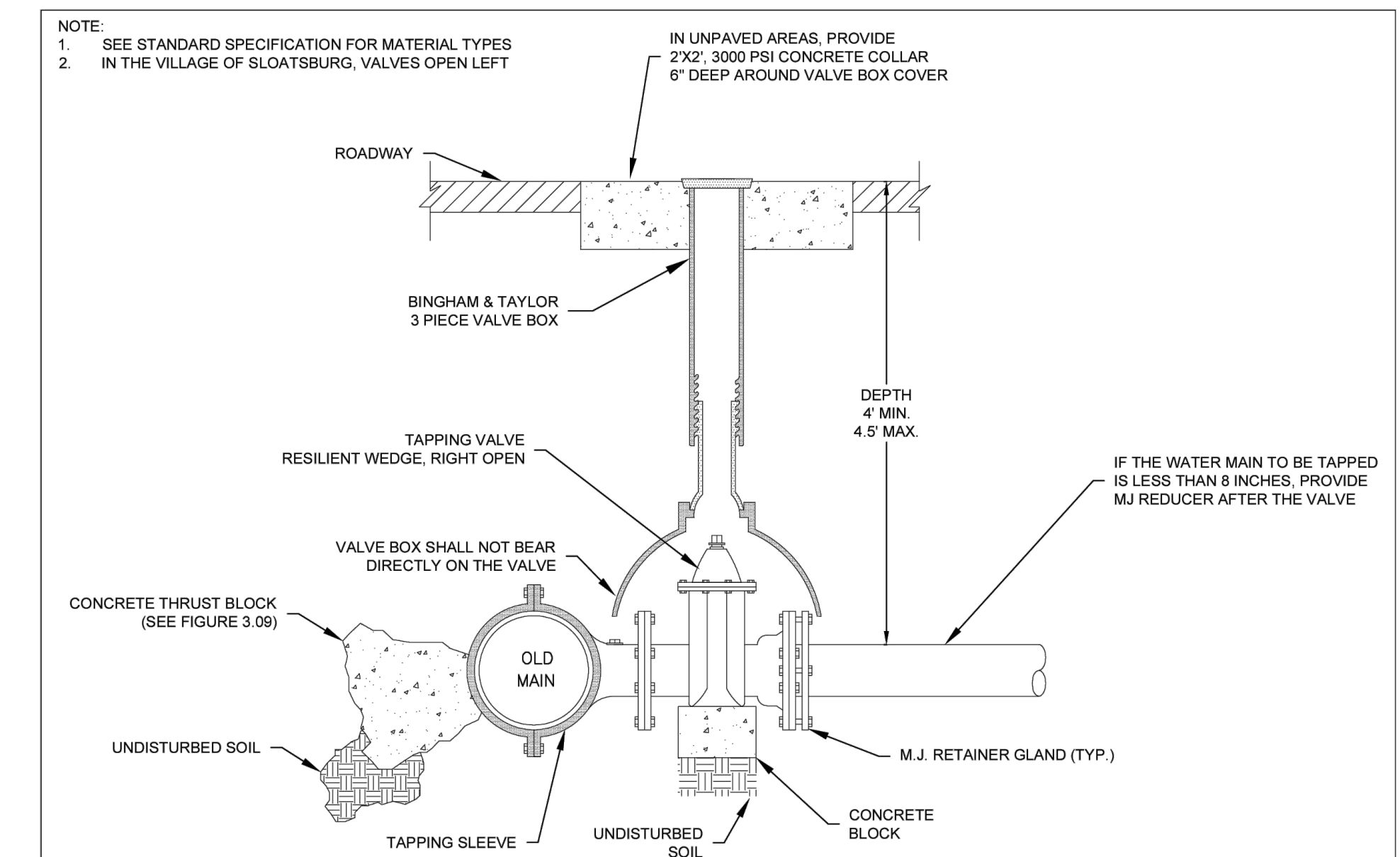
SHEET NO: **24**
 OF 28
 Rev. #:



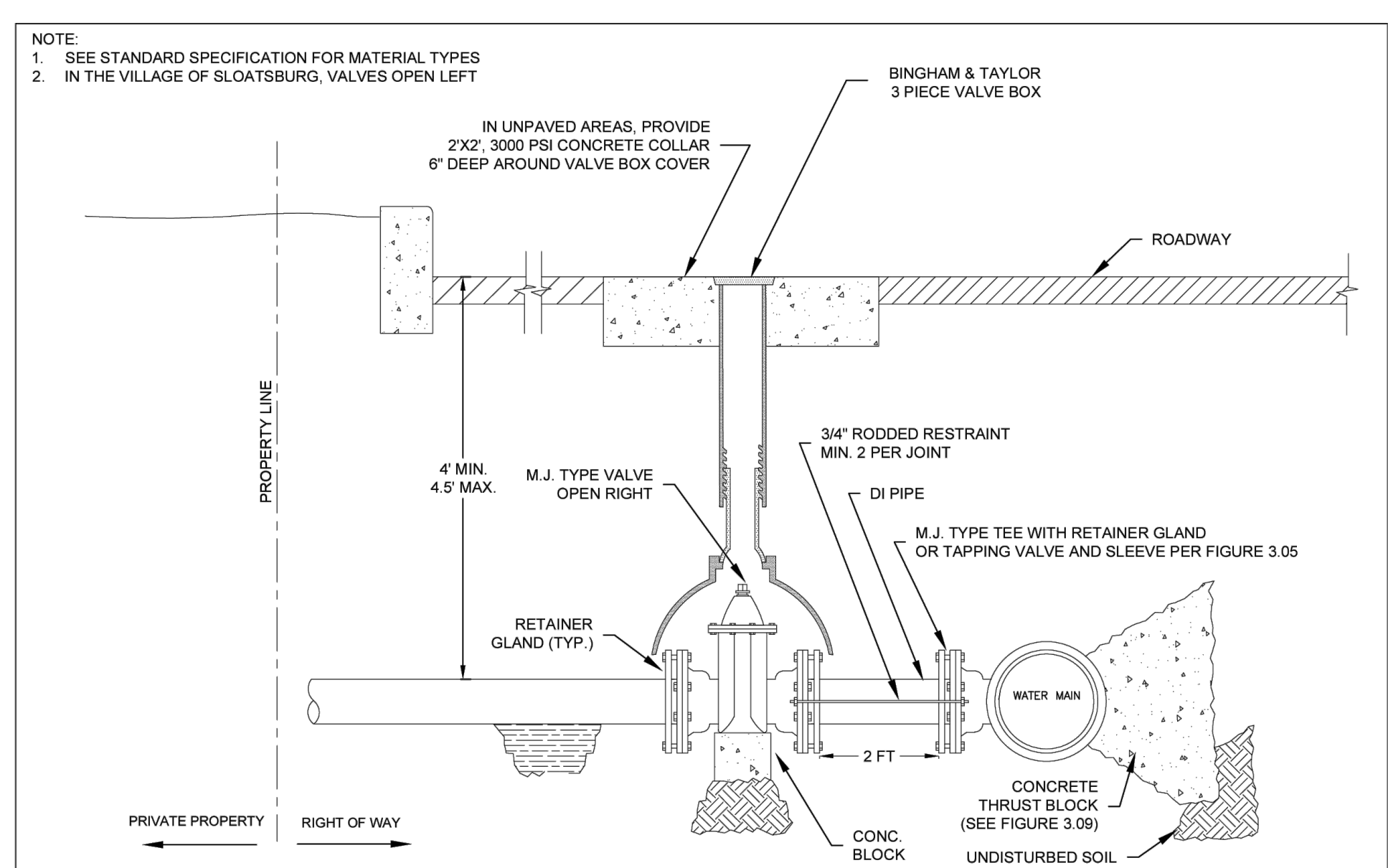
<p>VEOLIA WATER NEW YORK 142 OLD MILL ROAD, WEST NYACK, NY 10994 (845) 620-3334</p>	SPECIFICATION DETAILS	WATER MAIN TRENCH DETAIL ROADWAY (PUBLIC OR PRIVATE) COUNTY OF ROCKLAND, ORANGE, & TIOGA
	INSTALLATION OF WATER SYSTEMS APPURTENANCES	DRAFTED BY: MS APPROVED BY: VVNY DIV. NB SCALE: NTS DATE: 11/1/2022



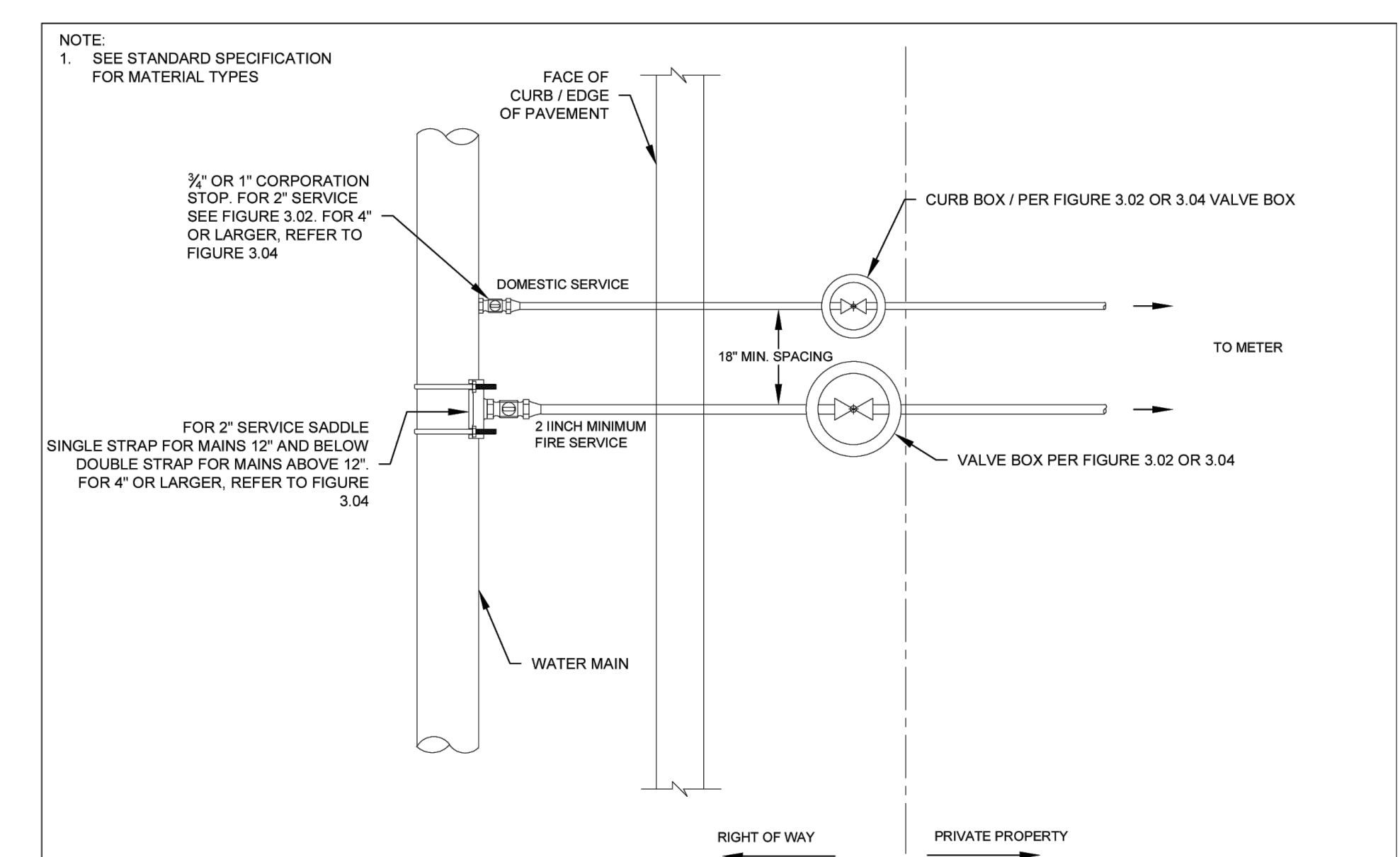
<p>VEOLIA WATER NEW YORK 142 OLD MILL ROAD, WEST NYACK, NY 10994 (845) 620-3334</p>	SPECIFICATION DETAILS	FIRE HYDRANT INSTALLATION DETAIL (NEW MAIN)
	INSTALLATION OF WATER SYSTEMS APPURTENANCES	DRAFTED BY: MS APPROVED BY: VVNY DIV. NB SCALE: NTS DATE: 11/1/2022



<p>VEOLIA WATER NEW YORK 142 OLD MILL ROAD, WEST NYACK, NY 10994 (845) 620-3334</p>	SPECIFICATION DETAILS	TAPPING EXISTING WATER MAIN
	INSTALLATION OF WATER SYSTEMS APPURTENANCES	DRAFTED BY: MS APPROVED BY: VVNY DIV. NB SCALE: NTS DATE: 11/1/2022



<p>VEOLIA WATER NEW YORK 142 OLD MILL ROAD, WEST NYACK, NY 10994 (845) 620-3334</p>	SPECIFICATION DETAILS	4" AND LARGER SERVICE CONNECTION
	INSTALLATION OF WATER SYSTEMS APPURTENANCES	DRAFTED BY: MS APPROVED BY: VVNY DIV. NB SCALE: NTS DATE: 11/1/2022



<p>VEOLIA WATER NEW YORK 142 OLD MILL ROAD, WEST NYACK, NY 10994 (845) 620-3334</p>	SPECIFICATION DETAILS	DOMESTIC & FIRE CONNECTION PLAN VIEW
	INSTALLATION OF WATER SYSTEMS APPURTENANCES	DRAFTED BY: MS APPROVED BY: VVNY DIV. NB SCALE: NTS DATE: 11/1/2022

DATE	REVISION	BY	COMMENTS
11/02/2023	1	MS	REV. PER PLANNING BOARD SUBMISSION
11/02/2023	2	MS	REV. PER PLANNING BOARD SUBMISSION

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: **ONIX EQUITIES, LLC**
Proposed Accessory Parking Lot
142 OLD MILL ROAD
WEST NYACK, NY 10994
TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK

DATE: 11/02/2023

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NEW YORK LICENSE No. 207071

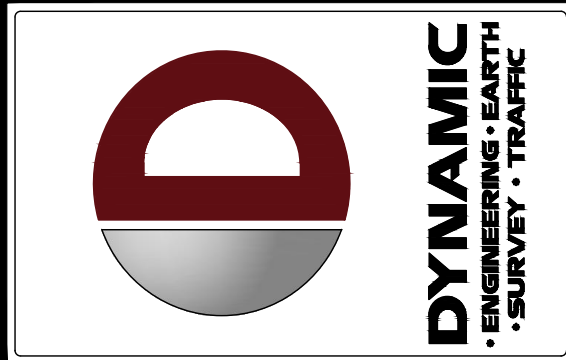
TITLE:
**CONSTRUCTION
DETAILS**
(3 of 4)

SCALE (IF NOT TO SCALE):
1:739-22-02023

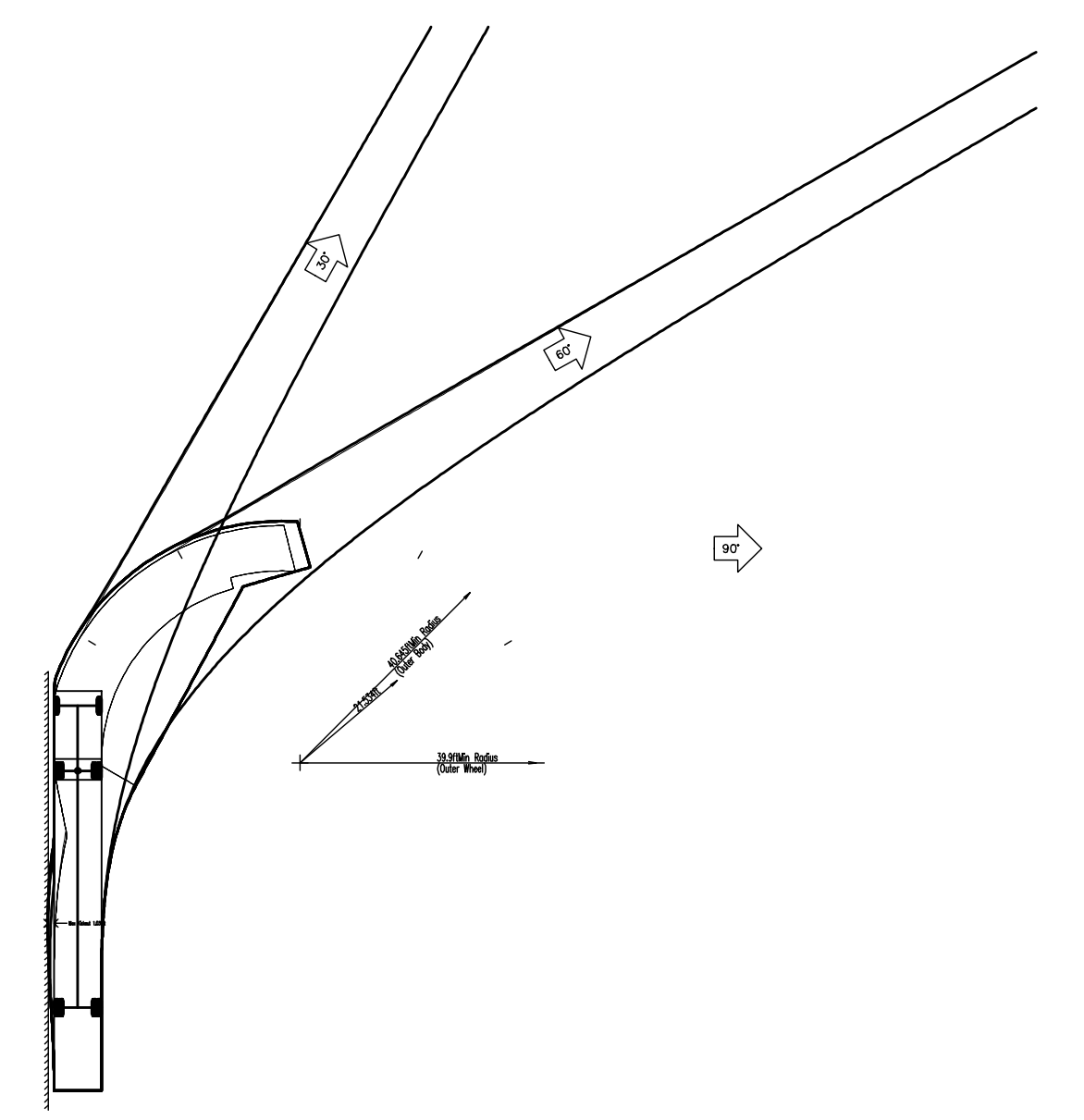
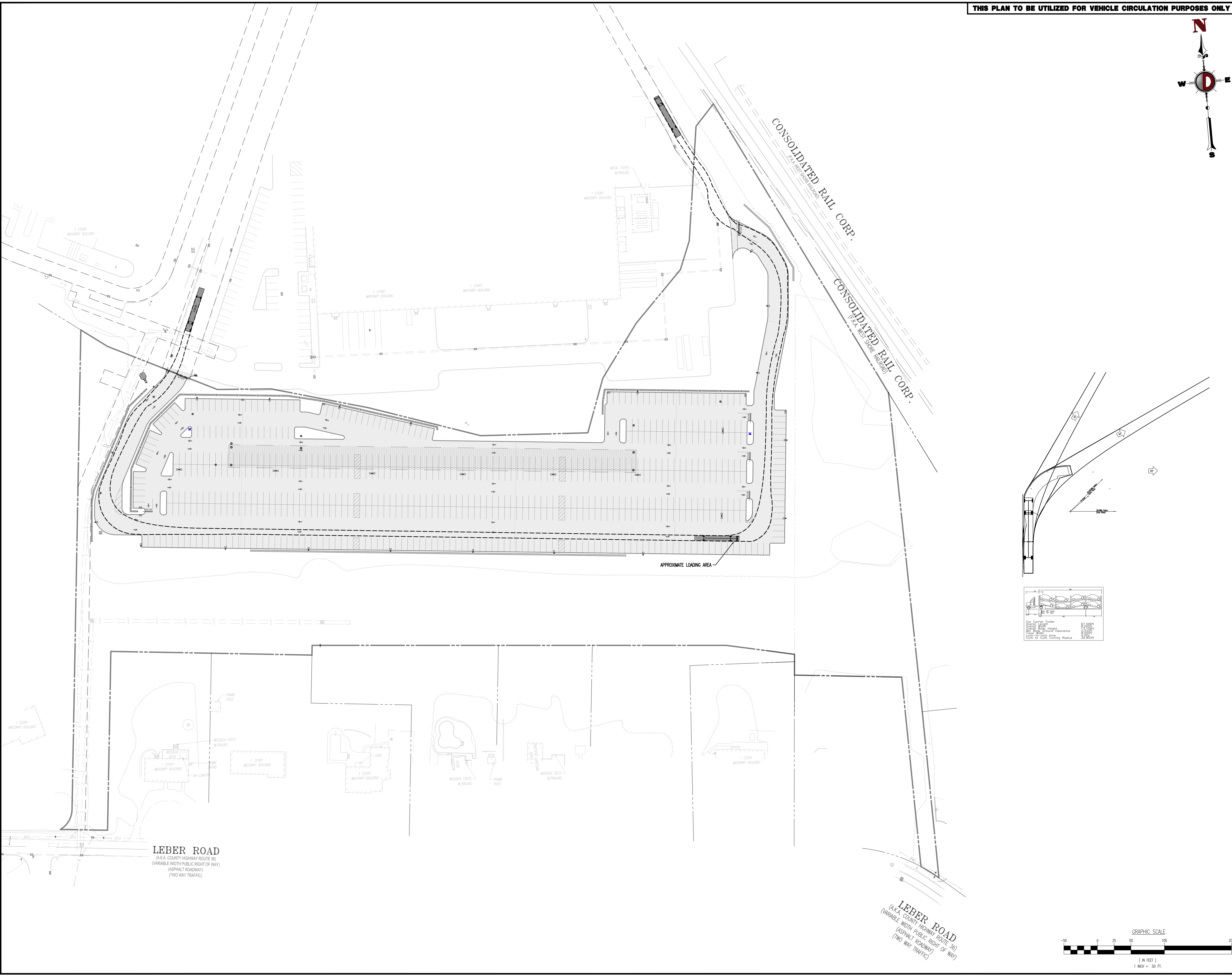
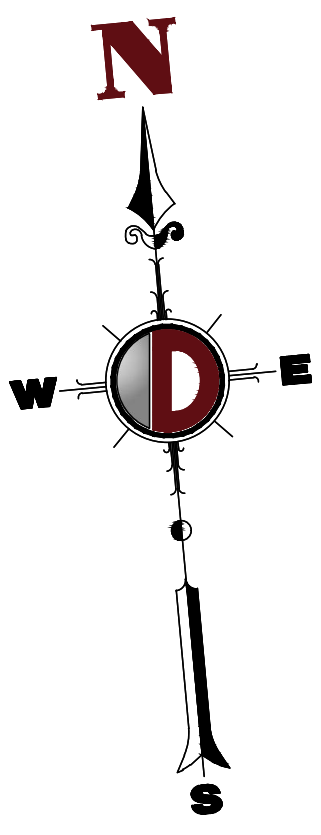
SHEET No: **25** Rev. #:

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THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY



REV.	DATE	COMMENTS
1	10/27/2023	REV. PER PLANNING BOARD SUBMISSION
2	04/02/24	REV. PER ZONING BOARD OF APPEALS SUBMISSION



Item	Dimensions
Car Carrier Trailer Overall Height	6' 6" (8' 0" Max)
Car Carrier Trailer Overall Width	10' 0" (12' 0" Max)
Car Carrier Trailer Overall Length	30' 0" (35' 0" Max)
Car Carrier Trailer Wheelbase	10' 0" (12' 0" Max)
Car Carrier Trailer Ground Clearance	6" (8" Min)
Car Carrier Trailer Hitch to Hook	5' 0" (6' 0" Max)
Car Carrier Trailer Hitch to Coupler	5' 0" (6' 0" Max)
Car Carrier Trailer Hitch to Turn Radius	5' 0" (6' 0" Max)

Plotted: 04/02/24 - 2:55 PM. Plotted by: [redacted]
File: P:\proj\1739\1739_001\1739_001.dwg, Plot: 27 VEHICLE CIRCULATION PLAN (CAR CARRIER TRAILER)

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: ONYX EQUITIES, LLC
Proposed Accessory Parking Lot
E4 AND E4D LEBER ROAD
TOWN OF DRANETOWN, ROCKLAND COUNTY, NEW YORK

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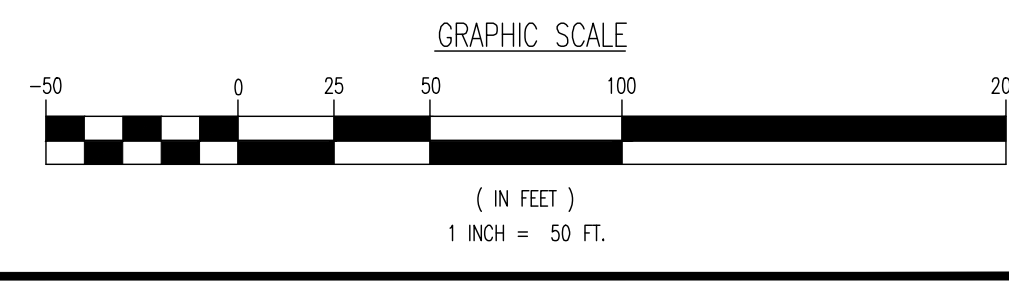
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PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 88623

ZACHARY A. KAMM
PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 170771

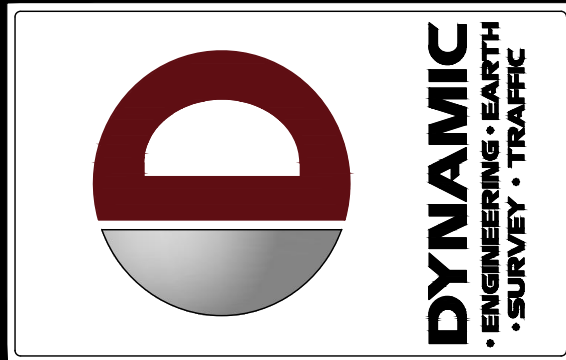
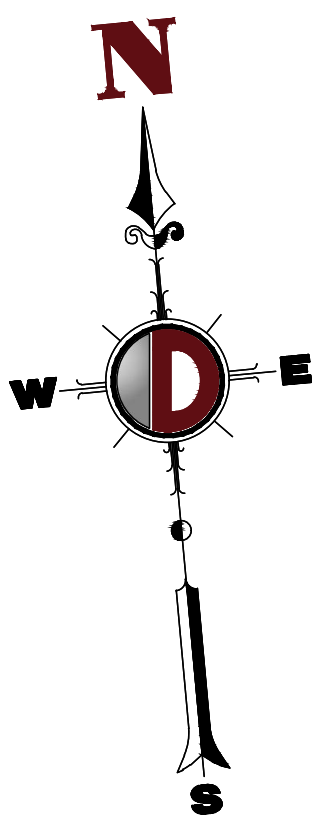
TITLE: **VEHICLE CIRCULATION PLAN (CAR CARRIER TRAILER)**

SCALE: (H) 1"=50'
(V) 1"=20'
PROJECT No: 1739-22-02023

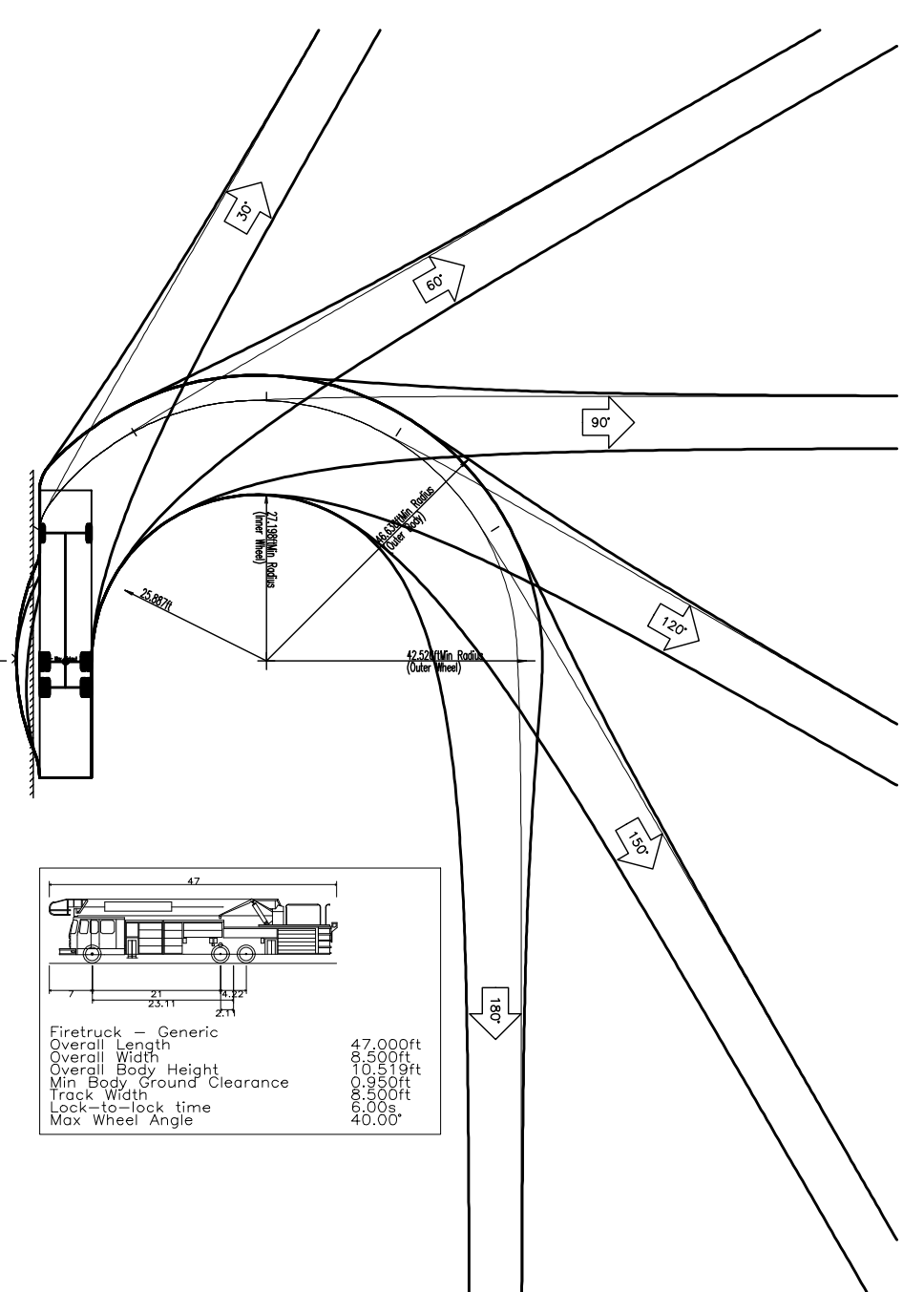
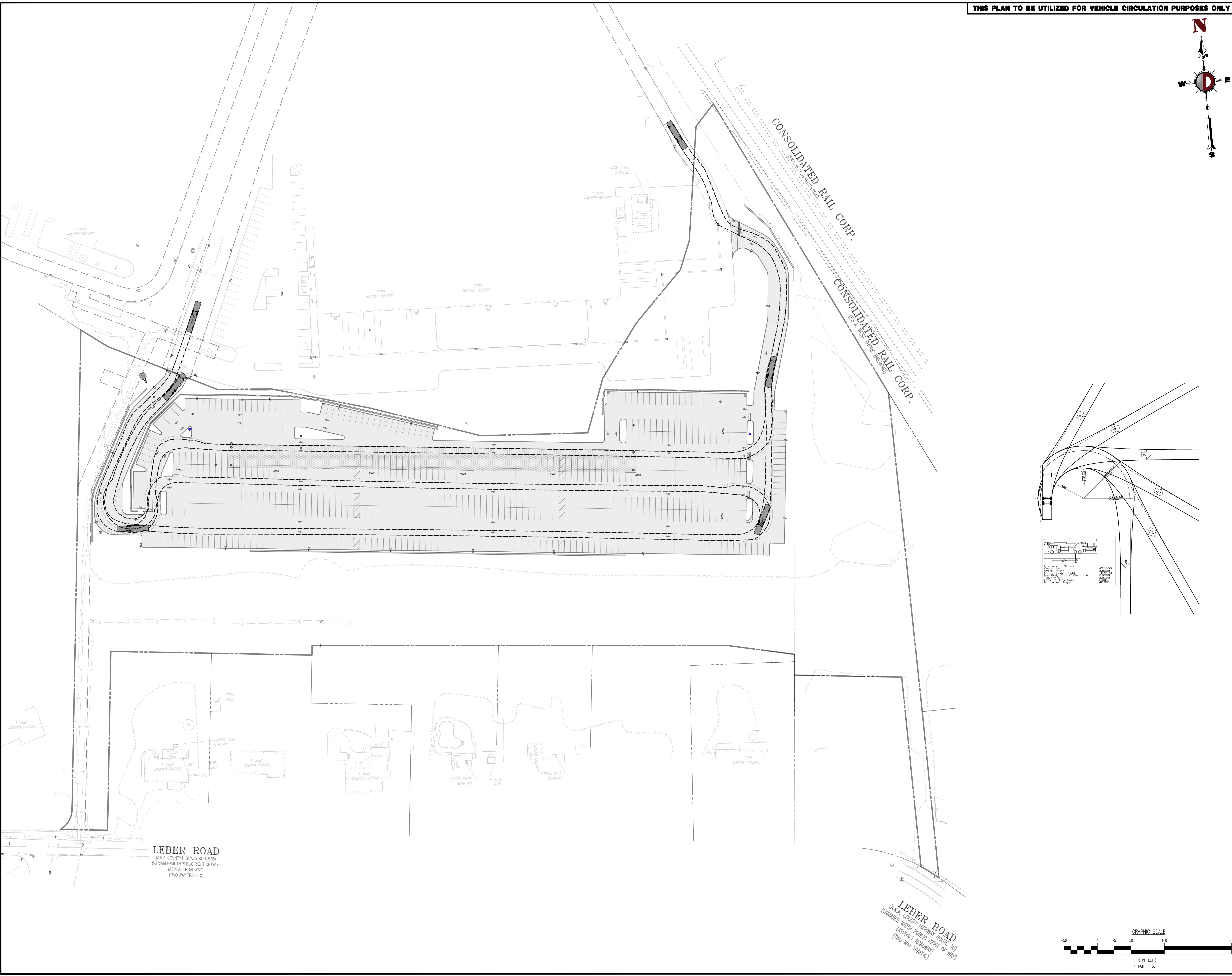
SHEET No: **27** of 28
Rev. #: 2



THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY



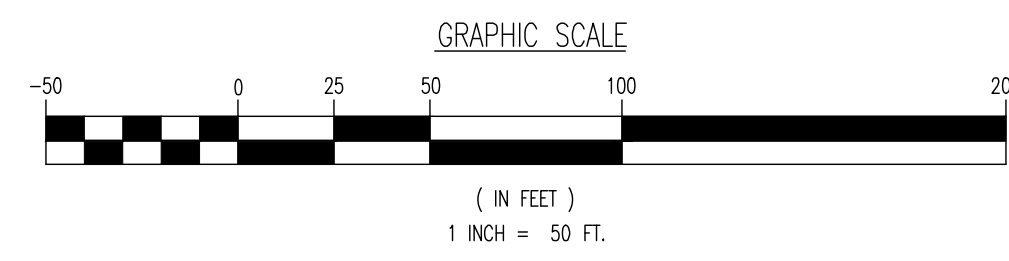
REV.	DATE	COMMENTS
1	10/27/2023	REV. PER PLANNING BOARD SUBMISSION
2	04/02/24	REV. PER ZONING BOARD OF APPEALS SUBMISSION



Overall - Generic	4'-0" (0.000)
Overall - Right	4'-0" (0.000)
Overall - Left	4'-0" (0.000)
Min. Right-of-Way Clearance	10'-0" (0.000)
Clearance - Over	14'-0" (0.000)
Clearance - Under	7'-0" (0.000)
Min. Wheel Angle	45.000°

LEBER ROAD
 (A.K.A. COUNTY HIGHWAY ROUTE 36)
 (VARIABLE WIDTH PUBLIC RIGHT OF WAY)
 (ASPHALT ROADWAY)
 (TWO WAY TRAFFIC)

LEBER ROAD
 (A.K.A. COUNTY HIGHWAY ROUTE 36)
 (VARIABLE WIDTH PUBLIC RIGHT OF WAY)
 (ASPHALT ROADWAY)
 (TWO WAY TRAFFIC)



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PROJECT: **ONIX EQUITIES, LLC**
Proposed Accessory Parking Lot
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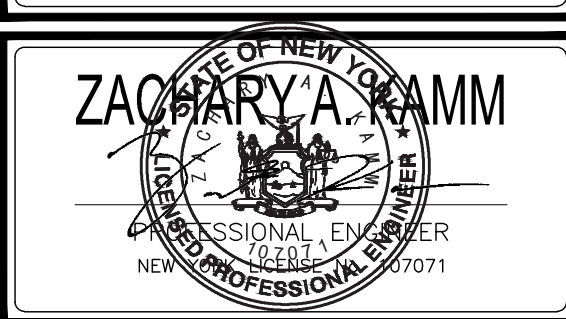
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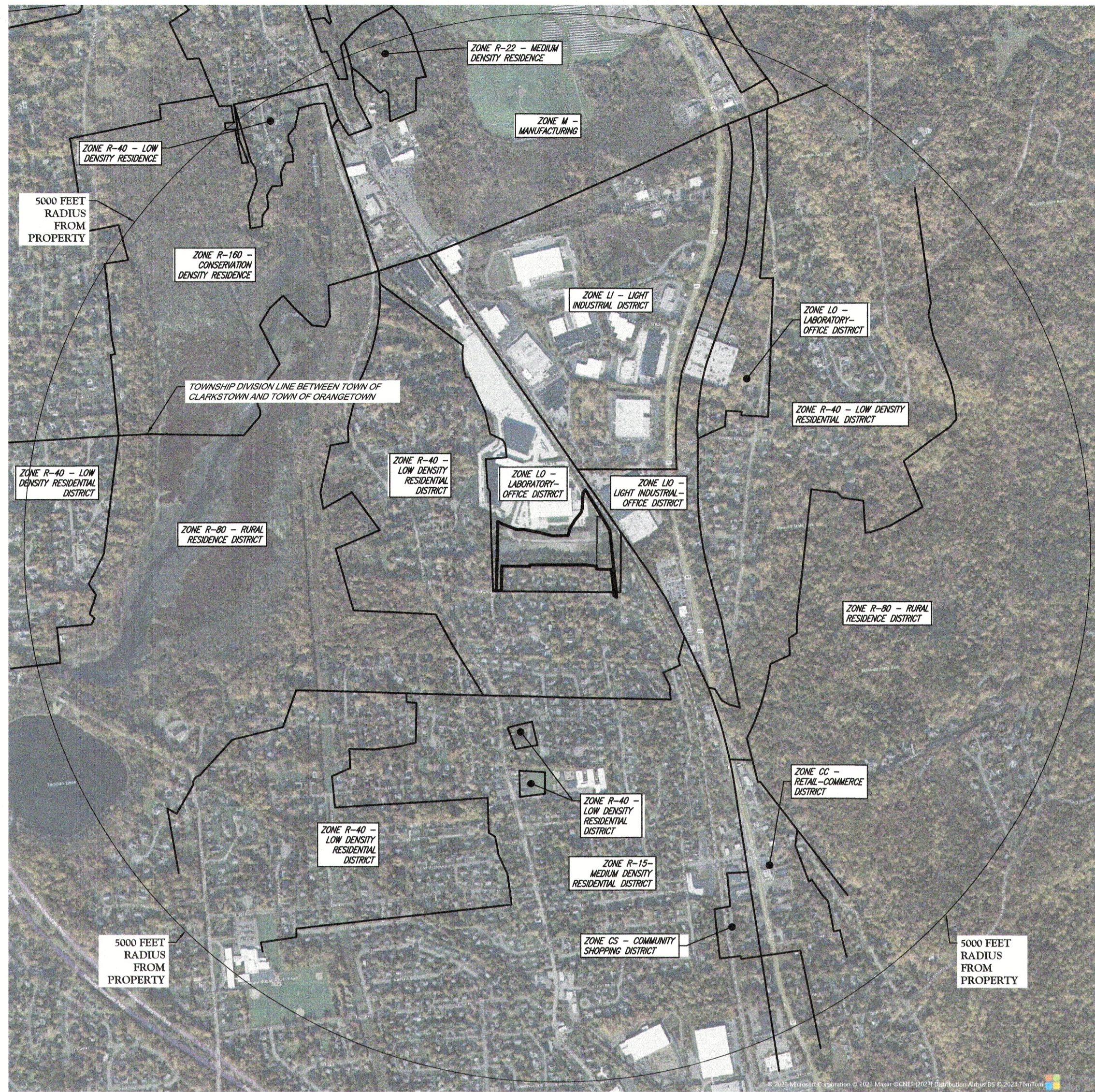


TITLE:
VEHICLE CIRCULATION PLAN (FIRE)

SCALE: (H) 1"=50'
 (V) 1"=20'
 PROJECT No: 1739-22-02023

SHEET No: **28** of 28
 Rev. #:

Printed: 04/02/24 - 2:55 PM, By: sbruce@dc
 File: P:\proj\1739\1739_020202023\Fire.dwg, Plot: 28 VEHICLE CIRCULATION PLAN (FIRE)



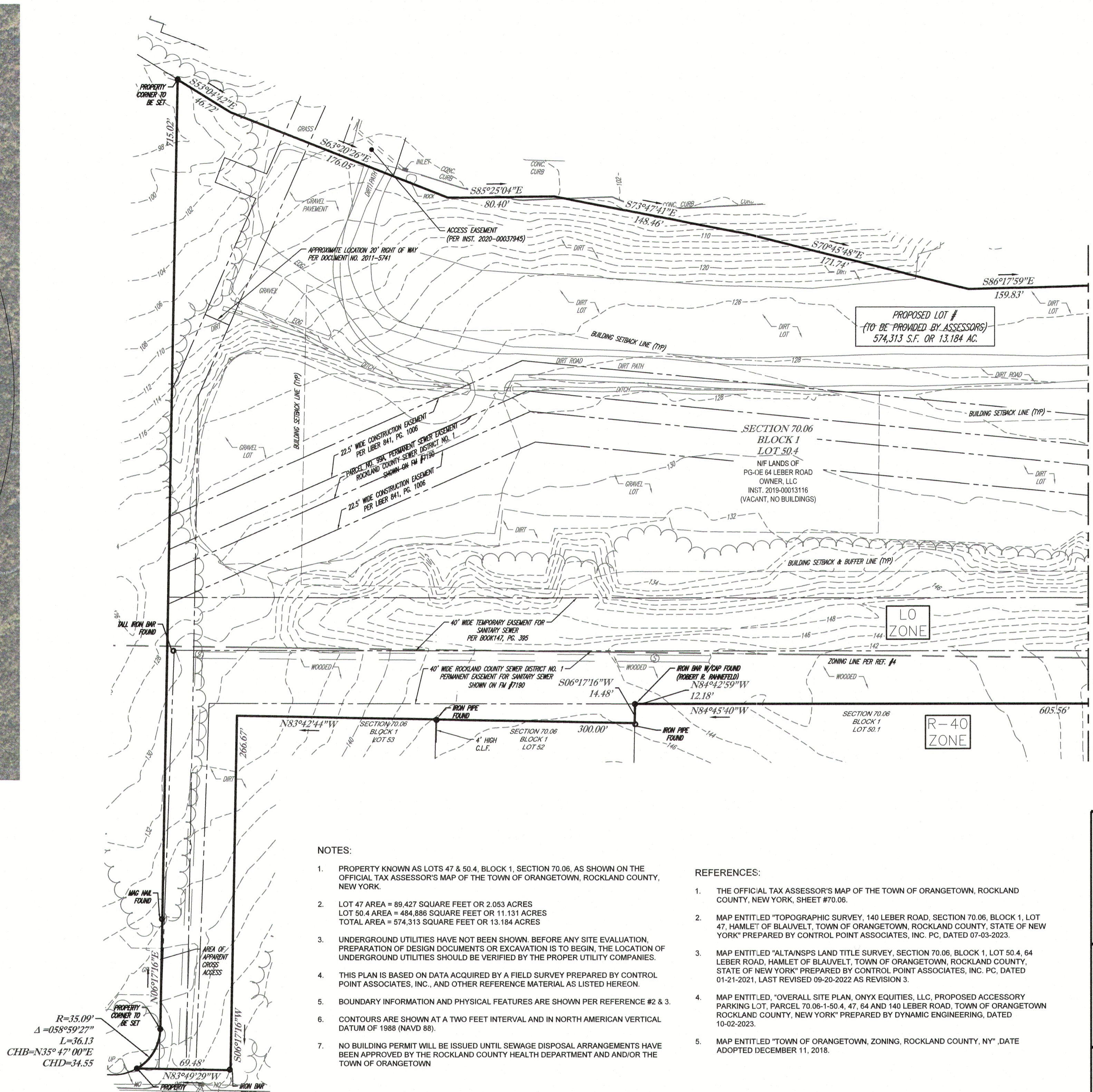
LOCATION MAP
1" = 1000'

LEGEND

	EXISTING CONTOUR
	EXISTING CONTOUR
	OVERHEAD WIRES
	HYDRANT
	SANITARY/SEWER MANHOLE
	CATCH BASINS
	UTILITY POLE
	UTILITY POLE/LIGHT POLE/SOLAR PANEL
	SIGN
	TYPICAL
	EDGE OF GRAVEL
	EXISTING DIMENSION
	PROPOSED DIMENSION

ZONE REQUIREMENT	ZONE LO	ZONE R-40	EXISTING (LOT 50.4)	EXISTING (LOT 47)	PROPOSED
MINIMUM LOT AREA	2 AC.	40,000 SF	11,131 AC (484,286 SF)	2,053 AC (89,427 SF)	13,184 AC (574,313 SF)
MINIMUM LOT WIDTH	300 FT	150 FT	1,071.80 FT	1,283.43 FT	1,071.80 FT
MINIMUM LOT FRONTAGE	150 FT	100 FT	66.48 FT (E)	31.60 FT (E)	101.08 FT (E)
MINIMUM FRONT YARD SETBACK	100 FT	50 FT	N/A	N/A	N/A
MINIMUM REAR YARD SETBACK	100 FT	50 FT	N/A	N/A	N/A
MINIMUM SIDE YARD SETBACK	100 FT	30 FT	N/A	N/A	N/A
MINIMUM COMBINED SIDE YARD SETBACK	200 FT	80 FT	N/A	N/A	N/A
MAXIMUM LAND COVERAGE	50%	N/A	15.1 % (73,310 SF)	N/A	41.7% (239,490 SF)

N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-COMFORMANCE (V): VARIANCE



$R=15.09'$
 $\Delta=058^{\circ}59'27''$
 $L=36.13$
 $CHB=N15^{\circ}47'00''E$
 $CHD=34.55$

LEBER ROAD
(A.K.A. COUNTY HIGHWAY ROUTE 38)
(45' WIDE PUBLIC RIGHT OF WAY)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)

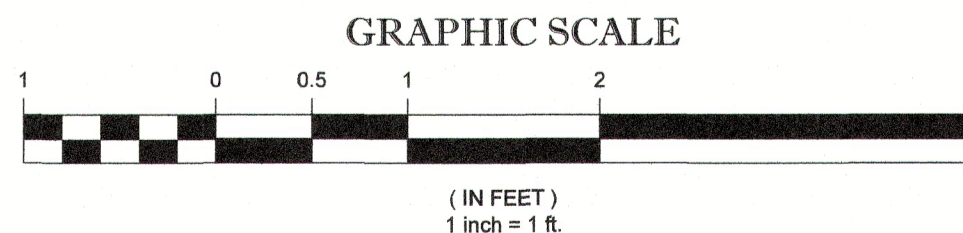
NOTES:

- PROPERTY KNOWN AS LOTS 47 & 50.4, BLOCK 1, SECTION 70.06, AS SHOWN ON THE OFFICIAL TAX ASSESSOR'S MAP OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK.
- LOT 47 AREA = 89,427 SQUARE FEET OR 2.053 ACRES
LOT 50.4 AREA = 484,286 SQUARE FEET OR 11.131 ACRES
TOTAL AREA = 574,313 SQUARE FEET OR 13.184 ACRES
- UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
- THIS PLAN IS BASED ON DATA ACQUIRED BY A FIELD SURVEY PREPARED BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- BOUNDARY INFORMATION AND PHYSICAL FEATURES ARE SHOWN PER REFERENCE #2 & 3.
- CONTOURS ARE SHOWN AT A TWO FEET INTERVAL AND IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT AND AND/OR THE TOWN OF ORANGETOWN.

REFERENCES:

- THE OFFICIAL TAX ASSESSOR'S MAP OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK, SHEET #70.06.
- MAP ENTITLED "TOPOGRAPHIC SURVEY, 140 LEBER ROAD, SECTION 70.06, BLOCK 1, LOT 47, HAMLET OF BLAUVELT, TOWN OF ORANGETOWN, ROCKLAND COUNTY, STATE OF NEW YORK" PREPARED BY CONTROL POINT ASSOCIATES, INC. PC, DATED 07-03-2023.
- MAP ENTITLED "ALTAMANS LAND TITLE SURVEY, SECTION 70.06, BLOCK 1, LOT 50.4, 64 LEBER ROAD, HAMLET OF BLAUVELT, TOWN OF ORANGETOWN, ROCKLAND COUNTY, STATE OF NEW YORK" PREPARED BY CONTROL POINT ASSOCIATES, INC. PC, DATED 01-21-2021, LAST REVISED 09-20-2022 AS REVISION 3.
- MAP ENTITLED "OVERALL SITE PLAN, ONYX EQUITIES, LLC, PROPOSED ACCESSORY PARKING LOT, PARCEL 70.06-1-50.4, 47, 64 AND 140 LEBER ROAD, TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK" PREPARED BY DYNAMIC ENGINEERING, DATED 10-02-2023.
- MAP ENTITLED "TOWN OF ORANGETOWN, ZONING, ROCKLAND COUNTY, NY," DATE ADOPTED DECEMBER 11, 2018.

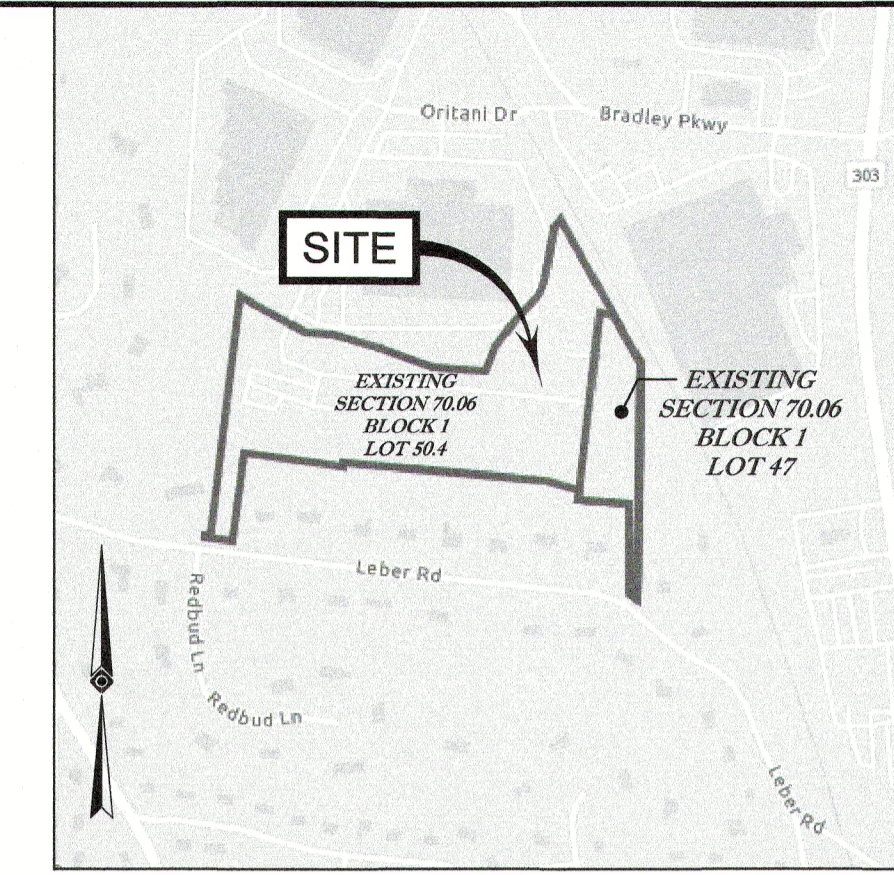
NOTE:
PHYSICAL FEATURES FOR LOT 47 SHOWN ARE THOSE EXISTING ON 08-21-2023 AND PHYSICAL FEATURES FOR LOT 50.4 SHOWN ARE THOSE EXISTING ON 09-20-2022. CURRENT CONDITIONS HAVE NOT BEEN SHOWN.



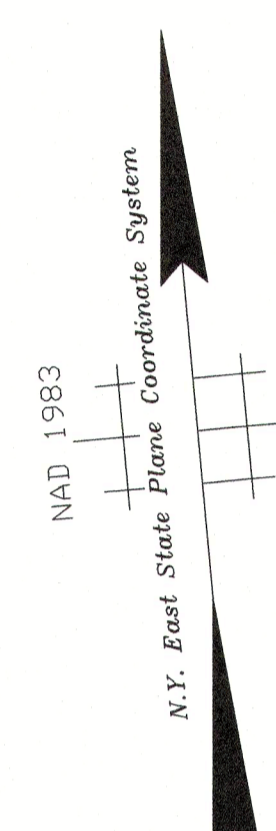
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ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.



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VICINITY MAP
© 2022 ESRI WORLD LIGHT GRAY CANVAS
(NOT TO SCALE)



OWNERS CERTIFICATION:

THE OWNER, OR HIS DULY AUTHORIZED REPRESENTATIVE, HEREBY IRREVOCABLY OFFERS FOR DEDICATION TO THE TOWN OF ORANGETOWN ALL THE STREETS, EASEMENTS, PARKS AND REQUIRED UTILITIES SHOWN ON THE SUBDIVISION PLAT AND GRADING AND CONSTRUCTION PLANS.

PG-OE 64 LEBER ROAD OWNER, LLC DATE
PG-OE 140 LEBER ROAD OWNER, LLC
900 ROUTE 9 NORTH, SUITE 400, WOODBRIDGE, NEW JERSEY 07095

All taxes have been paid to date.

Receiver of taxes DATE

This plat is approved by The Commissioner of Public Works. DATE

COMMISSIONER OF PUBLIC WORKS TOWN OF ORANGETOWN

Approved by resolution of the Planning Board of the Town of Orangetown, New York, on the ___ day of ___, 20___ upon due compliance with Sections 451 and 452 of the Rockland County Administrative Code, [1] and subject to all requirements and conditions of said resolution. Any change, erasure, modification, or revision of this plat, as approved, shall void this approval. Signed this ___ day of ___, 20___, by

Planning Board Chairman

NO.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.



JAMES D. SENS
NEW YORK PROFESSIONAL LAND SURVEYOR #050846
10-17-2023 DATE

MINOR SUBDIVISION
SECTION 70.06, BLOCK 1, LOTS 47 & 50.4
64 & 140 LEBER ROAD
HAMLET OF BLAUVELT, TOWN OF ORANGETOWN
ROCKLAND COUNTY, STATE OF NEW YORK

CONTROL POINT ASSOCIATES INC PC
30 INDEPENDENCE BOULEVARD, SUITE 100
WARREN, NJ 07059
908.668.0099 - 908.668.9595 FAX
WWW.CPASURVEY.COM

FIELD DATE	FIELD BOOK NO.	FIELD BOOK PG.	FIELD CREW	DRAWN	REVIEWED	APPROVED	DATE	SCALE	FILE NO.	DWG. NO.

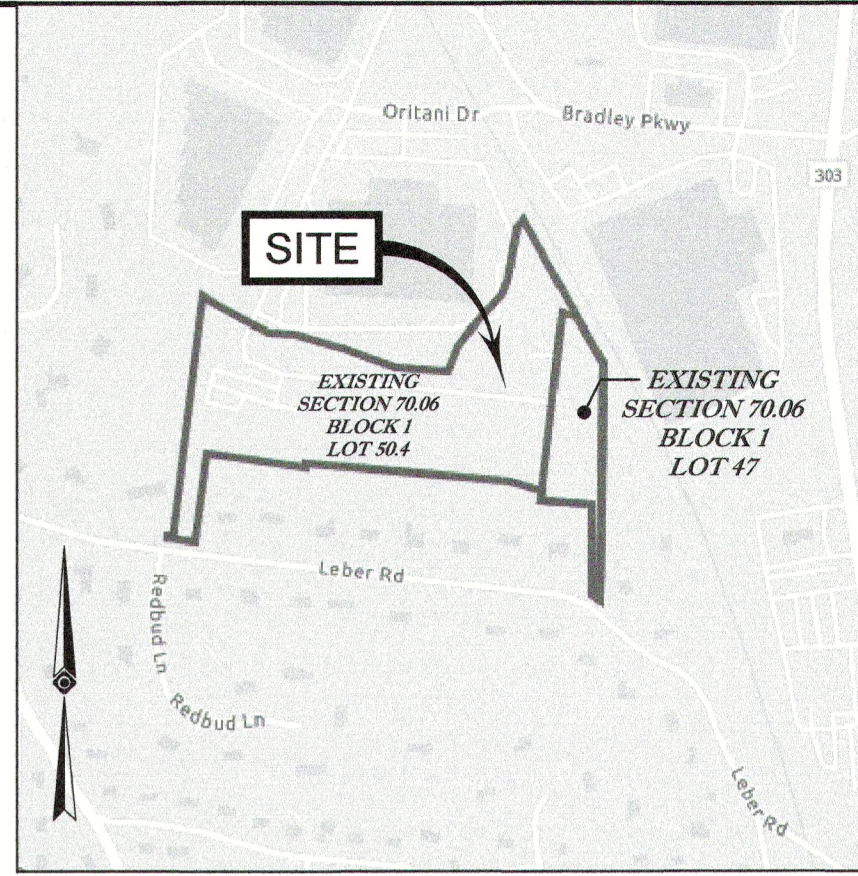
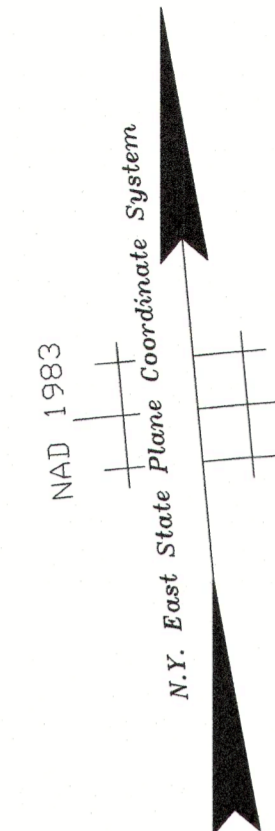
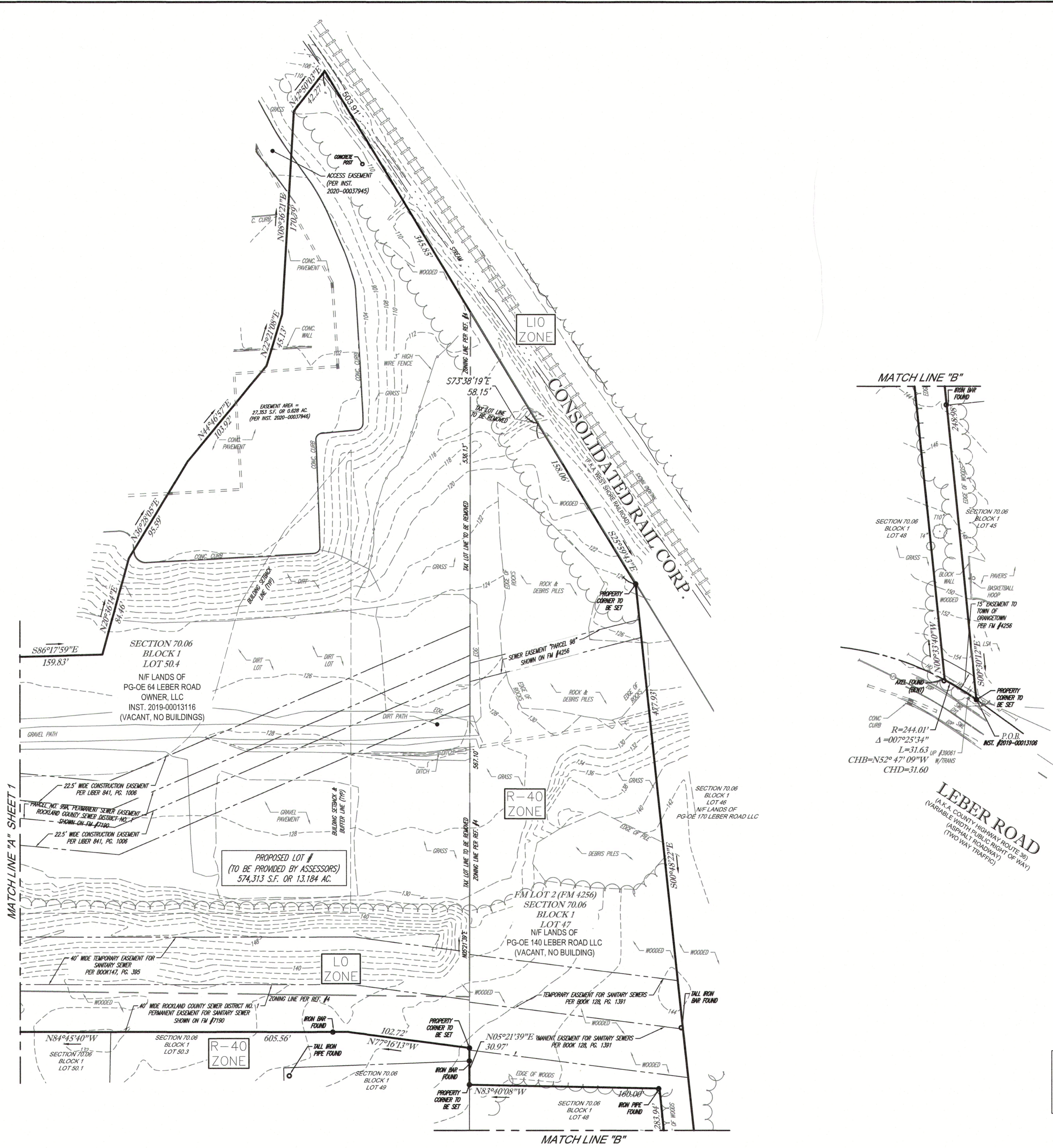
10-17-2023 DATE

10-17-2023 1"=50' 01-190059-00 1 OF 2

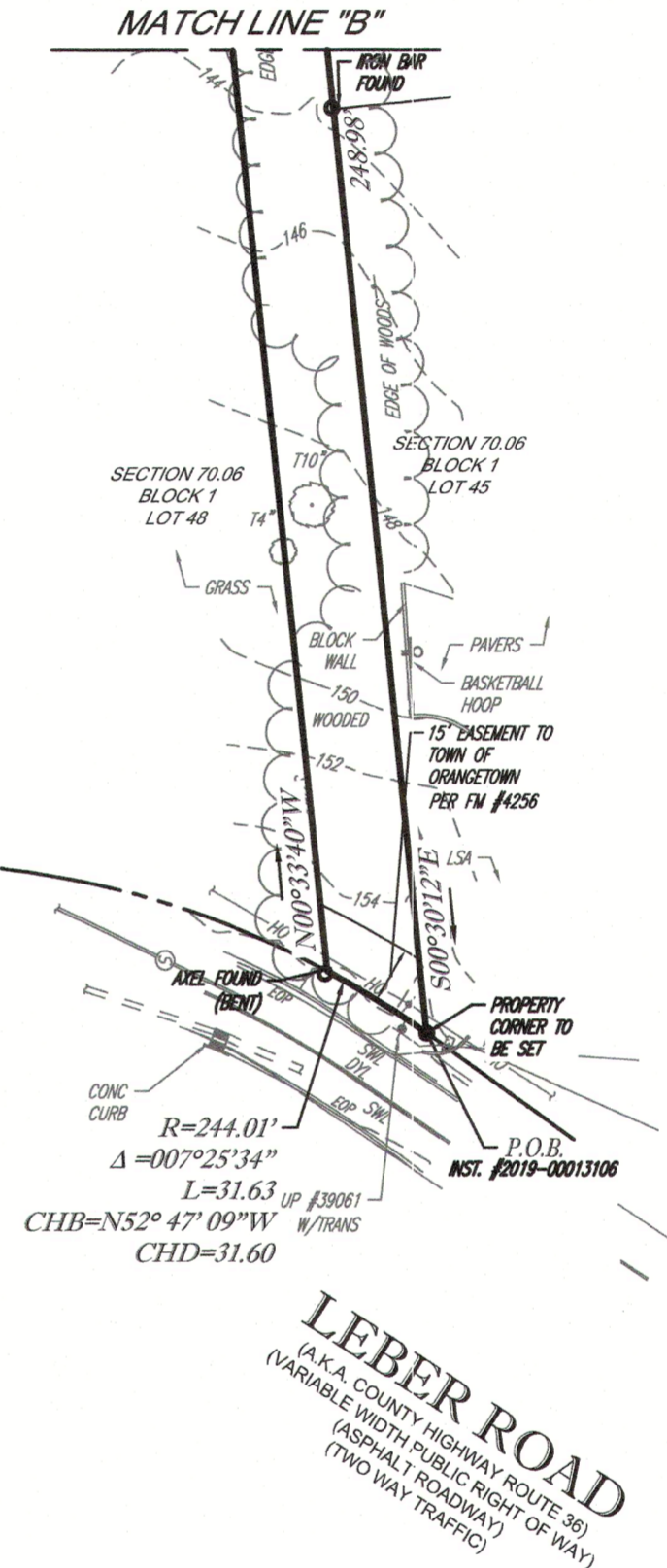
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LEGEND

- EXISTING CONTOUR
- OVERHEAD WIRES
- HYDRANT
- SANITARY/SEWER MANHOLE
- CATCH BASINS
- UTILITY POLE
- UTILITY POLE/LIGHT POLE/SOLAR PANEL
- SIGN
- TYPICAL
- EDGE OF GRAVEL
- 345.85' EXISTING DIMENSION
- 503.91' PROPOSED DIMENSION



VICINITY MAP
© 2022 ESRI WORLD LIGHT GRAY CANVAS
(NOT TO SCALE)



NOTE:
PHYSICAL FEATURES FOR LOT 47
SHOWN ARE THOSE EXISTING ON
06-21-2023 AND PHYSICAL FEATURES
FOR LOT 50.4 SHOWN ARE THOSE
EXISTING ON 09-20-2022. CURRENT
CONDITIONS HAVE NOT BEEN SHOWN.

SEE SHEET 1 OF 2 FOR NOTES AND REFERENCES

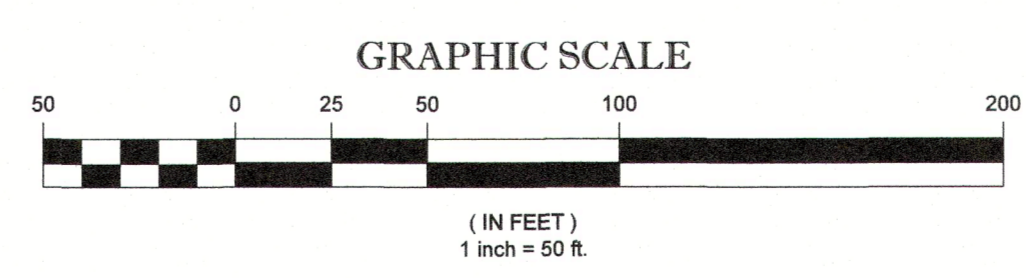
NO.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE

FIELD DATE: -
FIELD BOOK NO.: -
FIELD BOOK PG.: -
FIELD CREW: -
DRAWN: UB
REVIEWED: KVG
APPROVED: JDS
DATE: 10-17-2023
SCALE: 1"=50'
FILE NO.: 01-190059-00
DWG. NO.: 2 OF 2

MINOR SUBDIVISION
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ESCALPONT, PA 15212-2988
MT. LAUREL, NJ 08057-2999
MANHATTAN, NY 10017-0411
LONG ISLAND, NY 11551-0445
SOUTHBRIDGE, MA 01550-2000
ALBANY, NY 12212-1618
ROCKBROOK, NY 14224-1244



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NOT A VALID ORIGINAL DOCUMENT UNLESS SIGNED AND SEALED WITH THIS IMPRESSION AND SEAL

JAMES D. SENS
NEW YORK PROFESSIONAL LAND SURVEYOR #050846

STATE OF NEW YORK
JAMES D. SENS
050846
LICENSED LAND SURVEYOR

10-17-2023
DATE

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