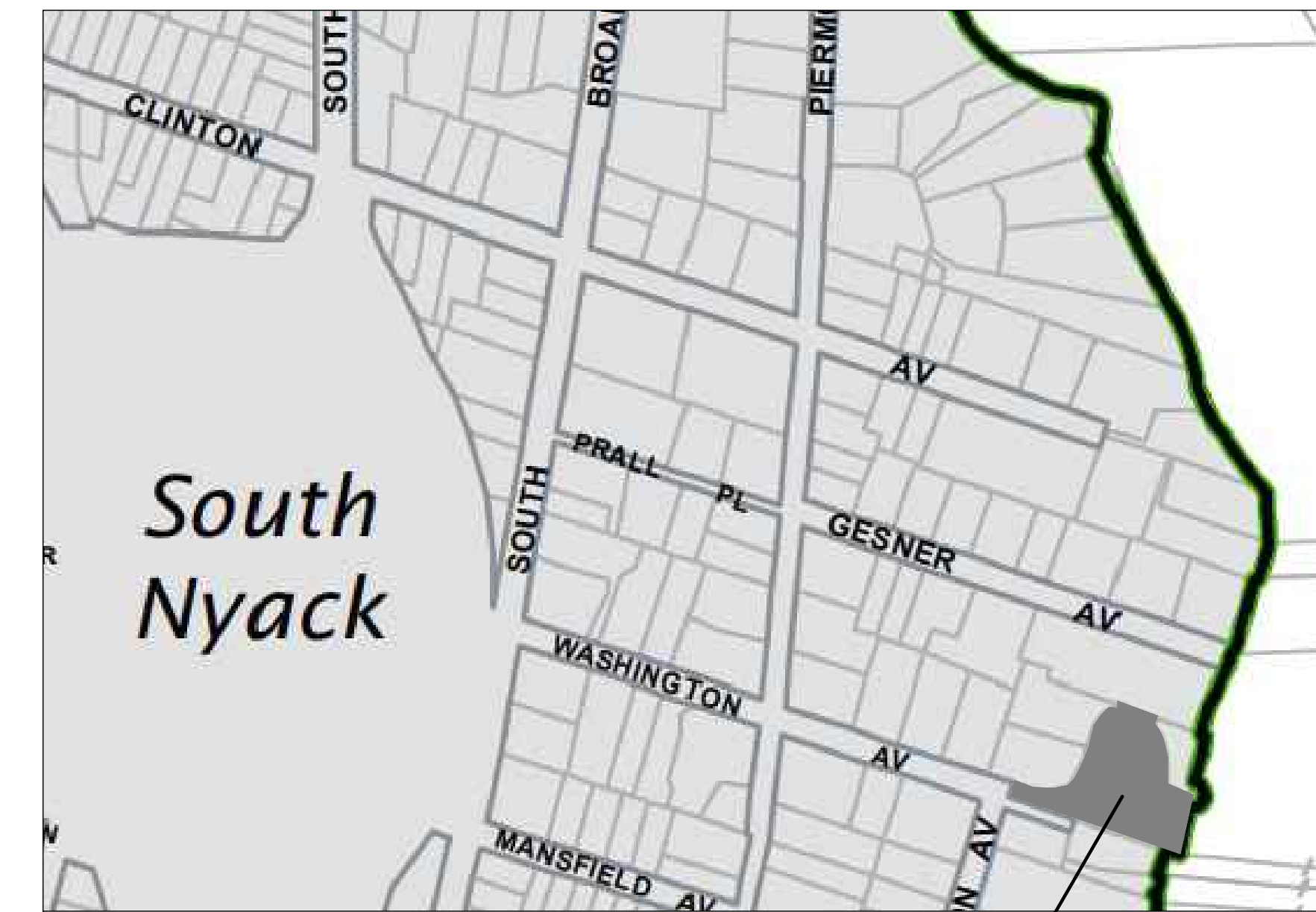


# ZONING BULK TABLE ANALYSIS - HOUSE

ADDRESS: 1 WASHINGTON AVENUE, SOUTH NYACK, NY TAX LOT DESIGNATION: SECTION 66.70, BLOCK 2, LOT 6									
R-12 ZONE	LOT	STONE & WOOD FRAME DWELLING		CABANA (LESS THAN 100 S.F.)		EQUIP. SHED (LESS THAN 100 S.F.)		POOL	
REGULATION	REQUIRED	EXISTING	PROPOSED	REQ.	PROP.	REQ.	PROP.	REQ.	PROP.
MINIMUM LOT	12,000 SF	29,098 SF	29,098 SF	-	-	-	-	-	-
MAXIMUM LOT COVERAGE	45%	35%	38.93%	-	-	-	-	-	-
MINIMUM STREET FRONT	100'	25' *	25' *	-	-	-	-	-	-
REQUIRED FRONT YARD	35'	247.8'	247.8'	60'	257'	60'	248.2'	60'	277.7'
REQUIRED SIDE YARD	15'	0' *	0' *	5'	8'	5'	8'	10'	10'
TOTAL SIDE YARD	35'	77.8' (PORCH)	77.8' (PORCH)	35'	102.6'	35'	127.9'	35'	67.2'
REQUIRED REAR YARD	25'	18.4' (PORCH) *	18.4' (PORCH) *	8'	46'	8'	54.3'	20'	23.8'
MAXIMUM BUILDING HEIGHT (FT.)	3 STORIES (b) 36'	3 STORIES (b) 32'	3 STORIES (b) 32'	15'	12'	15'	7'	15'	0'
VARIANCE REQUIRED		ENC	ENC		NO		NO		NO

- \* = EXISTING NON-CONFORMING
- PROPERTY IS WITHIN THE DESIGNATED CRITICAL ENVIRONMENTAL AREA
- ACCESSORY BUILDINGS ARE LESS THAN 30% OF REQUIRED REAR OR SIDE YARD AREAS.
- ACCESSORY STRUCTURES SHALL NOT BE CLOSER THAN 15' TOGETHER



1 WASHINGTON AVENUE  
SOUTH NYACK, NY

1 VICINITY MAP  
N.T.S.

**AURELL  
GARCIA  
ARCHITECTS**

171 KING'S HIGHWAY, ORANGEBURG,  
NEW YORK 10962  
TEL 845.680.6670

# LANDSCAPE RENOVATION

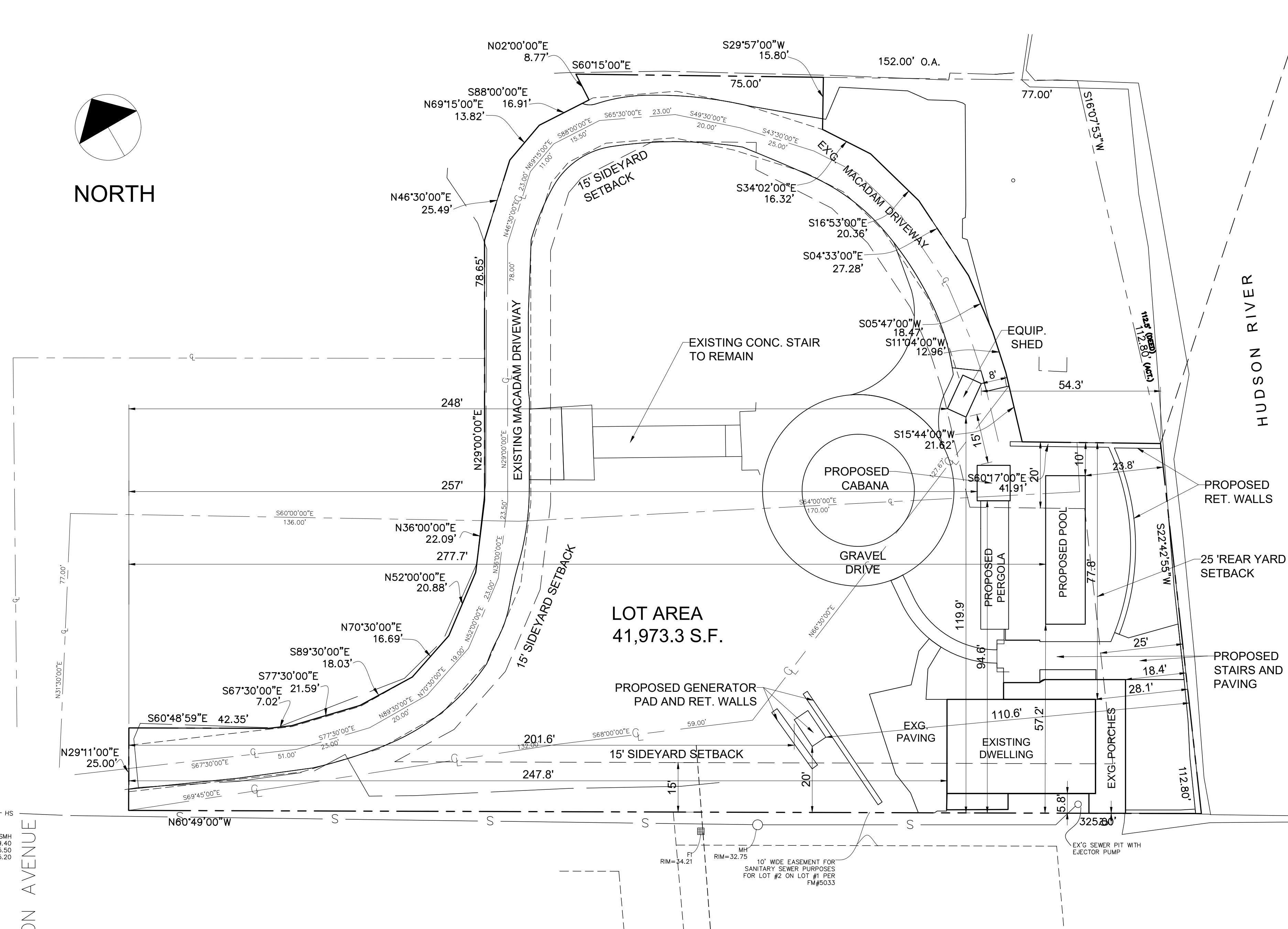
1 Washington Avenue  
South Nyack, New York

PERMIT SET - LANDSCAPE 03/22/2023

REVISIONS:  
DRAWING TITLE:  
**COVER SHEET**

DATE: 03/22/2023  
PROJ TEAM: WCA/MRG  
PROJ PARTNER: WCA/MRG  
PROJ NO.: 21110

# L-0.0



PLOT PLAN AND CALCULATIONS PREPARED BY:  
SPARACO & YOUNGBLOOD, PLLC  
CIVIL ENGINEERING \* LAND SURVEYING \* SITE PLANNING  
Dated NOVEMBER 11, 2022

SLOPE AREA DEDUCTIONS:  
0% - 15% = 0% (124,758 X 0) = 0  
16% - 25% = 40% (15,588 X .40) = 2,235.21  
26% - 35% = 60% (2,469 X .60) = 1,481.4  
36% - 100% = 100% (9,158 X 1.0) = 9,158

TOTAL DEDUCTIONS - 12,875 S.F.

ZONING AREA CALCULATIONS:  
GROSS LOT AREA - SLOPE REDUCTIONS = ZONING LOT AREA  
41,973 S.F. - 12,875 S.F. = 29,098

MAXIMUM LOT COVERAGE CALCULATIONS:  
IMPERVIOUS SURFACE / LOT AREA - LOT COVERAGE

EXISTING IMPERMEABLE SURFACES:  
15,863 S.F. / 41,973 S.F. = 0.3779 (0.38)

PROPOSED IMPERMEABLE SURFACES:  
15,271 S.F. / 41,973 S.F. = 0.3638 (0.36)

LIST OF DRAWINGS		
#	DRAWING	DATE
L-0.0	COVER SHEET, BULK TABLE	03/22/2023
	TOPOGRAPHIC SURVEY	09/21/2021
	PLOT PLAN	11/11/2022
	NOTES AND DETAILS	11/11/2022
L-1.1	AREA CALCULATIONS SHEET	03/22/2023
L-1.1	SITE PLAN	03/22/2023
L-1.2	HARDCAPE DETAIL PLAN AT DECK	03/22/2023
L-1.3	LANDSCAPE LIGHTING PLAN	03/22/2023
L-1.4	PLANTING PLAN	03/22/2023
L-2.1	EAST ELEVATION	03/22/2023
L-2.2	NORTH & SOUTH SECTION / ELEVATIONS AT STAIR	03/22/2023
L-2.3	CABANA ELEVATIONS	03/22/2023
S-10.0	RETAINING WALL PLAN	03/22/2023
S-11.0	FLOOD ZONE LINE	03/22/2023
S-30.0	RETAINING WALL SECTIONS	03/22/2023



1 BULK TABLE DIAGRAM  
1" = 20'

TAX LOT: SECTION 66.70, BLOCK 2, LOTS 5 & 6

MAP REFERENCE:  
SUBDIVISION OF PROPERTY OF ELEANOR HALL GIBSON FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON APRIL 11, 1979 AS MAP#5033.

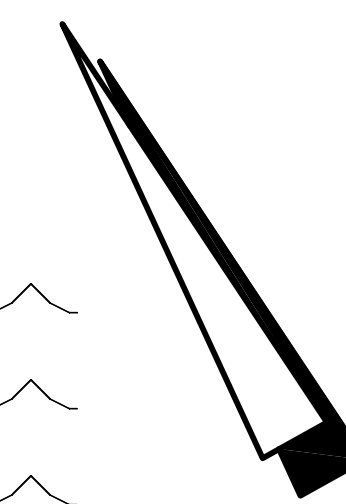
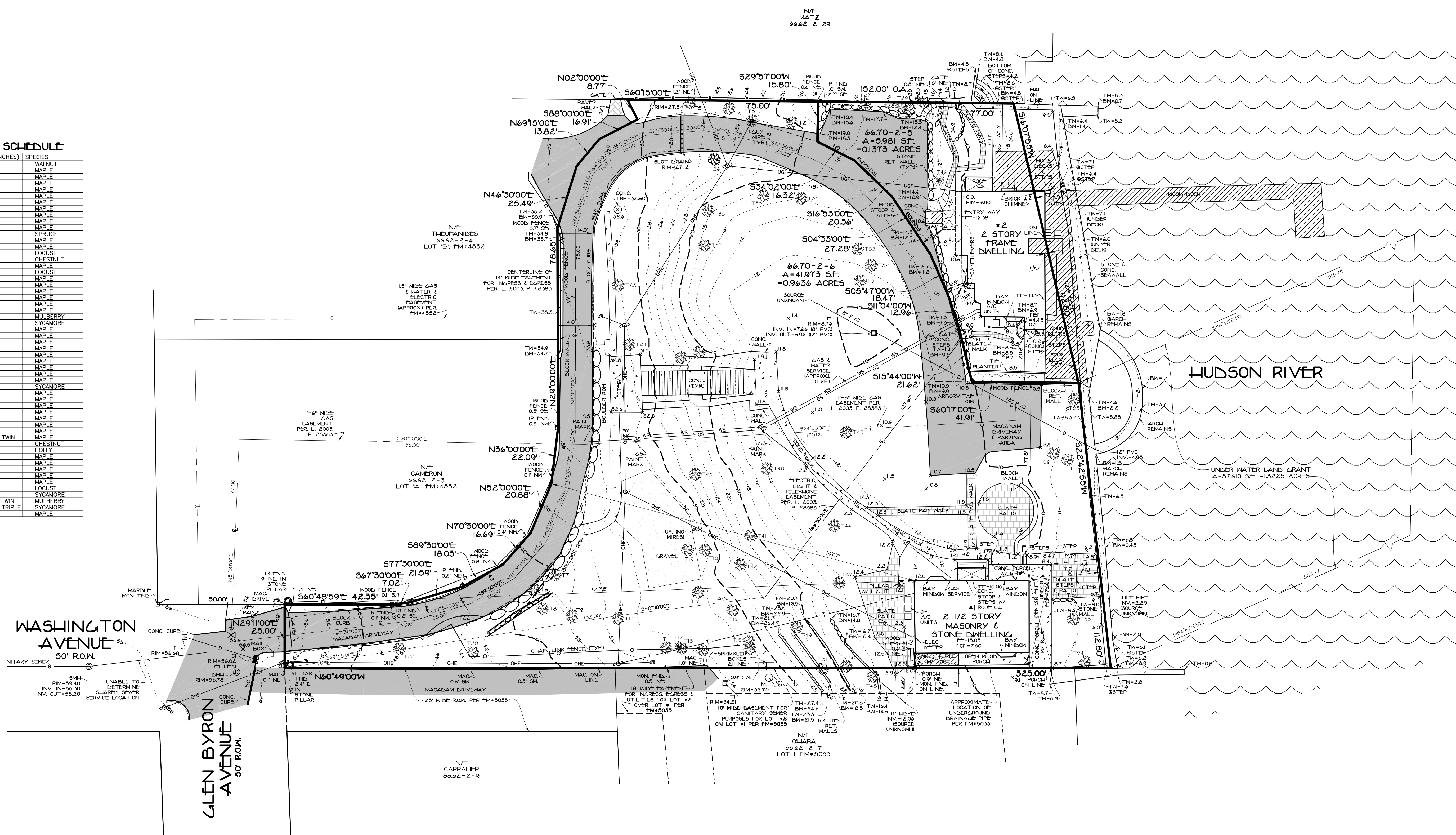
PROPOSED SUBDIVISION FOR FLORENCE A. KROGER FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON SEPT. 18, 1974 AS MAP#4552.

DEED REFERENCE:

- 2003/28383
- 2008/2241
- 2019/15783
- 20187886
- 841/380
- 743/2550
- 2004/73595
- 2006/49763
- 2007/39348
- 2018/4557

TREE SCHEDULE

NUMBER	DIA. (INCHES)	SPECIES
11	24	WALNUT
12	16	MAPLE
13	28	MAPLE
14	28	MAPLE
15	24	MAPLE
16	24	MAPLE
17	24	MAPLE
18	14	MAPLE
19	12	MAPLE
110	20	MAPLE
111	24	MAPLE
112	30	SPRUCE
113	12	MAPLE
114	30	MAPLE
115	36	LOCUST
116	10	CHESTNUT
117	16	MAPLE
118	40	LOCUST
119	20	MAPLE
120	36	MAPLE
121	12	MAPLE
122	24	MAPLE
123	16	MAPLE
124	18	MAPLE
125	18	MULBERRY
126	40	SYCAMORE
127	24	MAPLE
128	16	MAPLE
129	16	MAPLE
130	24	MAPLE
131	18	MAPLE
132	12	MAPLE
133	24	MAPLE
134	20	MAPLE
135	20	MAPLE
136	36	SYCAMORE
137	36	MAPLE
138	20	MAPLE
139	20	MAPLE
140	16	MAPLE
141	24	MAPLE
142	20	MAPLE
143	24	MAPLE
144	30	TWIN
145	24	CHESTNUT
146	16	HOLLY
147	12	MAPLE
148	24	MAPLE
149	12	MAPLE
150	40	MAPLE
151	12	MAPLE
152	48	LOCUST
153	36	SYCAMORE
154	10	TWIN
155	36	SYCAMORE
156	12	MAPLE



WASHINGTON AVENUE  
50' R.O.W.

GLEN BYRON AVENUE  
50' R.O.W.

TOPOGRAPHIC SURVEY  
OF  
1 & 2 WASHINGTON AVENUE  
LOCATED IN  
VILLAGE OF SOUTH NYACK  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY, NEW YORK

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

16 NYCRR PART 755  
REQUIRES A RECORDING DATE NOTE PRIOR TO START OF ANY UNDERGROUND WORK

**DIG SAFELY NEW YORK**  
www.digsafely.com  
1-800-962-7962

**SPARACO & YOUNG BLOOD, PLLC**  
CIVIL ENGINEERING • LAND SURVEYING  
SITE PLANNING

18 NORTH MAIN STREET  
P.O. BOX 818  
LARRIMAN, N.Y. 10926  
TEL: (845) 782-8543  
FAX: (845) 782-5901  
SPARACO.STEVE@SLSNY.COM WDTLS1@GMAIL.COM

SY-1744  
DATE: SEPT. 21, 2021  
SCALE: 1"=20'

TAX LOT: SECTION 66.70, BLOCK 2, LOTS 5 & 6

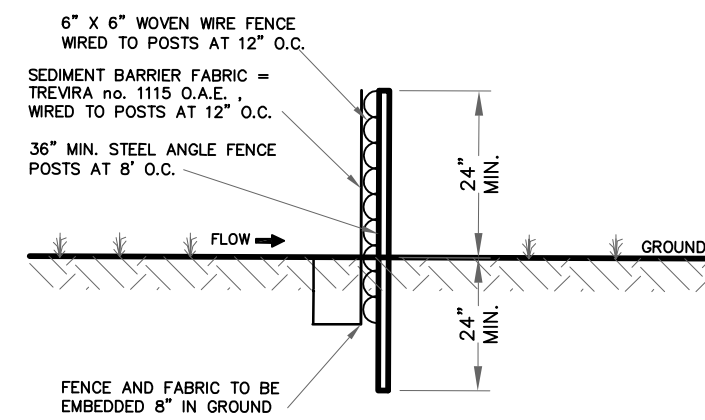
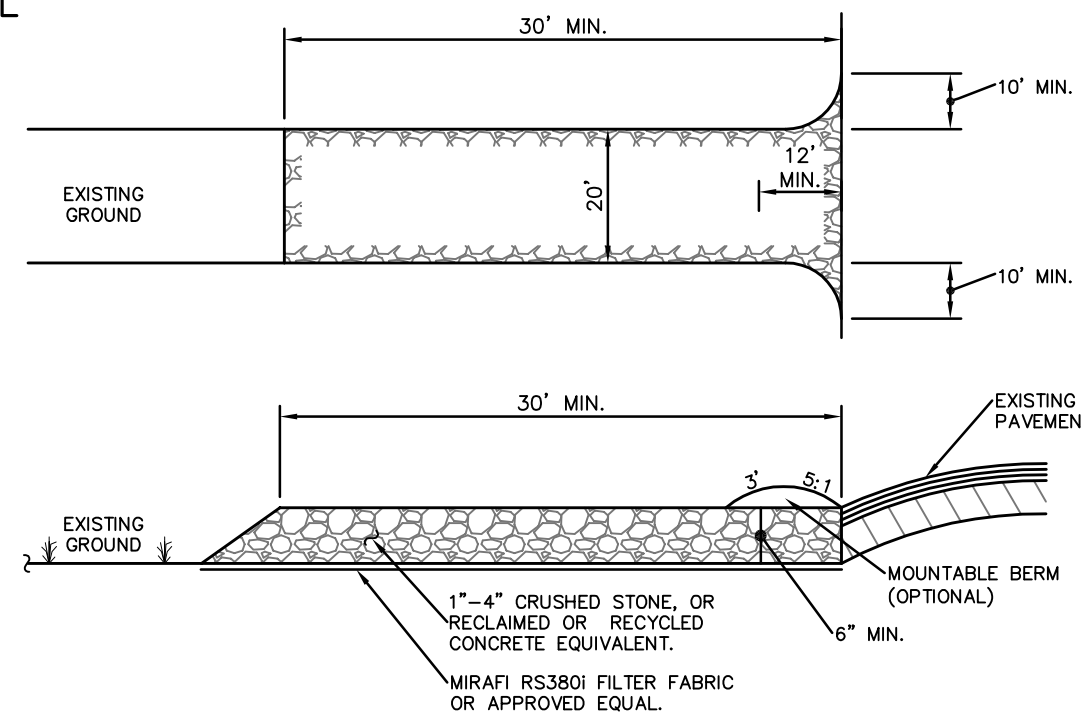
**MAP REFERENCE:**  
 "SUBDIVISION OF PROPERTY OF CLEANOR HALL GIBSON" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON APRIL 11, 1979 AS MAP #5053.

"PROPOSED SUBDIVISION FOR FLORENCE A. KROGGER" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON SEPT. 18, 1974 AS MAP #4552.

**DEED REFERENCE:**

- 2003/28383
- 2008/2241
- 2019/15783
- 20187886
- 841/380
- 743/2550
- 2004/73595
- 2006/49763
- 2007/39348
- 2018/4557

**NOTE:**  
 SEE ARCHITECTURAL PLANS BY "AURELL GARCIA ARCHITECTS" DATED 06/27/2022, FOR ALL STONE WORK DETAILS.



- NOTES:**
1. THIS FENCE IS AN ALTERNATE TO HAY BALE SEDIMENT BARRIER.
  2. MAINTAIN FENCE TO INSURE SEDIMENT ENTRAPMENT QUALITIES DURING CONSTRUCTION.
  3. REMOVE EXCESS SILT PERIODICALLY AND WHEN BULGES DEVELOP.
  4. FENCE SYMBOL ON PLAN = [Symbol]

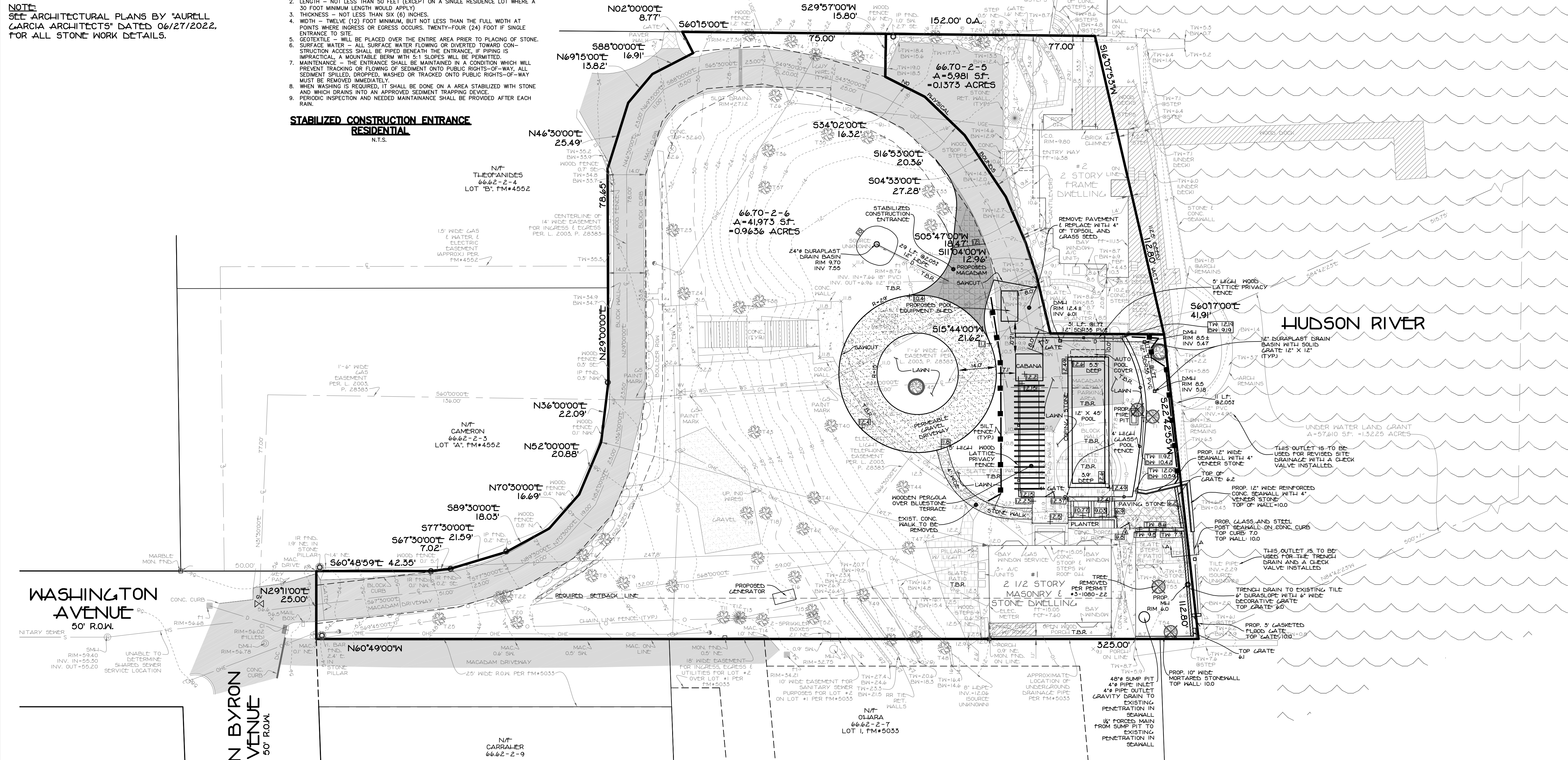
**SEDIMENT BARRIER FENCE**

N.T.S.

**CONSTRUCTION SPECIFICATIONS:**

1. STONE SIZE - USE 1-4 INCH STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**STABILIZED CONSTRUCTION ENTRANCE RESIDENTIAL**  
 N.T.S.



**TREE SCHEDULE**

NUMBER	DIA. (INCHES)	SPECIES
T1	24	WALNUT
T2	18	MAPLE
T3	28	MAPLE
T4	28	MAPLE
T5	24	MAPLE
T6	24	MAPLE
T7	24	MAPLE
T8	14	MAPLE
T9	12	MAPLE
T10	20	MAPLE
T11	24	MAPLE
T12	30	SPRUCE
T13	12	MAPLE
T14	30	MAPLE
T15	36	LOCUST
T16	10	CHESTNUT
T17	18	MAPLE
T18	40	LOCUST
T19	20	MAPLE
T20	36	MAPLE
T21	12	MAPLE
T22	24	MAPLE
T23	18	MAPLE
T24	18	MAPLE
T25	18	MULBERRY
T26	40	SYCAMORE
T27	24	MAPLE
T28	16	MAPLE
T29	16	MAPLE
T30	24	MAPLE
T31	18	MAPLE
T32	12	MAPLE
T33	24	MAPLE
T34	20	MAPLE
T35	20	MAPLE
T36	36	SYCAMORE
T37	36	MAPLE
T38	20	MAPLE
T39	20	MAPLE
T40	16	MAPLE
T41	24	MAPLE
T42	20	MAPLE
T43	24	MAPLE
T44	30	TWIN
T45	24	CHESTNUT
T46	16	HOLLY
T47	12	MAPLE
T48	24	MAPLE
T49	12	MAPLE
T50	40	MAPLE
T51	12	MAPLE
T52	48	LOCUST
T53	36	SYCAMORE
T54	10	TWIN
T55	36	MULBERRY
T56	12	MAPLE

**WASHINGTON AVENUE**  
 50' R.O.W.

**GLEN BYRON AVENUE**  
 50' R.O.W.

**HUDSON RIVER**

**BULK TABLE**

ZONE	MINIMUM LOT AREA	LOT FRONTAGE (FEET)	FRONT YARD (FEET)	REAR YARD (FEET)	SIDE YARD (FEET)	TOTAL SIDE YARD (FEET)	MAXIMUM LOT COVERAGE (%)	MAXIMUM BUILDING HEIGHT (FEET)
REQUIRED	18,000	100	35	25	15	35	45	3
EXISTING	29,098	25*	247.8	28.1	5.8*	83.6	35	2.5
PROPOSED	29,098	25*	247.8	28.1	5.8*	83.6	39	2.5

\*EXISTING NON-CONFORMING

**SLOPE AREA DEDUCTIONS:**

- 0Z-15Z = 0Z (24,758 X 0=0)
- 16Z-25Z = 40Z (0,568 X 40=2,255.2)
- 26Z-35Z = 60Z (0,449 X 60=148.1)
- 36Z-100Z = 100Z (9158 X 1.0=9158)

TOTAL DEDUCTIONS = 12,875 SF.

**ZONING AREA CALCULATIONS:**

GROSS LOT AREA - SLOPE REDUCTIONS = ZONING LOT AREA  
 41,973 SF - 12,875 SF = 29,098 SF

**MAXIMUM LOT COVERAGE CALCULATIONS:**

IMPERVIOUS SURFACE / LOT AREA = LOT COVERAGE

EXISTING:  
 14,670 SF. / 41,973 SF. = 0.3495 (0.35)

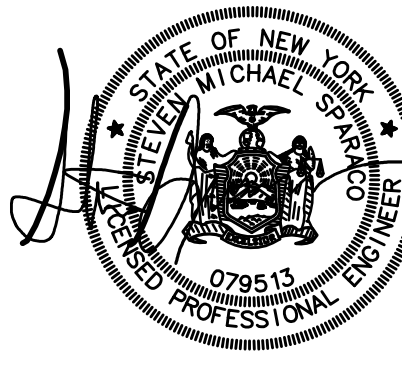
PROPOSED:  
 16,340 SF. / 41,973 SF. = 0.3893 (0.39)

PLOT PLAN (SHEET 1 OF 2)

**1 & 2 WASHINGTON AVENUE**

LOCATED IN  
 VILLAGE OF SOUTH NYACK  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY, NEW YORK

STEVEN M. SPARACO, PE  
 18 NORTH MAIN STREET  
 HARRIMAN, NEW YORK 10926  
 (845) 782-8543



**SPARACO & YOUNGBLOOD, PLLC**

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 SPARACO.STEVE@SINY.COM WBYL51@GMAIL.COM

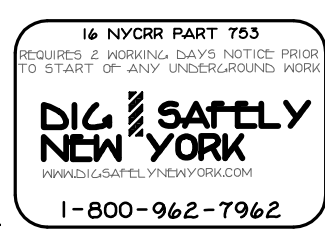
SY-1744

NOV. 11, 2022

1"=20'

SY-1744

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND UTILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



TAX LOT: SECTION 66.70, BLOCK 2, LOTS 5 & 6

DEED REFERENCE:

MAP REFERENCE:

2003/28585

SUBDIVISION OF PROPERTY OF ELEANOR HALL GIBSON FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON APRIL 11, 1979 AS MAP#5033.

2008/2241

2019/15783

2018/7886

841/580

743/2560

2004/75095

2006/49763

2007/59548

2018/4557

GENERAL NOTES:

- 1. CONTRACTOR TO VERIFY LOCATION, SIZE AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY...
3. ALL EXISTING OFF-SITE PAVEMENT, FENCES, CURBS, WALKS AND OTHER FACILITIES DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
4. EXISTING UTILITIES & STRUCTURES THAT ARE TO BE REMOVED AND/OR REPLACED SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
5. PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. UTILITIES AND UTILITY STRUCTURES WHOSE LOCATIONS ARE UNKNOWN MAY BE AFFECTED BY THE PROPOSED WORK. UPON FINDING SUCH UTILITIES, THE CONTRACTOR'S RESPONSIBILITY SHALL BE TO NOTIFY THE OWNER AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
7. CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO COMPLETED WORK.
8. ALL NEW UTILITY SERVICE CONNECTIONS, INCLUDING LINES AND EQUIPMENT FOR PROVIDING POWER AND/OR COMMUNICATIONS, ARE TO BE INSTALLED UNDERGROUND.
9. THE EXTENT OF THE CONSTRUCTION AND DISTURBANCE AREAS SHALL BE THE MINIMUM REQUIRED TO PERFORM THE CONTRACT WORK, WITH AS MINIMAL EFFECT ON ADJACENT AREAS AS POSSIBLE.
10. ALL NEW STORM DRAINAGE PIPING TO BE SMOOTH BORE CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE SPECIFIED.
11. ROOF LEADERS (WHERE REQUIRED) TO BE 4" DIA. SDR 35 PVC PIPE AND WILL OUTLET TO DOWNSPOUTS ADJACENT TO THE PROPOSED BUILDING.
12. ALL NEW WATER MAINS AND RELATED APPURTENANCES TO BE SPECIFIED BY ARCHITECT'S MECHANICAL ENGINEER.
13. ALL SANITARY HOUSE CONNECTIONS TO BE 4" DIA. CAST IRON WITH MINIMUM GRADE OF 2% TO THE FIRST CLEAN OUT OUTSIDE THE BUILDING. BEYOND THE FIRST CLEAN OUT, SDR 35 PVC PIPE MAY BE USED IN LIEU OF CAST IRON.
14. ANY SUBSTITUTIONS TO BE REQUESTED IN WRITING AND APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
15. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS WITH REGARDS TO DEMOLITION AND LEGAL DISPOSAL OF EXISTING STRUCTURES, WALKS AND DRIVEWAYS.
16. ANY EXISTING HOUSE CONNECTION PROPOSED TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE RIGHT-OF-WAY AND THE CURB LINE WITH A PERMANENT WATER-TIGHT PLUG OR CAP ENCASED IN CONCRETE.
17. CONTRACTOR TO OBTAIN AND SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL BEFORE MANUFACTURING.
18. RETAINING WALLS SHALL BE LESS THAN 4 FEET IN HEIGHT. RETAINING WALLS MORE THAN 4 FEET IN HEIGHT ARE REQUIRED TO BE DESIGNED BY A CERTIFIED STRUCTURAL ENGINEER.
19. THIS PLAN IS BASED ON ARCHITECTURAL PLANS BY "AURELL GARCIA ARCHITECTS" DATED 04/27/2022.
20. AN INTERIOR CHECK VALVE SHALL BE PROVIDED ON THE SOIL LINE IF CAST IRON INVERT IS BELOW THE UPSTREAM MANHOLE RIM ELEVATION.
21. THIS PLAN IS BASED ON SURVEY PREPARED BY "SPARACO & YOUNGBLOOD, LLC" DATED 09/21/2021.

EROSION CONTROL INFORMATION:

EROSION AND SEDIMENT CONTROL PLAN - CONSTRUCTION SEQUENCE:

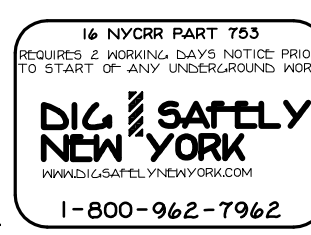
- 1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES AND OR UTILITIES.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR STABILIZED.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCE AS INDICATED ON PLAN.
4. INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AND DOWN SLOPE OF ALL AREAS DESIGNATED FOR TOPSOIL STOCKPILING.
5. CONSTRUCT BERMS, TEMPORARY SHALES AND PIPES AS NECESSARY TO DIRECT RUNOFF TO TEMPORARY SEDIMENTATION ENTRAPMENT AREAS.
6. CLEAR EXISTING TREES, VEGETATION AND EXISTING STRUCTURES FROM AREAS TO BE FILLED OR EXCAVATED, STRIP AND STOCKPILE TOPSOIL FROM AREAS TO BE DISTURBED. SEED STOCKPILES TOPSOIL WITH TEMPORARY RYE GRASS COVER.
7. PERFORM EXCAVATION AND FILL TO BRING LAND TO DESIRED GRADE. ANY DISTURBED AREAS TO REMAIN BARE SHOULD BE SEeded WITH TEMPORARY RYE GRASS.
8. INSTALL UNDERGROUND UTILITIES, MANHOLES AND CATCH BASINS, GRATES OF CURB AND FIELD INLETS SHOULD BE LEFT AT ELEVATIONS WHICH PERMIT PROPER COLLECTION OF SURFACE RUNOFF.
9. INSTALL INLET PROTECTION AT CURB AND FIELD INLETS.
10. CONSTRUCT CURBS AND INSTALL BASE AND BINDER COURSES OF PAVED AREAS. RAISE GRATES OF THE CURB AND FIELD INLETS ACCORDINGLY.
11. COMPLETE THE GRADING.
12. INSTALL SURFACE COURSE OF PAVEMENT. RAISE GRATES OF CURBS AND FIELD INLETS TO FINAL ELEVATION.
13. UPON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS ARE TO BE SEeded WITH 1/2 LB. OF RYE GRASS PER 1000 SQUARE FEET OR DISTURBED AREA. ALL TEMPORARY DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
14. FOR INDIVIDUAL HOUSE & SEPTIC CONSTRUCTION FOLLOW STEPS #1 TO #13 WHERE APPLICABLE.
15. BARE SOIL SHOULD BE SEeded WITHIN 14 DAYS OF EXPOSURE. WHENEVER CONSTRUCTION IS SUSPENDED OR COMPLETED, AREAS SHOULD BE SEeded DOWN OR MULCHED IMMEDIATELY. UPON COMPLETION A PERENNIAL MIX NEEDS TO BE USED TO ENSURE CONTINUAL STABILIZATION.

STANDARD EROSION CONTROL NOTES:

AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING AS APPLICABLE:

- 1. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING, EARTLIER, BERMS, RIP-RAP, CRUSHED STONE DAMS, OR OTHER SUITABLE MATERIALS. DIVERSION SHALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS WHICH SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
2. ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEeded WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS OF STRAW OR HAY PER 1000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICAL BY INSTALLATION OF THE BASE COURSE.
3. SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
4. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
5. PROVIDE INLET PROTECTION TO ALL INLETS ON SITE (SEE DETAILS).

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND UTILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



NYLOPLAST 12" DRAIN BASIN: 2812AG \_\_ X

Technical drawing of a 12-inch Nyloplast drain basin. Includes a plan view and a section view. Labels include: (1,2) INTEGRATED DUCTILE IRON FRAME & GRATE TO MATCH BASIN O.D., 18" MIN WIDTH GUIDELINE, 8" MIN THICKNESS GUIDELINE, (3) VARIABLE INVERT HEIGHTS AVAILABLE (ACCORDING TO PLANS/TAKE OFF), MINIMUM PIPE BURIAL DEPTH PER PIPE MANUFACTURER RECOMMENDATION (MIN. MANUFACTURING REQ. SAME AS MIN. SUMP), (5) ADAPTER ANGLES VARIABLE 0° - 360° ACCORDING TO PLANS, WATER TIGHT JOINT (CORRUGATED HDPE SHOWN), 4" MIN, (4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE: 4" - 12" FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, ADS/HANCOR SINGLE WALL), N-12 HP, PVC SEWER (EX: SDR 35), PVC DWV (EX: SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC, TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS. SEE DRAWING NO. 7001-110-111 FOR NON TRAFFIC INSTALLATION., (3) VARIABLE SUMP DEPTH ACCORDING TO PLANS (6" MIN. BASED ON MANUFACTURING REQ.), THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS II MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

Table with columns: GRATE OPTIONS, LOAD RATING, PART #, DRAWING #. Rows include PEDESTAL, SOLID COVER, and DROP IN GRATE with various specifications.

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN.

Table with columns: DRAWN BY, DATE, REVISIONS, PROJECT NO., DWG NO., SCALE, SHEET, OF. Includes Nyloplast logo and contact information.

Table with columns: DRAWN BY, DATE, REVISIONS, PROJECT NO., DWG NO., SCALE, SHEET, OF. Includes Nyloplast logo and contact information.

Technical drawing titled 'TYPICAL GRAVELPAVE2 DETAIL'. Includes a plan view showing dimensions (50 CM, 16.7 CM, 2.5 CM) and a section view showing gravel layers, filter fabric, and compacted subgrade. Specifications include: UNIT SIZE - 50 CM X 50 CM X 2.5 CM OR 1 M X 1 M X 2.5 CM, UNIT WEIGHT - 538 GRAMS (19 OZ) OR 2.2 KG (4.8 POUNDS), STRENGTH - 1121 KG/CM (15,940 PSI), COLOR - BLACK (STANDARD), RESIN - 100% POST-CONSUMER RECYCLED HDPE, FABRIC WEIGHT - 1.4 TO 1.7 OZ/SY/147-58 G/M/M, TENSILE - 120 LB/FT (585 KG/M), FLOW - 275 GAL/MIN/IN (11,200 L/MIN/M).

NYLOPLAST 24" DRAIN BASIN: 2824AG \_\_ X

Technical drawing of a 24-inch Nyloplast drain basin. Includes a plan view and a section view. Labels include: (1,2) INTEGRATED DUCTILE IRON FRAME & GRATE TO MATCH BASIN O.D., 18" MIN WIDTH GUIDELINE, 8" MIN THICKNESS GUIDELINE, (3) VARIABLE INVERT HEIGHTS AVAILABLE (ACCORDING TO PLANS/TAKE OFF), MINIMUM PIPE BURIAL DEPTH PER PIPE MANUFACTURER RECOMMENDATION (MIN. MANUFACTURING REQ. SAME AS MIN. SUMP), (5) ADAPTER ANGLES VARIABLE 0° - 360° ACCORDING TO PLANS, WATER TIGHT JOINT (CORRUGATED HDPE SHOWN), 4" MIN, (4) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE: 4" - 24" FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, ADS/HANCOR SINGLE WALL), N-12 HP, PVC SEWER (EX: SDR 35), PVC DWV (EX: SCH 40), PVC C900/C905, CORRUGATED & RIBBED PVC, TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS. SEE DRAWING NO. 7001-110-111 FOR NON TRAFFIC INSTALLATION., (3) VARIABLE SUMP DEPTH ACCORDING TO PLANS (6" MIN. BASED ON MANUFACTURING REQ.), THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS II MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

Table with columns: GRATE OPTIONS, LOAD RATING, PART #, DRAWING #. Rows include PEDESTAL, SOLID COVER, and DROP IN GRATE with various specifications.

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN.

Table with columns: DRAWN BY, DATE, REVISIONS, PROJECT NO., DWG NO., SCALE, SHEET, OF. Includes Nyloplast logo and contact information.

Table with columns: DRAWN BY, DATE, REVISIONS, PROJECT NO., DWG NO., SCALE, SHEET, OF. Includes Nyloplast logo and contact information.

Technical drawing titled 'PRIVATE DRIVEWAY PAVEMENT'. Shows a cross-section of a driveway with layers: 2 1/2" OF NYSDOT ITEM NO. 403.16 TYPE 6 ASPHALTIC CONCRETE SURFACE COURSE, 4" OF NYSDOT ITEM NO. 304.03 TYPE 2 STONE SUBBASE, and FIRM, DRY, UNYIELDING SUBGRADE. Includes note: 'N.T.S.'

Technical drawing titled 'TYPICAL DURASLOPE INSTALLATION SECTION A-A'. Shows a cross-section of a trench drain installation with a channel, grate, and expansion joint. Includes notes: 'USE ONLY DURASLOPE CLASS "A" & "B" GRATES WITH THIS APPLICATION.', 'CHANNELS TO BE INSTALLED WITH BLANK GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR (COVER HOLES WITH TAPE).', 'SET TRENCH DRAIN IN CHANNEL SURROUNDED BY 4" OF CONCRETE OR THICKNESS OF THE CONCRETE SLAB WITH A MINIMUM OF 2,500 P.S.I. AVOID FULL LOAD TRAFFIC FOR 28 DAYS OR UNTIL CONCRETE HAS COMPLETELY HARDENED.'

NOTES & DETAILS (SHEET 2 OF 2) OF 1 & 2 WASHINGTON AVENUE LOCATED IN VILLAGE OF SOUTH NYACK TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK



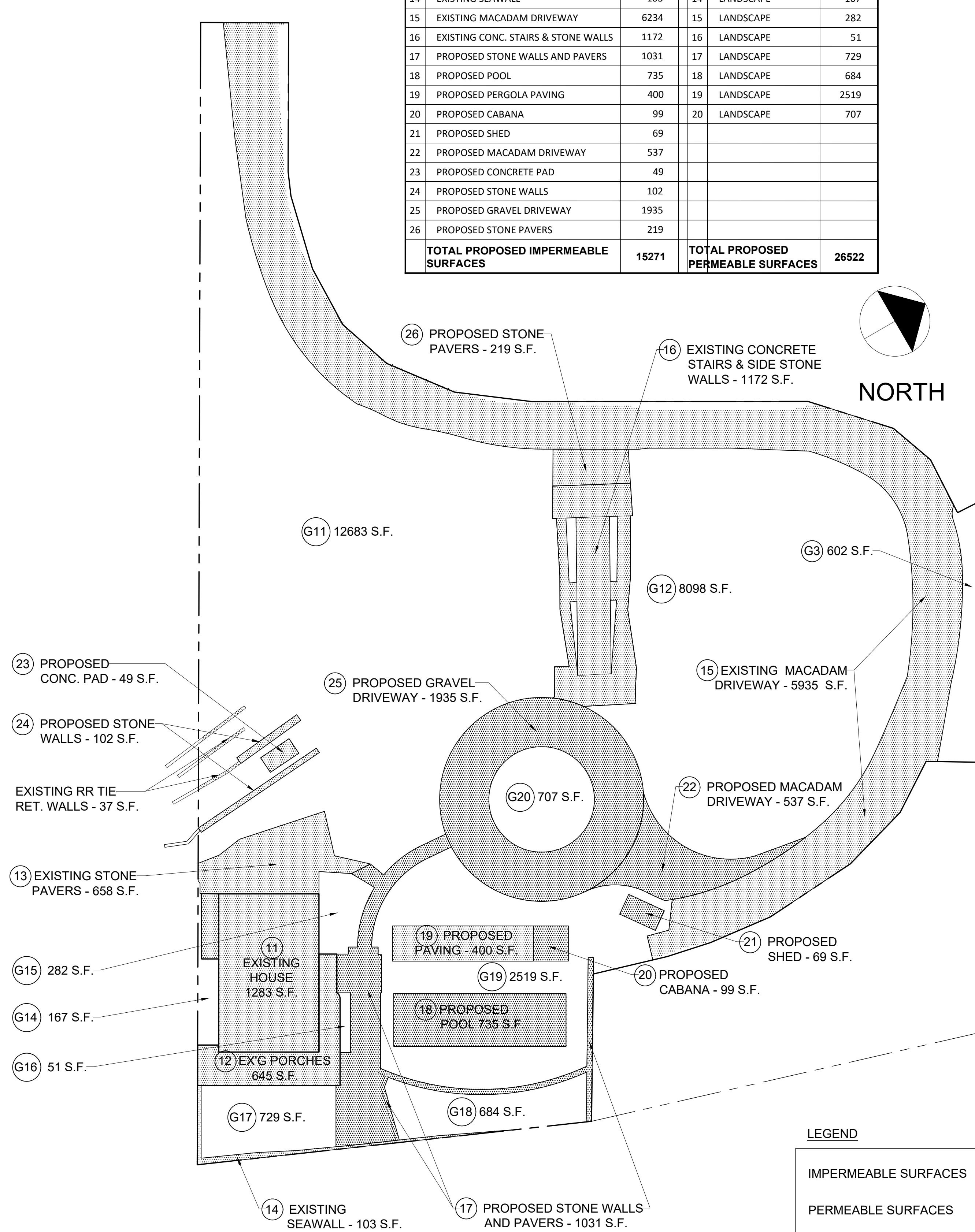
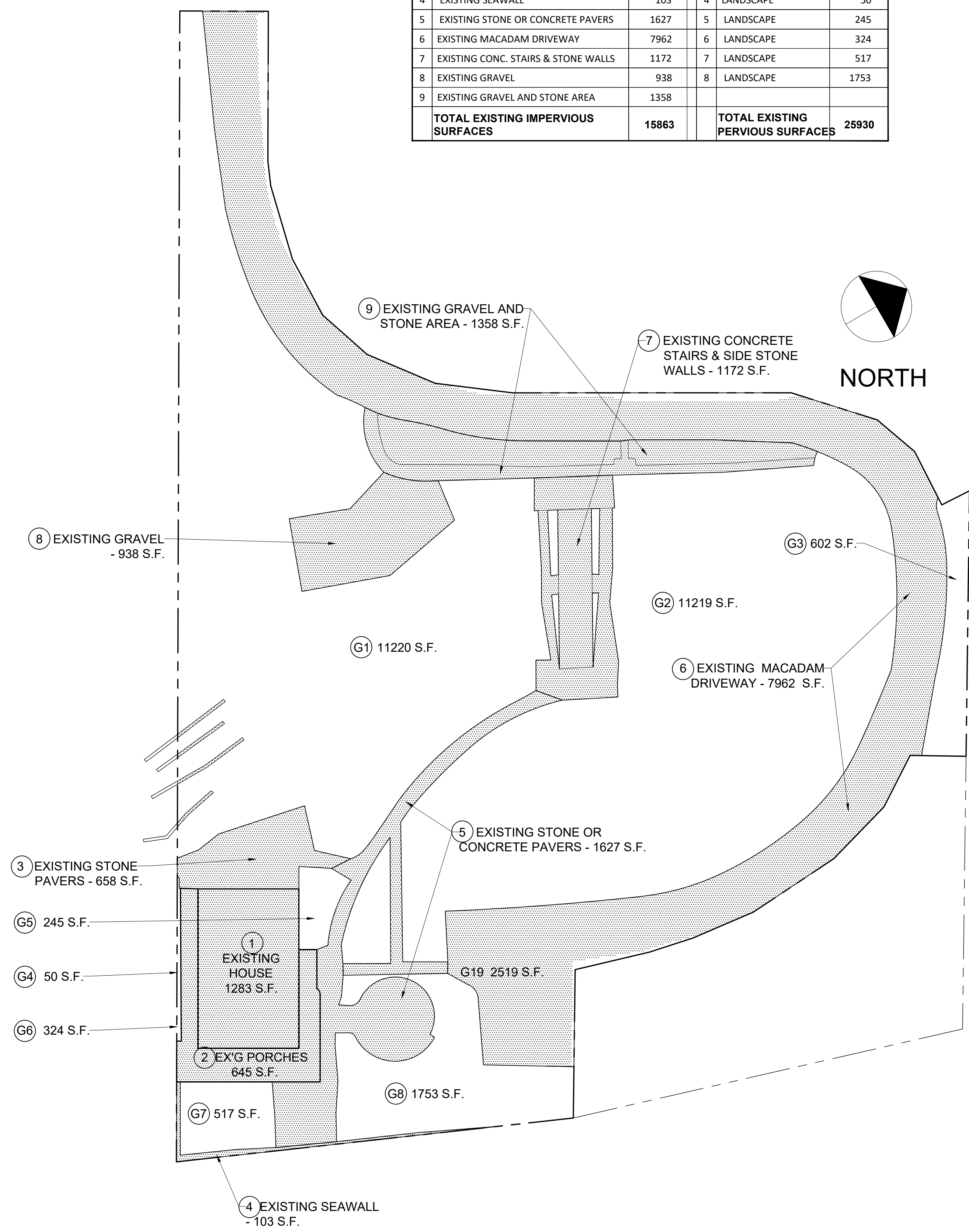
Logo for SPARACO & YOUNGBLOOD, PLLC, CIVIL ENGINEERING & LAND SURVEYING, SITE PLANNING. Includes address: 18 NORTH MAIN STREET, P.O. BOX 818, HARRIMAN, N.Y. 10926. Contact info: TEL: (845) 782-8543, FAX: (845) 782-5901. Website: SPARACO.STEVEN@ESNY.COM, WDW151@GMAIL.COM

SY-1744 NOV. 11, 2022 1"=20'

**LANDSCAPE RENOVATION**  
1 Washington Avenue  
South Nyack, New York

EXISTING AREA CALCULATIONS					
#	IMPERMEABLE SURFACES	AREA (S.F.)	PERMEABLE SURFACES	AREA (S.F.)	
1	EXISTING HOUSE	1283	1	LANDSCAPE	11220
2	EXISTING PORCHES	762	2	LANDSCAPE	11219
3	EXISTING STONE PAVERS	658	3	LANDSCAPE	602
4	EXISTING SEAWALL	103	4	LANDSCAPE	50
5	EXISTING STONE OR CONCRETE PAVERS	1627	5	LANDSCAPE	245
6	EXISTING MACADAM DRIVEWAY	7962	6	LANDSCAPE	324
7	EXISTING CONC. STAIRS & STONE WALLS	1172	7	LANDSCAPE	517
8	EXISTING GRAVEL	938	8	LANDSCAPE	1753
9	EXISTING GRAVEL AND STONE AREA	1358			
<b>TOTAL EXISTING IMPERVIOUS SURFACES</b>		<b>15863</b>	<b>TOTAL EXISTING PERVIOUS SURFACES</b>		<b>25930</b>

PROPOSED AREA CALCULATIONS					
#	IMPERMEABLE SURFACES	AREA (S.F.)	PERMEABLE SURFACES	AREA (S.F.)	
11	EXISTING HOUSE	1283	11	LANDSCAPE	12683
12	EXISTING PORCHES	645	12	LANDSCAPE	8098
13	EXISTING STONE PAVERS	658	13	LANDSCAPE	602
14	EXISTING SEAWALL	103	14	LANDSCAPE	167
15	EXISTING MACADAM DRIVEWAY	6234	15	LANDSCAPE	282
16	EXISTING CONC. STAIRS & STONE WALLS	1172	16	LANDSCAPE	51
17	PROPOSED STONE WALLS AND PAVERS	1031	17	LANDSCAPE	729
18	PROPOSED POOL	735	18	LANDSCAPE	684
19	PROPOSED PERGOLA PAVING	400	19	LANDSCAPE	2519
20	PROPOSED CABANA	99	20	LANDSCAPE	707
21	PROPOSED SHED	69			
22	PROPOSED MACADAM DRIVEWAY	537			
23	PROPOSED CONCRETE PAD	49			
24	PROPOSED STONE WALLS	102			
25	PROPOSED GRAVEL DRIVEWAY	1935			
26	PROPOSED STONE PAVERS	219			
<b>TOTAL PROPOSED IMPERMEABLE SURFACES</b>		<b>15271</b>	<b>TOTAL PROPOSED PERMEABLE SURFACES</b>		<b>26522</b>

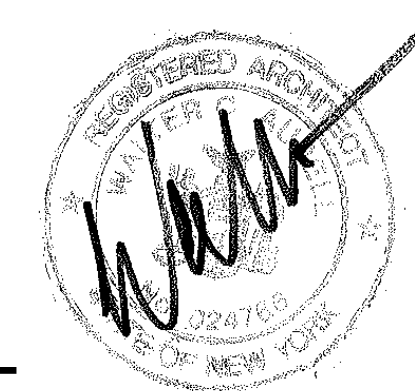


AREA OF DISTURBANCE = 12,200 S.F.

**LEGEND**

IMPERMEABLE SURFACES

PERMEABLE SURFACES



**1** EXISTING IMPERMEABLE AND PERMEABLE SURFACES  
1" = 20'

**2** PROPOSED IMPERMEABLE AND PERMEABLE SURFACE  
1" = 20'

PERMIT SET - LANDSCAPE 03/22/2023

REVISIONS:  
DRAWING TITLE:  
**CALCULATIONS SHEET**

DATE: 03/22/2023  
PROJ TEAM: WCA/MRG  
PROJ PARTNER: WCA/MRG  
PROJ NO.: 21110

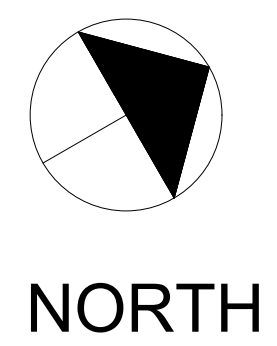
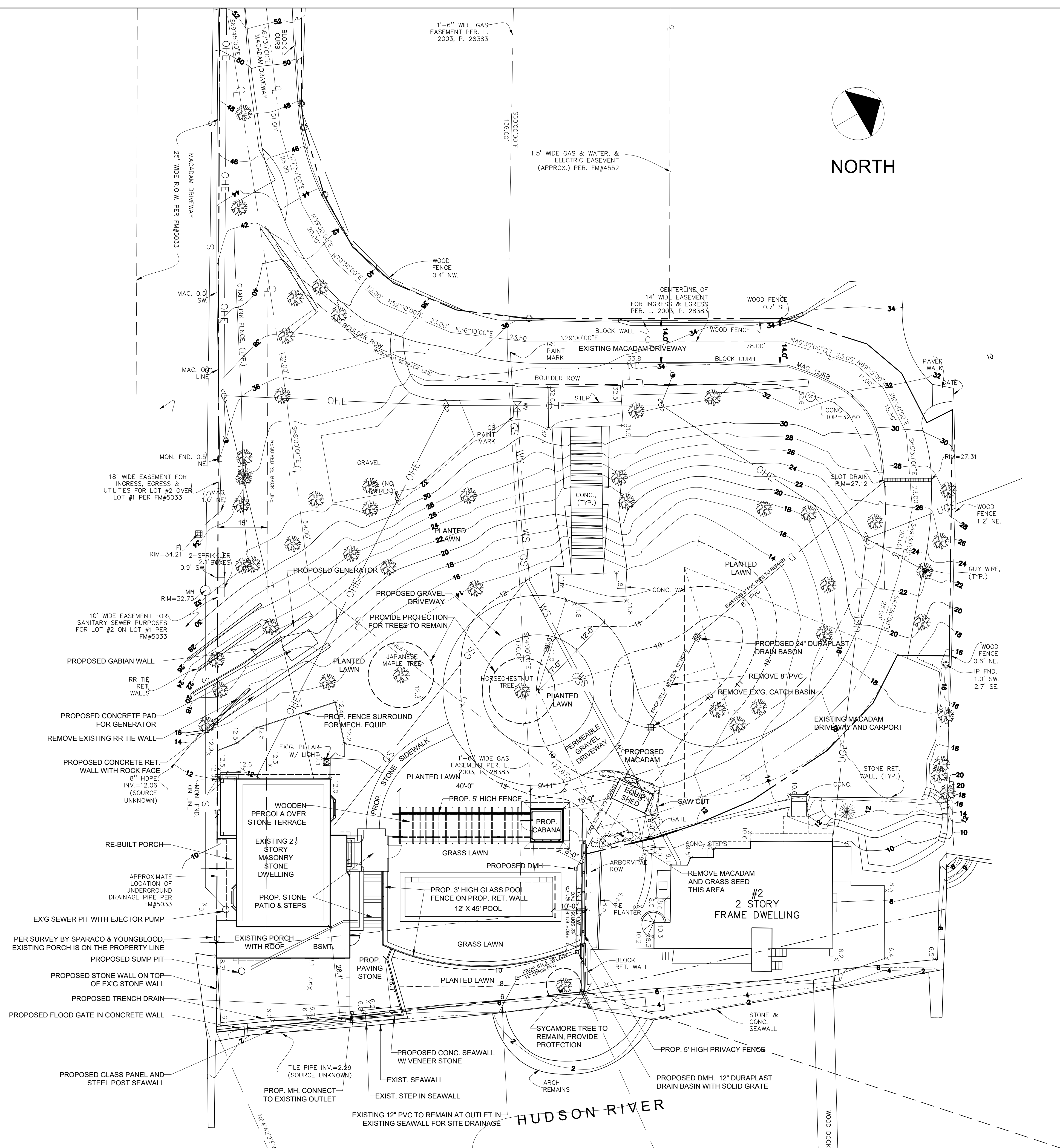
**L-0.1**

**LANDSCAPE RENOVATION**  
1 Washington Avenue  
South Nyack, New York

REVISIONS:  
DRAWING TITLE:  
**SITE PLAN**

DATE: 03/22/2023  
PROJ TEAM: WCA/MRG  
PROJ PARTNER: WCA/MRG  
PROJ NO.: 21110

**L-1.1**



**1 SITE PLAN**  
1/16" = 1'-0"



PERMIT SET - LANDSCAPE 03/22/2023

**LANDSCAPE RENOVATION**  
1 Washington Avenue  
South Nyack, New York

REVISIONS:

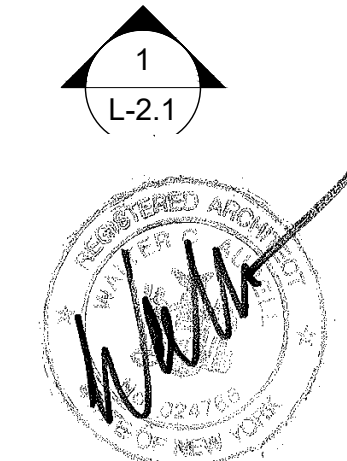
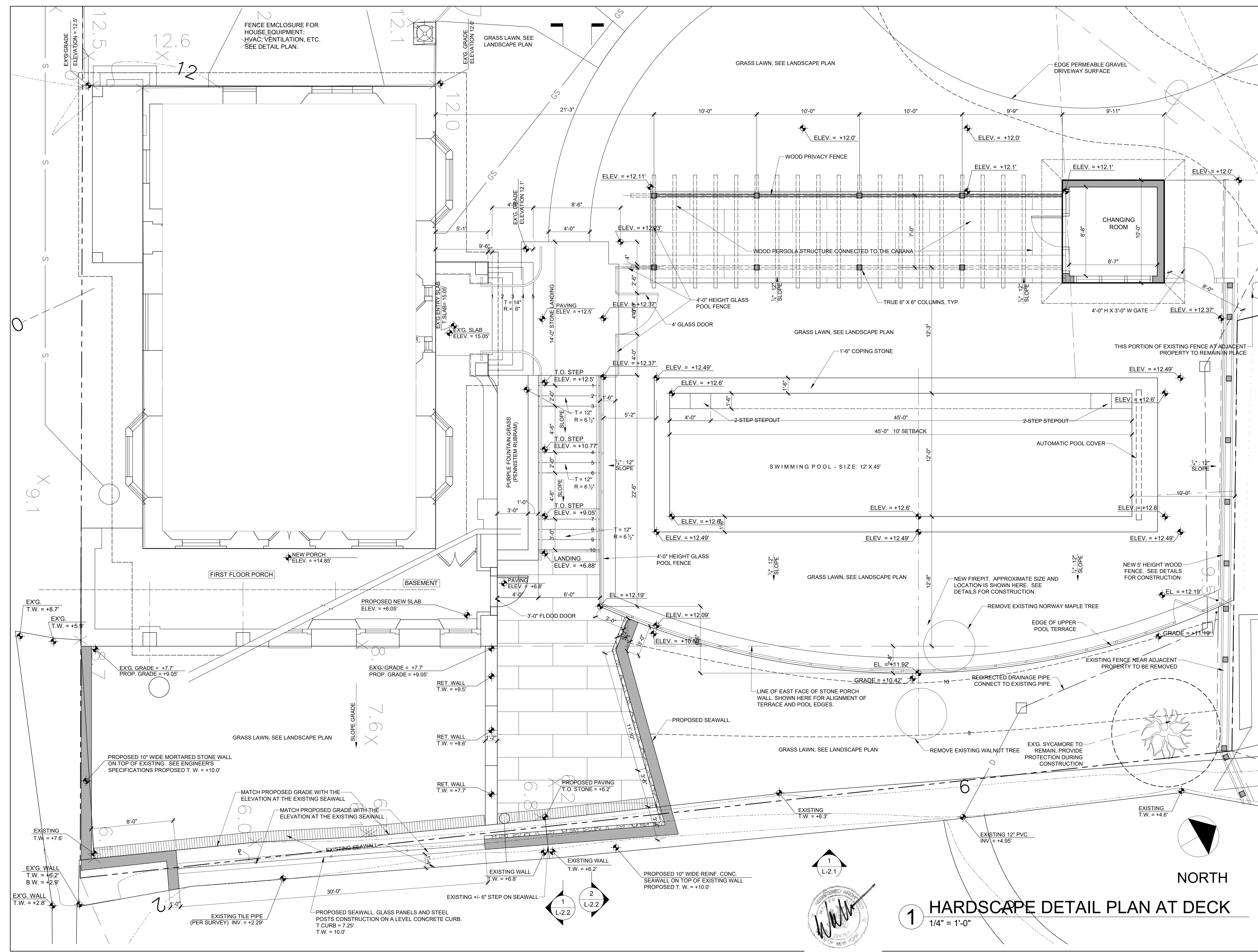
DRAWING TITLE:

**HARDSCAPE  
DETAIL PLAN  
AT DECK**

DATE:	03/22/2023
PROJ TEAM:	WCA/MRG
PROJ PARTNER:	WCA/MRG
PROJ NO.:	21110

**L-1.2**

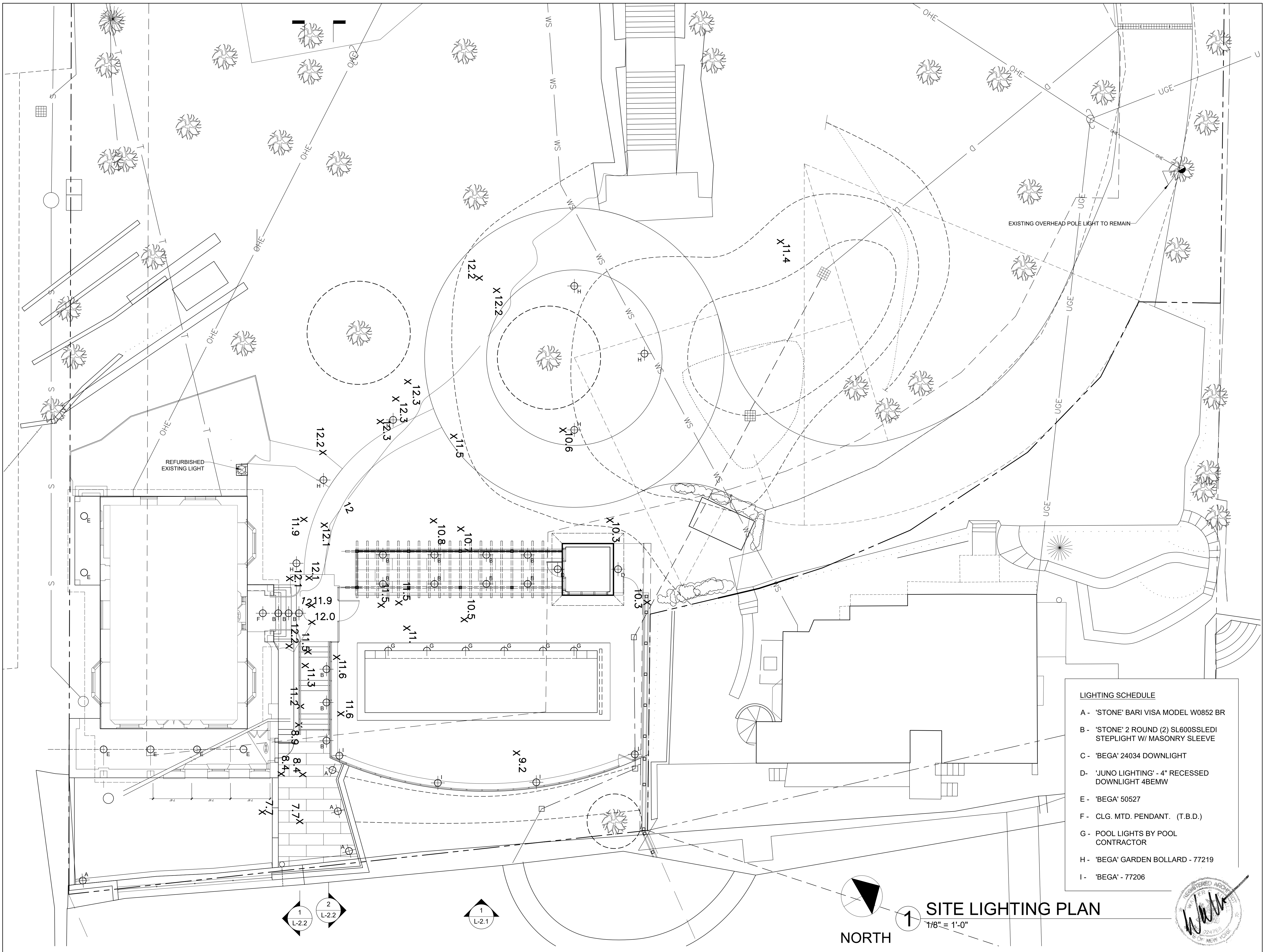
PERMIT SET - LANDSCAPE 03/22/2023



**1 HARDSCAPE DETAIL PLAN AT DECK**  
1/4" = 1'-0"

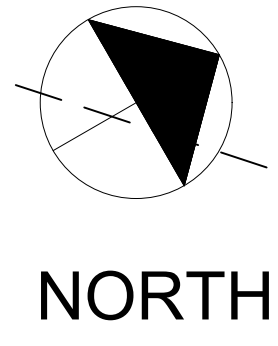
**LANDSCAPE RENOVATION**

1 Washington Avenue  
South Nyack, New York

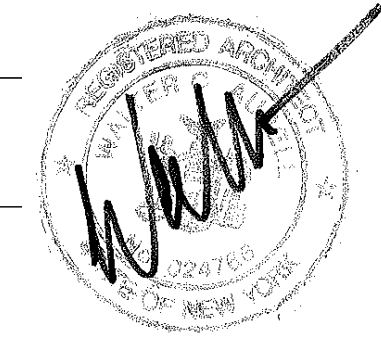


**LIGHTING SCHEDULE**

- A - 'STONE' BARI VISA MODEL W0852 BR
- B - 'STONE' 2 ROUND (2) SL600SSLEDI STEPLIGHT W/ MASONRY SLEEVE
- C - 'BEGA' 24034 DOWNLIGHT
- D - 'JUNO LIGHTING' - 4" RECESSED DOWNLIGHT 4BEMW
- E - 'BEGA' 50527
- F - CLG. MTD. PENDANT. (T.B.D.)
- G - POOL LIGHTS BY POOL CONTRACTOR
- H - 'BEGA' GARDEN BOLLARD - 77219
- I - 'BEGA' - 77206



**1 SITE LIGHTING PLAN**  
1/8" = 1'-0"



REVISIONS:  
DRAWING TITLE:

**LANDSCAPE  
LIGHTING  
PLAN**

DATE:	03/22/2023
PROJ TEAM:	WCA/MRG
PROJ PARTNER:	WCA/MRG
PROJ NO.:	21110

**L-1.3**

PERMIT SET - LANDSCAPE 03/22/2023



**LANDSCAPE RENOVATION**

1 Washington Avenue  
South Nyack, New York

REVISIONS:

DRAWING TITLE:

**PLANTING  
PLAN**

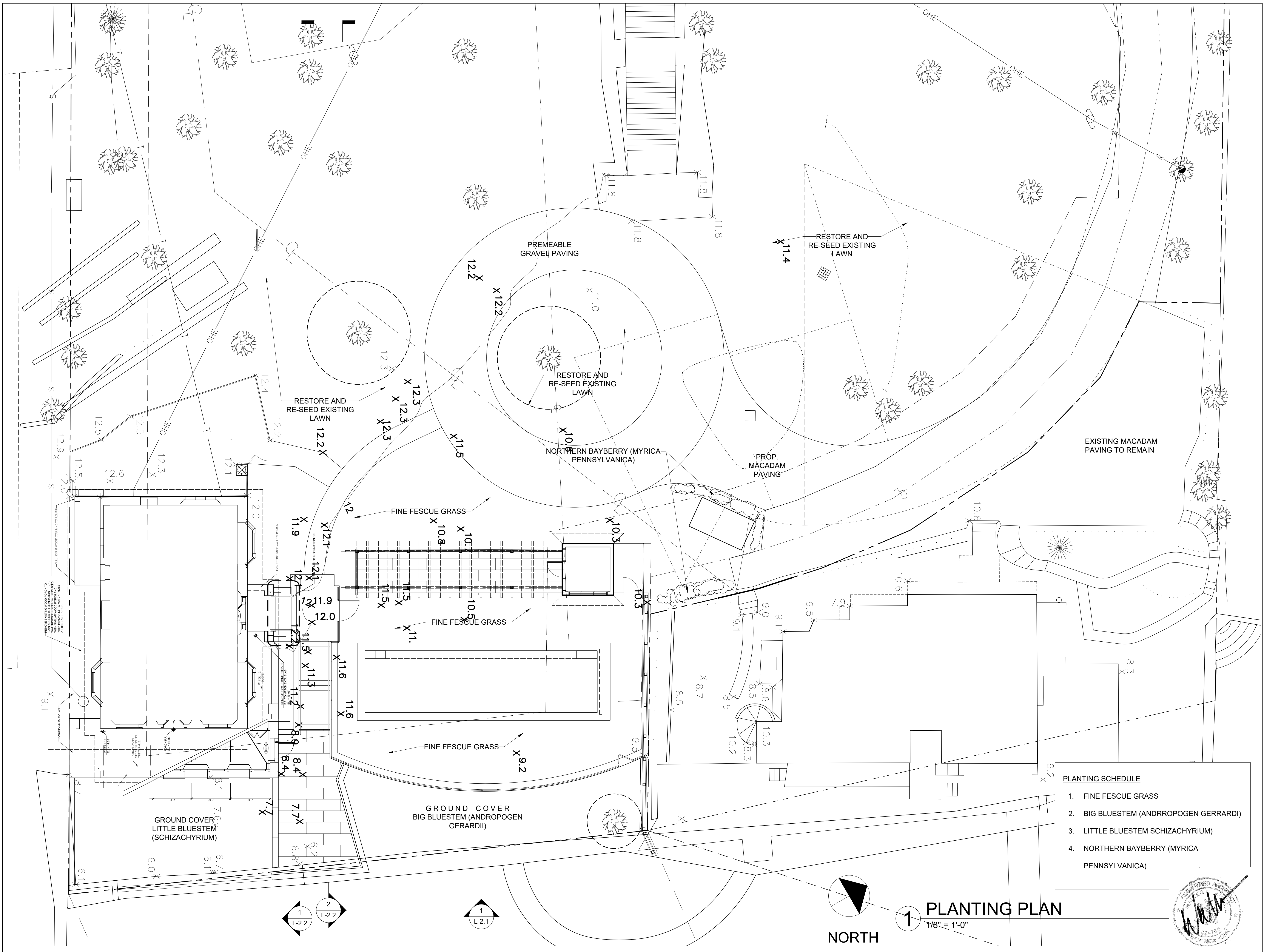
DATE: 03/22/2023

PROJ TEAM: WCA/MRG

PROJ PARTNER: WCA/MRG

PROJ NO.: 21110

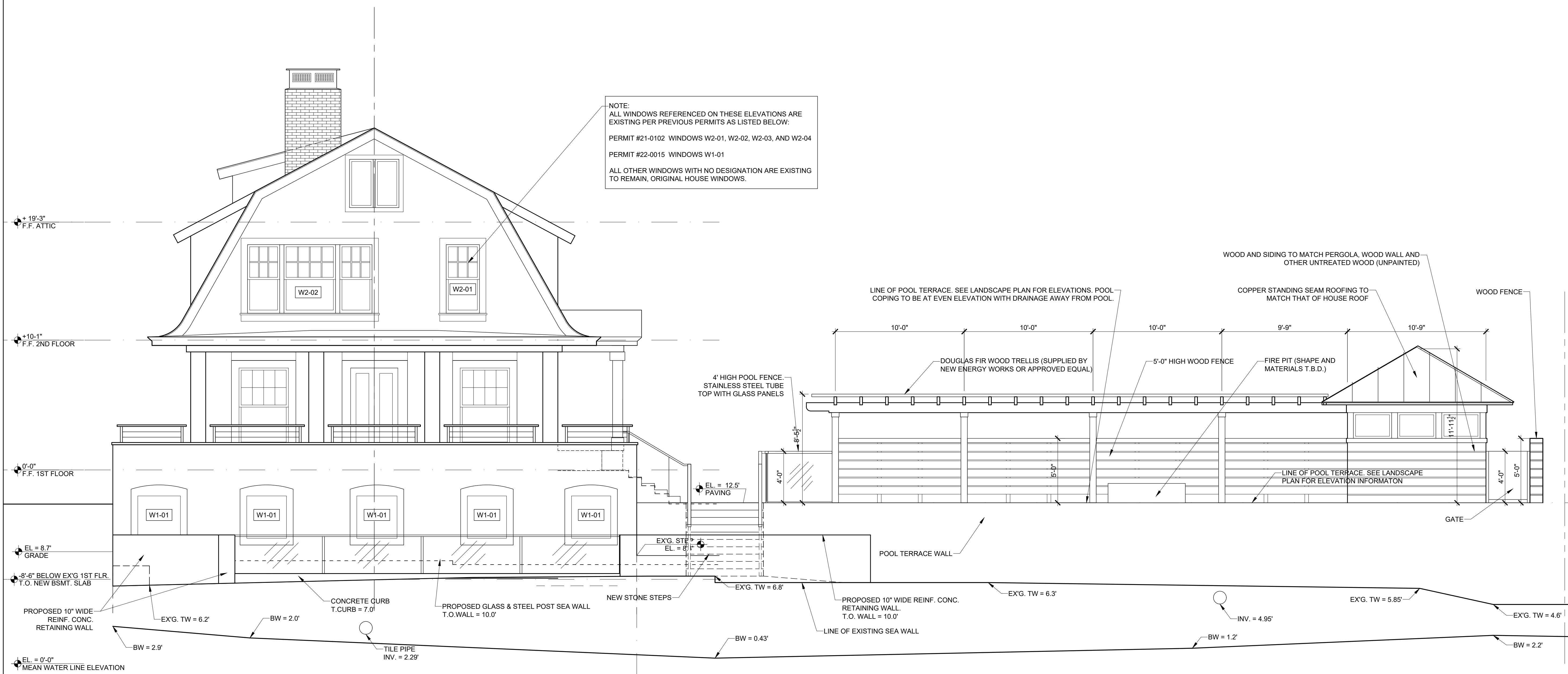
**L-1.4**



PERMIT SET - LANDSCAPE 03/22/2023

**LANDSCAPE RENOVATION**  
1 Washington Avenue  
South Nyack, New York

NOTE:  
ALL WINDOWS REFERENCED ON THESE ELEVATIONS ARE  
EXISTING PER PREVIOUS PERMITS AS LISTED BELOW:  
PERMIT #21-0102 WINDOWS W2-01, W2-02, W2-03, AND W2-04  
PERMIT #22-0015 WINDOWS W1-01  
ALL OTHER WINDOWS WITH NO DESIGNATION ARE EXISTING  
TO REMAIN, ORIGINAL HOUSE WINDOWS.



**1 EAST ELEVATION**  
1/4" = 1'-0"

REVISIONS:

NO.	DESCRIPTION

DRAWING TITLE:  
**LANDSCAPE  
ELEVATIONS**

DATE:	03/22/2023
PROJ TEAM:	WCA/MRG
PROJ PARTNER:	WCA/MRG
PROJ NO.:	21110

**L-2.1**

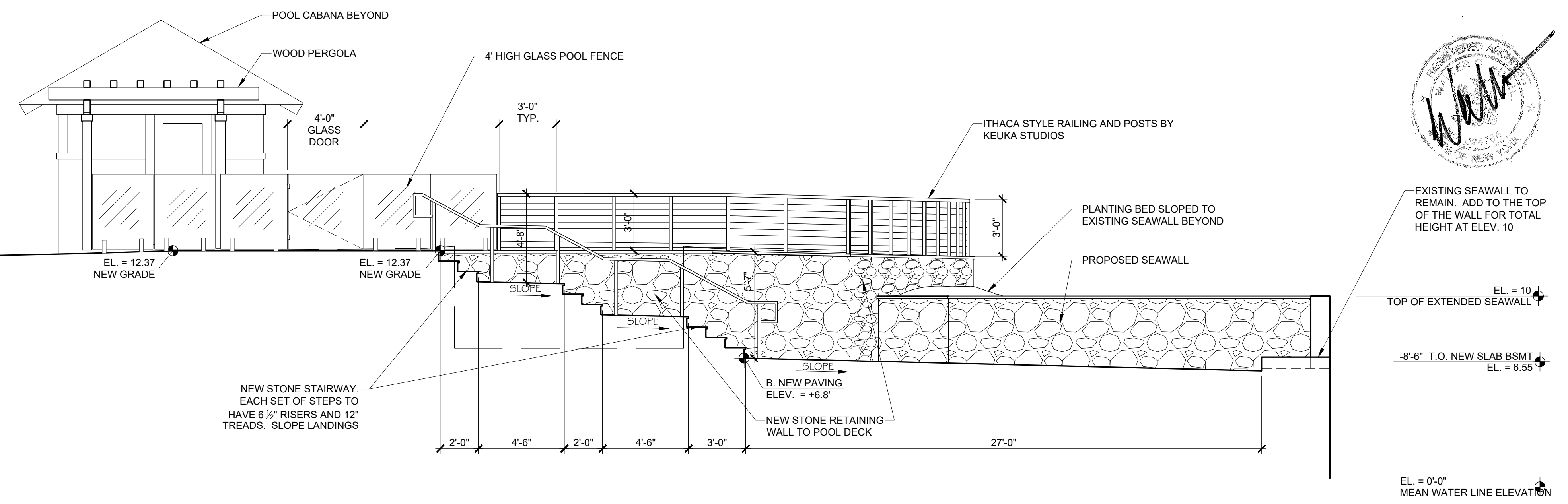


PERMIT SET - LANDSCAPE 03/22/2023

**LANDSCAPE RENOVATION**  
1 Washington Avenue  
South Nyack, New York



**1 NORTH ELEVATION**  
1/4" = 1'-0"



**2 SOUTH ELEVATION**  
1/4" = 1'-0"



REVISIONS:

DRAWING TITLE:  
**LANDSCAPE ELEVATIONS**

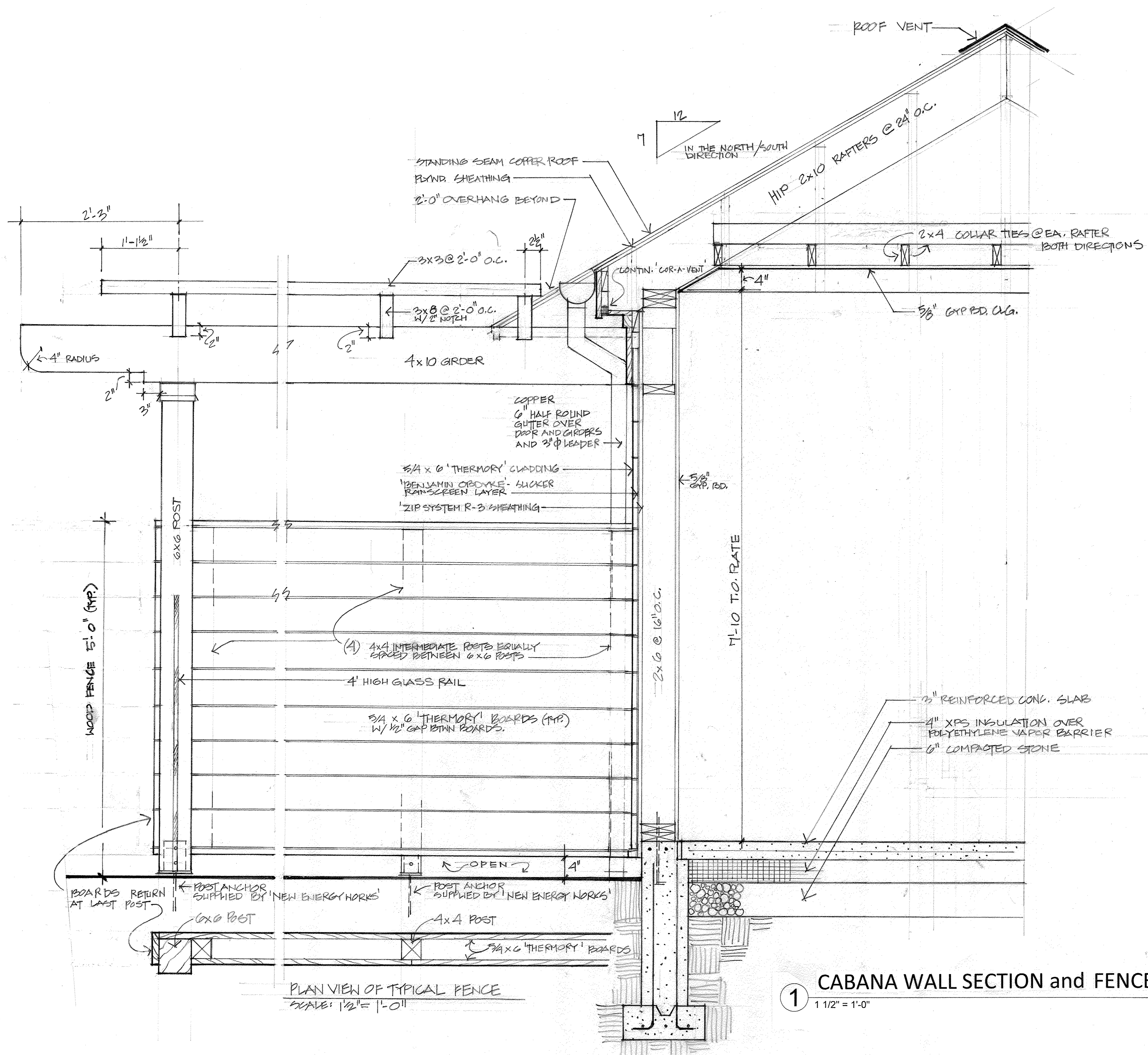
DATE:	03/22/2023
PROJ TEAM:	WCA/MRG
PROJ PARTNER:	WCA/MRG
PROJ NO.:	21110

**L-2.2**

PERMIT SET - LANDSCAPE 03/22/2023

LANDSCAPE RENOVATION

1 Washington Avenue  
South Nyack, New York



PLAN VIEW OF TYPICAL FENCE  
SCALE: 1/2" = 1'-0"

1 CABANA WALL SECTION and FENCE DETAILS  
1 1/2" = 1'-0"

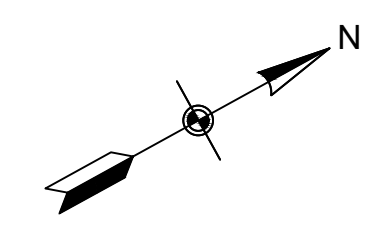
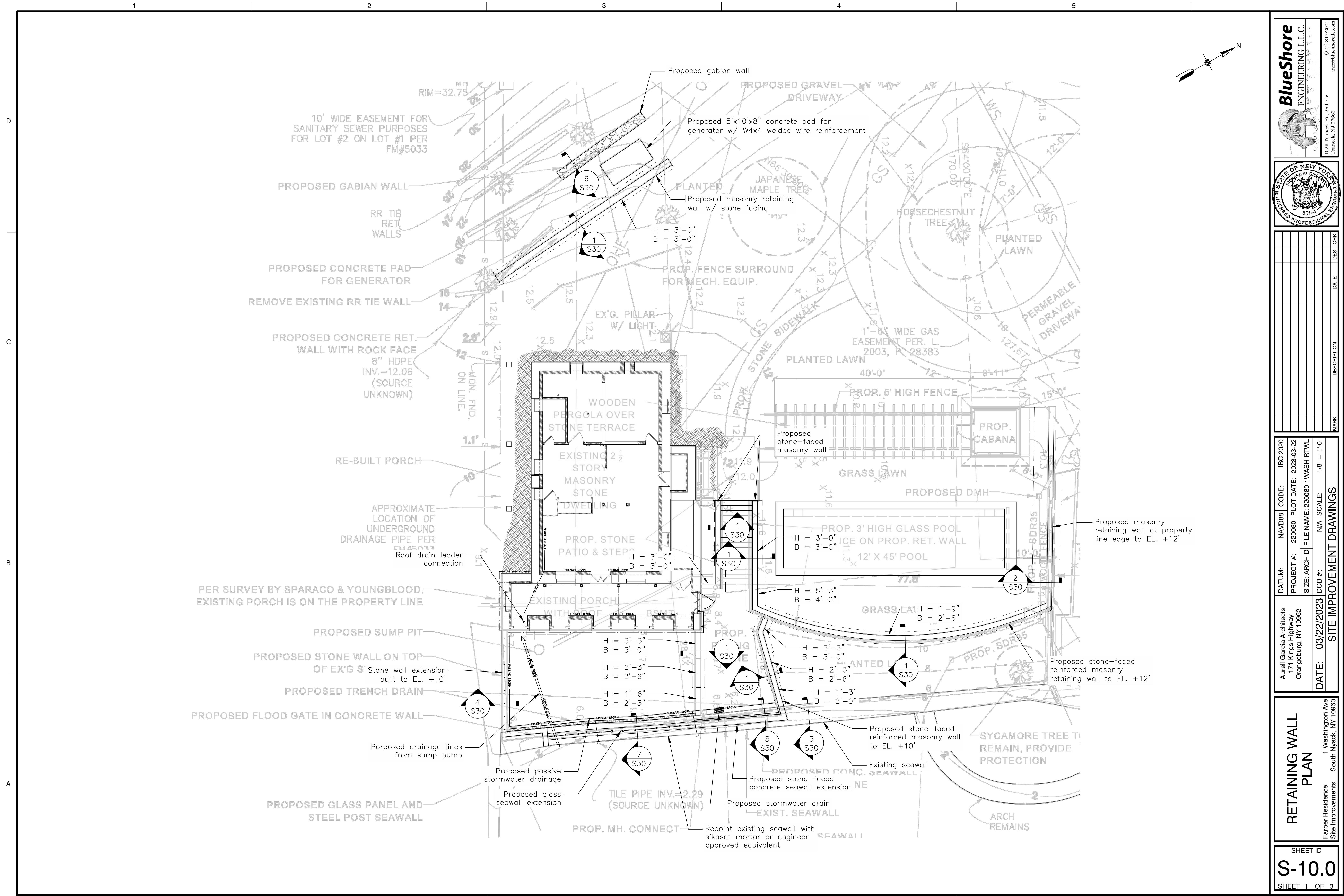


REVISIONS:  
DRAWING TITLE:

CABANA &  
FENCE  
DETAILS

DATE: 06/01/2022  
PROJ. TEAM: WCA/MRG  
PROJ. PARTNER: WCA/MRG  
PROJ. NO.: 21110

L-2.3



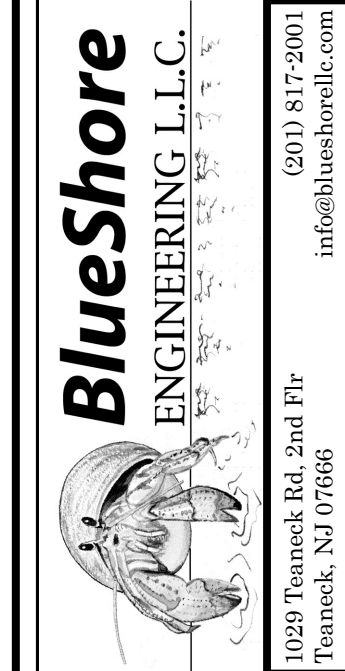
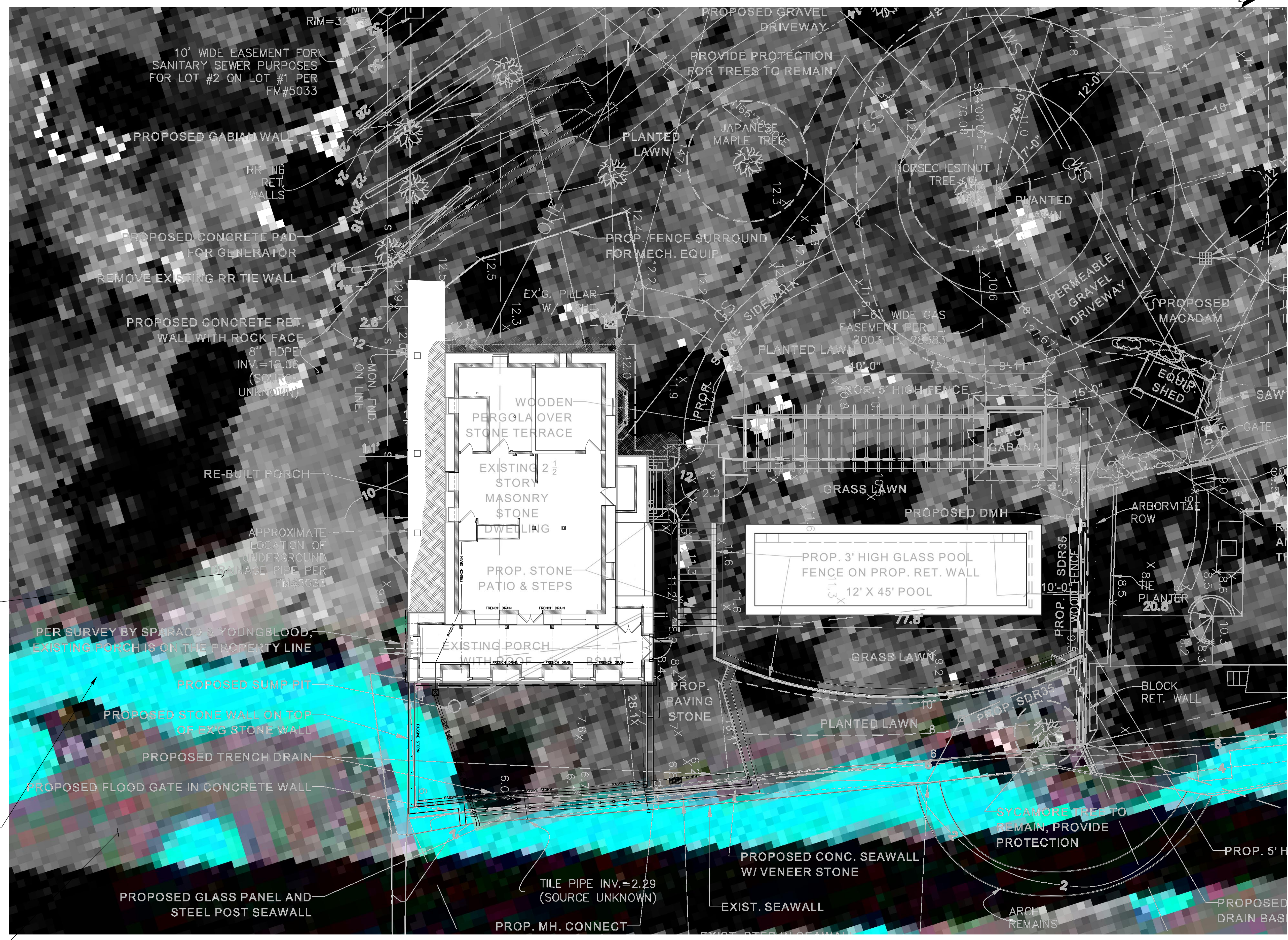
**BlueShore**  
ENGINEERING L.L.C.  
1059 Tronck Rd. 2nd Flr.  
Tronck, NJ 07066  
(908) 817-2001  
info@blueshorellc.com



MARK	DESCRIPTION	DATE	DES	CHK

DATUM:	NAV/D88	CODE:	IBC 2020
PROJECT #:	220080	PLOT DATE:	2023-03-22
SIZE:	ARCH/D	FILE NAME:	220080 1 WASH RTWL
DATE:	03/22/2023	DOB #:	N/A
SCALE:	1/8" = 1'-0"	SITE IMPROVEMENT DRAWINGS	

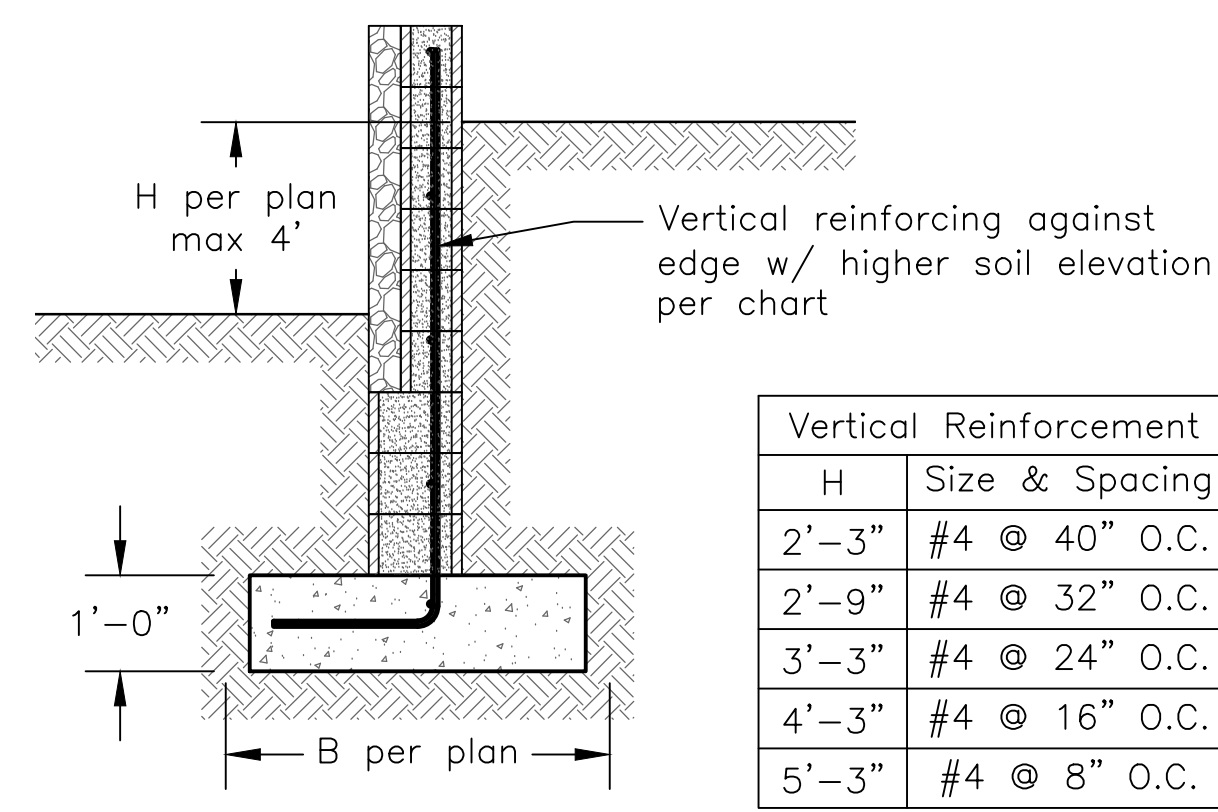
**RETAINING WALL PLAN**  
Farber Residence  
Site Improvements  
1 Washington Ave  
South Nyack, NY 10960



MARK	DESCRIPTION	DATE	DES	CHK

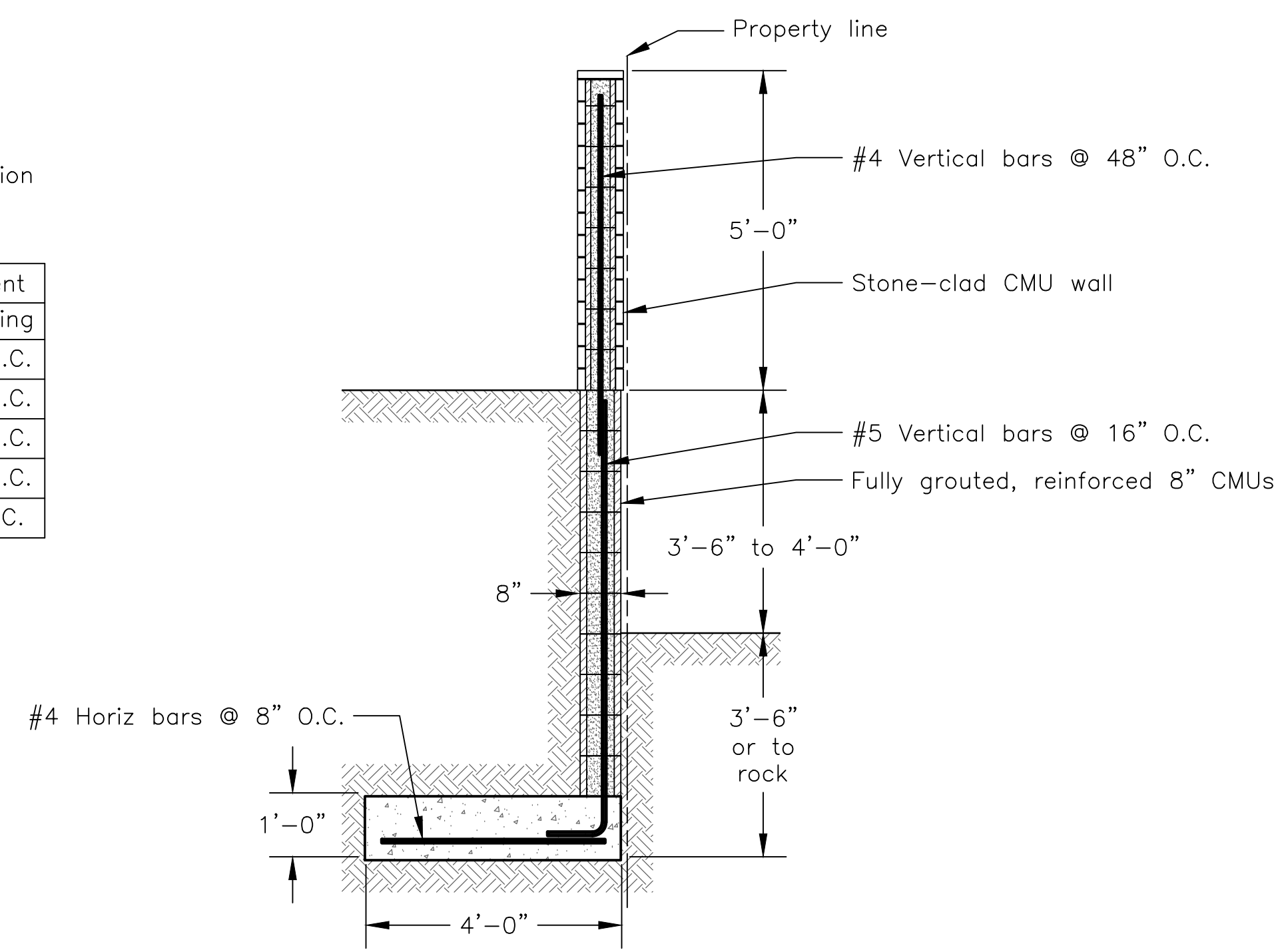
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PROJECT #:	220080	PLOT DATE:	2023-03-22
SIZE:	ARCH/D	FILE NAME:	220080 1WASH RTVL
DATE:	03/22/2023	DOB #:	N/A
SCALE:	1/8" = 1'-0"	SITE IMPROVEMENT DRAWINGS	

**FLOOD ZONE LINE**  
Farber Residence  
Site Improvements  
1 Washington Ave  
South Nyack, NY 10960

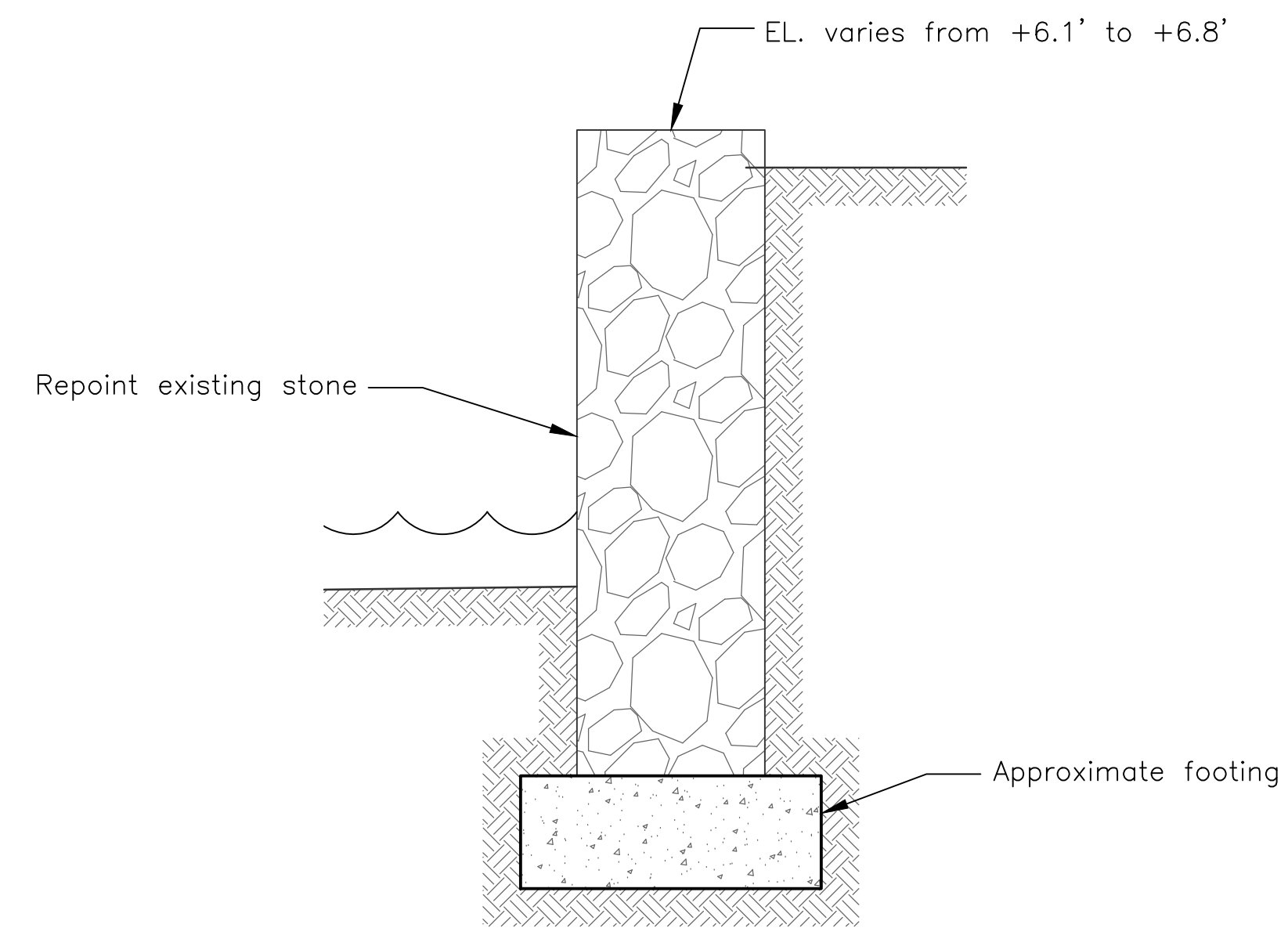


H	Size & Spacing
2'-3"	#4 @ 40" O.C.
2'-9"	#4 @ 32" O.C.
3'-3"	#4 @ 24" O.C.
4'-3"	#4 @ 16" O.C.
5'-3"	#4 @ 8" O.C.

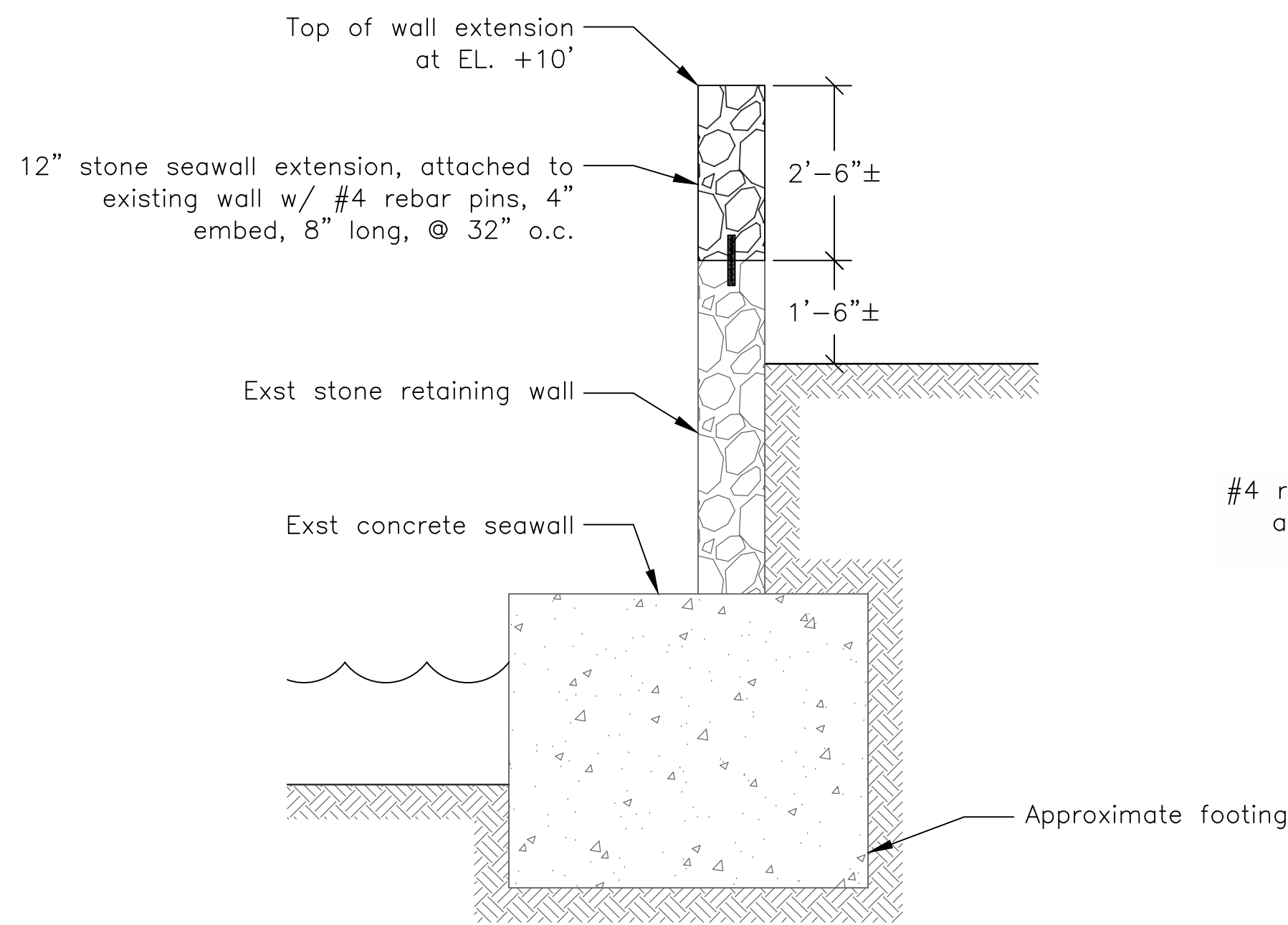
1 TYPICAL RETAINING WALL  
Scale: 1/2" = 1'-0"



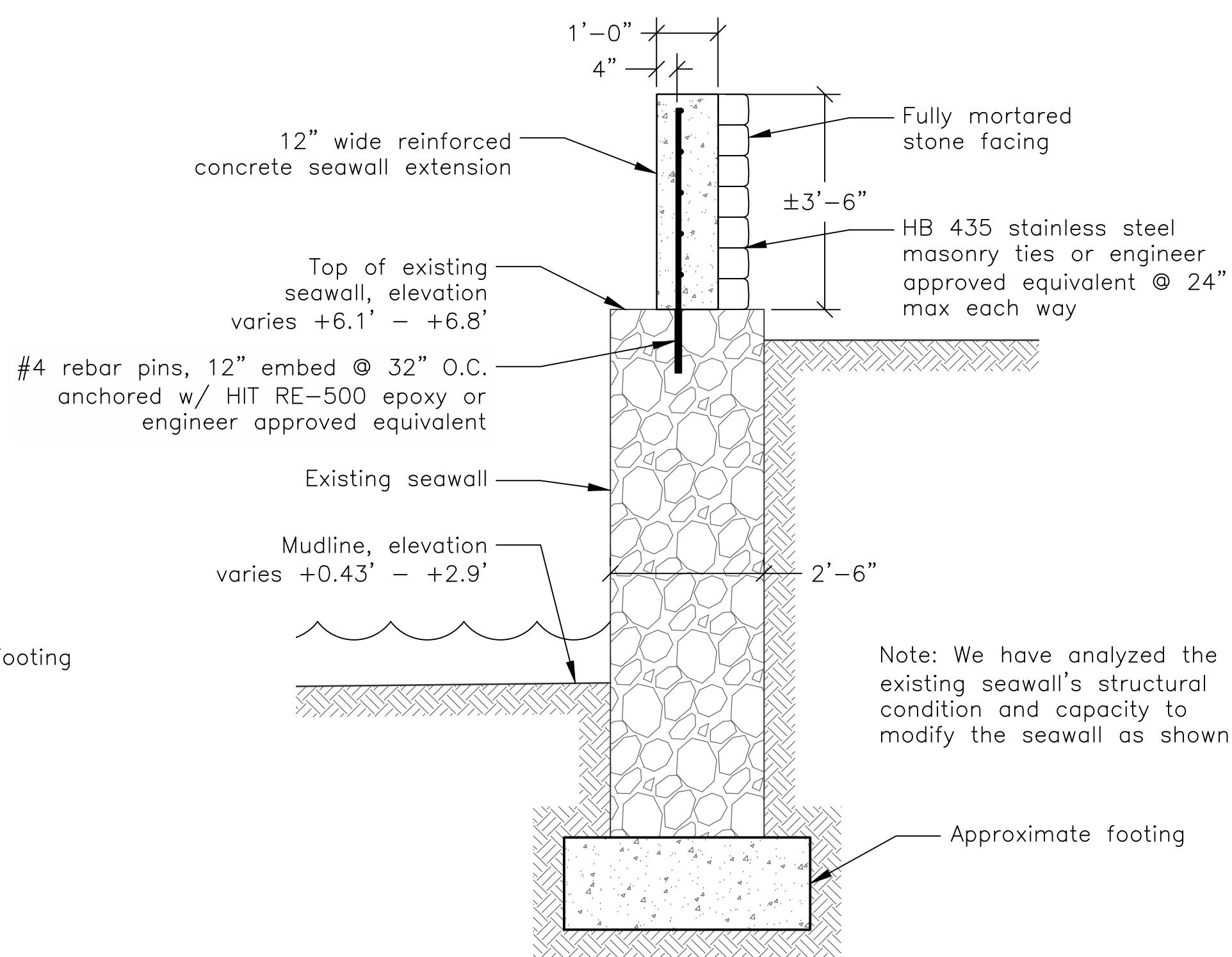
2 PROPERTY LINE RETAINING WALL  
Scale: 1/2" = 1'-0"



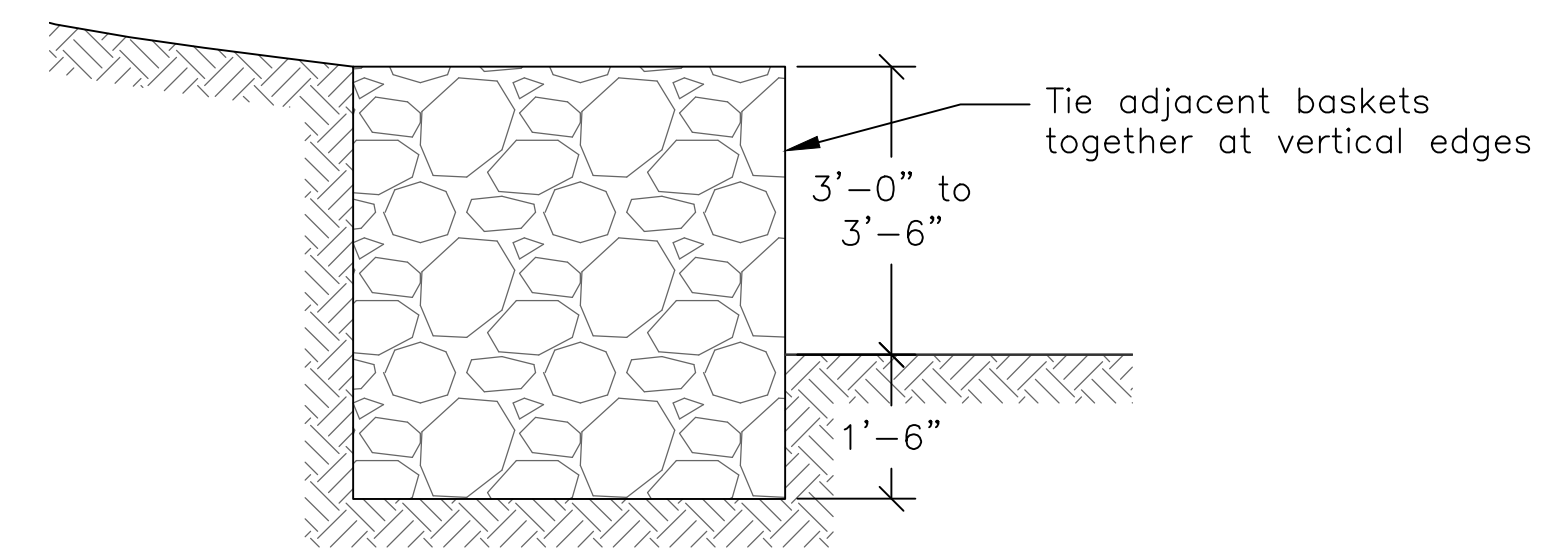
3 EXISTING SEAWALL  
Scale: 1/2" = 1'-0"



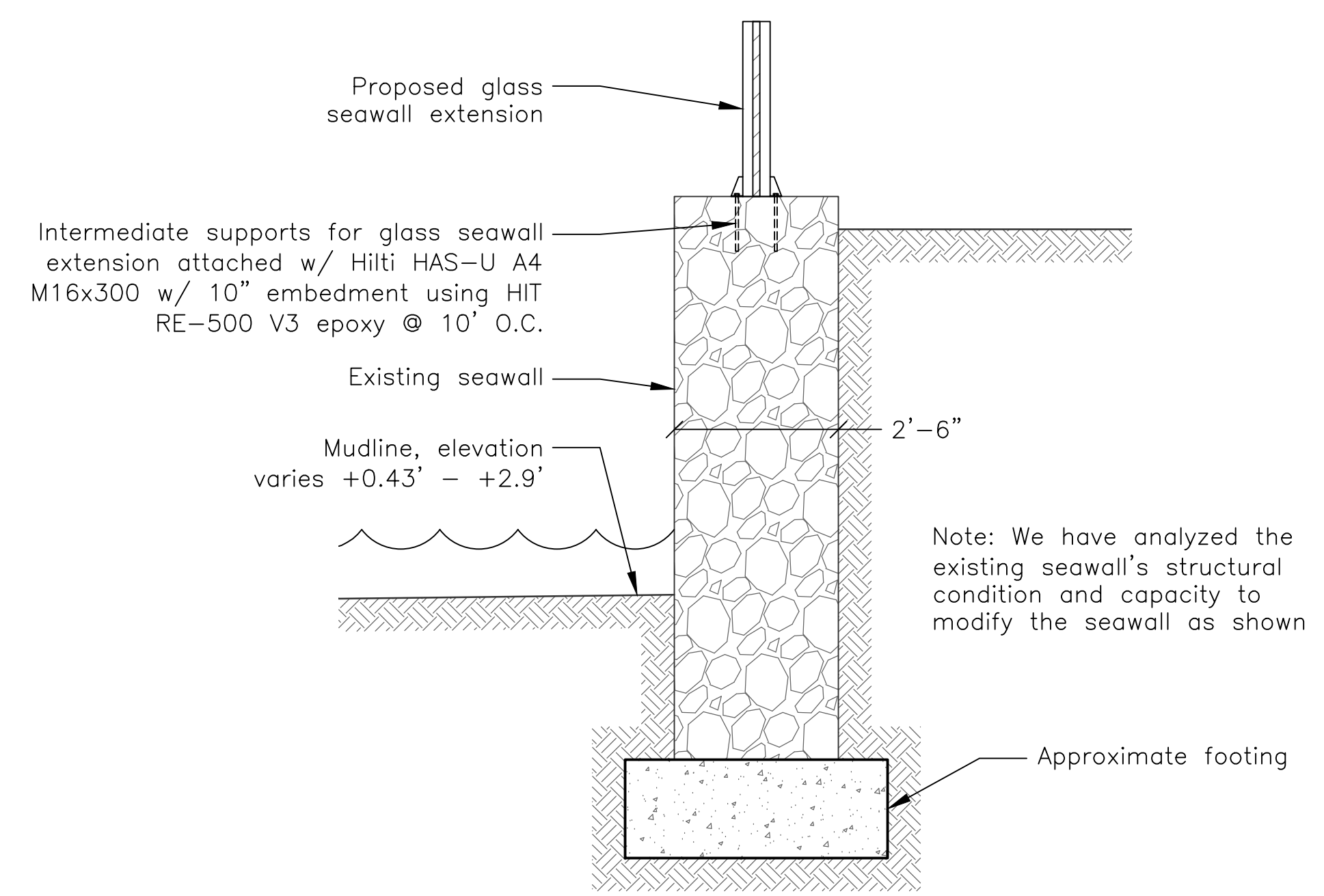
4 SOUTH RETAINING WALL EXTENSION  
Scale: 1/2" = 1'-0"



5 SEAWALL STONE WALL EXTENSION  
Scale: 1/2" = 1'-0"



6 GABION BASKET SECTION  
Scale: 1/2" = 1'-0"



7 SEAWALL STONE WALL EXTENSION  
Scale: 1/2" = 1'-0"

DATE	DESCRIPTION	MARK	DES	CHK

DATUM:	NAV/D88	CODE:	IBC 2020
PROJECT #:	220080	PLOT DATE:	2023-03-22
SIZE:	ARCH/D	FILE NAME:	220080 WASH RTWL
DATE:	03/22/2023	DOB #:	N/A
Aurell Garcia Architects 171 Kings Highway Orangetown, NY 10962		SCALE:	AS NOTED
<b>SITE IMPROVEMENT DRAWINGS</b>			