

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 4-20-23

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final Interpretation
<input type="checkbox"/> Special Permit	
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-3030-23
 ASSIGNED
 INSPECTOR: Dom
 Referred from Planning Board: YES / (NO)
 If yes provide date of Planning Board meeting: _____

Project Name: Cassidy

Street Address: 12 Lang Terrace
Pearl River, NY 10965

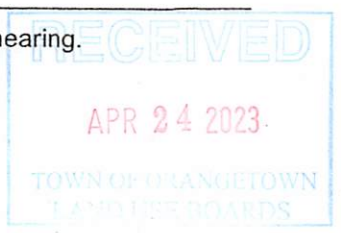
Tax Map Designation:
Section: 69.05 Block: 3 Lot(s): 59
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the East side of Lang Ter, approximately 150 feet North of the intersection of Lombardi Rd, in the Town of Orangetown in the hamlet/village of Pearl River.
Acreage of Parcel 27.500 Zoning District R-15
School District Pearl River Postal District Pearl River
Ambulance District Pearl Riv Fire District Pearl Riv
Water District Orangetown Sewer District Wenham

Project Description: (If additional space required, please attach a narrative summary.)
Addition of 2nd story to existing
1/2 story Cape Cod style home.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 4-20-23 Applicant's Signature: Jugan Brady-Dante



APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area _____

Are there streams on the site? If yes, please provide the names. _____

Are there wetlands on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 4.12.23 Section: 69.05 Block: 3 Lot: 59
Applicant: Cassidy
Address: 12 Lang Terrace, Pearl River, NY
RE: Application Made at: same

Referred For:

***Chapter 43, Article V, Section 5.2 Exceptions to Bulk Regulations, Subsection 5.21(c) & (e),
***Undersized Lots allows Side Yard and Total Side Yard reduction and maximum height of 20' with
24'6" proposed


One Variance Required

Comments: Second floor add-a-level

Dear Cassidy:


Please be advised that the Building Permit Application # p23-3036, which you submitted on
4.3.23, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to
the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear
before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com.

Sincerely


Richard Oliver
Deputy Building Inspector

4/13/23




Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

4/13/27

Date
Liz DeCort
Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
392489	69.05-3-29	Richard Chiarello	55 Van Wormer Rd,Pearl River, NY 10965
392489	69.05-3-30	Thomas Mc Gowan	63 Van Wormer Rd,Pearl River, NY 10965
392489	69.05-3-31	Margaret A Courtney	143 Lombardi Rd,Pearl River, NY 10965
392489	69.05-3-32	Laureen Ceresnik	135 Lombardi Rd,Pearl River, NY 10965
392489	69.05-3-53	Kathleen Wallace	129 Lombardi Rd,Pearl River, NY 10965
392489	69.05-3-54	Brian Kirrane	119 Lombardi Rd,Pearl River, NY 10965
392489	69.05-3-55	Patricia Burbage	80 Dellwood Rd,Bronxville, NY 10708
		Edward Burbage	
392489	69.05-3-56	Ronald Werner	99 Lombardi Rd,Pearl River, NY 10965
392489	69.05-3-57	Patrick Gargan	91 Lombardi Rd,Pearl River, NY 10965
392489	69.05-3-58	Laura Ramputi	20 Lang Ter,Pearl River, NY 10965
392489	69.05-3-59	Michael Cassidy	12 Lang Ter,Pearl River, NY 10965
392489	69.05-3-60	Mark Tierney	4 Lang Ter,Pearl River, NY 10965
392489	69.05-3-61	Anthony O'Donovan	15 Lang Ter,Pearl River, NY 10965
392489	69.05-3-62	Roseann D Vitale	23 Lang Ter,Pearl River, NY 10965



12 Lang Terrace
Pearl River, NY 10965

To whom it may concern,

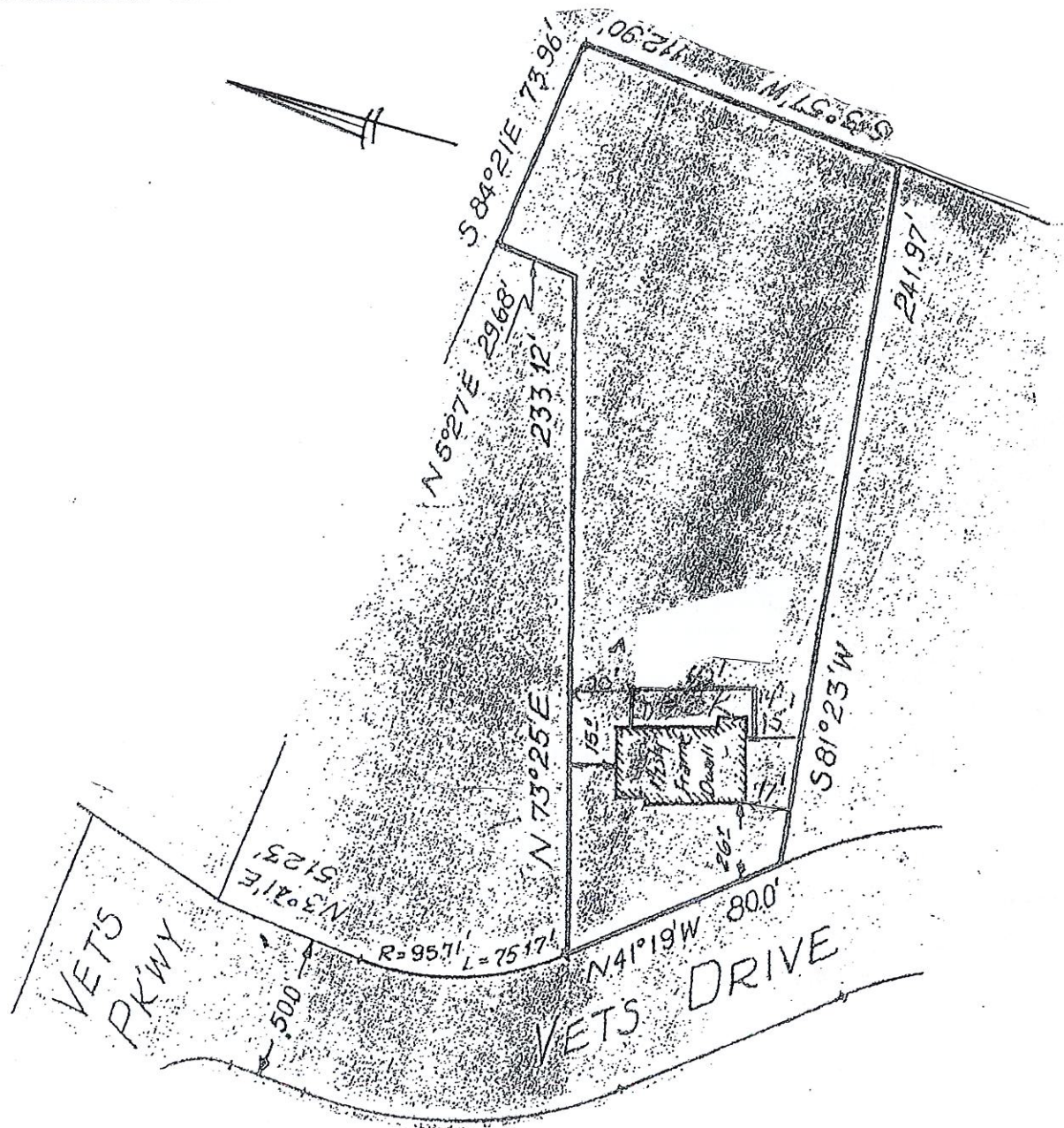
I, Michael Cassidy, residing at 12 Lang Terrace, Pearl River authorizes Virginia Brodsky Damato of Platinum Design Build to fill out the necessary ZBA Application and appear at ZBA Meeting in regard to my ZBA application.

Thank you



Michael Cassidy





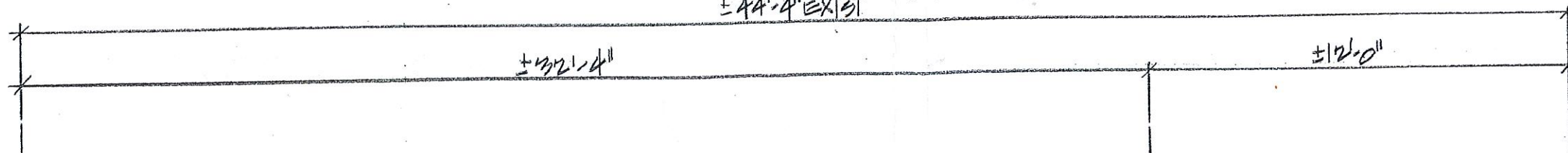
PLOT PLAN

SCALE: 1"=60'

NOTE: THE ABOVE PLOT PLAN OF A PROPOSED 2ND-FLOOR ADDITION IS BASED ON A SURVEY ORIGINALLY DRAWN BY ROBERT JOST LAND SURVEYOR, ON 04/25/1952

RECEIVED
 APR 24 2023
 TOWN OF ORANGETOWN
 LAND USE BOARD

± 44'-4" EXIST



ZONING BULK REQUIREMENTS

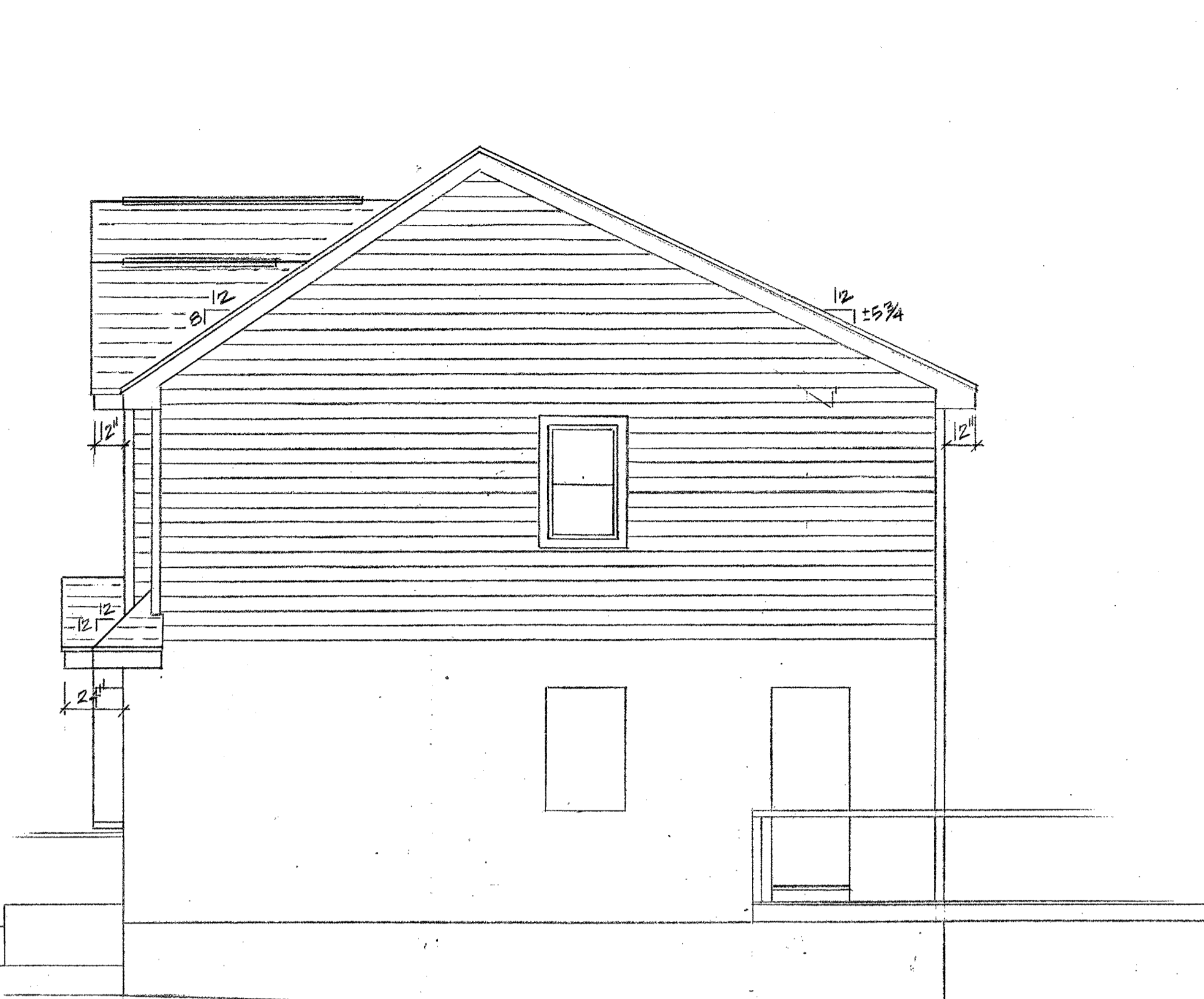
Zone: R-15	Group: M	Use: SINGLE-FAMILY RES.	
	Required	Existing	Proposed
Floor area ratio	0.20	0.039 (1,084)	0.070 (1,914)
Lot area	15,000	± 27,500	± 27,500
Lot width	100	80	(s.z) 80
Street frontage	75	80	80
Front yard setback	30	26	26
Side yard setback	(s.z) 15	15/17	15/17
Total side yard setback	(s.z) 30	32	32
Rear yard setback	35	190	190
Maximum building height	20' 1'	8"	11"

Undersized lot (Based on frontage) as per Ch 47, Section 5.21

ZONING BOARD OF APPEALS
 Meeting Of:
 MAY 17 2023
 Town Of Orangetown

GENERAL SPECIFICATIONS

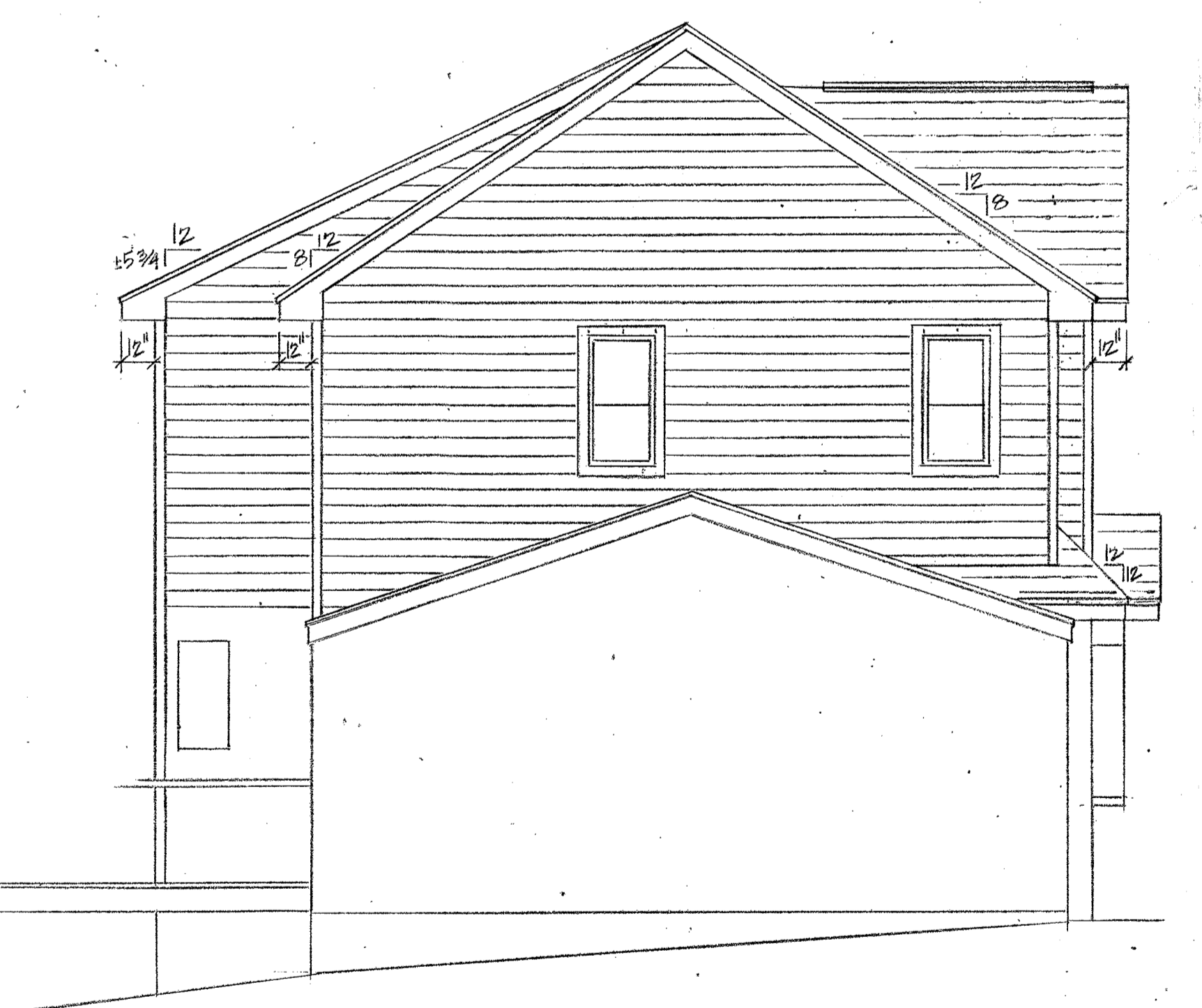
- GENERAL NOTES**
- ALL WORK PERFORMED SHALL COMPLY WITH THE BUILDING AND ZONING ORDINANCES OF THE TOWN OF ... AND THE N.Y.S. BUILDING AND ENERGY CODES.
 - THESE PLANS ARE TO BE USED FOR PERMITS & CONSTRUCTION GUIDE ONLY. IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT, UNLESS OTHERWISE INDICATED BY ARCHITECT.
 - CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL OBTAIN LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNER WITH CERTIFICATE OF INSURANCE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 - ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY IMPROVEMENTS OR OTHER CONDITIONS.
 - ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. ARCHITECT IS ONLY RESPONSIBLE FOR THESE DRAWINGS AND THEIR RELATED SPECIFICATIONS. IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORESEEN EQUIPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
 - ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITION OPERATIONS AND METHODS.
 - CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES, MATCH ALL EXISTING MATERIALS, DIMENSIONS, AND CONDITIONS AS THEY APPLY.
 - ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.
 - ALL CONSTRUCTION & MATERIALS SHALL BE NEW - UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.
 - ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT, IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS, LICENSED IN THE STATE OF NEW YORK AND AS REQUIRED BY THE LOCAL GOVERNING AGENCY.
 - NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCIES.
 - ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.
 - PRIOR TO COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE EXCEPT AS OTHERWISE NOTED BY THE OWNER.
- SITE NOTES**
- CONTRACTOR/OWNER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANIES, UNDERGROUND AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.
 - ALL EXISTING CONDITIONS INDICATED ON THE PLANS TO BE REMOVED OR RELOCATED ARE TO BE SO EXECUTED IN A MANNER THAT WILL NOT DISTURB ADJACING AREAS OR CONDITIONS WHICH ARE TO REMAIN.
 - EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR TO OBSERVE ANY VARIATIONS OR UNFORESEEN DISCREPANCIES IN THE PLANS AND REPORT IMMEDIATELY TO THE OWNER.
 - ALL FOOTINGS TO REST ON VIRGIN SOIL, HAVING A MINIMUM BEARING CAPACITY OF 3,000 P.S.F. AT 3' MINIMUM BELOW THE FINISHED GRADE.
 - EARTH UNDER CONCRETE SLAB BE THOROUGHLY COMPACTED AND CLEANED OF DEBRIS, WATER AND OTHER MATTER. THE SUB-GRADE SHALL BE BROUGHT TO A TRUE PLANE & COMPACTED TO SOLID BEARING. ALL FILL MATERIAL SHALL BE SOIL OR SOIL-ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER OBJECTIBLE MATERIAL. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER SIX INCHES IN GREATEST DIMENSION AND NOT MORE THAN 10% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 2" IN GREATEST DIMENSION.
 - DO NOT BACKFILL UNTIL MAIN FLOOR SYSTEMS, INCLUDING SLABS AND FLOOR DECKING ARE INSTALLED.
 - BACKFILL AGAINST POURED CONCRETE WALLS SHALL BE A MAXIMUM OF 7' 0" AND 10' CONCRETE BLOCK WALLS MAXIMUM 6' 0" ABOVE SLAB TO ADJACENT GRADE.
 - TOP 6" OF NEWLY GRADED AREAS IS TO BE TOP SOIL RAKED FREE FROM DEBRIS, STICKS, STONES OVER 2" IN SIZE AND OBJECTIONABLE MATERIAL.
 - GENERAL CONTRACTOR OR OWNER SHALL FIELD VERIFY ALL INVERT ELEVATIONS AND SEWER CONDITIONS INDICATED PRIOR TO CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEYS ON SEWER DEPT. RECORDS.
 - FOOTING DRAINS TO BE PROVIDED WHERE REQUIRED AND APPROPRIATE THEY SHALL BE LAID IN GRAVEL BED AND PROTECTED AT TOP WITH FILTER FABRIC AND PROVIDE POSITIVE OUTFLOW TO STORM DRAIN OR DRY WELL.
 - FINISHED GRADE AND DRIVEWAY SHALL PITCH AWAY FROM THE BUILDING, SO THAT ALL SURFACE WATER FLOWS AWAY FROM IT.
 - INSTALLATION OF GAS METERS SHALL BE IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
 - INSTALLATION OF ELECTRIC METERS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
 - FINISHED GRADE HEIGHT SHALL BE MINIMUM 6" BELOW ADJACENT FRAMING AND MAXIMUM (IF ANY) AS PER LOCAL CODES.
- CONCRETE AND MASONRY**
- NEW POURED CONCRETE TO BE MINIMUM 3000 P.S.F. COMPRESSIVE STRENGTH IN 28 DAYS. 40 BAGS OF CEMENT MIN. PER CUBIC YARD OF CONCRETE AND MAXIMUM 7 1/2 GALLONS OF WATER PER BAG OF CEMENT. 6 1/4 GALLONS OF WATER PER BAG OF CEMENT FOR AIR ENTRAINING CONCRETE. SUBMIT TESTING REPORTS PERFORMED BY APPROVED TESTING LABORATORY, AS REQUIRED BY LOCAL OFFICIALS.
 - CONCRETE DESIGN, MATERIALS, AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE STANDARD OR RATIO OF THE AMERICAN CONCRETE INSTITUTE. ALL MASONRY OR CONCRETE ANCHORS AND FASTENERS OF ANY KIND, TO BE GALVANIZED OR ZINC COATED.
 - BLOCK FOUNDATION WALLS TO BE REINFORCED HORIZONTALLY WITH OUR-O-WAL EVERY SECOND COURSE AND VERTICALLY WITH (#4) #5 RE-BARS EVERY FOUR FEET. BLOCK SHALL BE FILLED SOLID WITH CONCRETE AROUND REINFORCING BARS. TOP COURSE OF BLOCK SHALL BE FILLED SOLID WITH CONCRETE AND 5/8" DIAMETER ANCHOR BOLTS SHALL BE PLACED 4' 0" TO 8' 0" O.C.



FRONT ELEVATION

RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

LEFT SIDE ELEVATION

ZONING BOARD OF APPEALS
Meeting Of:
MAY 17 2023
Town Of Orangetown

ENERGY CODE

CLIMATE ZONE	ROOFING U-FACTOR	CEILING U-FACTOR	GLAZED WINDOW U-FACTOR	GLAZED DOOR U-FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASONRY WALL R-VALUE	FLOOR R-VALUE	BASEMENTS R-VALUE	SLAB R-VALUE	CRACK, JUNCTION & DEPTH R-VALUE
4 except Marine	0.27	0.05	0.40	49	20' h 13' s, 5' b	8/13	19	10/13	10.2 R	10/13	
5 and Marine 4	0.27	0.05	NR	49	20' h 13' s, 5' b	12/17	30' g	15/19	10.2 R	15/19	

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

Ground Snow Load	Wind Speed (MPH)	Seismic Design Category	SUBJECT TO DAMAGE FROM				Ice Shield Underlayment Required	Flood Hazards
			Weathering	Frost Depth	Termites	Flammable Liquids		
30psf	115	B	5	36"	Mod/Heav	Yes	Yes	

**CASSIDY RESIDENCE
2ND-FLOOR ADDITION**

**12 LANG TERRACE
PEARL RIVER, N.Y.**

STATE OF NEW YORK ADOPTED CODES AND STANDARDS

INTERNATIONAL RESIDENTIAL CODE-NY ED, 2020
NATIONAL ELECTRICAL CODE, 2020
NATIONAL STANDARD PLUMBING CODE, 2020
INTERNATIONAL ENERGY CONSERVATION CODE, 2020 (RESIDENTIAL)
INTERNATIONAL MECHANICAL CODE, 2020
INTERNATIONAL FUEL GAS CODE, 2020
2020 RESIDENTIAL PRESCRIPTIVE PACKAGE

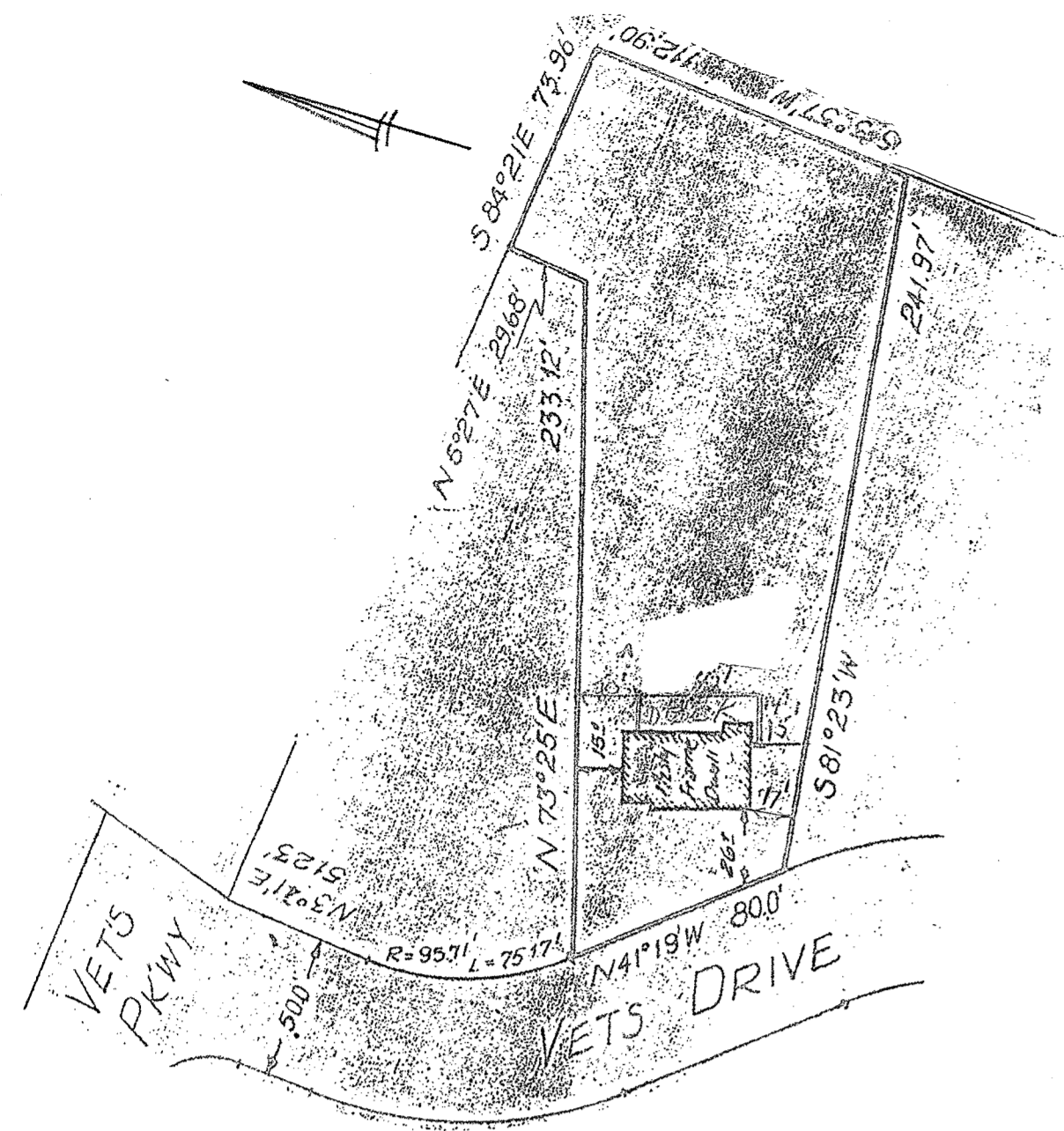
NOTE: TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, PLANS ARE IN COMPLIANCE WITH THE 2020 IECC & NYS ENERGY CODE

HARRY J. GOLDSTEIN ARCHITECT
DESIGN & DEVELOPMENT

4 REDNA ROAD
MONSIEY, NEW YORK 10952
(845) 356-7942 (914) 393-5787

**PROJECT 221781
JANUARY 17, 2023**

**1
OF
2**



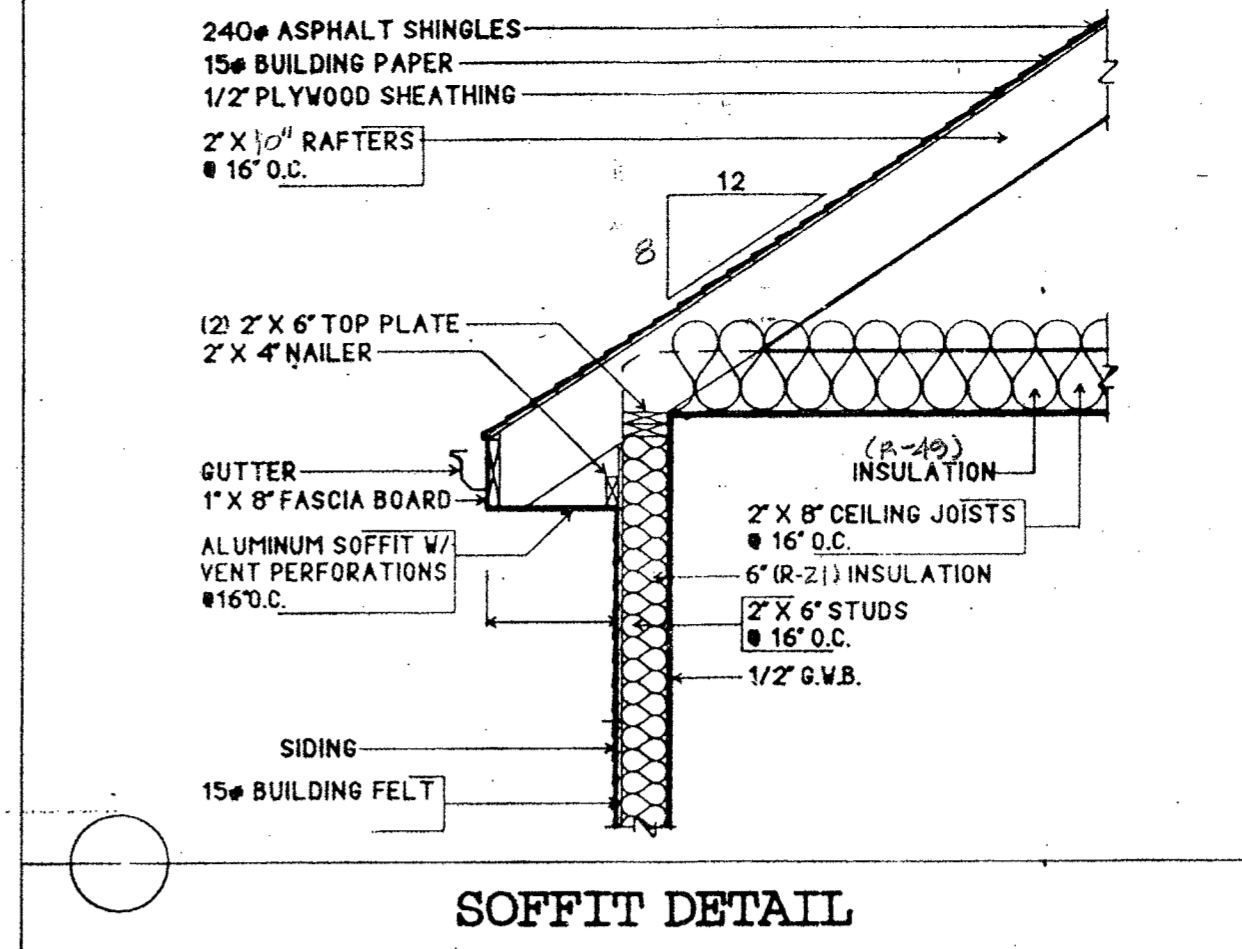
PLOT PLAN

SCALE: 1"=60'

NOTE: THE ABOVE PLOT PLAN OF A PROPOSED 2ND-FLOOR ADDITION IS BASED ON A SURVEY ORIGINALLY DRAWN BY ROBERT JOST LAND SURVEYOR, ON 04/25/1952

ZONING BULK REQUIREMENTS			
Zone: R-15	Group: M	Use: SINGLE-FAMILY RES.	
	Required	Existing	Proposed
Floor area ratio	0.10	0.039 (1,084)	0.070 (1,974)
Lot area	15,000	±27,500	±17,500
Lot width	100	80	80
Street frontage	75	80	80
Front yard setback	30	20	26
Side yard setback	15.11	15.17	15.17
Total side yard setback	5.21	32	32
Rear yard setback	35	190	190
Maximum building height	20	24'-0"	24'-0"

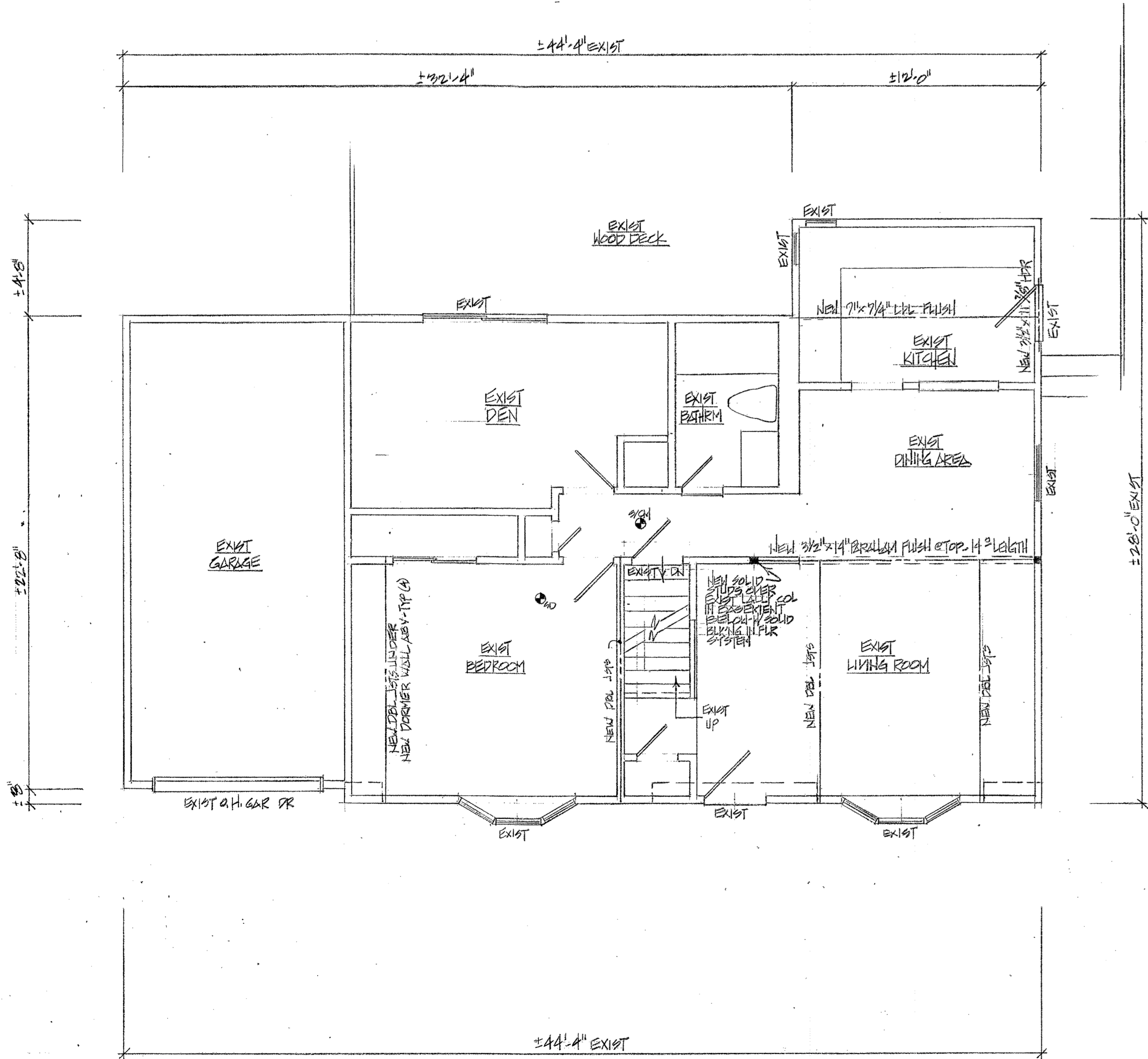
NOTE: UNDERSIZED LOT (BASED ON FRONTAGE) AS PER CH. 4.3 SECTION 5.21



SOFFIT DETAIL

GENERAL SPECS. CONTINUED

- FRAMING**
33. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL, FREE FROM ROT, LARGE AND LOOSE KNOTS, SHAKES, AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZES INDICATED ON DRAWINGS. STUDS, SILL, POSTS, LINTELS AND RAFTERS SHALL BE HEM-FIR (19% MAXIMUM GRADE EXCEPT IF NOTED OTHERWISE HEREIN) IN THIS SPECIFICATION ON THE DRAWINGS. THE MIN. UNIT STRESS FOR HEM-FIR SHALL BE:
 - FIBER STRESS (F_b) = 1000 PSI
 - HORIZONTAL SHEAR (F_v) = 95 PSI
 - MODULUS OF ELASTICITY (E) = 1,400,000 PSI
 34. WHERE INDICATED ON THE DRAWINGS WITH THE NOTATION FB-1600 ONLY DOUGLAS FIR LARCH-NORTH (19% MAX. MOISTURE) NO. 1 GRADE SHALL BE USED WITH THE FOLLOWING MIN. UNIT STRESSES:
 - FIBER STRESS (F_b) = 1600 PSI
 - HORIZONTAL SHEAR (F_v) = 95 PSI
 - MODULUS OF ELASTICITY (E) = 1,800,000 PSI
 35. CALCULATED DESIGN LOADS (ADD 10 PSI DEAD LOAD ALL SPANS):
 - ROOF = 20 PSI LIVE LOAD (40)
 - FLOORS = 40 PSI LIVE LOAD (80)
 - ATTIC = 20 PSI LIVE LOAD (40)
 - DECK = 40 PSI LIVE LOAD (80)
 36. ALL BELL PLATES IN CONTACT WITH CONCRETE OR MASONRY WALLS, SLABS, ETC. SHALL BE PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED). SILL SEAL SHALL BE OWNERS CORNING SILL SEALER OR APPROVED EQUAL. TERMITES SHIELD SHALL BE INSTALLED WHERE REQUIRED BY SITE CONDITIONS AND BUILDING CODES.
 37. DOUBLE JOISTS SHALL BE INSTALLED UNDER ALL PARTITIONS RUNNING PARALLEL WITH SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE STUDS SHALL BE INSTALLED AROUND ALL WALL OPENINGS. ONE ROW OF SOLID BRIDGING AT MID-HEIGHT WITHIN ALL INTERIOR PARTITION WALLS. DOUBLE FRAMING SHALL BE PROVIDED AT BASE OF WOOD COLUMNS. DECK JOISTS SHALL RECEIVE DIAGONAL CROSS BRACE OR DIAGONAL BRACING, DECKING AND RAISE TO BE NON-TOXIC LUMBER, I.E. DOUGLAS FIR, CEDAR, OR EQUAL. RAISES TO BE CONSTRUCTED AT 36" HEIGHT AND WITH MAXIMUM 6" SPHERE OPENING, AS PER CODES.
 38. ROOFING MATERIAL SHALL BE MINIMUM 20 YEAR FIBERGLASS SHINGLES (OWENS CORNING OR APPROVED EQUAL) OVER 15.8 ROOFING FELT. VALLEY FLASHING AND OTHER APPROPRIATE FLASHING SHALL BE PROVIDED AS REQUIRED. ICE AND WATER SHIELD SHALL BE INSTALLED AS REQUIRED.
 39. FABRIC BOARDS SHALL BE SCAFFOLD AT A 45 DEGREE ANGLE OR 90 DEGREE ANGLE. FABRIC BOARDS SHALL BE COMMON PINE WRAPPED IN ALUMINUM, UNLESS OTHERWISE NOTED.
 40. ALUMINUM GUTTERS AND LEADERS SHALL BE PROVIDED AS REQUIRED. SPLASH BLOCKS SHALL BE PROVIDED AT OUTLETS UNLESS OTHER PROVISIONS FOR WATER DRAINAGE ARE PROVIDED. ALL WATER MUST DRAIN AWAY FROM STRUCTURE 50' AS NOT TO CONTRIBUTE TO GROUND WATER SEEPAGE AT FOUNDATION.
 41. WINDOWS SHALL BE SIZE, TYPE AND MET. AS INDICATED ON PLANS, WITH SCREENS AND HARDWARE PROVIDED. GLAZING LESS THAN 18" ABOVE FLOOR SHALL BE TEMPERED. OPTICALLY CLEAR GLAZING, GRILLS, COLORS, ETC. SHALL BE SELECTED BY OWNER AND/OR BUILDER PRIOR TO CONSTRUCTION. HEAD HEIGHT SHALL BE 6" - 10", UNLESS OTHERWISE NOTED.
 42. EXTERIOR DOORS TO BE OF THE MANUFACTURER, TYPE, SIZE, AND STYLE AS INDICATED ON THE DRAWINGS. ANY MANUFACTURER'S OPTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL DOORS SHALL BE 6" - 8" HEIGHT UNLESS OTHERWISE NOTED. PROVIDE WEATHER STRIP SCROLL ON ALL EXTERIOR DOORS. PROVIDE ALUMINUM SADDLE ON ALL INTERIOR PERSONNEL GARAGE DOORS.

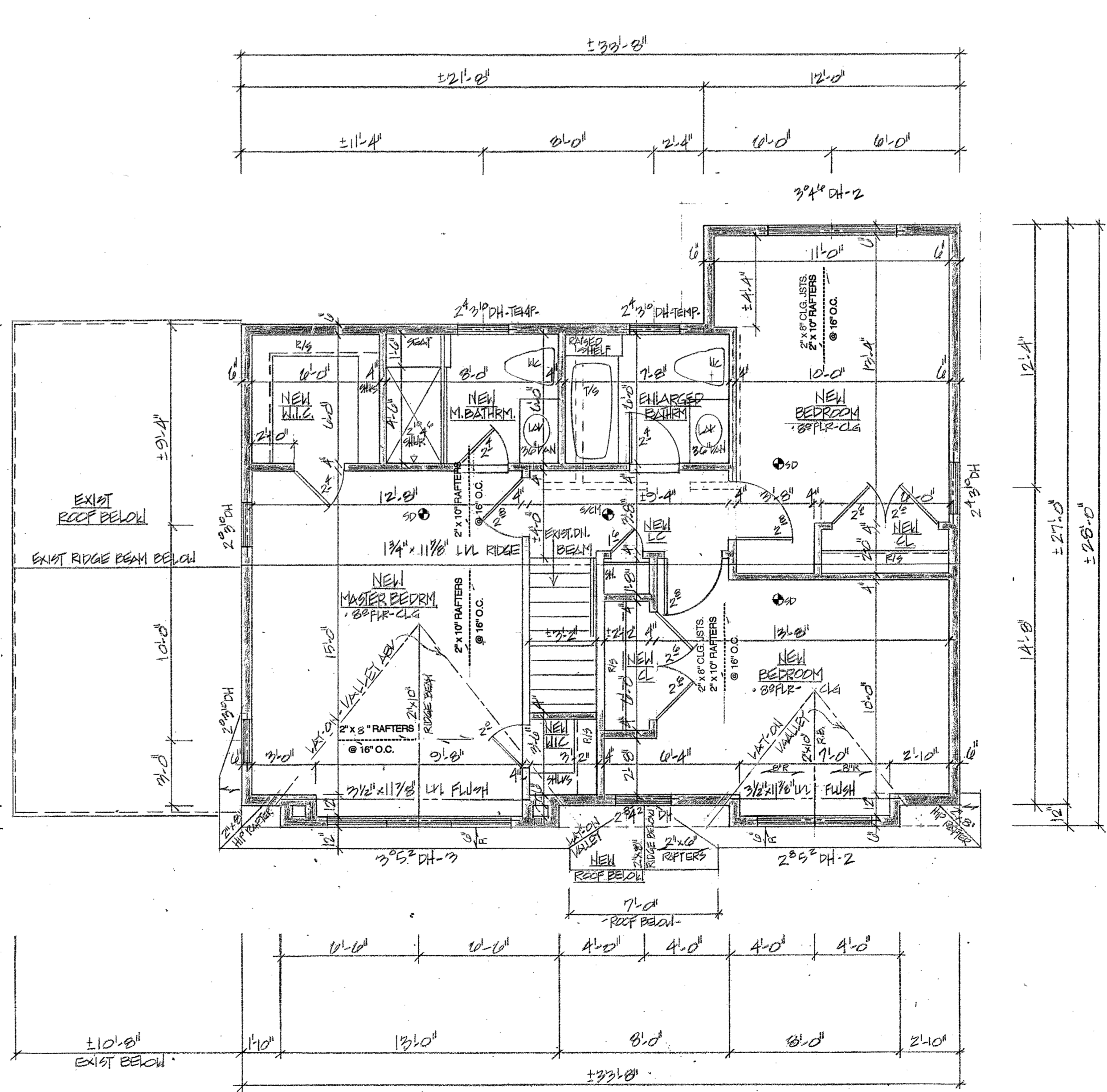


MAIN FLOOR PLAN

EXIST. ONE-CAR GARAGE S.F.: 242
EXIST. MAIN FLOOR LIVING S.F.: 842

SCALE: 1/4"=1'-0"

NOTE: ALL HEADERS ARE TO BE (2) 2"x10" UNLESS OTHERWISE INDICATED

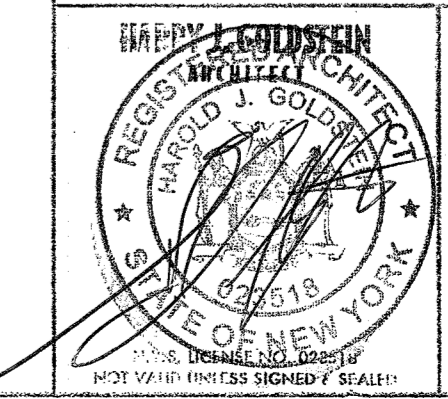


SECOND FLOOR PLAN

NEW SECOND FLR. S.F.: 830
NEW TOTAL LIVING S.F.: 1672

**CASSIDY RESIDENCE
2ND-FLOOR ADDITION**

**12 LANG TERRACE
PEARL RIVER, N.Y.**



**HARRY J. GOLDSTEIN
ARCHITECT
DESIGN & DEVELOPMENT**

4 REGINA ACAD
MONSIEY, NEW YORK 10952
PH: 1 356-7942 (914) 393-5787

REVISED 4/17/23

PROJECT 21281 JANUARY 17, 2023

2 OF 2