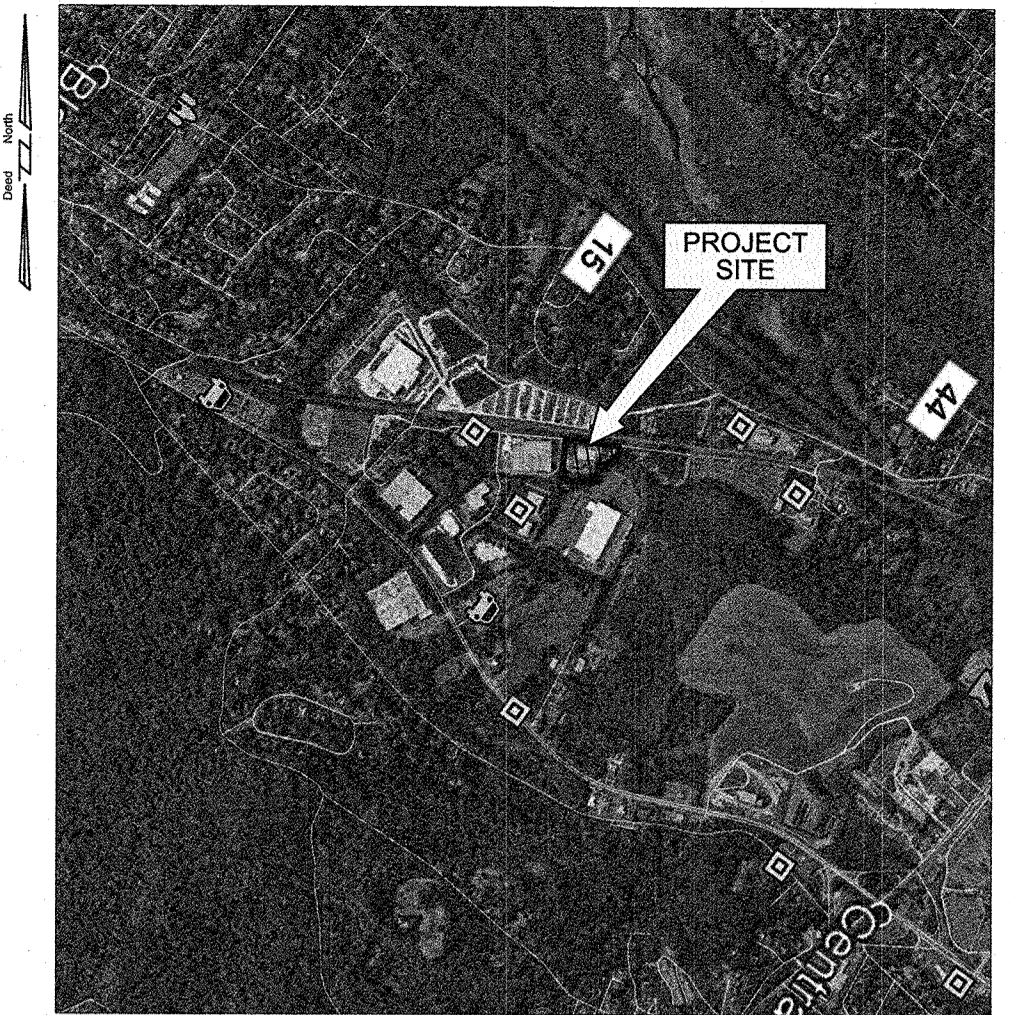


SITE PLAN FOR PROPOSED ELECTRIC VEHICLE SALES/DISTRIBUTION/SERVICE CENTER 800 BRADLEY HILL ROAD

SECTION 65.18, BLOCK 1, LOT 3
TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.



LOCATION MAP
SCALE: 1"=200'

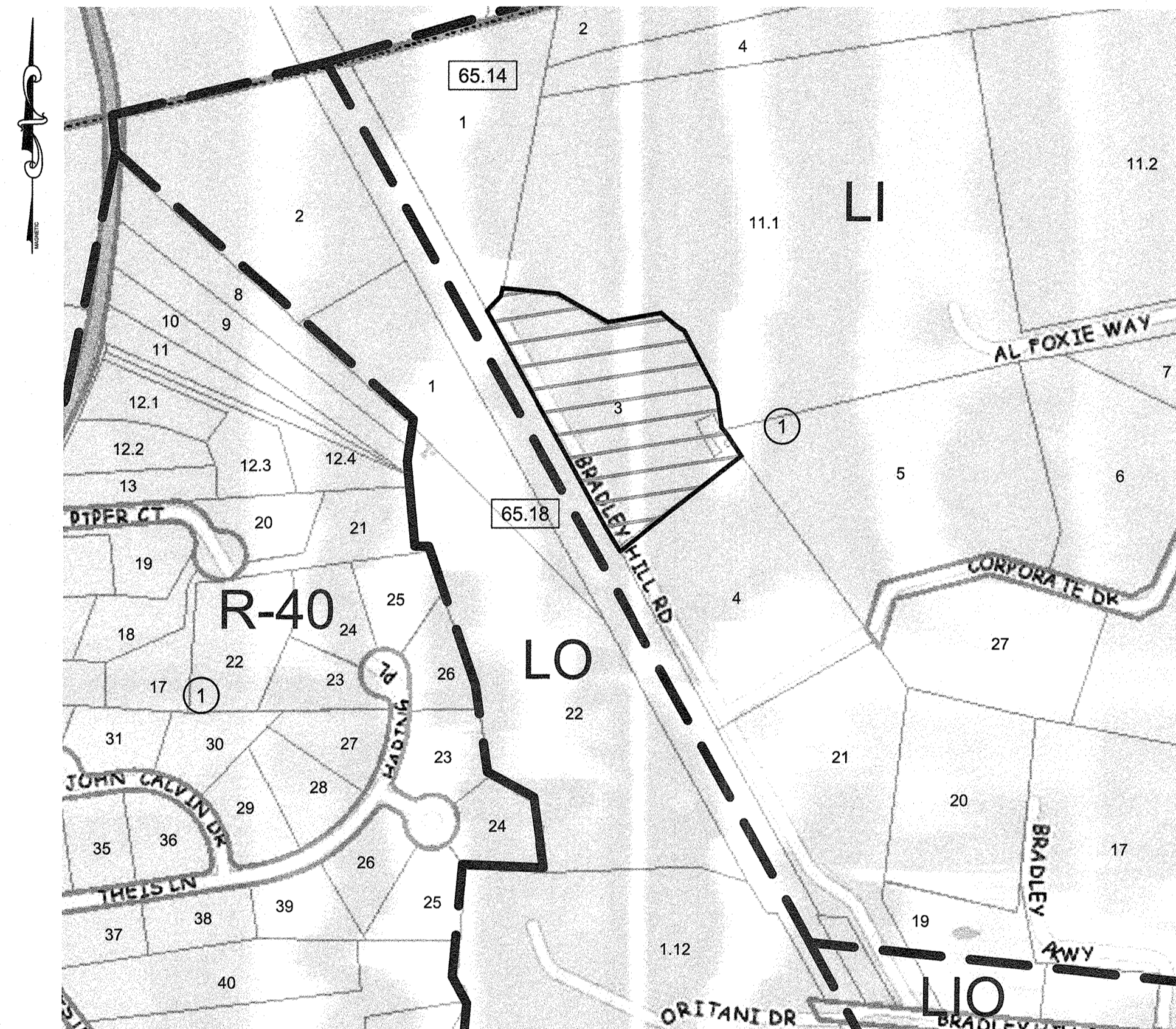
REFERENCE
MAPPING TAKEN FROM GOOGLE EARTH, DATED JULY 22, 2020.

INDEX OF DRAWINGS

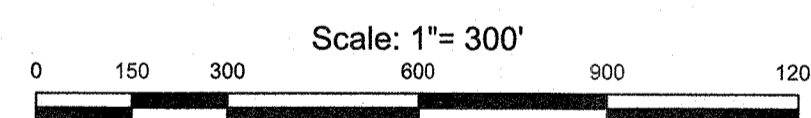
TITLE	SHEET NAME
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	EC-1
SITE PLAN	S-1
SOIL EROSION AND SEDIMENT CONTROL PLAN	SE-1
EMERGENCY VEHICLE CIRCULATION PLAN	FD-1
EASEMENT PLAN	E-1
EASEMENT ENLARGEMENTS	E-2
EASEMENT NOTES	E-3
DETAILS & NOTES	D-1

DISTRICTS

SCHOOL: SOUTH ORANGETOWN CENTRAL SCHOOL DISTRICT
FIRE: BLAUVELT
LIGHTING: TOWN OF ORANGETOWN
SEWER: TOWN OF ORANGETOWN
ZONING: LI



ZONING LOCATION MAP
SCALE: 300' ±



LEGEND

- 1 BLOCK NUMBER
- 65.18 SECTION NUMBER
- 3 LOT NUMBER
- LOT LINE
- PROJECT AREA LIMITS
- R-40** LOW DENSITY RESIDENTIAL DISTRICT
- LI** LIGHT INDUSTRIAL DISTRICT
- LO** LABORATORY-OFFICE DISTRICT
- LIO** LIGHT INDUSTRIAL OFFICE DISTRICT

SITE PLAN OF:
800 BRADLEY HILL ROAD
TOWN OF ORANGETOWN, NEW YORK

OWNER/APPLICANT:
PG-OE 800 BRADLEY HILL ROAD OWNER, L.L.C.
C/O ONYX MANAGEMENT GROUP, LLC
900 ROUTE 9 NORTH, SUITE 400
WOODBIDGE, NJ 07095

ATTORNEY:
MCCULLOUGH, GOLDBERGER & STAUDT, LLP
1311 MAMARONECK AVE., SUITE 340 WHITE PLAINS, NY
10605 CONTACT: SETH M. MANDELBAUM
PHONE: 914-949-6400 EMAIL: Smandelbaum@mgslawyers.com

CIVIL ENGINEER:
SESI CONSULTING ENGINEERS
959 ROUTE 46, SUITE 300
PARSIPPANY, NEW JERSEY 07054
CONTACT: FRANZ W. LAKI, PE
PHONE: 973-808-9050
EMAIL: FL@SESI.ORG

TOWN OF ORANGETOWN	
THIS SITE PLAN IS HEREBY APPROVED BY THE PLANNING BOARD OF THE TOWN OF ORANGETOWN, NEW YORK.	
DATE _____	SECRETARY _____
DATE _____	CHAIRMAN _____
THIS SITE PLAN HAS BEEN REVIEWED AND IS HEREBY APPROVED.	
DATE _____	TOWN ENGINEER _____

Rev Plan
4-26-23
PB Mtg



FRANZ W. LAKI, P.E.
PROFESSIONAL ENGINEER
N.Y. LIC. NO. 96772

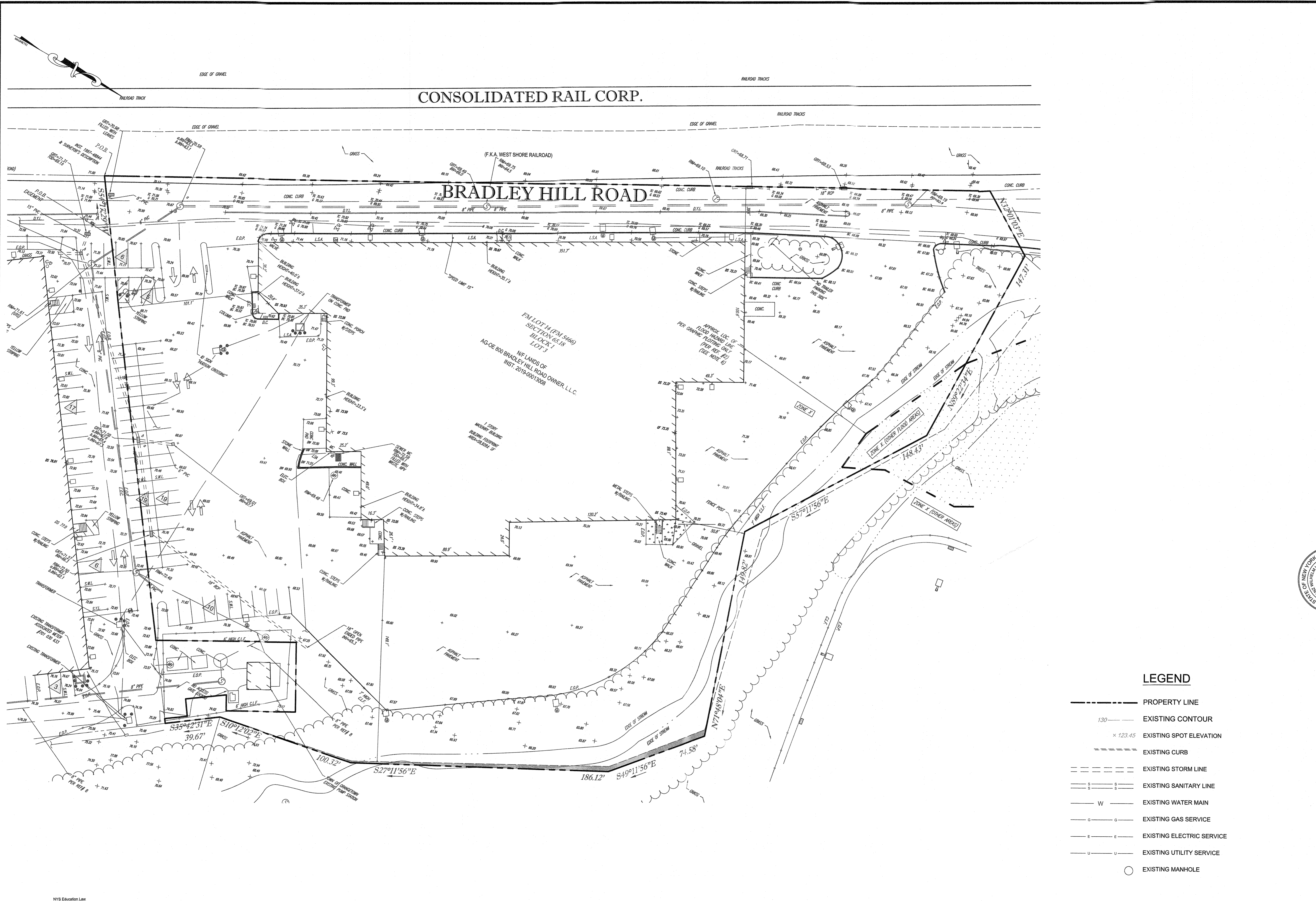
Cert of Auth #24GA27934700
SESI CONSULTING ENGINEERS
GEOTECHNICAL | ENVIRONMENTAL | SITE CIVIL
959 route 46e, 3rd floor, parsippany, nj 07054 ph: 973.808.9050

12/20/2022 JOB NO. 12761 SHEET C-1

REV	DATE	DESCRIPTION	BY
1	3/31/2023	PB SUBMISSION	

N:\ACAD\12\16\CAD\12\16\12161_800 BRADLEY COVER.DWG, 03/31/23, 04:50:28PM, SESI_LAYOUT_COVER-1

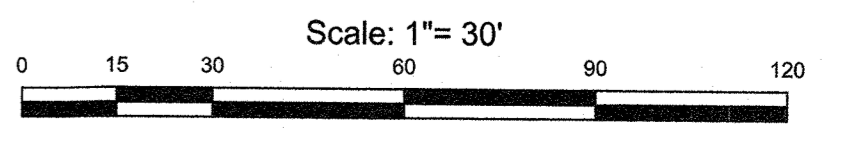
NYS Education Law
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REFERENCE:
 EXIST CONDITIONS & BOUNDARY ARE TAKEN FROM AS-BUILT SURVEY 800
 BRADLEY HILL ROAD - BUILDING #4 PREPARED BY CONTROL POINT ASSOCIATES, INC. SEPTEMBER 26, 2022.

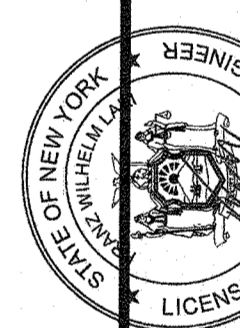
NOT FOR CONSTRUCTION



NO.	DATE	DESCRIPTION	BY
1	03/01/2023	PRELIMINARY SUBMISSION	
2	12/20/2022		

dra by: APG
 ch by: FL
 scale: AS NOTED
 date: 12/20/2022

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SESI CONSULTING ENGINEERS
 GEOTECHNICAL | ENVIRONMENTAL | SITE CIVIL
 959 route 466, 3rd floor, Parsippany, nj 07054 ph: 973.808.9050



FRANZ W. LAKI, P.E.
 PROFESSIONAL ENGINEER
 N.Y. LIC. NO. 98772

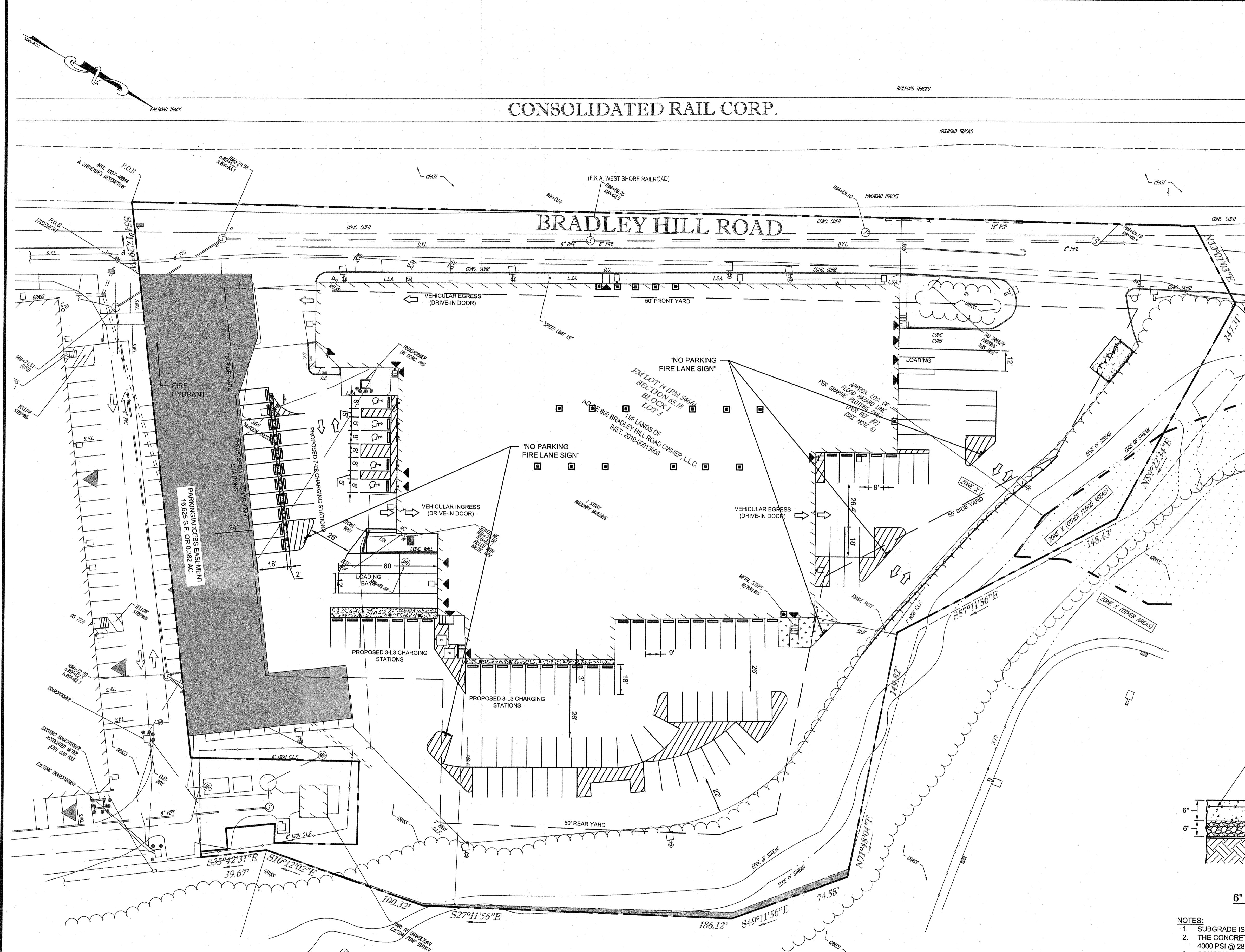
SITE PLAN FOR PROPOSED ELECTRIC VEHICLE CHARGING STATION CENTER 800 BRADLEY HILL ROAD TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY
EXISTING CONDITIONS

job no. 12761
 drawing no.

EC-1

CONSOLIDATED RAIL CORP.

BRADLEY HILL ROAD



ZONING SUMMARY				
800 Bradley Hill Road				
Block 1; Lot 3				
SESI Project No. 12761				
Zone:	Light Industrial (LI)			
Existing Use:	Commercial			
Proposed Use:	Automobile Sales Room/Automotive Repair Shop			
Permitted Use:	Yes			

ITEM	REQUIRED	EXISTING LOT 3 (800)	PROPOSED LOT 3 (800)	NOTES
MIN. LOT WIDTH (FT)	150	640	640	No Change
MIN. LOT AREA (AC)	2	4.89	4.89	No Change
MIN. STREET FRONTAGE (FT)	150	640	640	No Change
MIN. FRONT YARD (FT)	50	42.6	42.6	No Change
MIN. SIDEYARD (FT)*	25	50.8	50.8	No Change
TOTAL SIDEYARD (FT)*	100	151.9	151.9	No Change
MIN. REARYARD (FT)**	25	149.1	149.1	No Change
MAX. LOT COVERAGE (%)	80%	80.6%	80.6%	No Change
MAX. FLOOR AREA RATIO**	0.5	0.277	0.277	No Change
MAX. HEIGHT (FT)*	25	34	34	No Change
MIN. OFF-STREET PARKING***	36	-	107	Complies

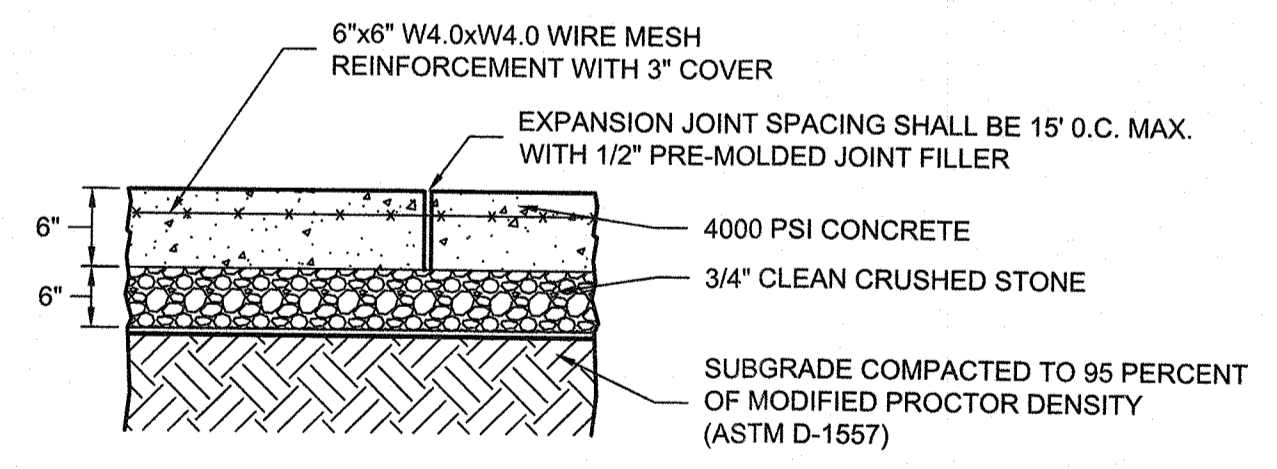
*Note 7: Required front yards and maximum building heights are subject to § 5.11, with the designated street line being used as lot line.
 *Note 10: Where a lot line in an L.O., LI or LE District abuts a railroad right-of-way, the normally required rear or side yard may be reduced to twenty-five (25) feet, and the maximum building height shall apply for that portion of a building over twenty-five (25) feet in height.
 *Note 14: Maximum land coverage shall not exceed seventy-five percent (75%), including buildings, parking, road and road widening. The open area shall be a minimum of twenty-five percent (25%). Parking area within a building will not be charged against the floor area ratio. In CP Districts, the percentages shall be sixty-five percent (65%) and thirty-five percent (35%), respectively. In LO Districts, W Groups, and MFR District, U Group, the percentages shall be fifty percent (50%) and fifty percent (50%), respectively. In LI Districts, the percentages shall be eighty percent (80%) and twenty percent (20%), respectively.
 *** Parking requirement was calculated using 1 space per 600 SF of display and sales area [LI Use table, column 6, #14], 3 spaces plus an additional 4 spaces per service bay for an automobile repair shop [LI Use table, column 7].

PARKING REQUIREMENT:
 AUTOMOBILE SALES: 1 SPACE PER 600 SF OF DISPLAY AND SALES AREA
 DISPLAY AREA: 5,457 SF
 SPACES REQUIRED: 9 SPACES
 AUTOMOBILE REPAIR SHOP: 3 SPACES PLUS AN ADDITIONAL 4 SPACES PER SERVICE BAY
 6 CUSTOMER SERVICE BAYS
 SPACES REQUIRED: 27 SPACES
 TOTAL REQUIRED SPACES: 36

PARKING SUMMARY:
 CHARGING SPACES (L2): 18
 CHARGING SPACES (L3): 6
 ADA SPACES: 5
 STANDARD STALLS: 78
 TOTAL PARKING SPACES: 107

EV CHARGING SUMMARY
 EXTERIOR CHARGERS: 24
 INTERIOR CHARGERS: 19
 TOTAL CHARGERS: 49

LEGEND	
	PROPERTY LINE
	SETBACK LINE
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB
	PROPOSED ADA CURB/ FLUSH CURB
	PROPOSED CONC. FLATWORK
	PROPOSED NO. OF PARKING SPACES
	TRAFFIC CIRCULATION
	PROPOSED FULL DEPTH ASPHALT PAVEMENT
	PROPOSED LAWN



6" THICK REINFORCED CONCRETE PAD DETAIL
 NTS

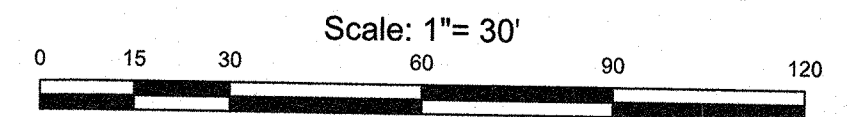
- NOTES:**
- SUBGRADE IS TO BE COMPACTED AS SPECIFIED BY THE DESIGN ENGINEER.
 - THE CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS AND THE MIX DESIGN SHALL BE APPROVED BY THE DESIGN ENGINEER.
 - CONCRETE SHALL BE PROPORTIONED BY THE ADDITION OF 1 1/2 LBS./C.Y. OF POLYPROPYLENE FIBROUS CONCRETE REINFORCEMENT ("E3") AS MANUFACTURED BY FIBERMESH COMPANY. (ALTERNATE)
 - PLACEMENT AND FINISHING SHALL BE IN A CONTINUOUS OPERATION.
 - THE CONCRETE SHALL BE FOGGED AND COVERED WITH POLYETHYLENE AND WET CURED, MAINTAINING MOISTURE CONTENT WHILE COVERED FOR AT LEAST 5 DAYS.
 - CONCRETE SHALL BE PROTECTED FROM BOTH FREEZING AND LOSS OF MOISTURE FOR A PERIOD OF 7 DAYS FROM TIME OF PLACEMENT.
 - CONCRETE SHALL NOT BE PLACED ON FROZEN SUBGRADE SOILS.
 - ALL EDGES SHALL BE ROUNDED AND GIVEN A STEEL TROWEL FINISH.
 - EXPANSION JOINTS ARE TO BE 1/2" WIDE AND FILLED WITH PREFORMED BITUMINOUS JOINT FILLER. THE TOP OF ALL JOINT FILLER SHALL BE BELOW THE TOP OF THE SURFACE. EXPANSION JOINTS SHALL BE LOCATED 15' (MAX.) ON CENTER.
 - 6" THICK 3/4" CLEAN STONE CRUSHED STONE BASE SHALL EXTEND 6" HORIZONTALLY BEYOND THE CONCRETE PAD IN ALL DIRECTIONS.
 - ALL CONCRETE SUBJECT TO EXTERIOR EXPOSURE SHALL BE AIR ENTRAINMENT 4% TO 6%.
 - COLD WEATHER CONCRETE SHALL BE DONE IN ACCORDANCE WITH ACI-306. HOT WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH ACI-305.

- CONSTRUCTION SEQUENCE:**
- OBTAIN ALL PERMITS
 - PRE-CONSTRUCTION MEETING
 - NOTIFY MUNICIPALITY AND REGULATORY AGENCIES OF THE START OF CONSTRUCTION
 - INSTALL ALL SOIL EROSION CONTROL MEASURES (INLET PROTECT, SILT FENCE, HAYBALES, ETC)
 - GENERAL DEMOLITION AND REMOVAL
 - CONCRETE FLATWORK
 - PAVEMENT MARKINGS
 - REMOVE SOIL EROSION CONTROL MEASURES

- GENERAL NOTES:**
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY THE SECTION 239L.6M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - EXISTING STORMWATER FLOW PATHS SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
 - ALL INLETS SHALL RECEIVE INLET PROTECTION MEASURES IN AND ADJACENT TO WORK AREAS. ALL LOCATIONS MAY NOT SHOW ON THIS PLAN.
 - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
 - ADA PARKING SPACES PAVEMENT MARKINGS SHALL BE AZURE BLUE.
 - ALL OTHER PAVEMENT MARKINGS SHALL BE 4" WIDE WHITE UNLESS OTHERWISE NOTED.
 - ALL PARKING SPACES, EXCEPT FOR ADA SPACES, SHALL BE 9'x18' UNLESS OTHERWISE NOTED
 - ALL CHARGING PEDESTALS SHALL BE INSTALLED ON THE DRIVER SIDE.

REFERENCE:
 EXIST CONDITIONS & BOUNDARY ARE TAKEN FROM AS-BUILT SURVEY 800 BRADLEY HILL ROAD - BUILDING #4 PREPARED BY CONTROL POINT ASSOCIATES, INC. SEPTEMBER 26, 2022.

NOT FOR CONSTRUCTION

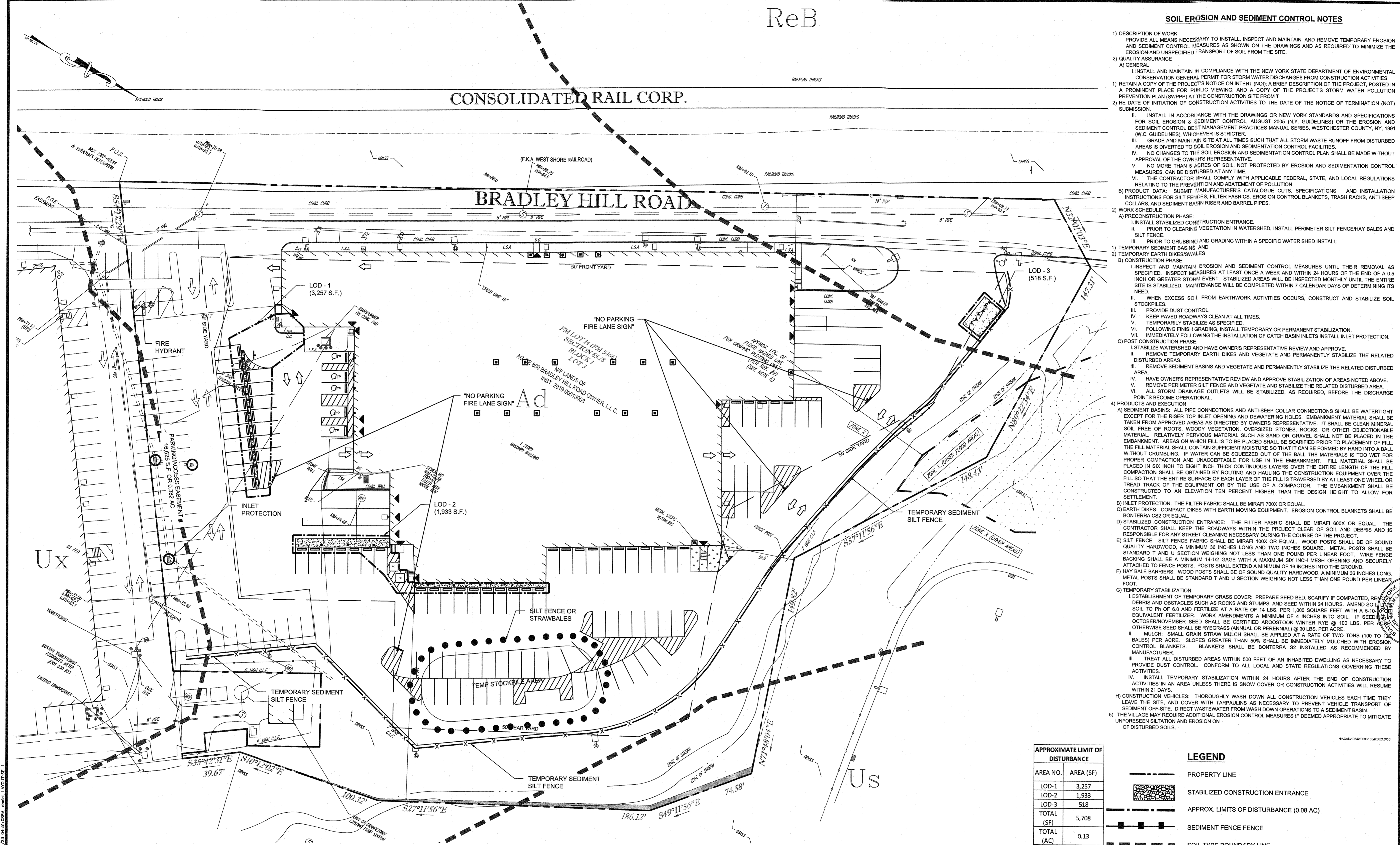


Job no. 12761
 drawing no. S-1
 Title: SITE PLAN
 Town of Orangetown, Rockland County, NY
 SALES/DISTRIBUTION SERVICE CENTER
 800 BRADLEY HILL ROAD
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY
 Franz W. Laki, P.E.
 PROFESSIONAL ENGINEER
 N.Y. LIC. NO. 96772
 Sesi Consulting Engineers
 GEOTECHNICAL | ENVIRONMENTAL | SITE CIVIL
 959 route 46e, 3rd floor, Parsippany, nj 07054, ph: 973.808.9050
 Cert of Auth #24GAG27934700
 Sesi Consulting Engineers
 Scale: AS NOTED
 Date: 12/20/2022
 PS SUBMISSION
 rev
 1
 03/17/2023
 PS SUBMISSION
 description
 by

ReB

CONSOLIDATED RAIL CORP.

BRADLEY HILL ROAD



SOIL EROSION AND SEDIMENT CONTROL NOTES

- DESCRIPTION OF WORK
PROVIDE ALL MEANS NECESSARY TO INSTALL, INSPECT AND MAINTAIN, AND REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE DRAWINGS AND AS REQUIRED TO MINIMIZE THE EROSION AND UNDESIRABLE TRANSPORT OF SOIL FROM THE SITE.
- QUALITY ASSURANCE
 - GENERAL
INSTALL AND MAINTAIN IN COMPLIANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
 - RETAIN A COPY OF THE PROJECT'S NOTICE ON INTENT (NOI), A BRIEF DESCRIPTION OF THE PROJECT, POSTED IN A PROMINENT PLACE FOR PUBLIC VIEWING, AND A COPY OF THE PROJECT'S STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AT THE CONSTRUCTION SITE FROM THE DATE OF INITIATION OF CONSTRUCTION ACTIVITIES TO THE DATE OF THE NOTICE OF TERMINATION (NOT) SUBMISSION.
 - INSTALL IN ACCORDANCE WITH THE DRAWINGS OR NEW YORK STANDARDS AND SPECIFICATIONS FOR SOIL EROSION & SEDIMENT CONTROL, AUGUST 2005 (N.Y. GUIDELINES) OR THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MANUAL SERIES, WESTCHESTER COUNTY, NY, 1991 (W.C. GUIDELINES), WHICHEVER IS STRICTER.
 - GRADE AND MAINTAIN SITE AT ALL TIMES SUCH THAT ALL STORM WASTE RUNOFF FROM DISTURBED AREAS IS DIVERTED TO SOIL EROSION AND SEDIMENTATION CONTROL FACILITIES.
 - NO CHANGES TO THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE MADE WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
 - NO MORE THAN 5 ACRES OF SOIL, NOT PROTECTED BY EROSION AND SEDIMENTATION CONTROL MEASURES, CAN BE DISTURBED AT ANY TIME.
 - THE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS RELATING TO THE PREVENTION AND ABATEMENT OF POLLUTION.
- PRODUCT DATA: SUBMIT MANUFACTURER'S CATALOGUE CUTS, SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR SILT FENCES, FILTER FABRICS, EROSION CONTROL BLANKETS, TRASH RACKS, ANTI-SLEEP COLLARS, AND SEDIMENT BASIN RISER AND BARREL PIPES.
- WORK SCHEDULE
 - PRECONSTRUCTION PHASE:
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 - PRIOR TO CLEARING VEGETATION IN WATERSHED, INSTALL PERIMETER SILT FENCE/HAY BALES AND SILT FENCE.
 - PRIOR TO GRUBBING AND GRADING WITHIN A SPECIFIC WATER SHED INSTALL:
 - TEMPORARY SEDIMENT BASINS, AND
 - TEMPORARY EARTH DIKES/SWALES
 - CONSTRUCTION PHASE:
 - INSPECT AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES UNTIL THEIR REMOVAL AS SPECIFIED. INSPECT MEASURES AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A 0.5 INCH OR GREATER STORM EVENT. STABILIZED AREAS WILL BE INSPECTED MONTHLY UNTIL THE ENTIRE SITE IS STABILIZED. MAINTENANCE WILL BE COMPLETED WITHIN 7 CALENDAR DAYS OF DETERMINING ITS NEED.
 - WHEN EXCESS SOIL FROM EARTHWORK ACTIVITIES OCCURS, CONSTRUCT AND STABILIZE SOIL STOCKPILES.
 - PROVIDE DUST CONTROL.
 - KEEP PAVED ROADWAYS CLEAN AT ALL TIMES.
 - TEMPORARILY STABILIZE AS SPECIFIED.
 - FOLLOWING FINISH GRADING, INSTALL TEMPORARY OR PERMANENT STABILIZATION.
 - IMMEDIATELY FOLLOWING THE INSTALLATION OF CATCH BASIN INLETS INSTALL INLET PROTECTION.
 - POST CONSTRUCTION PHASE:
 - STABILIZE WATERSHED AND HAVE OWNER'S REPRESENTATIVE REVIEW AND APPROVE.
 - REMOVE TEMPORARY EARTH DIKES AND VEGETATE AND PERMANENTLY STABILIZE THE RELATED DISTURBED AREAS.
 - REMOVE SEDIMENT BASINS AND VEGETATE AND PERMANENTLY STABILIZE THE RELATED DISTURBED AREA.
 - HAVE OWNER'S REPRESENTATIVE REVIEW AND APPROVE STABILIZATION OF AREAS NOTED ABOVE.
 - REMOVE PERIMETER SILT FENCE AND VEGETATE AND STABILIZE THE RELATED DISTURBED AREA.
 - ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- PRODUCTS AND EXECUTION
 - SEDIMENT BASINS: ALL PIPE CONNECTIONS AND ANTI-SLEEP COLLAR CONNECTIONS SHALL BE WATERTIGHT EXCEPT FOR THE RISER TOP INLET OPENING AND DEWATERING HOLES. EMBANKMENT MATERIAL SHALL BE TAKEN FROM APPROVED AREAS AS DIRECTED BY OWNER'S REPRESENTATIVE. IT SHALL BE CLEAN MINERAL SOIL FREE OF ROOTS, WOODY VEGETATION, OVERSIZED STONES, ROCKS, OR OTHER OBJECTIONABLE MATERIAL. RELATIVELY PERVIOUS MATERIAL SUCH AS SAND OR GRAVEL SHALL NOT BE PLACED IN THE EMBANKMENT. AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT WATER TO BE FORMED BY HAND INTO A BALL WITHOUT CRUMBLING. IF WATER CAN BE SQUEEZED OUT OF THE BALL THE MATERIALS IS TOO WET FOR PROPER COMPACTION AND UNACCEPTABLE FOR USE IN THE EMBANKMENT. FILL MATERIAL SHALL BE PLACED IN SIX INCH TO EIGHT INCH THICK CONTINUOUS LAYERS OVER THE ENTIRE LENGTH OF THE FILL. COMPACTION SHALL BE OBTAINED BY ROUTING AND HAULLING THE CONSTRUCTION EQUIPMENT OVER THE FILL SO THAT THE ENTIRE SURFACE OF EACH LAYER OF THE FILL IS TRAVERSED BY AT LEAST ONE WHEEL OR TREAD TRACK OF THE EQUIPMENT OR BY THE USE OF A COMPACTOR. THE EMBANKMENT SHALL BE CONSTRUCTED TO AN ELEVATION TEN PERCENT HIGHER THAN THE DESIGN HEIGHT TO ALLOW FOR SETTLEMENT.
 - INLET PROTECTION: THE FILTER FABRIC SHALL BE MIRAFI 700X OR EQUAL.
 - EARTH DIKES: COMPACT DIKES WITH EARTH MOVING EQUIPMENT. EROSION CONTROL BLANKETS SHALL BE BONTERRA CS2 OR EQUAL.
 - STABILIZED CONSTRUCTION ENTRANCE: THE FILTER FABRIC SHALL BE MIRAFI 800X OR EQUAL. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
 - SILT FENCE: SILT FENCE FABRIC SHALL BE MIRAFI 100X OR EQUAL. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD, A MINIMUM 36 INCHES LONG AND TWO INCHES SQUARE. METAL POSTS SHALL BE STANDARD T AND U SECTION WEIGHING NOT LESS THAN ONE POUND PER LINEAR FOOT. WIRE FENCE BACKING SHALL BE A MINIMUM 14-1/2 GAGE WITH A MAXIMUM SIX INCH MESH OPENING AND SECURELY ATTACHED TO FENCE POSTS. POSTS SHALL EXTEND A MINIMUM OF 16 INCHES INTO THE GROUND.
 - HAY BALE BARRIERS: WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD, A MINIMUM 36 INCHES LONG. METAL POSTS SHALL BE STANDARD T AND U SECTION WEIGHING NOT LESS THAN ONE POUND PER LINEAR FOOT.
 - TEMPORARY STABILIZATION:
 - ESTABLISHMENT OF TEMPORARY GRASS COVER: PREPARE SEED BED; SCARIFY IF COMPACTED, REMOVE DEBRIS AND OBSTACLES SUCH AS ROCKS AND STUMPS, AND SEED WITHIN 24 HOURS. AMEND SOIL TO pH OF 6.0 AND FERTILIZE AT A RATE OF 14 LBS. PER 1,000 SQUARE FEET WITH A 5-10-10 (N-P-K) EQUIVALENT FERTILIZER. WORK AMENDMENTS A MINIMUM OF 4 INCHES INTO SOIL. IF SEEDING IN OCTOBER/NOVEMBER SEED SHALL BE CERTIFIED ARROSTOCK WINTER RYE @ 100 LBS. PER ACRE. OTHERWISE SEED SHALL BE RYEGRASS (ANNUAL OR PERENNIAL) @ 30 LBS. PER ACRE.
 - MULCH: SMALL GRAIN STRAW MULCH SHALL BE APPLIED AT A RATE OF TWO TONS (100 TO 120 BALES) PER ACRE. SLOPES GREATER THAN 50% SHALL BE IMMEDIATELY MULCHED WITH EROSION CONTROL BLANKETS. BLANKETS SHALL BE BONTERRA S2 INSTALLED AS RECOMMENDED BY MANUFACTURER.
 - TREAT ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING AS NECESSARY TO PROVIDE DUST CONTROL. CONFORM TO ALL LOCAL AND STATE REGULATIONS GOVERNING THESE ACTIVITIES.
 - INSTALL TEMPORARY STABILIZATION WITHIN 24 HOURS AFTER THE END OF CONSTRUCTION ACTIVITIES IN AN AREA UNLESS THERE IS SNOW COVER OR CONSTRUCTION ACTIVITIES WILL RESUME WITHIN 21 DAYS.
 - CONSTRUCTION VEHICLES: THOROUGHLY WASH DOWN ALL CONSTRUCTION VEHICLES EACH TIME THEY LEAVE THE SITE AND COVER WITH TARPALINS AS NECESSARY TO PREVENT VEHICLE TRANSPORT OF SEDIMENT OFF-SITE. DIRECT WASTEWATER FROM WASH DOWN OPERATIONS TO A SEDIMENT BASIN.
- THE VILLAGE MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION ON OF DISTURBED SOILS.

APPROXIMATE LIMIT OF DISTURBANCE	
AREA NO.	AREA (SF)
LOD-1	3,257
LOD-2	1,933
LOD-3	518
TOTAL (SF)	5,708
TOTAL (AC)	0.13

LEGEND

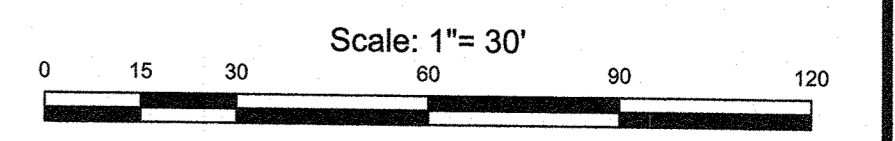
- PROPERTY LINE
- STABILIZED CONSTRUCTION ENTRANCE
- APPROX. LIMITS OF DISTURBANCE (0.08 AC)
- SEDIMENT FENCE FENCE
- SOIL TYPE BOUNDARY LINE
- DROP INLET PROTECTION
- Ux Urban land
- Ad Alden silt loam
- ReB Riverhead fine sandy loam, 3 to 8 percent slopes
- Us Udorthents, smoothed

- NOTES:
- EXISTING STORMWATER FLOW PATHS SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
 - ALL INLETS SHALL RECEIVE INLET PROTECTION MEASURES IN AND ADJACENT TO WORK AREAS. ALL LOCATIONS MAY NOT SHOW ON THIS PLAN.
 - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.

- CONSTRUCTION SEQUENCE:
- OBTAIN ALL PERMITS
 - PRE-CONSTRUCTION MEETING
 - NOTIFY MUNICIPALITY AND REGULATORY AGENCIES OF THE START OF CONSTRUCTION
 - INSTALL ALL SOIL EROSION CONTROL MEASURES (INLET PROTECTION, SILT FENCE, HAYBALES, ETC)
 - GENERAL DEMOLITION AND REMOVAL
 - UTILITY TRENCHING AND INSTALLATION
 - CONCRETE FLOWWORK
 - PAVING AND STRIPING
 - REMOVE SOIL EROSION CONTROL MEASURES

REFERENCE:
EXIST CONDITIONS & BOUNDARY ARE TAKEN FROM AS-BUILT SURVEY 800 BRADLEY HILL ROAD - BUILDING #4 PREPARED BY CONTROL POINT ASSOCIATES, INC. SEPTEMBER 26, 2022.

NOT FOR CONSTRUCTION



SESI ENGINEERS

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Geotechnical | Environmental | Site Civil
959 route 46e, 3rd floor, paraisippany, nj 07054 ph: 973-808-9050

FRANZ W. LAKI, P.E.
PROFESSIONAL ENGINEER
N.Y. LIC. NO. 96772

SOIL EROSION AND SEDIMENT CONTROL PLAN

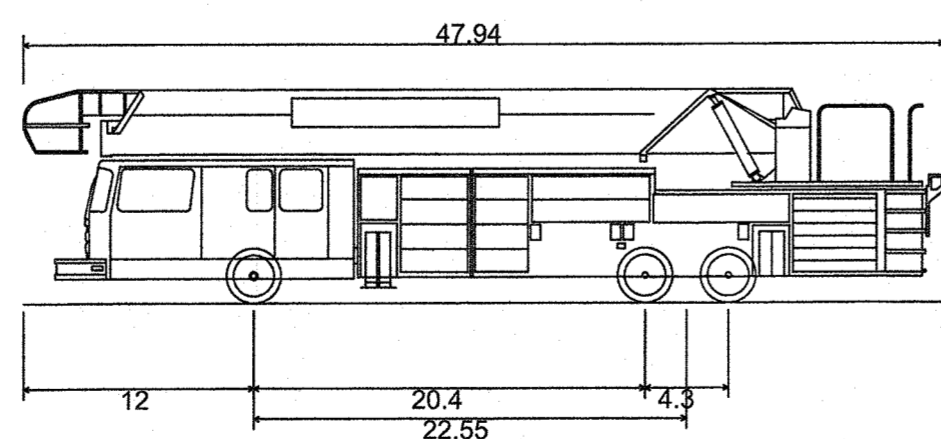
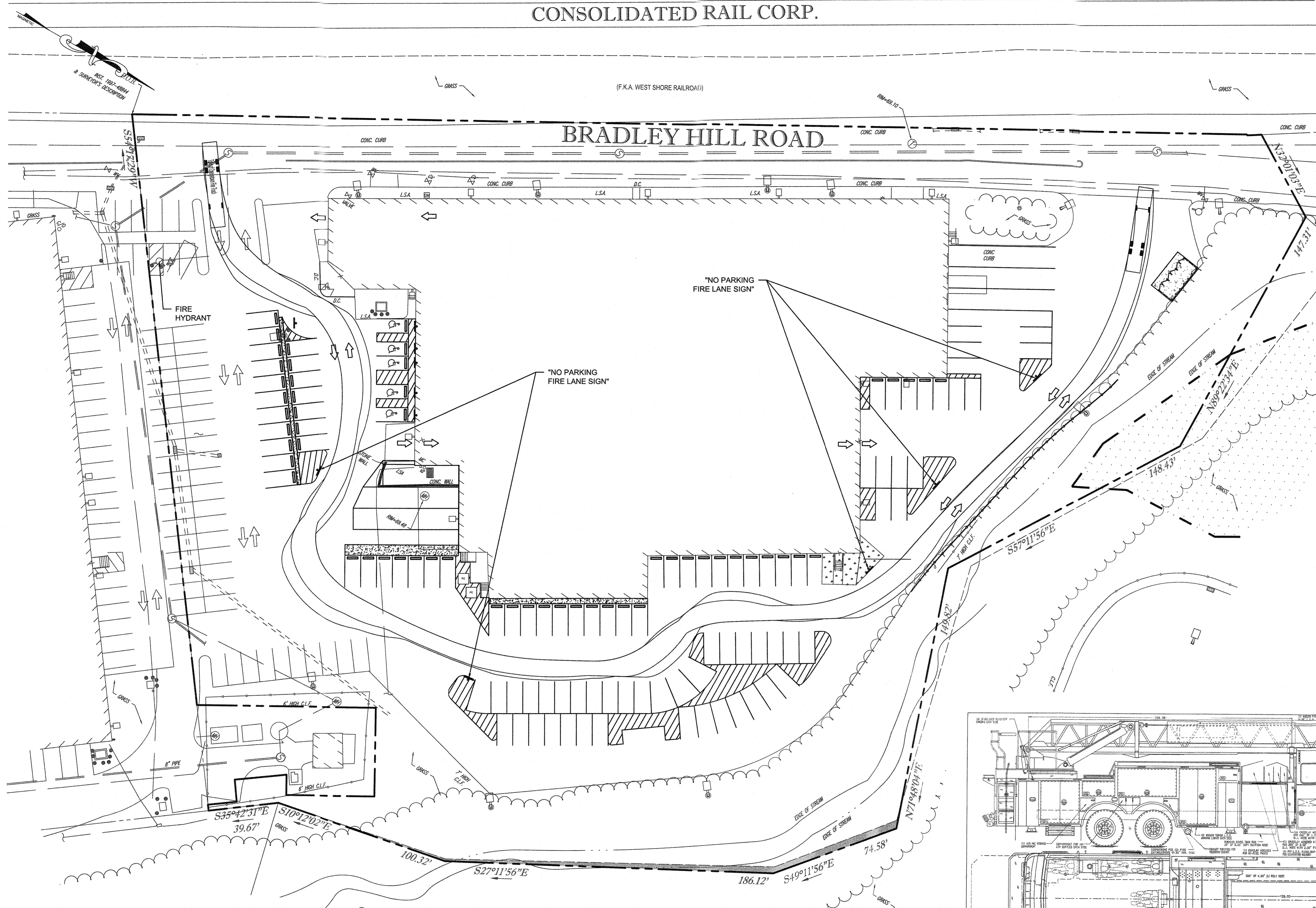
job no. 12761
drawing no. SE-1

dwg by: APG
chk by: FL
scale: AS NOTED
date: 3/31/2023

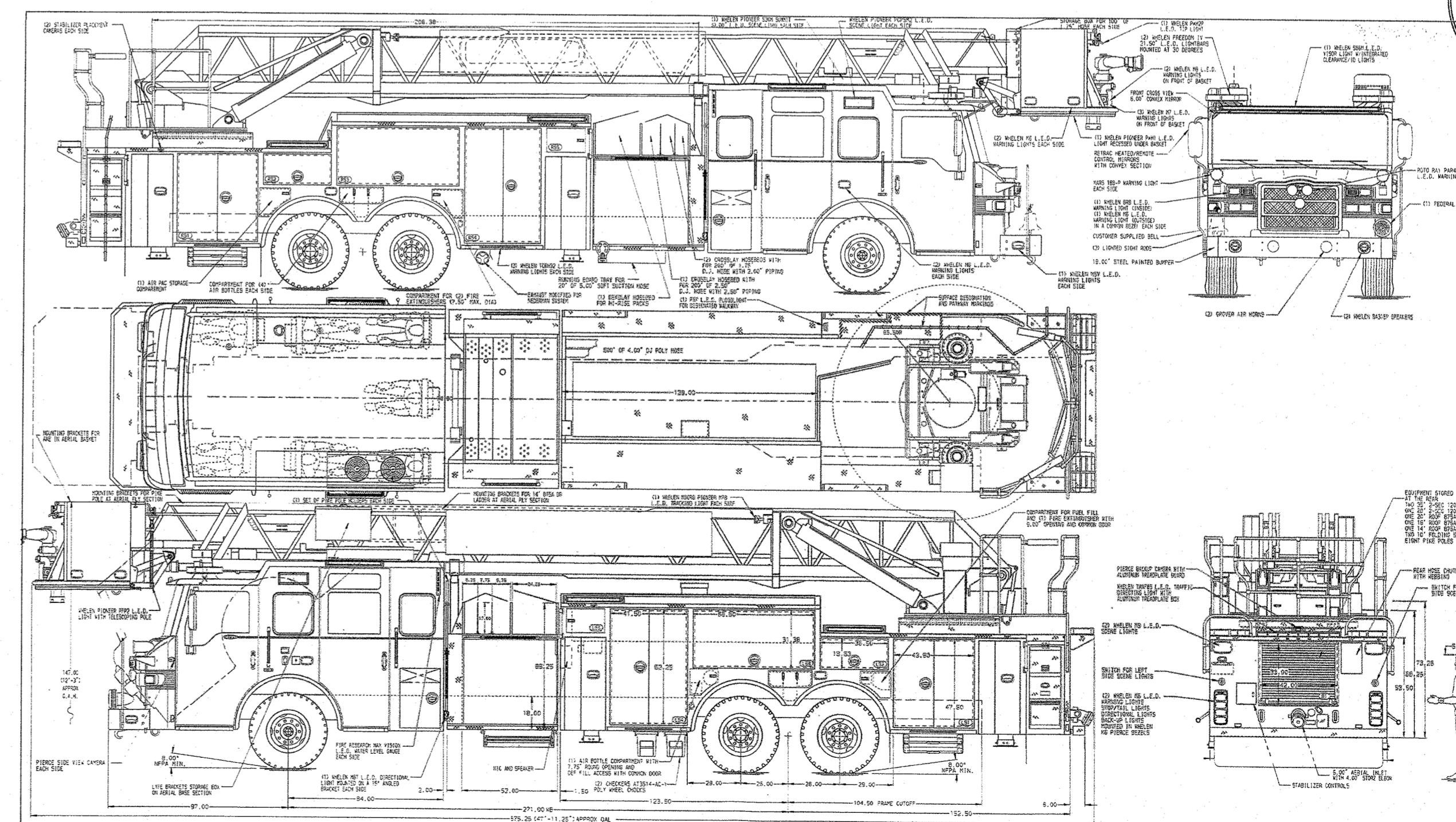
CONSOLIDATED RAIL CORP.

(F.K.A. WEST SHORE RAILROAD)

BRADLEY HILL ROAD

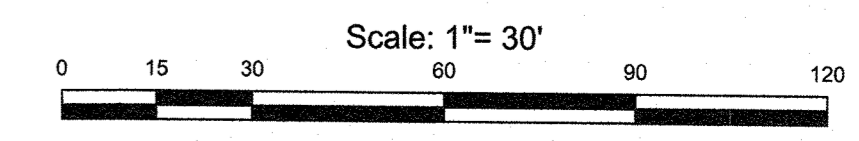


Town of Orangetown Fire Truck
 Overall Length 47.940ft
 Overall Width 8.167ft
 Overall Body Height 11.101ft
 Min Body Ground Clearance 0.822ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



REFERENCE:
 EXIST CONDITIONS & BOUNDARY ARE TAKEN FROM AS-BUILT SURVEY 800
 BRADLEY HILL ROAD - BUILDING #4 PREPARED BY CONTROL POINT
 ASSOCIATES, INC. SEPTEMBER 26, 2022.

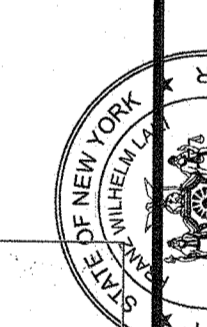
NOT FOR CONSTRUCTION



rev	date	description

dwg by: APG
 clk by: FL
 scale: AS NOTED
 date: 3/31/2023

Cent of Auth #24GA27934700
SESI CONSULTING ENGINEERS
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 959 route 46a, 3rd floor, Parsippany, NJ 07054 ph: 973.808.9050



FRANZ W. LAKI, P.E.
 PROFESSIONAL ENGINEER
 N.Y. LIC. NO. 98772

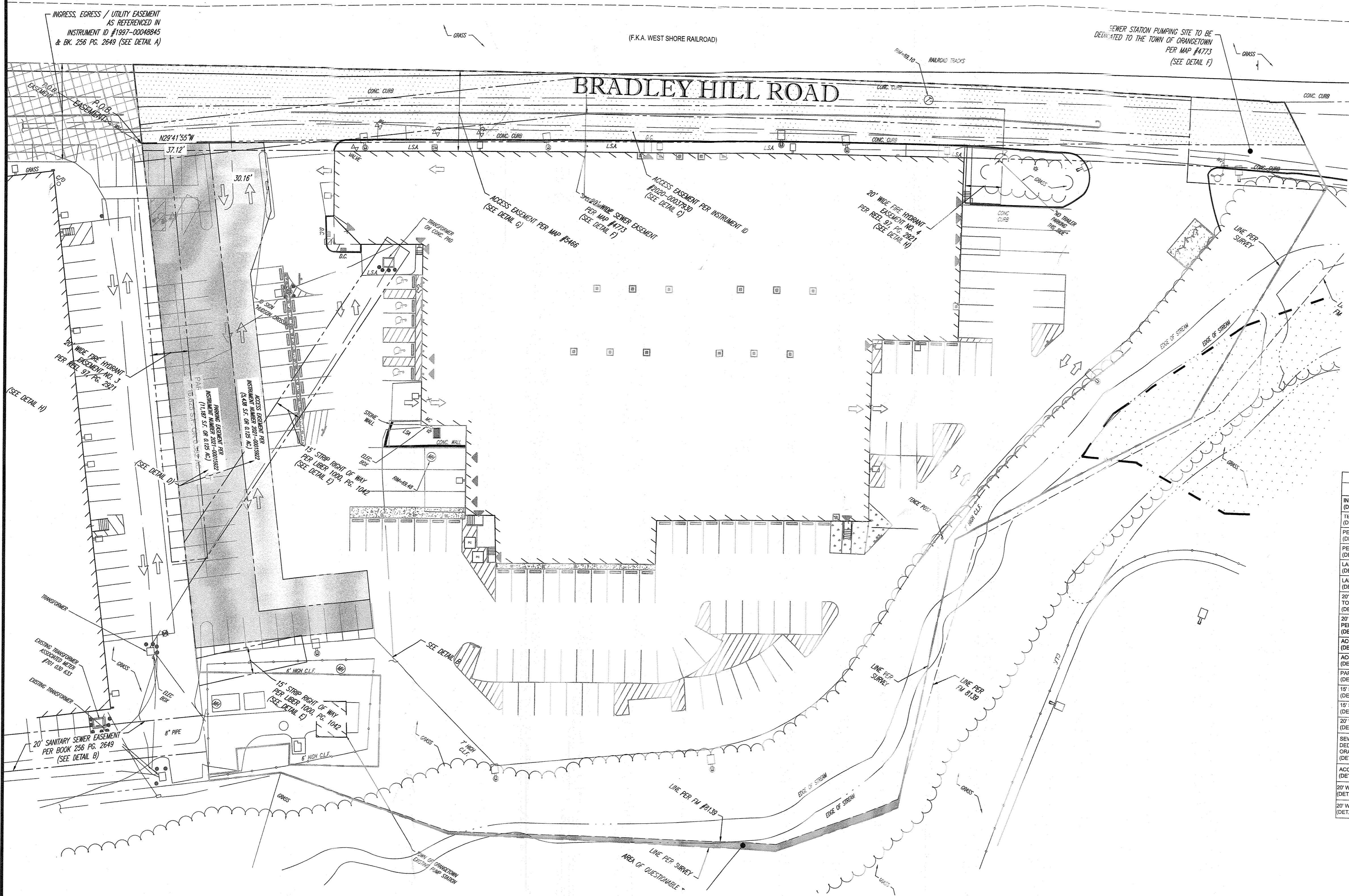
SITE PLAN FOR VEHICLE
 PROPOSITION SERVICE CENTER
 800 BRADLEY HILL ROAD
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY
 EMERGENCY VEHICLE
 CIRCULATION PLAN

job no. 12761
 drawing no.

FD-1

CONSOLIDATED RAIL CORP.

BRADLEY HILL ROAD



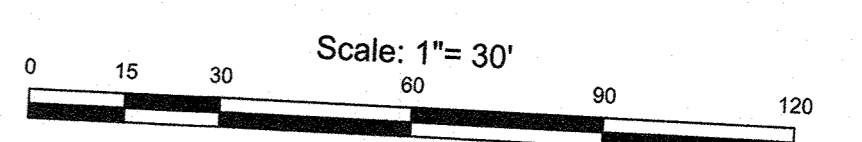
- NOTES:
- PROPERTY KNOWN AS LOT 3, BLOCK 1, SECTION 65.18, AS SHOWN ON THE OFFICIAL TAX ASSESSOR'S MAP OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK.
 - AREA = 218,337 S.F. OR 4.783 AC. (INCLUDES AREAS WHICH MAY HAVE BEEN CONVEYED TO TOWN OF ORANGETOWN FOR SEWER PURPOSES, TO BE UPDATED UPON RECEIPT OF A CURRENT COMMITMENT TO INSURE TITLE)
 - ABOVE GROUND UTILITY STRUCTURES, WHERE VISIBLE, SHOWN HEREON, BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
 - THIS PLAN IS BASED ON DATA ACQUIRED BY A FIELD SURVEY PREPARED BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD ZONE X (OTHER AREAS) (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), AND IN FLOOD HAZARD ZONE X (OTHER FLOOD AREAS) (AREAS OF 0.2% ANNUAL CHANCE FLOOD); AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), PER REF. #2.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - PLANIMETRIC FEATURES COMPILED BY CONTROL POINT ASSOCIATES, INC. UTILIZING CONVENTIONAL GROUND SURVEYING TECHNIQUES COUPLED WITH PHOTOGRAMMETRIC METHODS FROM UAV PHOTOGRAPHY. UAV PHOTOGRAPHY PERFORMED BY CONTROL POINT ASSOCIATES, INC. ON FEBRUARY 22, 2019 WITH A PHOTO SCALE OF 1.7cm GSD.
 - PHOTOGRAMMETRIC MAPPING HAS BEEN COMPILED IN ACCORDANCE WITH PROCEDURES THAT HAVE BEEN DEMONSTRATED TO COMPLY WITH THE AMERICAN SOCIETY FOR PHOTOGRAMMETRY AND REMOTE SENSING (ASPRS) CLASS 1 STANDARD FOR A HORIZONTAL MAPPING SCALE OF 1"=30'. FEATURES ARE LIMITED TO THOSE VISIBLE AT TIME OF THE PHOTOGRAPHY AND ARE SUBJECT TO FIELD VERIFICATION BY THE END USER.

- REFERENCES:
- THE OFFICIAL TAX ASSESSOR'S MAP OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK, SHEET #65.18.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, FOR ROCKLAND COUNTY, NEW YORK (ALL JURISDICTIONS), PANEL 179 OF 207, MAP SUFFIX G, MAP NUMBER 38087C01179G, EFFECTIVE DATE: MARCH 3, 2014.
 - MAP ENTITLED "ALTAIACSM LAND TITLE SURVEY FOR PONTIAC HOLDING LLC, 800 BRADLEY HILL ROAD, RAHNFIELD, P.L.S., DATED NOVEMBER 24, 2014.
 - MAP ENTITLED "BRADLEY INDUSTRIAL PARK, SUBDIVISION OF PROPERTY FOR ROCK-ART ASSOCIATES IN NO. 4773 IN THE ROCKLAND COUNTY CLERK'S OFFICE.
 - MAP ENTITLED "AMENDMENT TO MAP NO. 4773, BOOK 60, PAGE 55, BRADLEY INDUSTRIAL PARK, FILED MARCH 21, 1983, AS MAP NO. 5466 IN THE ROCKLAND COUNTY CLERK'S OFFICE.
 - MAP ENTITLED "BRADLEY SUBDIVISION, BEING PART OF LOT 10, BLOCK 841, SECTION 101, TOWN OF ORANGETOWN, N.Y. TAX MAPS", FILED MARCH 3, 1987, AS MAP NO. 6014 IN THE ROCKLAND COUNTY CLERK'S OFFICE.
 - MAP ENTITLED "FINAL SUBDIVISION PLAT, 622 ROUTE 303, TOWN OF ORANGETOWN, NEW YORK", FILED APRIL 28, 2011, AS MAP NO. 8139 IN THE ROCKLAND COUNTY CLERK'S OFFICE.
 - MAP ENTITLED "CONRAIL, RIGHT OF WAY, FORMERLY, NEW YORK CENTRAL RAILROAD - WEST SHORE, CSX - RIVER LINE" FILENAME 141302300, DATED OCTOBER 10, 1994.
 - MAP ENTITLED "ALTAIACSM LAND TITLE SURVEY, ONYX ACQUISITION, LLC, SECTION 65.18, BLOCK 1, LOT 3, 800, BRADLEY HILL ROAD - "BUILDING #4" HAMLET OF BLAUVELT, TOWN OF ORANGETOWN, ROCKLAND COUNTY, JULY 02, 2020 AS REVISION #10.
 - MAP ENTITLED "SANITARY SEWERS IN VICINITY OF 700-800 BRADLEY HILL RD" PROVIDED BY ONYX EQUITIES ON 02-11-2021.

EASEMENT NAME	FILING INFORMATION	EASEMENT GRANTEE
INGRESS, EGRESS / UTILITY EASEMENT (DETAIL A)	INSTRUMENT ID #1987-00048845 & BK 256 PG. 2649	PONTIAC HOLDING, LLC
TEMPORARY EASEMENT (DETAIL B)	INSTRUMENT ID #2009-21830	TOWN OF ORANGETOWN
PERMANENT EASEMENT "A" (DETAIL B)	INSTRUMENT ID #2009-21830	TOWN OF ORANGETOWN
PERMANENT EASEMENT "B" (DETAIL B)	INSTRUMENT ID #2009-21830	TOWN OF ORANGETOWN
LAND ACQUISITION "A" (DETAIL B)	INSTRUMENT ID #2008-21830	TOWN OF ORANGETOWN
LAND ACQUISITION "B" (DETAIL B)	INSTRUMENT ID #2008-21830	TOWN OF ORANGETOWN
20' WIDE SANITARY SEWER EASEMENT TO THE TOWN OF ORANGETOWN (DETAIL B)	INSTRUMENT ID #2008-21830	TOWN OF ORANGETOWN
20' WIDE SANITARY SEWER EASEMENT PER INST. 03-00019723 (DETAIL B)	INSTRUMENT ID #0311-00019723	SUNCAP ORANGETOWN LLC
ACCESS EASEMENT (DETAIL C)	INSTRUMENT ID #2010-00037930	AG OE 600 BRADLEY HILL ROAD OWNER LLC
ACCESS EASEMENT (DETAIL D)	INSTRUMENT ID #2021-00019922	AG OE 700 BRADLEY HILL ROAD OWNER LLC
PARKING EASEMENT (DETAIL D)	INSTRUMENT ID #2021-00019922	AG OE 700 BRADLEY HILL ROAD OWNER LLC
15' STRIP RIGHT OF WAY-PARCEL 1 (DETAIL E)	LIBER 1000, PG. 1042	ORANGE AND ROCKLAND UTILITIES INC
15' STRIP RIGHT OF WAY-PARCEL 2 (DETAIL E)	LIBER 1000, PG. 1042	THE NEW YORK TELEPHONE COMPANY
20' WIDE SEWER EASEMENT (DETAIL F)	MAP #4773	ORANGE AND ROCKLAND UTILITIES INC THE NEW YORK TELEPHONE COMPANY
SEWER STATION PUMPING SITE DEDICATED TO THE TOWN OF ORANGETOWN (DETAIL F)	MAP #4773	THE TOWN OF ORANGETOWN
ACCESS EASEMENT (DETAIL G)	MAP #5466	
20' WIDE FIRE/IRANT EASEMENT NO 3 (DETAIL H)	REEL 97, PG 2921	SPRING VALLEY WATER COMPANY INCORPORATED
20' WIDE FIRE/IRANT EASEMENT NO 4 (DETAIL H)	REEL 97, PG 2921	SPRING VALLEY WATER COMPANY INCORPORATED

- REFERENCE:
- EXIST CONDITIONS & BOUNDARY ARE TAKEN FROM AS-BUILT SURVEY 800 BRADLEY HILL ROAD - BUILDING #4 PREPARED BY CONTROL POINT ASSOCIATES, INC. SEPTEMBER 26, 2022.
 - EASEMENT BOUNDARIES ARE TAKEN FROM EASEMENT SKETCH 800 BRADLEY HILL ROAD - BUILDING #4 PREPARED BY CONTROL POINT ASSOCIATES, INC. MAY 19, 2021

NOT FOR CONSTRUCTION



designed by:	FL
checked by:	FL
scale:	AS NOTED
date:	3/31/2023

Cent of Auth #24GAG2934700

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PROFESSIONAL ENGINEER
N.Y. LIC. NO. 98772

SITE PLAN FOR PROPOSED ELECTRIC VEHICLE SALES/DISTRIBUTION SERVICE CENTER 800 BRADLEY HILL ROAD TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY

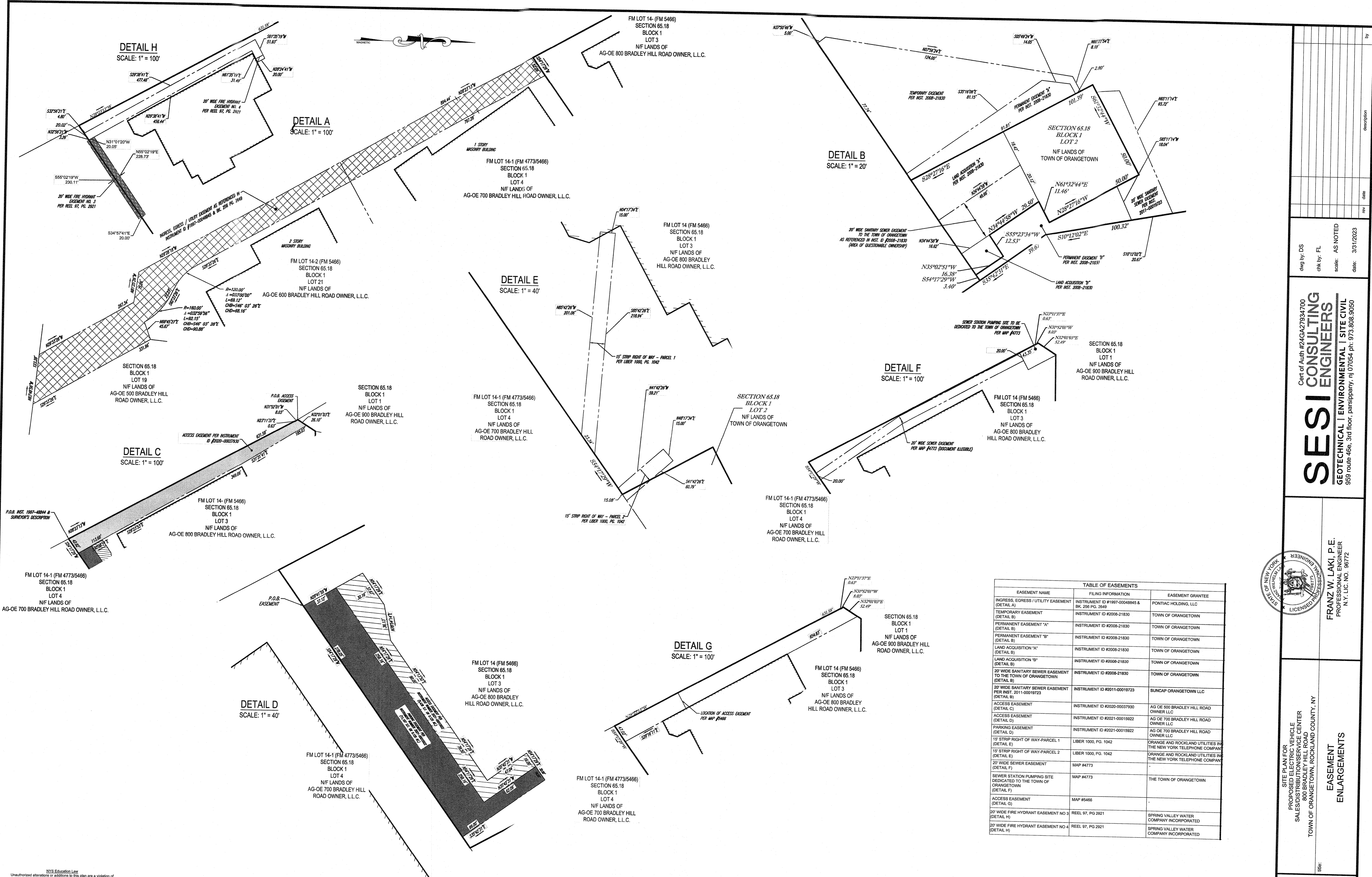
ACCESS EASEMENT PLAN

job no. 12761
drawing no.

E-1

UNPLANNED ECONOMY PLANNING 05/03/23 04:51:00M. 00001. LAYOUT 1E-1

NYS Education Law
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DETAIL H
SCALE: 1" = 100'

DETAIL A
SCALE: 1" = 100'

DETAIL B
SCALE: 1" = 20'

DETAIL C
SCALE: 1" = 40'

DETAIL F
SCALE: 1" = 100'

DETAIL C
SCALE: 1" = 100'

DETAIL G
SCALE: 1" = 100'

DETAIL D
SCALE: 1" = 40'

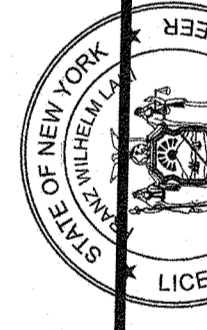
EASEMENT NAME	FILING INFORMATION	EASEMENT GRANTEE
INGRESS, EGRESS / UTILITY EASEMENT (DETAIL A)	INSTRUMENT ID #1987-0048845 & BK. 258 PG. 2649	PONTIAC HOLDING, LLC
TEMPORARY EASEMENT (DETAIL B)	INSTRUMENT ID #2008-21830	TOWN OF ORANGETOWN
PERMANENT EASEMENT "A" (DETAIL B)	INSTRUMENT ID #2008-21830	TOWN OF ORANGETOWN
PERMANENT EASEMENT "B" (DETAIL B)	INSTRUMENT ID #2008-21830	TOWN OF ORANGETOWN
LAND ACQUISITION "A" (DETAIL B)	INSTRUMENT ID #2008-21830	TOWN OF ORANGETOWN
LAND ACQUISITION "B" (DETAIL B)	INSTRUMENT ID #2008-21830	TOWN OF ORANGETOWN
20' WIDE SANITARY SEWER EASEMENT TO THE TOWN OF ORANGETOWN (DETAIL B)	INSTRUMENT ID #2008-21830	TOWN OF ORANGETOWN
20' WIDE SANITARY SEWER EASEMENT PER INST. 2011-00018723 (DETAIL B)	INSTRUMENT ID #2011-00018723	SUNCAP ORANGETOWN LLC
ACCESS EASEMENT (DETAIL C)	INSTRUMENT ID #2020-00037930	AG OE 500 BRADLEY HILL ROAD OWNER LLC
ACCESS EASEMENT (DETAIL D)	INSTRUMENT ID #2021-00019822	AG OE 700 BRADLEY HILL ROAD OWNER LLC
PARKING EASEMENT (DETAIL D)	INSTRUMENT ID #2021-00019822	AG OE 700 BRADLEY HILL ROAD OWNER LLC
15' STRIP RIGHT OF WAY-PARCEL 1 (DETAIL E)	LIBER 1000, PG. 1042	ORANGE AND ROCKLAND UTILITIES INC THE NEW YORK TELEPHONE COMPANY
15' STRIP RIGHT OF WAY-PARCEL 2 (DETAIL E)	LIBER 1000, PG. 1042	ORANGE AND ROCKLAND UTILITIES INC THE NEW YORK TELEPHONE COMPANY
20' WIDE SEWER EASEMENT (DETAIL F)	MAP #4773	-
SEWER STATION PUMPING SITE DEDICATED TO THE TOWN OF ORANGETOWN (DETAIL F)	MAP #4773	THE TOWN OF ORANGETOWN
ACCESS EASEMENT (DETAIL G)	MAP #5466	-
20' WIDE FIRE HYDRANT EASEMENT NO 3 (DETAIL H)	REEL 97, PG 2921	SPRING VALLEY WATER COMPANY INCORPORATED
20' WIDE FIRE HYDRANT EASEMENT NO 4 (DETAIL H)	REEL 97, PG 2921	SPRING VALLEY WATER COMPANY INCORPORATED

REFERENCE:
 • EASEMENT BOUNDARIES ARE TAKEN FROM EASEMENT SKETCH 800 BRADLEY HILL ROAD - BUILDING #4 PREPARED BY CONTROL POINT ASSOCIATES, INC. MAY 19, 2021.

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dwg by: DS	chk by: FL	scale: AS NOTED	date: 3/31/2023
description	date	rev	by

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FRANZ W. LAKI, P.E.
 PROFESSIONAL ENGINEER
 N.Y. LIC. NO. 10677

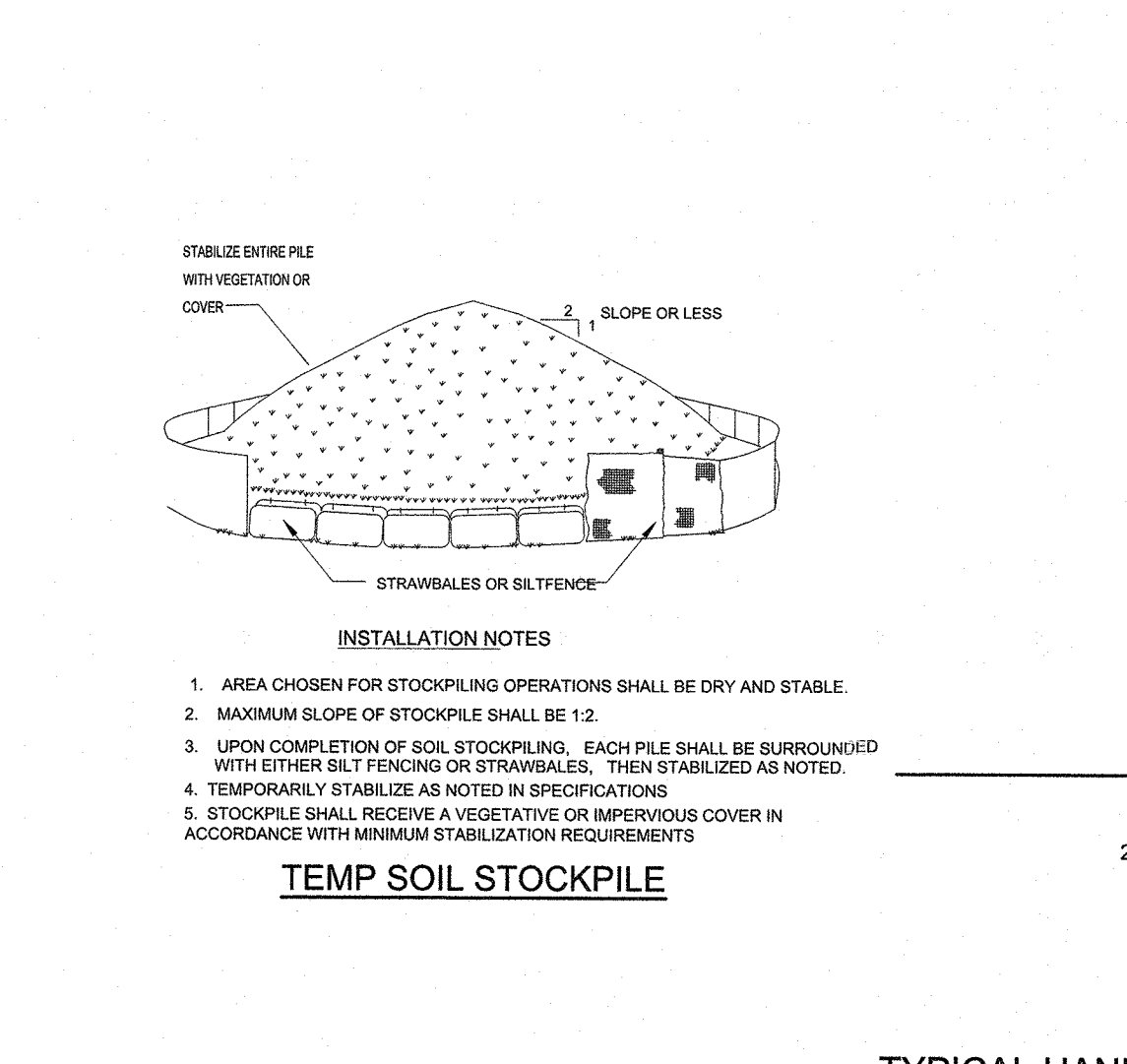
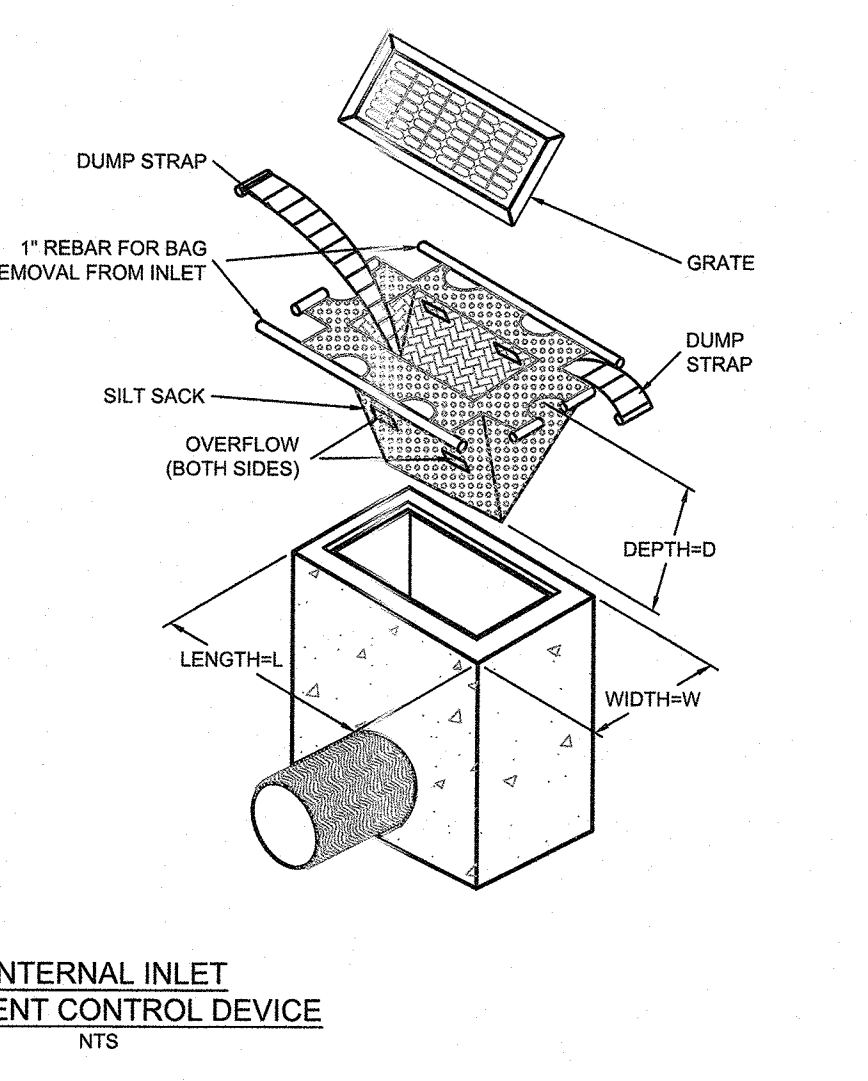
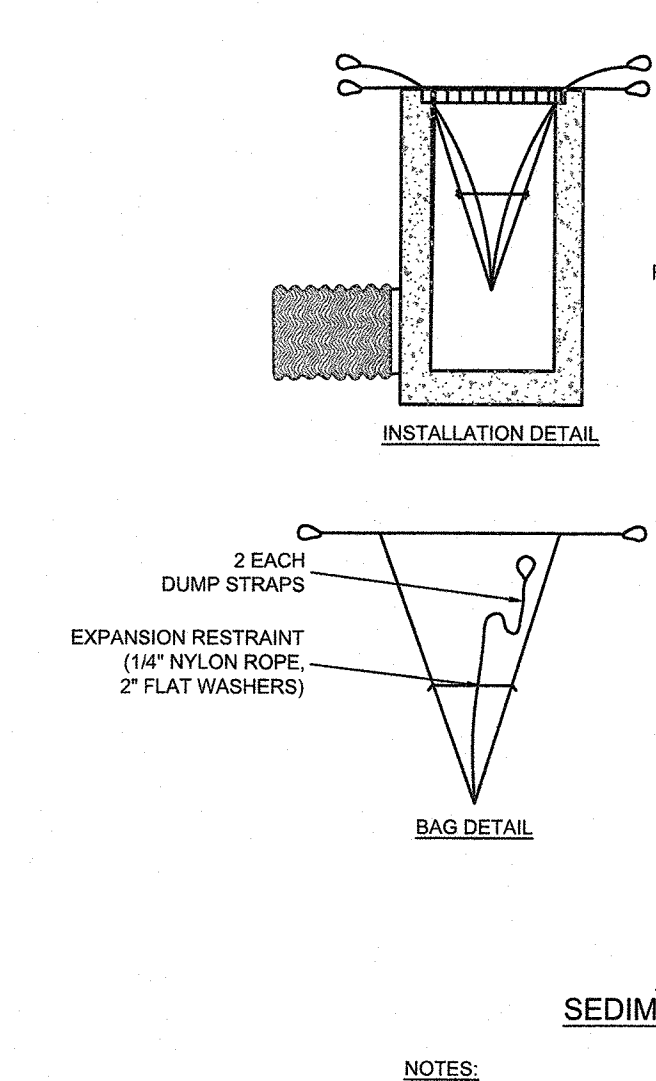
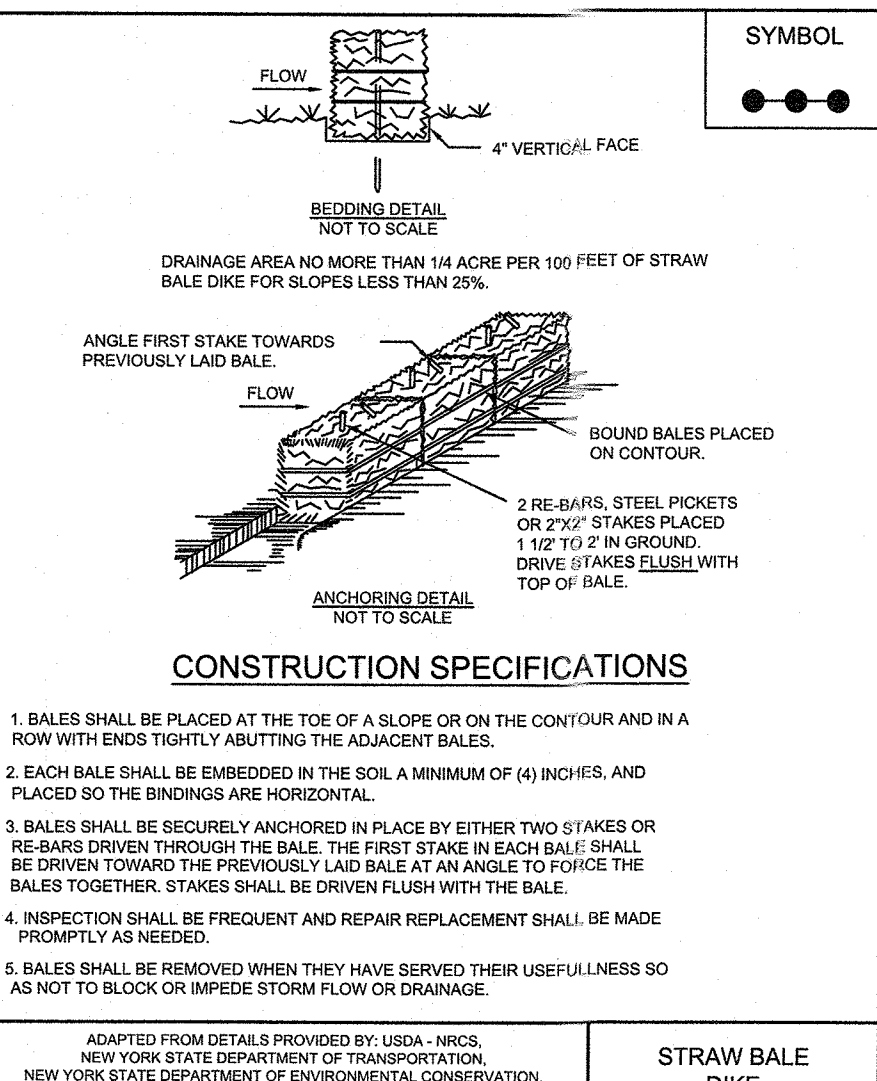
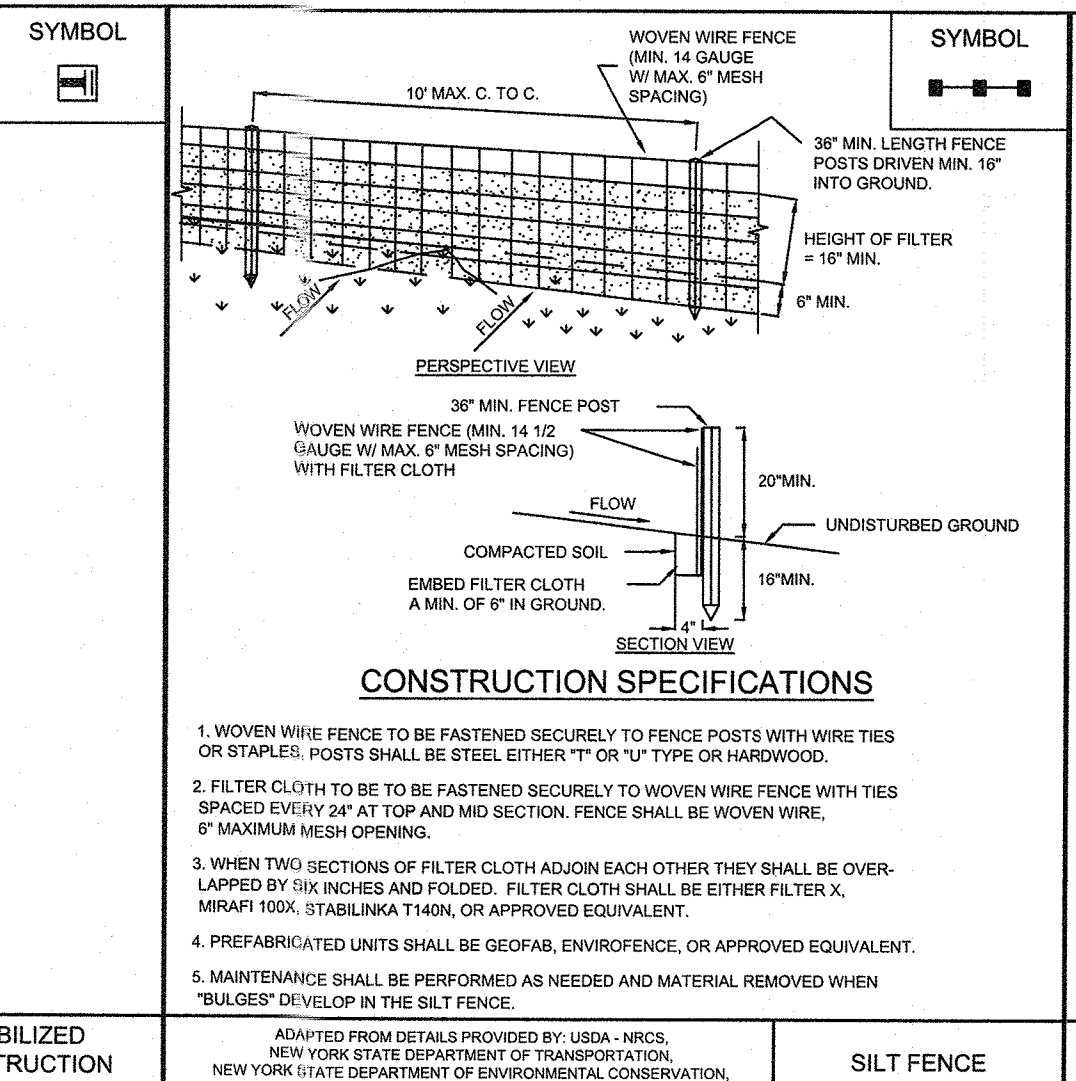
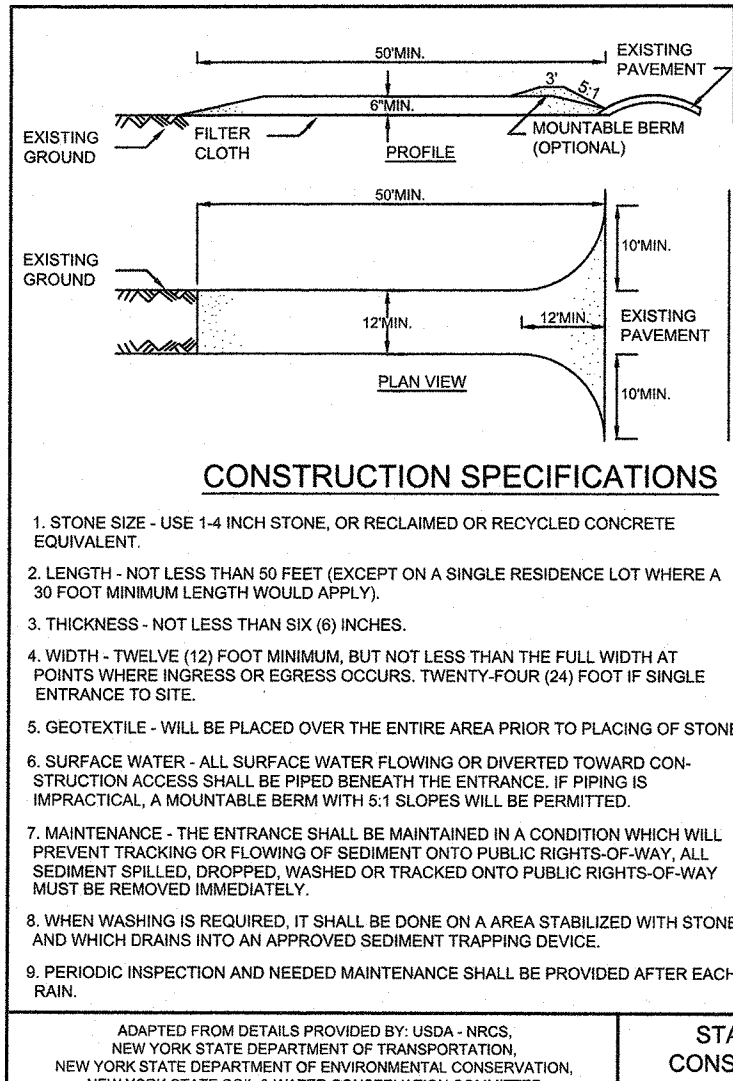
SITE PLAN FOR
 PROPOSED ELECTRIC VEHICLE
 SALES/DISTRIBUTION/SERVICE CENTER
 800 BRADLEY HILL ROAD
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY
EASEMENT ENLARGEMENTS

job no. 12761
 drawing no.

E-2

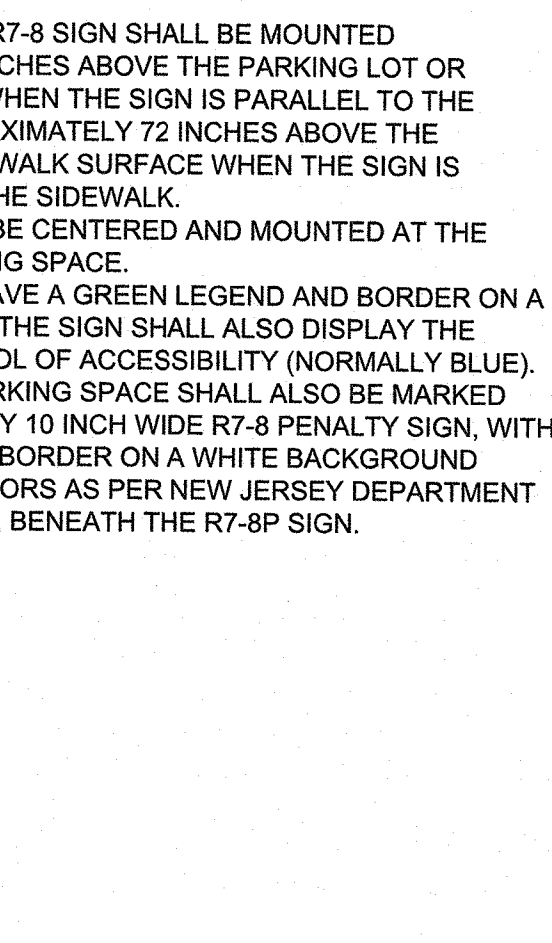
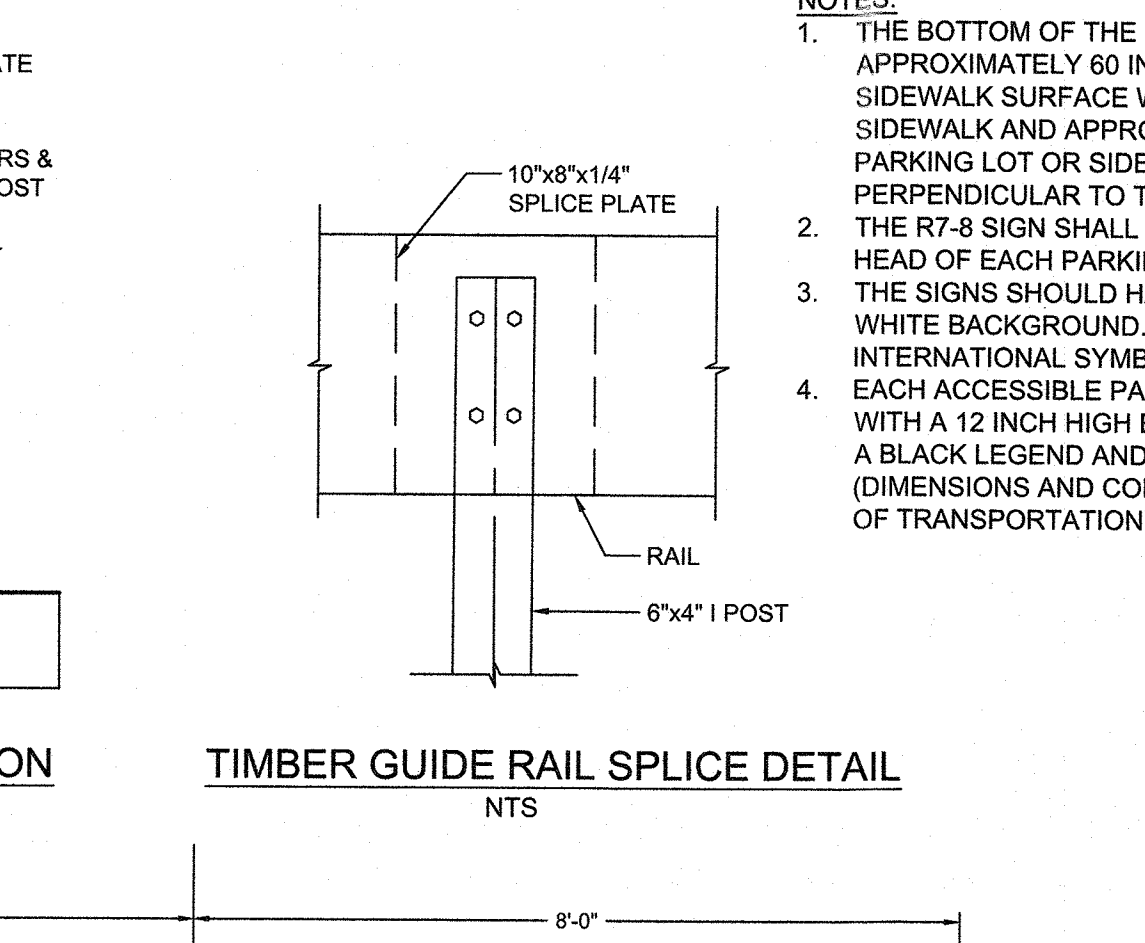
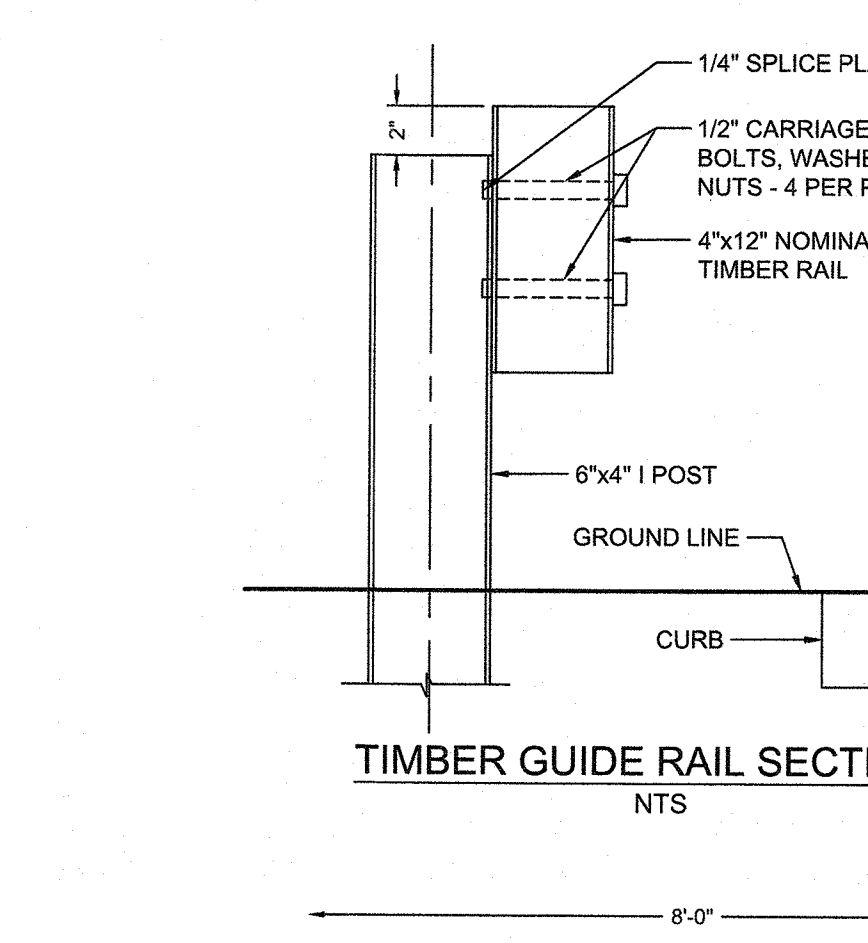
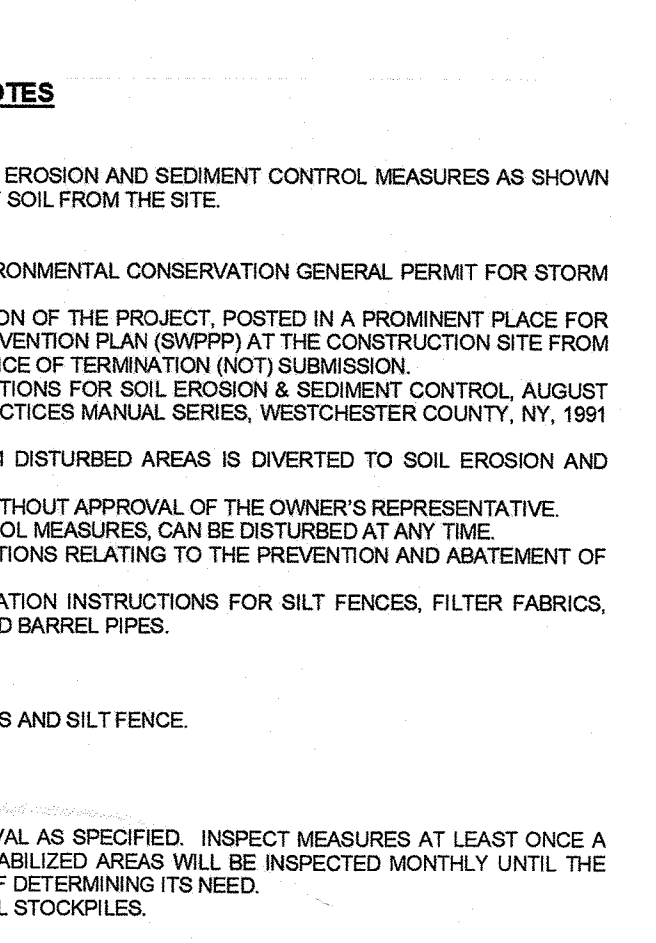
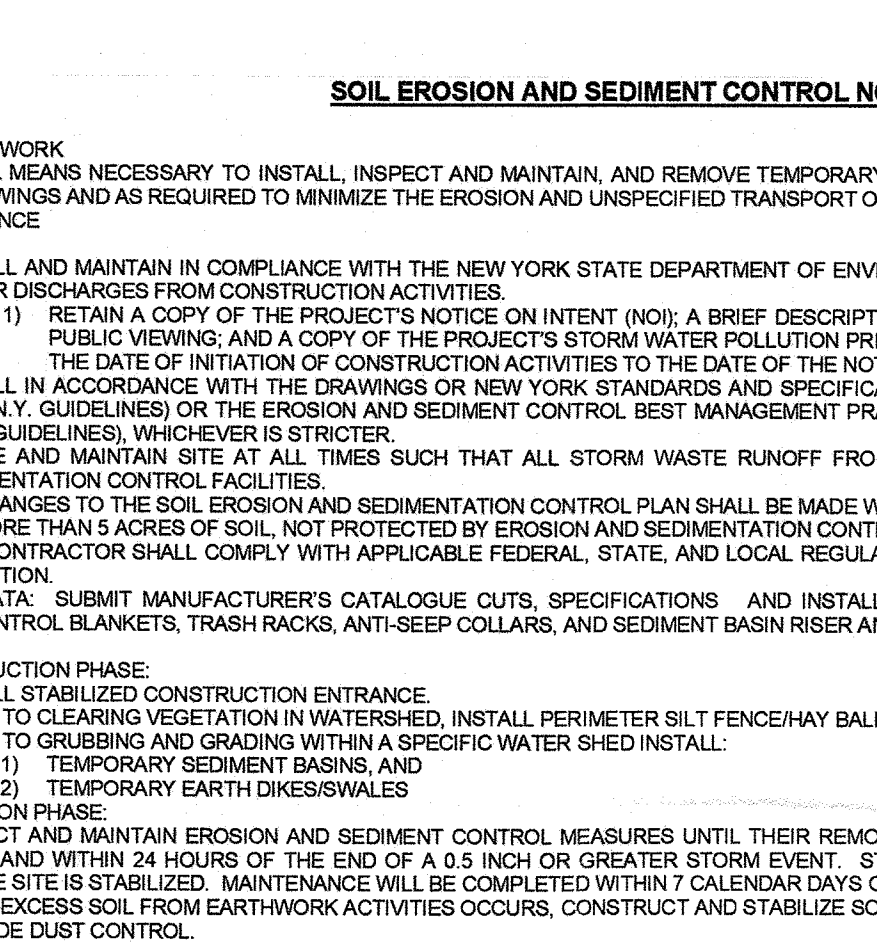
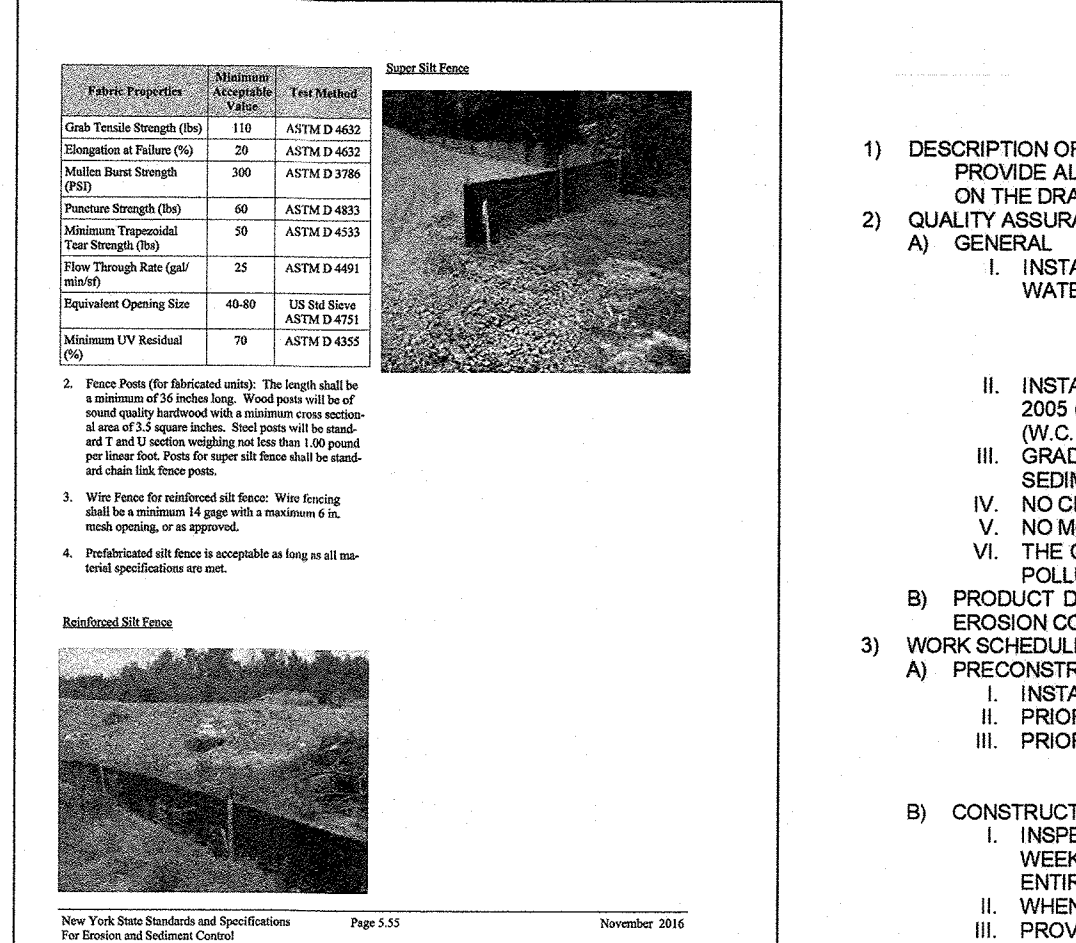
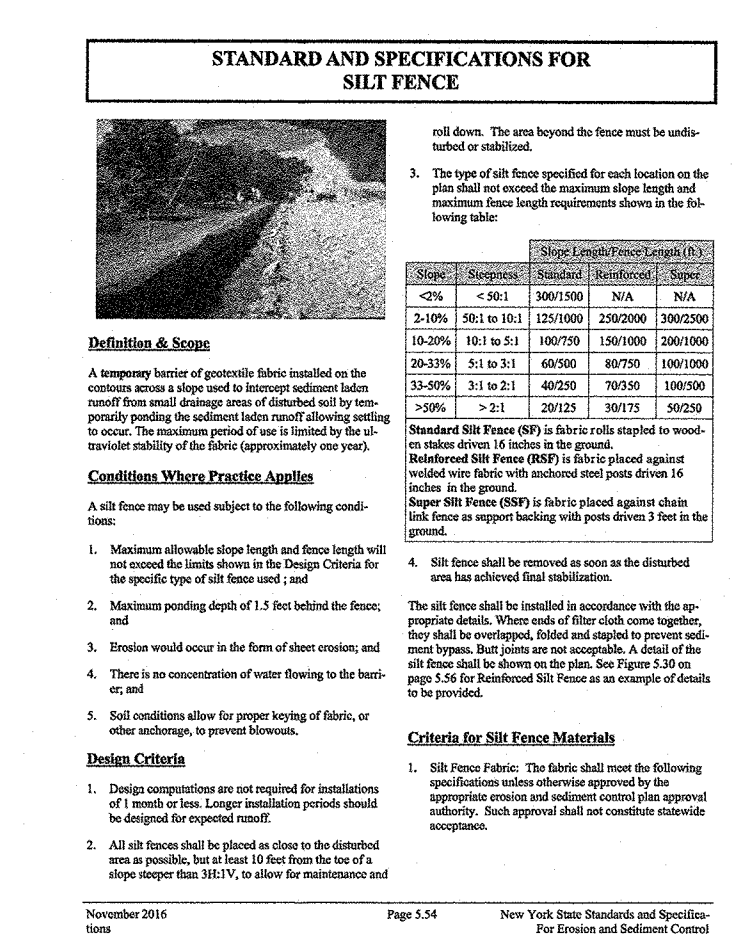
N:\AG2023\2281\CON\STATE\12291_800 BRADLEY EASEMENT PLAN.dwg 03/31/23 06:51:09am dschd LAYOUT1-C-2

NYS Education Law
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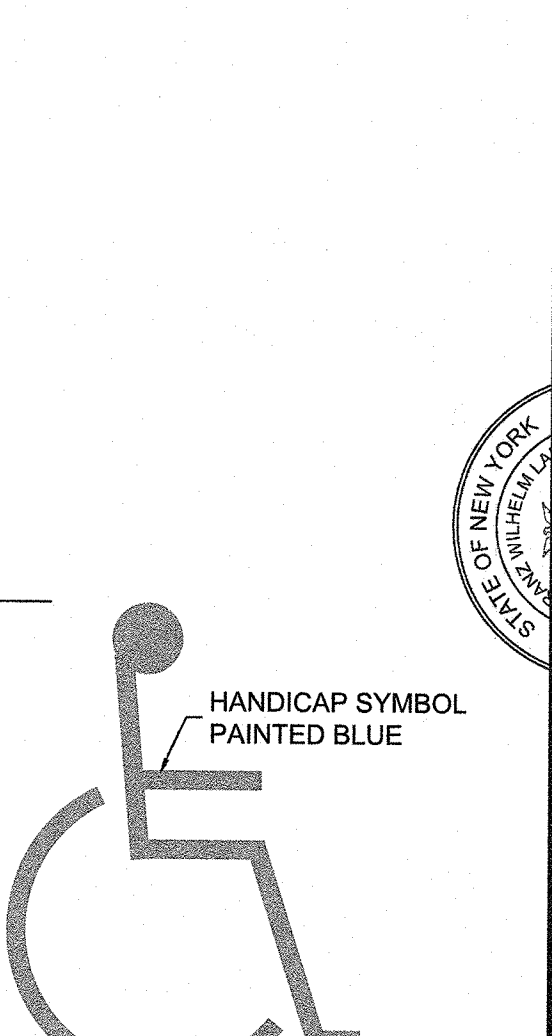
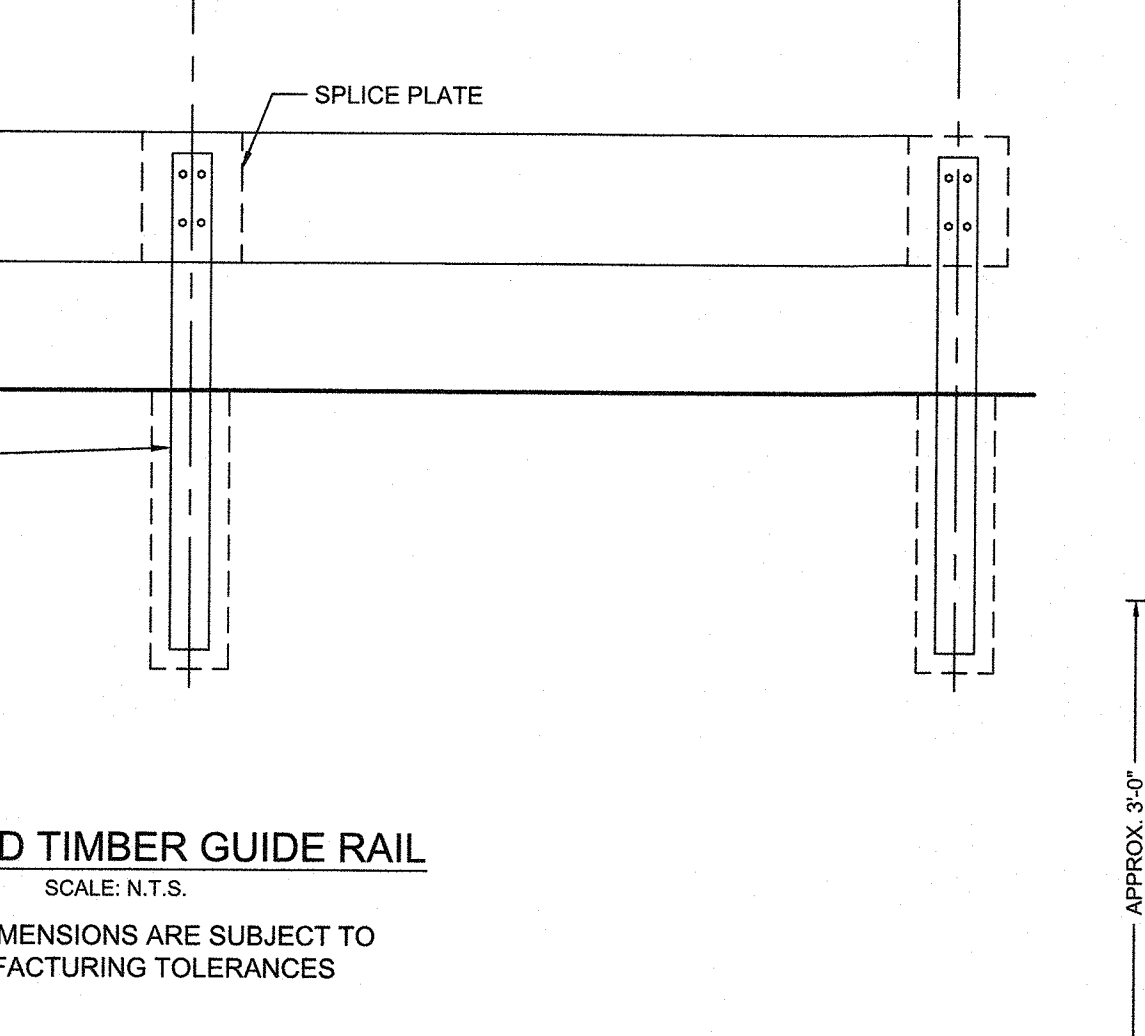
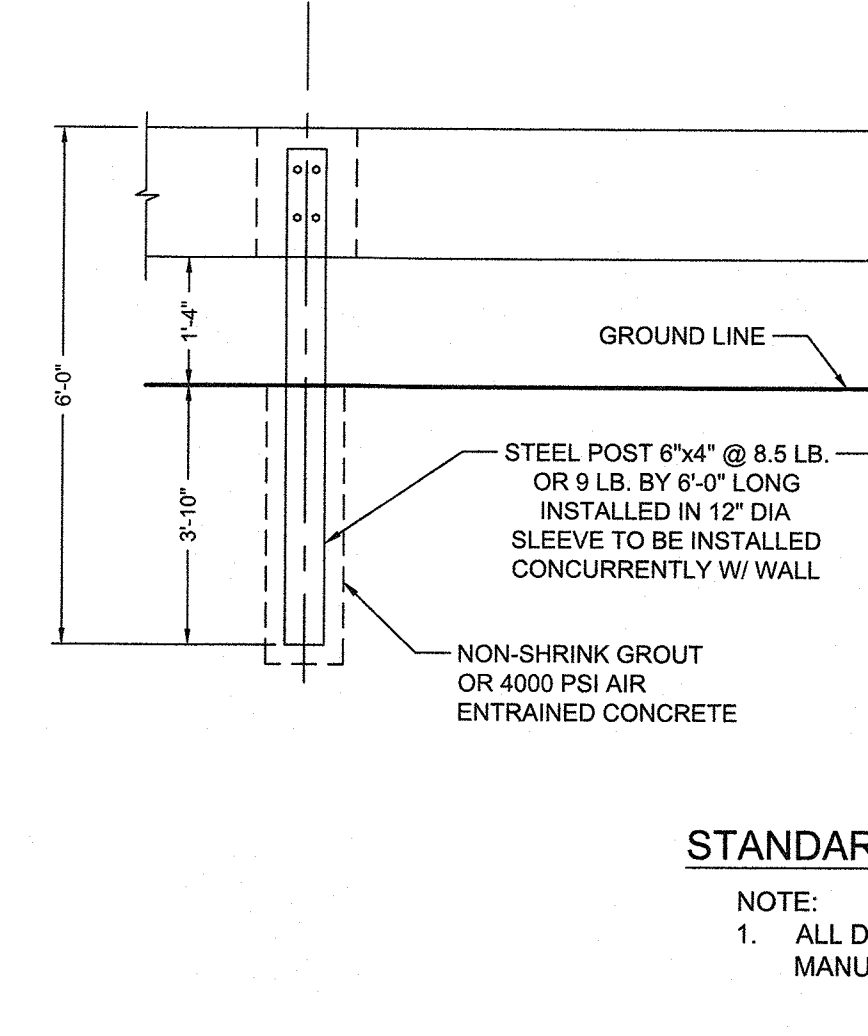
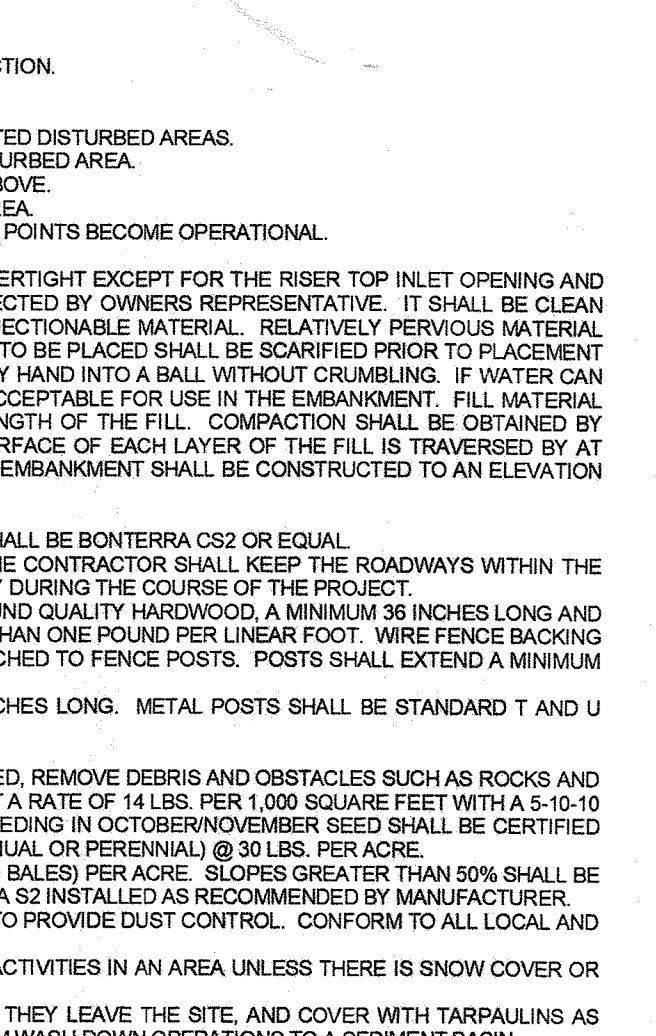
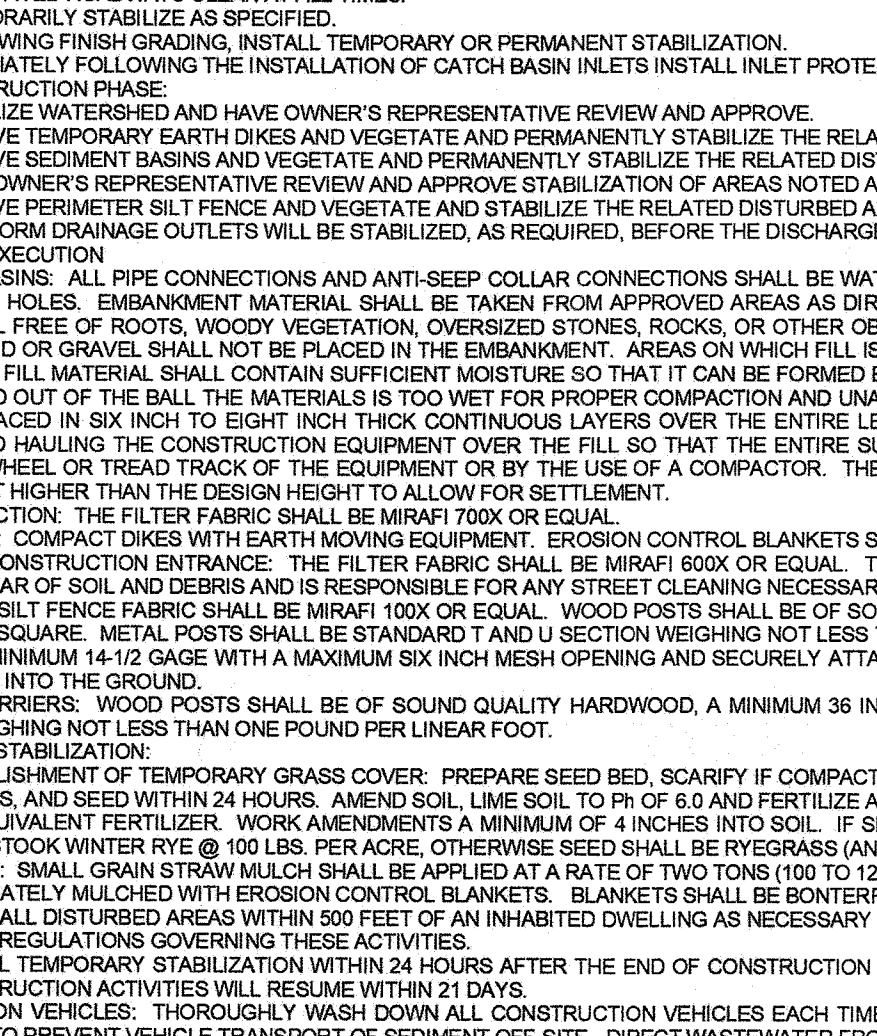
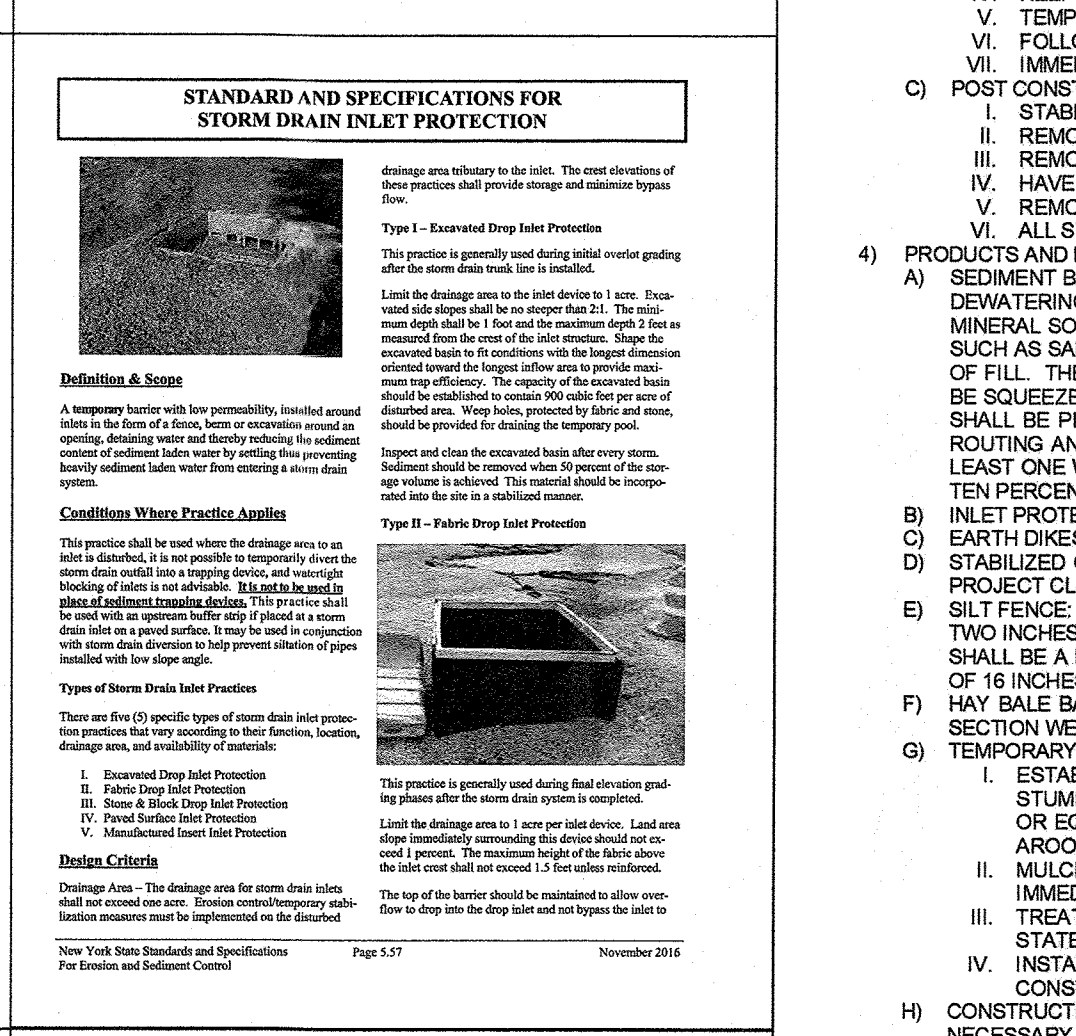
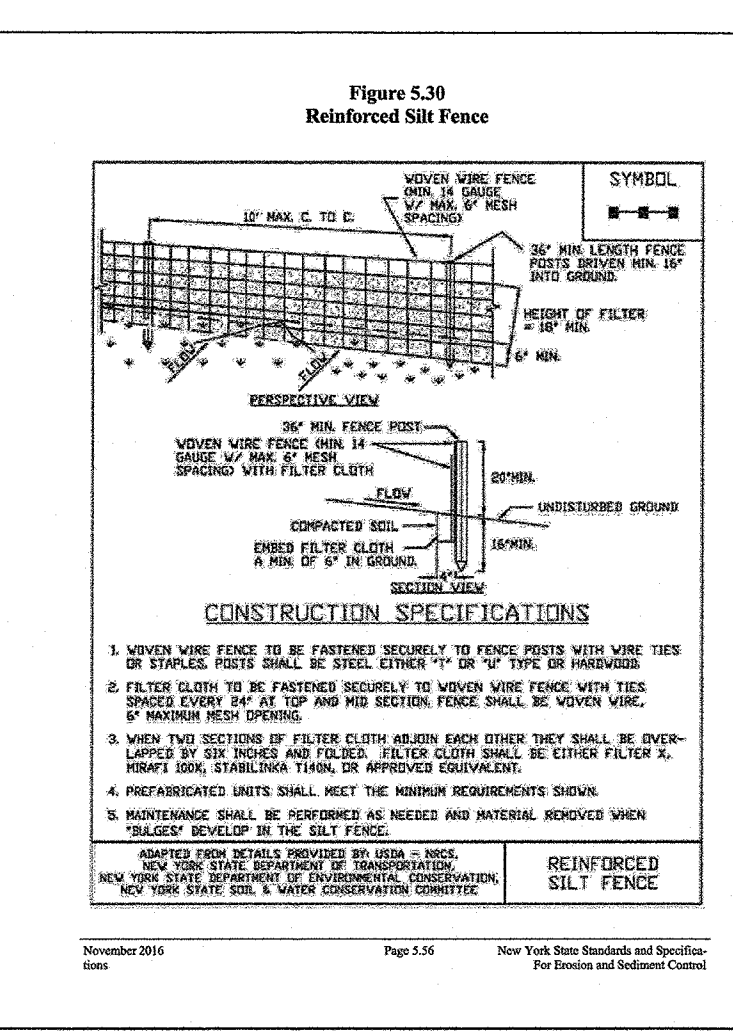
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Rev	1
Date	12/20/2022
Scale	AS NOTED
Checked By	FL
Drawn By	RDM

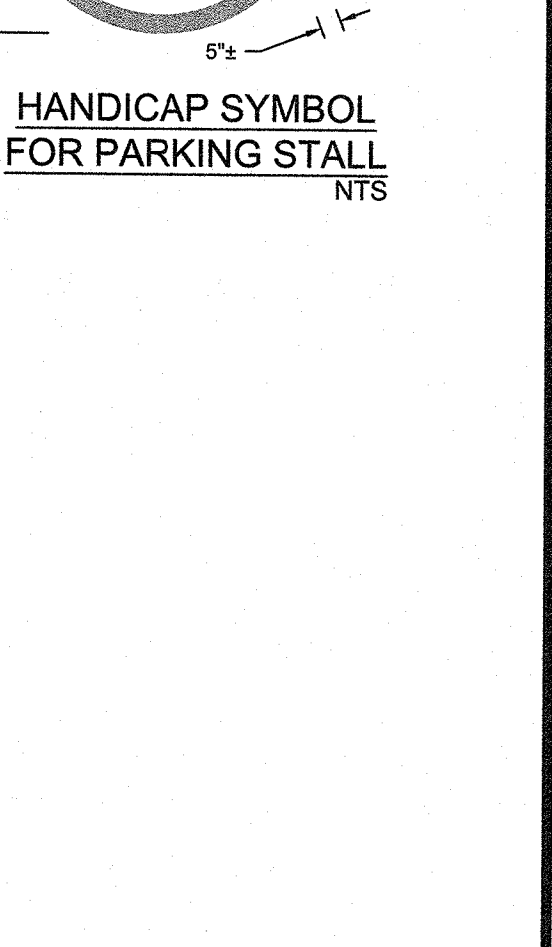
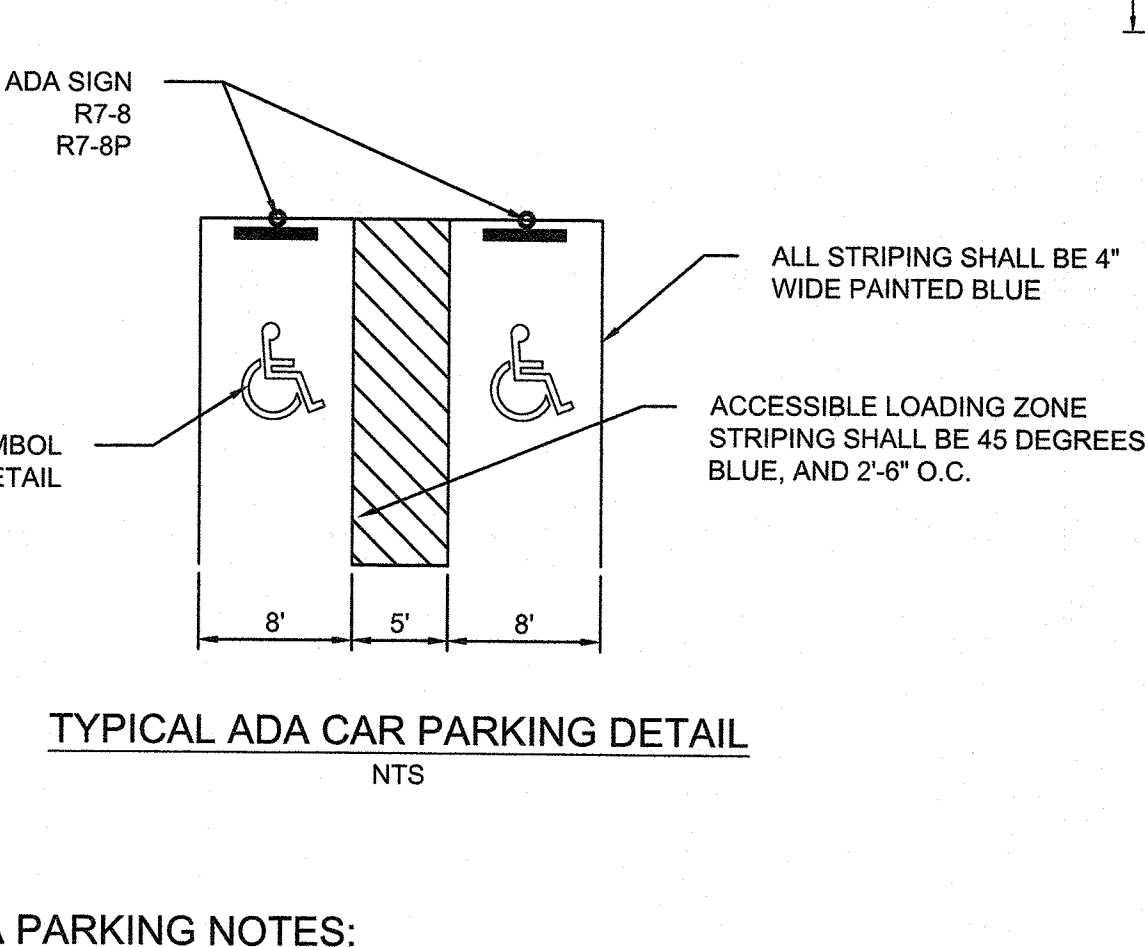
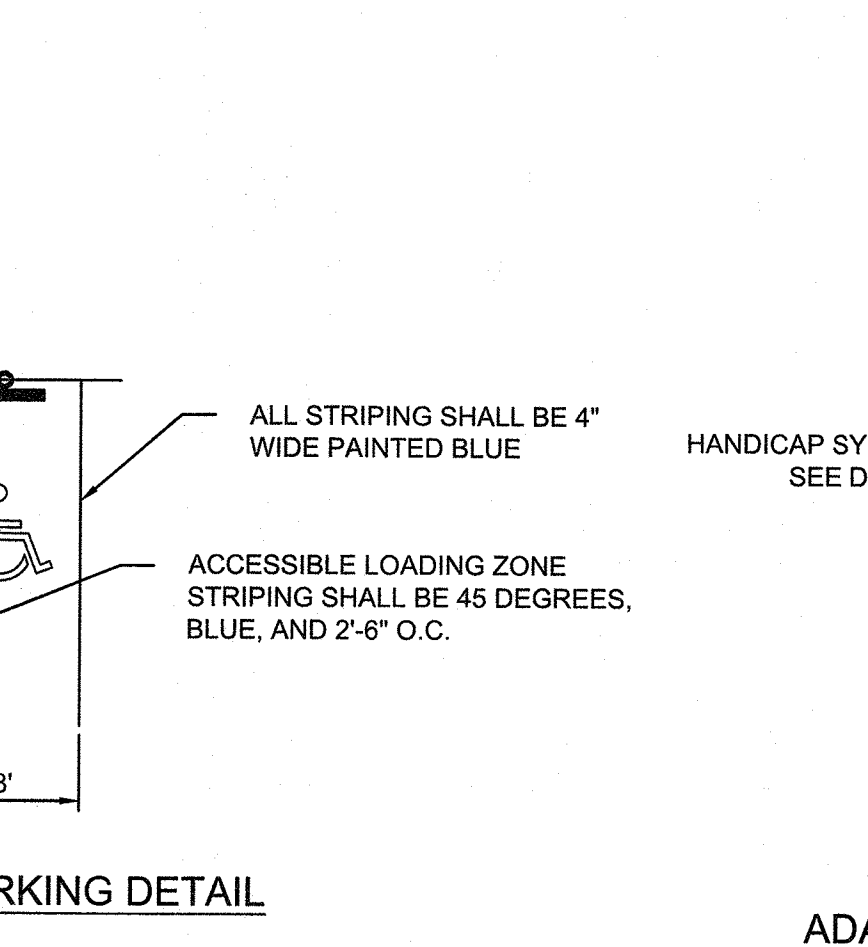
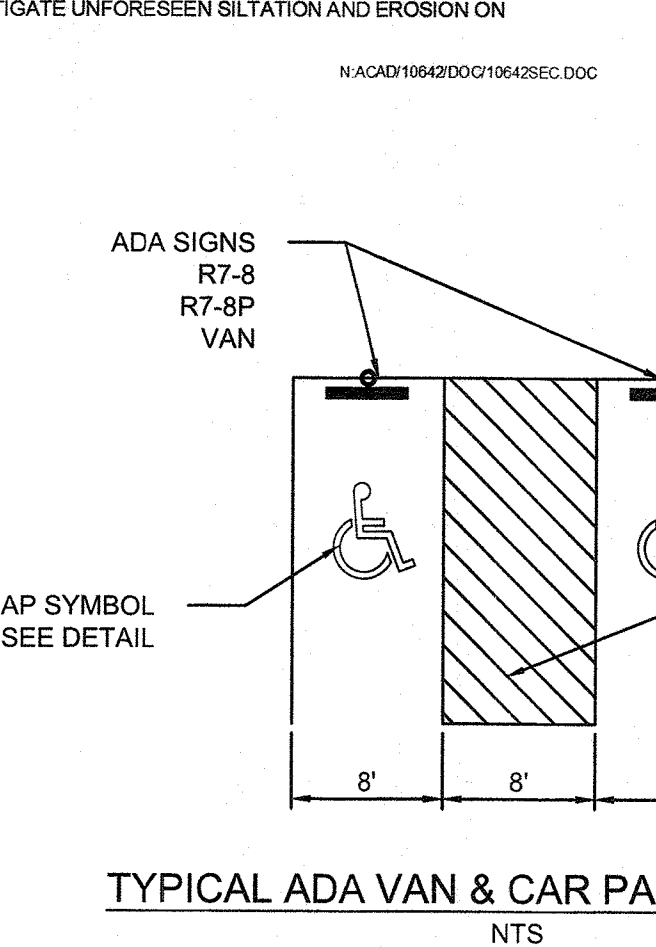
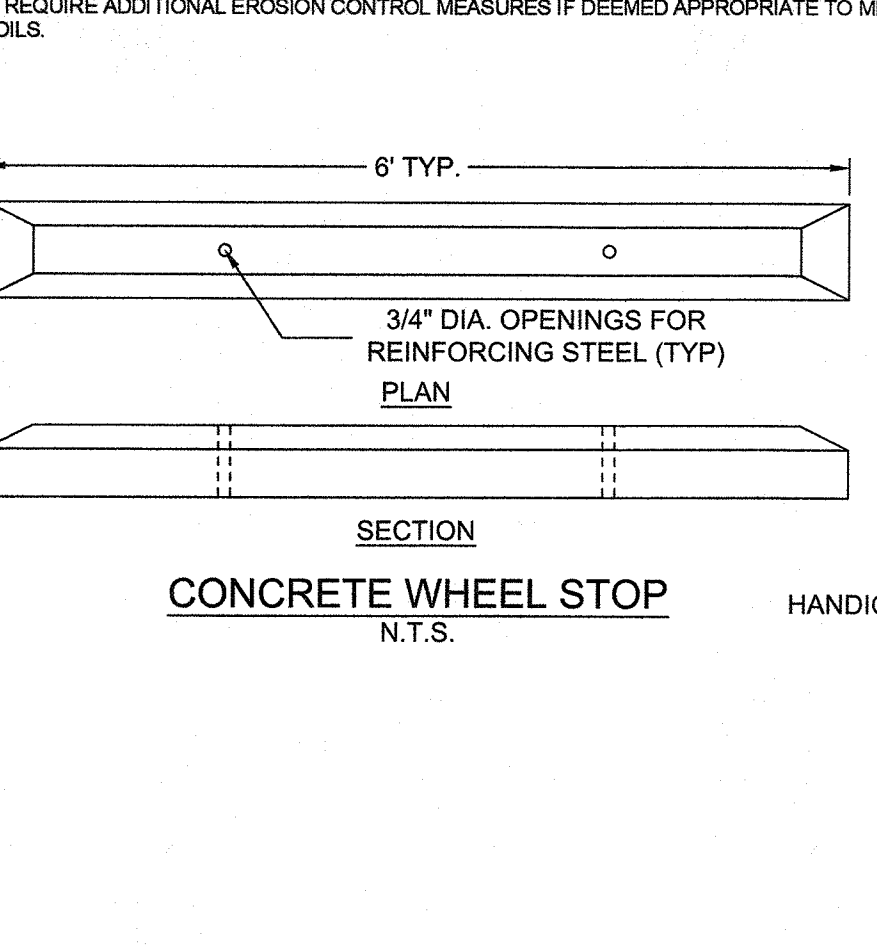
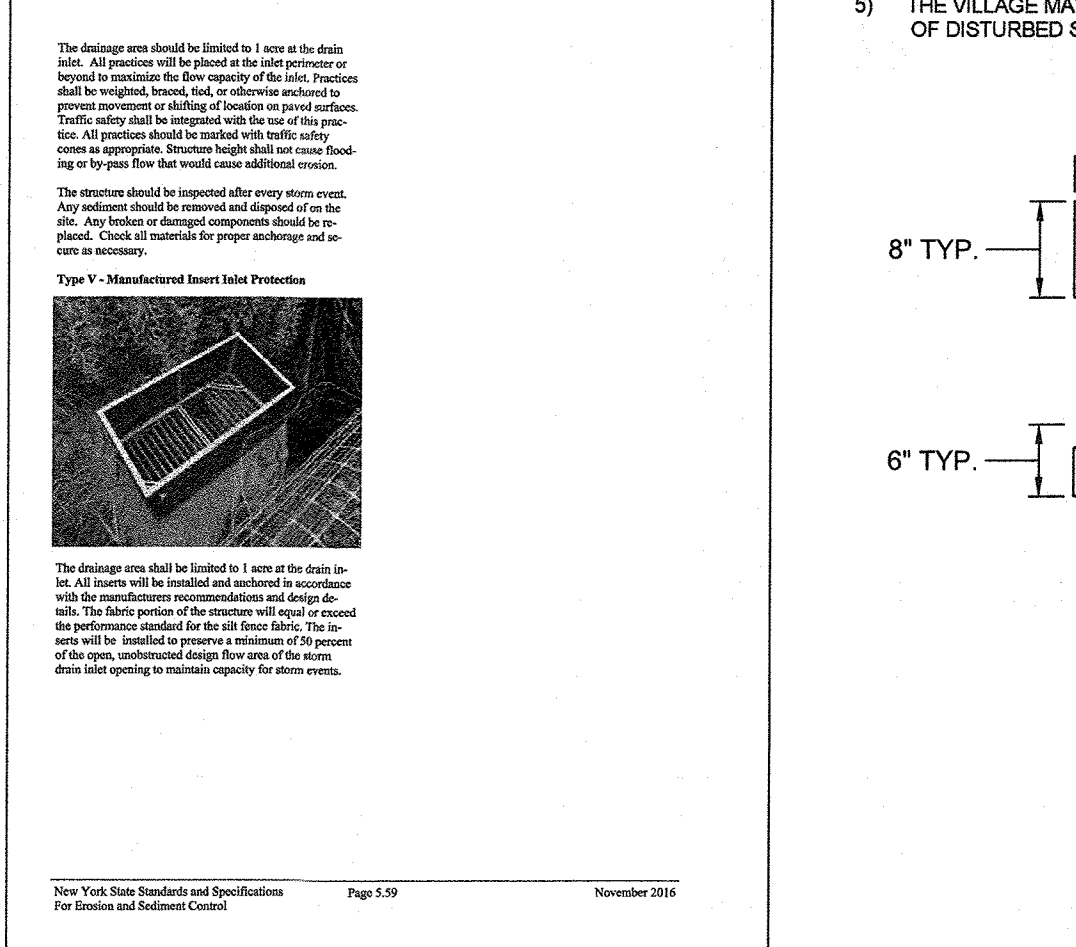
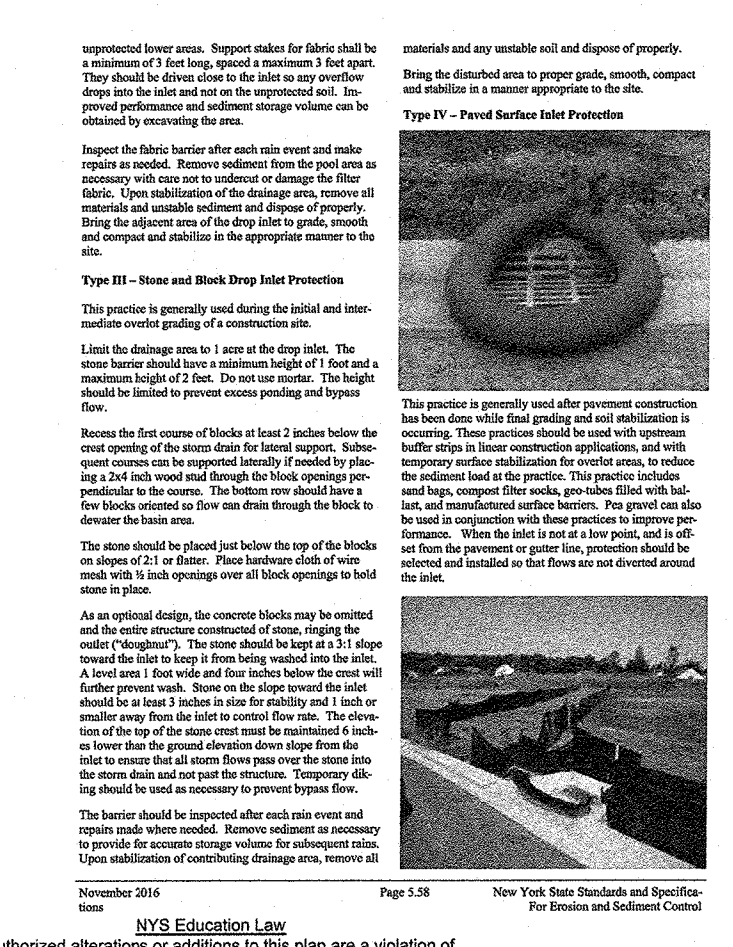


job no.	12761
drawing no.	

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Cert of Auth #246247934700
FRANZ W. LAKI, P.E.
PROFESSIONAL ENGINEER
N.Y. LIC. NO. 98772



DETAILS AND NOTES
SITE PLAN FOR PROPOSED ELECTRIC VEHICLE SALES/DISTRIBUTION/SERVICE CENTER 800 BRADLEY HILL ROAD TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY



YADA PARKING NOTES:
• ALL STRIPING AND SYMBOLS SHALL BE BLUE AND 4" WIDE.
• FINISHED GRADES SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.