

SITE PLAN FOR PROPOSED ELECTRIC VEHICLE SALES/DISTRIBUTION/SERVICE CENTER

800 BRADLEY HILL ROAD
SECTION 65.18, BLOCK 1, LOT 3
TOWN OF ORANGETOWN, ROCKLAND COUNTY, N.Y.



LOCATION MAP
SCALE: 1"=2000'

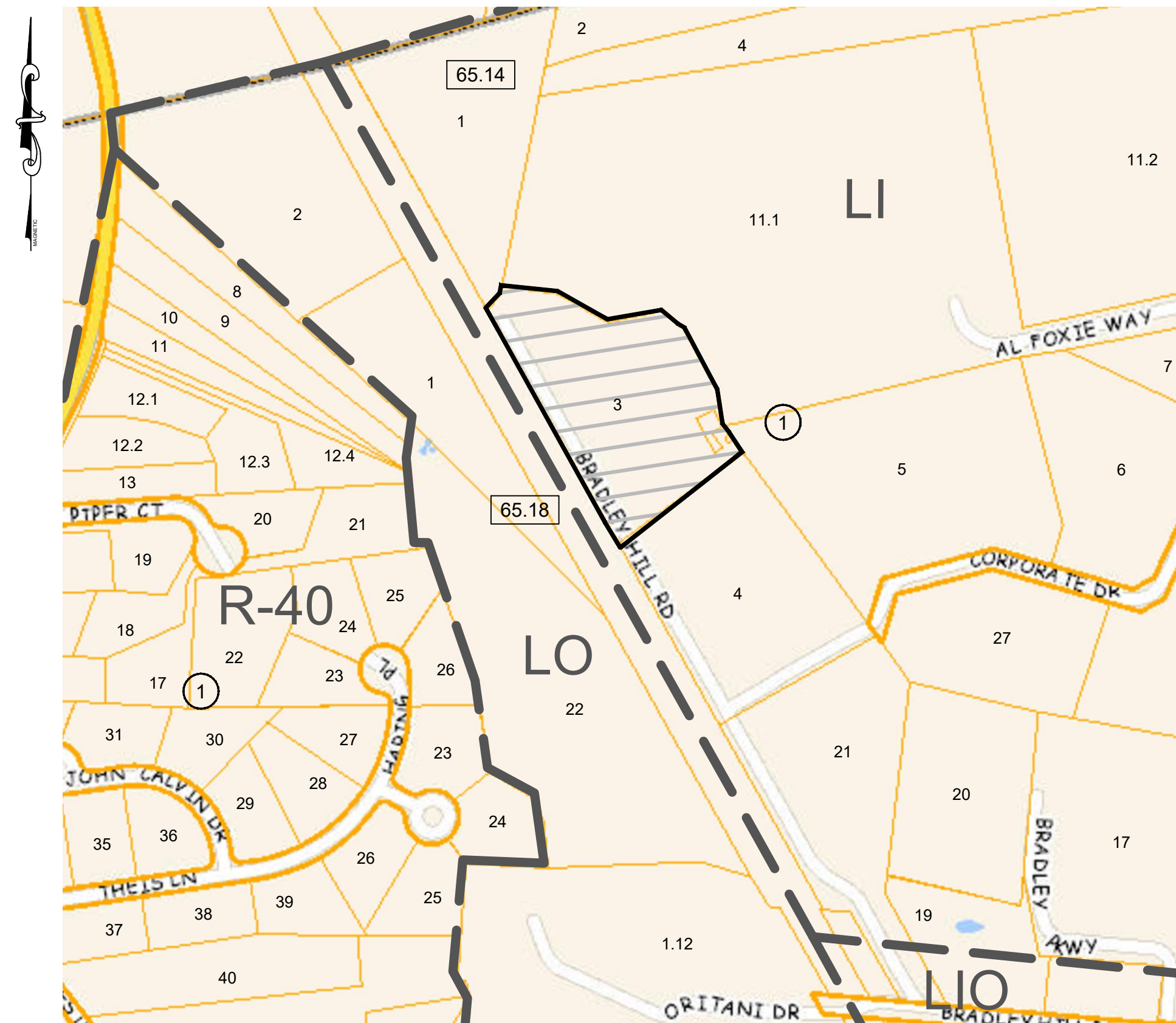
REFERENCE
MAPPING TAKEN FROM GOOGLE EARTH, DATED JULY 22, 2020.

INDEX OF DRAWINGS

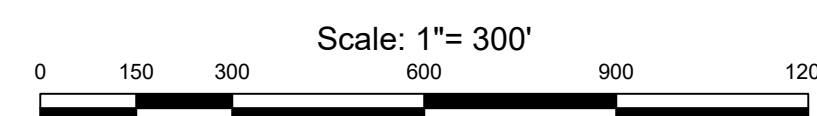
TITLE	SHEET NAME	SHEET NO.
COVER SHEET	C-1	1 OF 5
EXISTING CONDITIONS PLAN	EC-1	2 OF 5
SITE PLAN	S-1	3 OF 5
DETAILS & NOTES	D-1	4 OF 5

DISTRICTS

SCHOOL: SOUTH ORANGETOWN CENTRAL SCHOOL DISTRICT
FIRE: BLAUVELT
LIGHTING: TOWN OF ORANGETOWN
SEWER: TOWN OF ORANGETOWN
ZONING: LI



ZONING LOCATION MAP
SCALE: 300' ±



LEGEND

- 1 BLOCK NUMBER
- 65.18 SECTION NUMBER
- 3 LOT NUMBER
- LOT LINE
- PROJECT AREA LIMITS
- R-40** LOW DENSITY RESIDENTIAL DISTRICT
- LI** LIGHT INDUSTRIAL DISTRICT
- LO** LABORATORY-OFFICE DISTRICT
- LIO** LIGHT INDUSTRIAL OFFICE DISTRICT

SITE PLAN OF:
800 BRADLEY HILL ROAD
TOWN OF ORANGETOWN, NEW YORK

OWNER/APPLICANT:
PG-OE 800 BRADLEY HILL ROAD OWNER, L.L.C.
C/O ONYX MANAGEMENT GROUP, LLC
900 ROUTE 9 NORTH, SUITE 400
WOODBIDGE, NJ 07095

APPLICANT _____ DATE _____

ATTORNEY :
MCCULLOUGH, GOLDBERGER & STAUDT, LLP
1311 MAMARONECK AVE., SUITE 340 WHITE PLAINS, NY
10605 CONTACT: SETH M. MANDELBAUM
PHONE: 914-949-6400 EMAIL: SMandelbaum@mgslawyers.com

CIVIL ENGINEER:
SESI CONSULTING ENGINEERS
959 ROUTE 46, SUITE 300
PARSIPPANY, NEW JERSEY 07054
CONTACT: FRANZ W. LAKI, PE
PHONE: 973-808-9050
EMAIL: FL@SESI.ORG

TOWN OF ORANGETOWN	
THIS SITE PLAN IS HEREBY APPROVED BY THE PLANNING BOARD OF THE TOWN OF ORANGETOWN, NEW YORK.	
DATE _____	SECRETARY _____
DATE _____	CHAIRMAN _____
THIS SITE PLAN HAS BEEN REVIEWED AND IS HEREBY APPROVED.	
DATE _____	TOWN ENGINEER _____

Cert of Auth #24GA27934700
SESI CONSULTING ENGINEERS
GEOTECHNICAL | ENVIRONMENTAL | SITE CIVIL
959 route 46e, 3rd floor, parsippany, nj 07054 ph: 973.808.9050

12/20/2022 JOB NO. 12761 SHEET C-1

FRANZ W. LAKI, P.E.
PROFESSIONAL ENGINEER
N.Y. LIC. NO. 96772

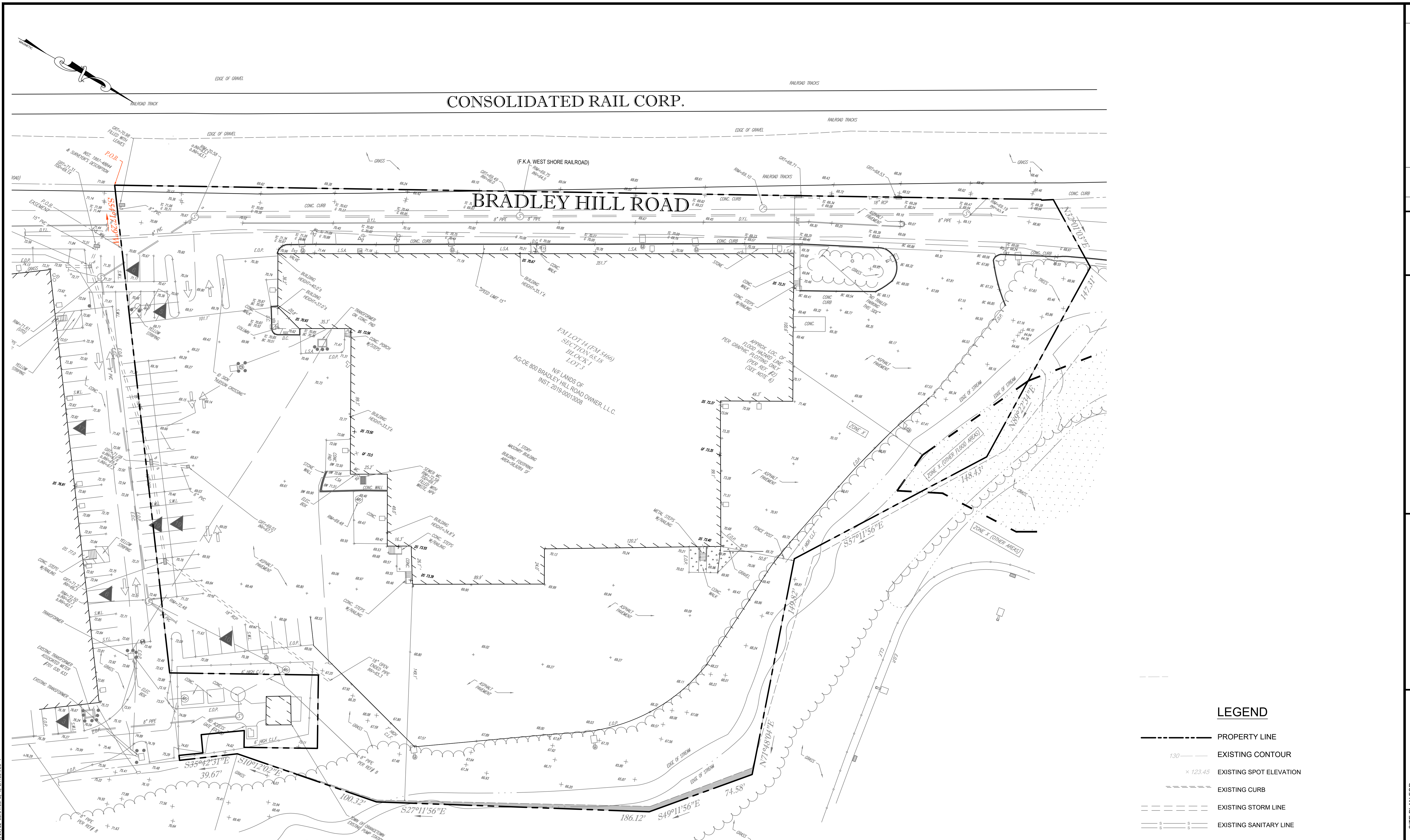
rev	date	description	by

N:\VAD\12761\CAD\SET\12761_800_BRADLEY_COVER.dwg 12/20/22 09:42:00AM JL LAYOUT COVER-1

NYS Education Law
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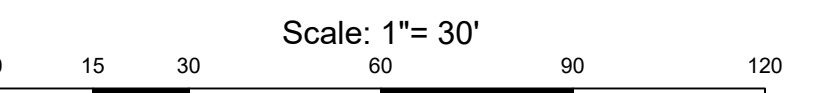
CONSOLIDATED RAIL CORP.

BRADLEY HILL ROAD



LEGEND

- PROPERTY LINE
- 130 --- EXISTING CONTOUR
- x 123.45 EXISTING SPOT ELEVATION
- - - EXISTING CURB
- - - EXISTING STORM LINE
- S—S— EXISTING SANITARY LINE
- W— EXISTING WATER MAIN
- G—G— EXISTING GAS SERVICE
- E—E— EXISTING ELECTRIC SERVICE
- U—U— EXISTING UTILITY SERVICE
- EXISTING MANHOLE



NOT FOR CONSTRUCTION

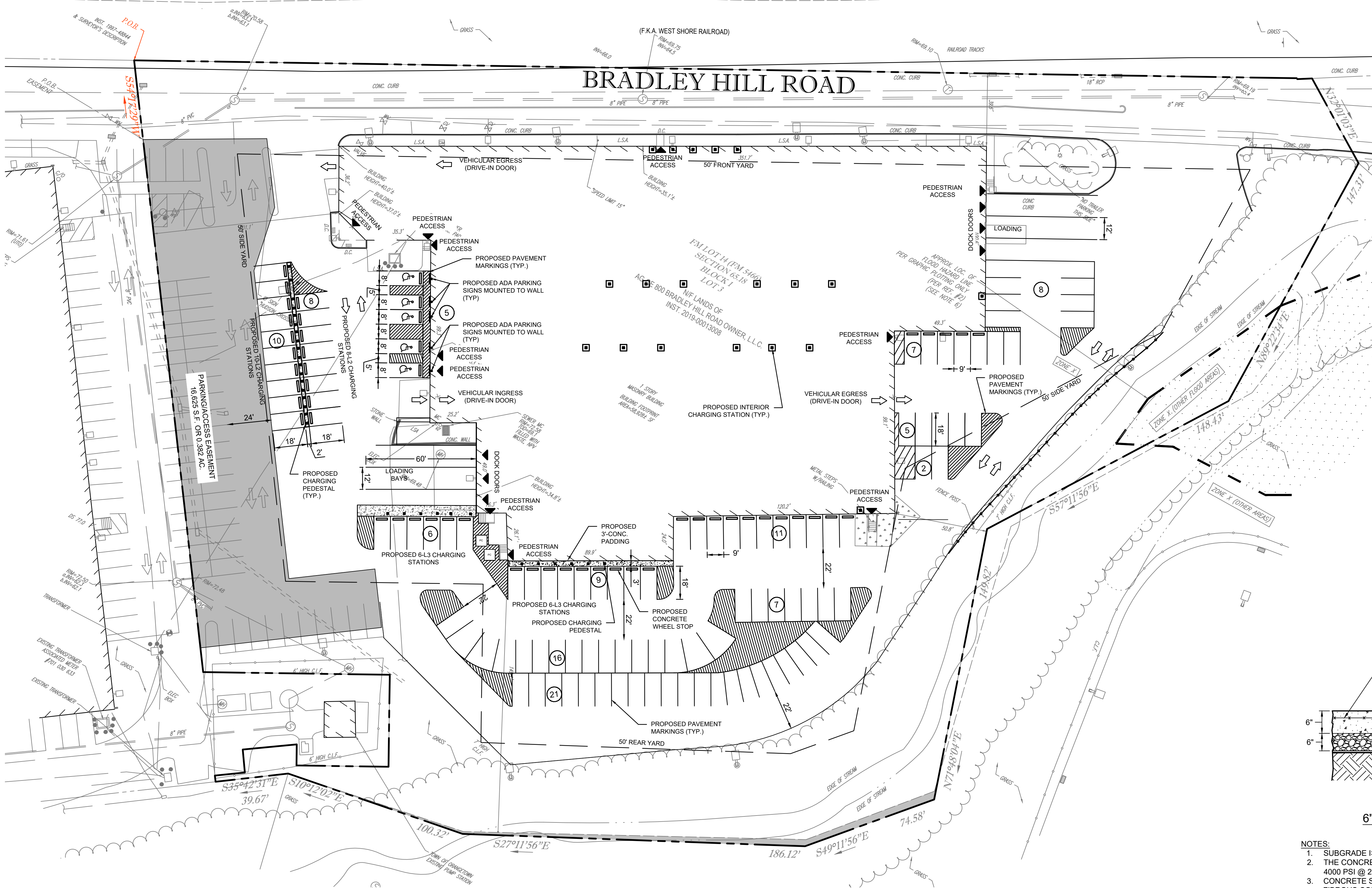
rev. 12/20/2022 date: AS NOTED scale: FL chg. by: APG dwn. by:	12761 job no. EC-1 drawing no.
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY SALES DISTRIBUTION SERVICE CENTER 800 BRADLEY HILL ROAD	
EXISTING CONDITIONS	
FRANZ W. LAKI, P.E. PROFESSIONAL ENGINEER N.Y. LIC. NO. 98772	
Cert of Auth #24CA27934700 SESI CONSULTING ENGINEERS GEOTECHNICAL ENVIRONMENTAL SITE CIVIL 959 route 46e, 3rd floor, parsippany, nj 07054 ph: 973.808.9050	

N.Y.S. EDUCATION LAW
 N.Y.S. EDUCATION LAW
 N.Y.S. EDUCATION LAW

REFERENCE:
 EXIST CONDITIONS & BOUNDARY ARE TAKEN FROM AS-BUILT SURVEY 800
 BRADLEY HILL ROAD - BUILDING #4 PREPARED BY CONTROL POINT
 ASSOCIATES, INC. SEPTEMBER 26, 2022.

CONSOLIDATED RAIL CORP.

BRADLEY HILL ROAD



ZONING SUMMARY				
800 Bradley Hill Road				
Block 1; Lot 3				
SESI Project No. 12761				
Zone:	Light Industrial (LI)			
Existing Use:	Commercial			
Proposed Use:	Automobile Sales Room/Automotive Repair Shop			
Permitted Use:	Yes			
ITEM	REQUIRED	EXISTING LOT 3 (800)	PROPOSED LOT 3 (800)	NOTES
MIN. LOT WIDTH (FT)	150	640	640	No Change
MIN. LOT AREA (AC)	2	4.89	4.89	No Change
MIN. STREET FRONTAGE (FT)	150	640	640	No Change
MIN. FRONT YARD (FT)	50	42.6	42.6	No Change
MIN. SIDE YARD (FT)*	25	50.8	50.8	No Change
TOTAL SIDE YARD (FT)**	100	151.9	151.9	No Change
MIN. REAR YARD (FT)**	25	149.1	149.1	No Change
MAX. LOT COVERAGE (%)	80%	80.6%	80.6%	No Change
MAX. FLOOR AREA RATIO**	0.5	0.277	0.277	No Change
MAX. HEIGHT (FT)*	25	34	34	No Change
MIN. OFF-STREET PARKING**	36	-	115	Complies

*Note 7: Required front yards and maximum building heights are subject to § 5.111, with the designated street line being used as lot line.
 *Note 10: Where a lot line in an L.O., L.I. or L.I.O. District abuts a railroad right-of-way, the normally required rear or side yard may be reduced to twenty-five (25) feet, and the maximum building height shall apply for that portion of a building over twenty-five (25) feet in height.

**Note 14: Maximum land coverage shall not exceed seventy-five percent (75%), including buildings, parking, road and road widening. The open area shall be a minimum of twenty-five percent (25%). Parking area within a building will not be charged against the floor area ratio. In OP Districts, the percentages shall be sixty-five percent (65%) and thirty-five percent (35%), respectively. In LO Districts, W Groups, and MFR District, U Group, the percentages shall be fifty percent (50%) and fifty percent (50%), respectively. In LI Districts, the percentages shall be eighty percent (80%) and twenty percent (20%), respectively.

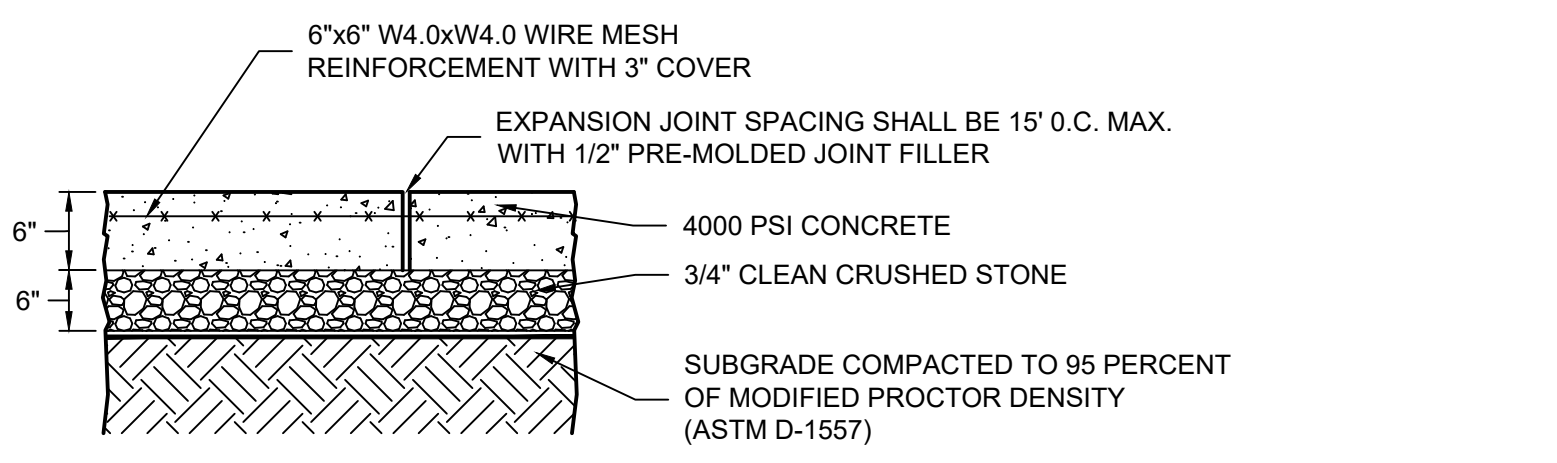
*** Parking requirement was calculated using 1 space per 600 SF of display and sales area [LI Use table, column 6, #14], 3 spaces plus an additional 4 spaces per service bay for an automobile repair shop [LI Use table, column 7, #6(b)]

PARKING REQUIREMENT:
 AUTOMOBILE SALES: 1 SPACE PER 600 SF OF DISPLAY AND SALES AREA
 DISPLAY AREA: 5,457 SF
SPACES REQUIRED: 9 SPACES
 AUTOMOBILE REPAIR SHOP: 3 SPACES PLUS AN ADDITIONAL 4 SPACES PER SERVICE BAY
 6 CUSTOMER SERVICE BAYS
SPACES REQUIRED: 27 SPACES
TOTAL REQUIRED SPACES: 36

PARKING SUMMARY:
 CHARGING SPACES (L2): 18
 CHARGING SPACES (L3): 12
 ADA SPACES: 5
 STANDARD STALLS: 80
TOTAL PARKING SPACES: 115

EV CHARGING SUMMARY
 EXTERIOR CHARGERS: 30
 INTERIOR CHARGERS: 19
TOTAL CHARGERS: 49

LEGEND	
	PROPERTY LINE
	SETBACK LINE
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB
	PROPOSED ADA CURB/ FLUSH CURB
	PROPOSED CONC. FLATWORK
	PROPOSED NO. OF PARKING SPACES
	TRAFFIC CIRCULATION
	PROPOSED FULL DEPTH ASPHALT PAVEMENT
	PROPOSED LAWN



6" THICK REINFORCED CONCRETE PAD DETAIL
 NTS

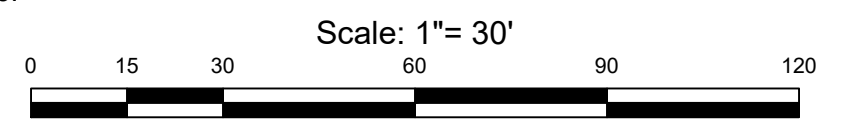
- NOTES:**
- SUBGRADE IS TO BE COMPACTED AS SPECIFIED BY THE DESIGN ENGINEER.
 - THE CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS AND THE MIX DESIGN SHALL BE APPROVED BY THE DESIGN ENGINEER.
 - CONCRETE SHALL BE PROPORTIONED BY THE ADDITION OF 1 1/2 LBS/C.Y. OF POLYPROPYLENE FIBROUS CONCRETE REINFORCEMENT ("E3") AS MANUFACTURED BY FIBERMESH COMPANY. (ALTERNATE)
 - PLACEMENT AND FINISHING SHALL BE IN A CONTINUOUS OPERATION.
 - THE CONCRETE SHALL BE FOGGED AND COVERED WITH POLYETHYLENE AND WET CURED, MAINTAINING MOISTURE CONTENT WHILE COVERED FOR AT LEAST 5 DAYS.
 - CONCRETE SHALL BE PROTECTED FROM BOTH FREEZING AND LOSS OF MOISTURE FOR A PERIOD OF 7 DAYS FROM TIME OF PLACEMENT.
 - CONCRETE SHALL NOT BE PLACED ON FROZEN SUBGRADE SOILS.
 - ALL EDGES SHALL BE ROUNDED AND GIVEN A STEEL TROWEL FINISH.
 - EXPANSION JOINTS ARE TO BE 1/2" WIDE AND FILLED WITH PREFORMED BITUMINOUS TYPE JOINT FILLER. THE TOP OF ALL JOINT FILLER SHALL BE BELOW THE TOP OF THE SURFACE. EXPANSION JOINTS SHALL BE LOCATED 15' (MAX.) ON CENTER.
 - 6" THICK - 3" CLEAN STONE CRUSHED STONE BASE SHALL EXTEND 6" HORIZONTALLY BEYOND THE CONCRETE PAD IN ALL DIRECTIONS.
 - ALL CONCRETE SUBJECT TO EXTERIOR EXPOSURE SHALL BE AIR ENTRAINED 4% TO 6%.
 - COLD WEATHER CONCRETE SHALL BE DONE IN ACCORDANCE WITH ACI-306. HOT WEATHER CONCRETING SHALL BE DONE IN ACCORDANCE WITH ACI-305.

- GENERAL NOTES:**
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OF THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY THE SECTION 239L&M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - EXISTING STORMWATER FLOW PATHS SHALL BE MAINTAINED UNLESS OTHERWISE NOTED.
 - ALL INLETS SHALL RECEIVE INLET PROTECTION MEASURES IN AND ADJACENT TO WORK AREAS. ALL LOCATIONS MAY NOT SHOW ON THIS PLAN.
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 - ADA PARKING SPACES PAVEMENT MARKINGS SHALL BE AZURE BLUE.
 - ALL OTHER PAVEMENT MARKINGS SHALL BE 4" WIDE WHITE UNLESS OTHERWISE NOTED.
 - ALL PARKING SPACES, EXCEPT FOR ADA SPACES, SHALL BE 9'X18' UNLESS OTHERWISE NOTED.
 - ALL CHARGING PEDESTALS SHALL BE INSTALLED ON THE DRIVER SIDE.

- CONSTRUCTION SEQUENCE:**
- OBTAIN ALL PERMITS
 - PRE-CONSTRUCTION MEETING
 - NOTIFY MUNICIPALITY AND REGULATORY AGENCIES OF THE START OF CONSTRUCTION
 - INSTALL ALL SOIL EROSION CONTROL MEASURES (INLET PROTECT, SILT FENCE, HAYBALES, ETC)
 - GENERAL DEMOLITION AND REMOVAL
 - MILLING
 - FULL DEPTH PAVEMENT INSTALLATION
 - CONCRETE FLATWORK
 - PAVEMENT MARKINGS
 - REMOVE SOIL EROSION CONTROL MEASURES

REFERENCE:
 EXIST CONDITIONS & BOUNDARY ARE TAKEN FROM AS-BUILT SURVEY 800 BRADLEY HILL ROAD - BUILDING #4 PREPARED BY CONTROL POINT ASSOCIATES, INC. SEPTEMBER 26, 2022.

NOT FOR CONSTRUCTION



SITE PLAN FOR PROPOSED ELECTRIC VEHICLE SALES/DISTRIBUTION/SERVICE CENTER 800 BRADLEY HILL ROAD TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY	Job No. 12761 Drawing No.
	Scale: AS NOTED Date: 12/20/2022
	Check by: FL Date:
	Drawn by: APG Date:
SESI CONSULTING ENGINEERS GEOTECHNICAL ENVIRONMENTAL SITE CIVIL 959 route 46e, 3rd floor, Parsippany, nj 07054, ph: 973.808.9050	
FRANZ W. LAKE, P.E. PROFESSIONAL ENGINEER N.Y. LIC. NO. 96772	
S-1	

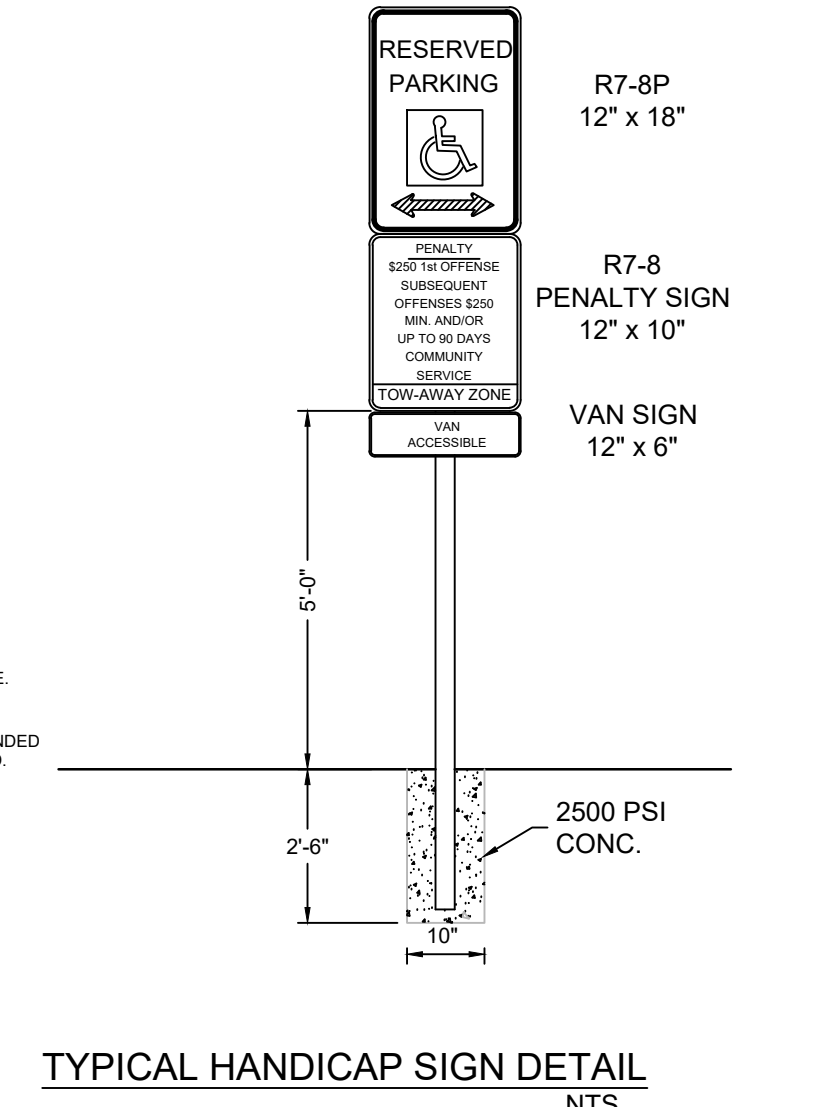
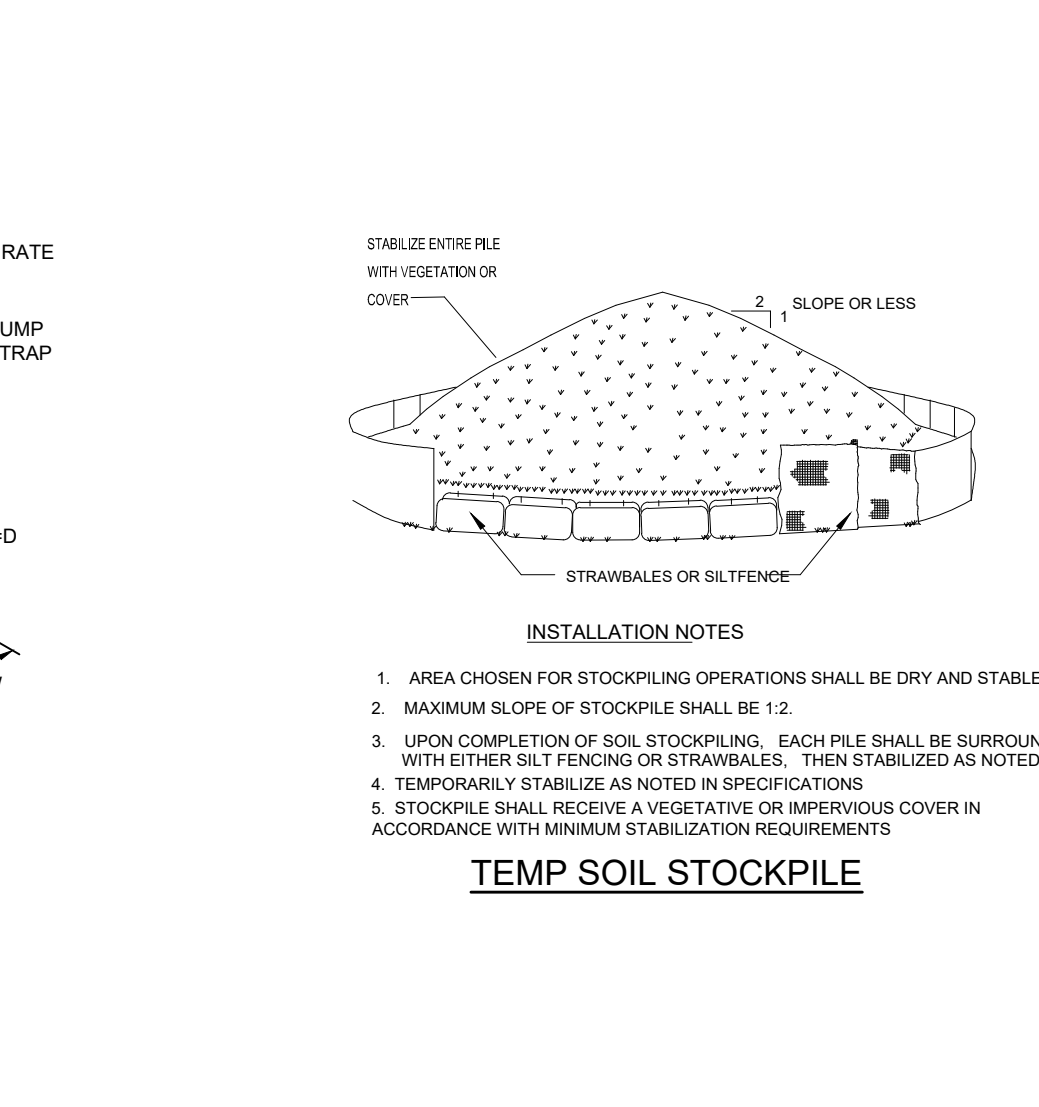
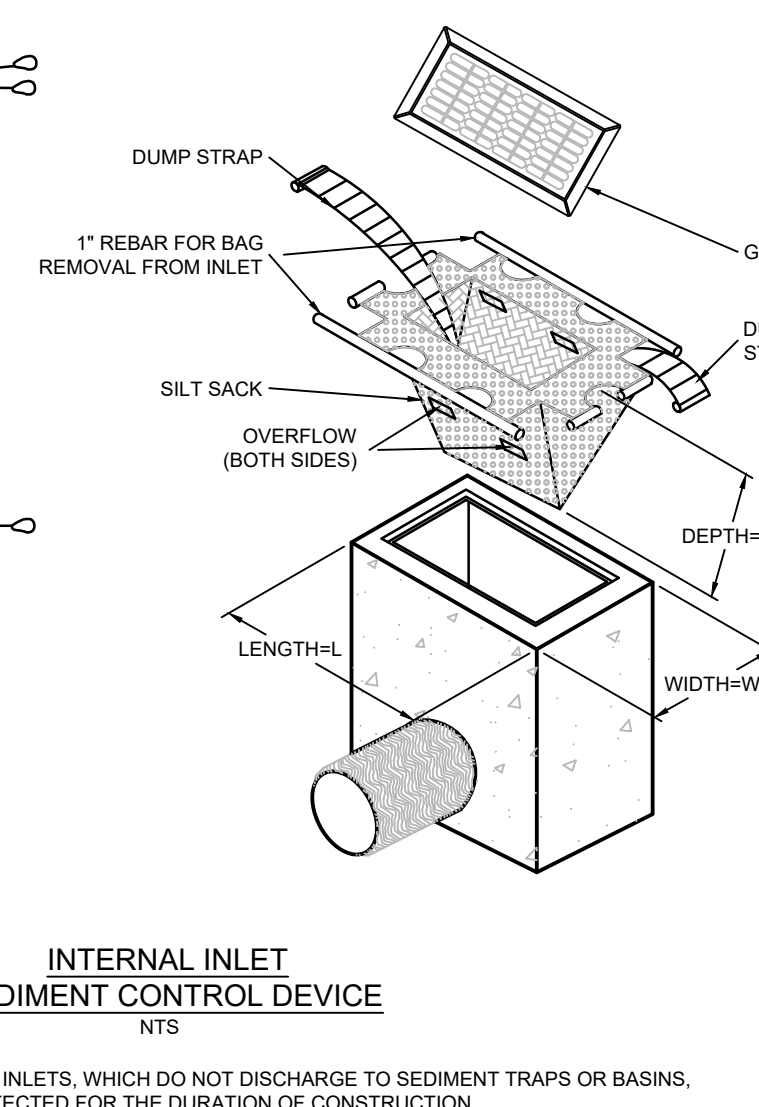
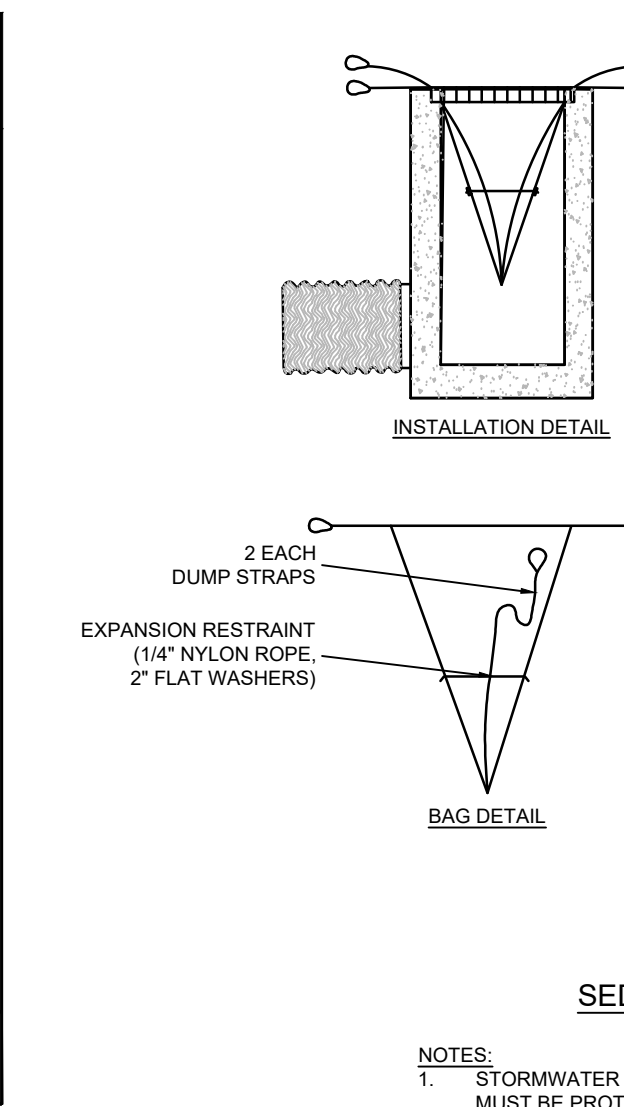
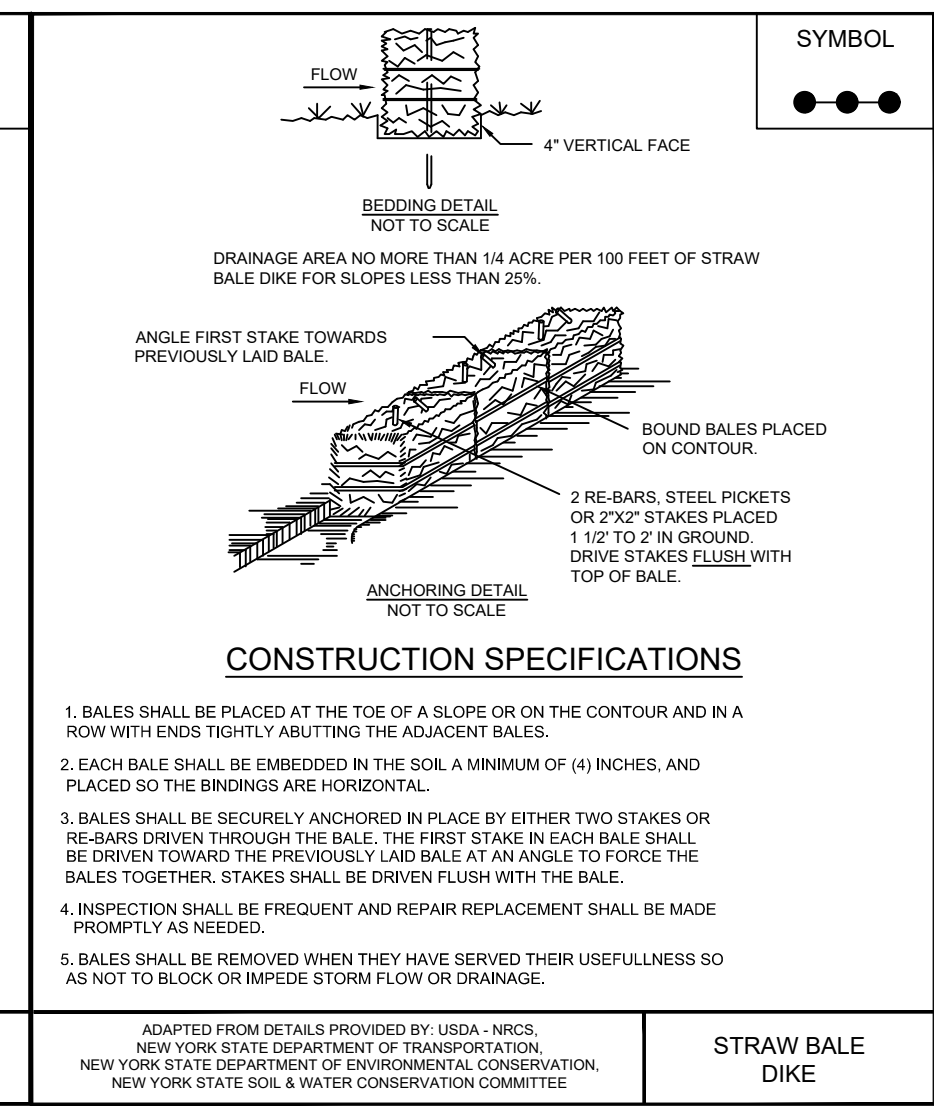
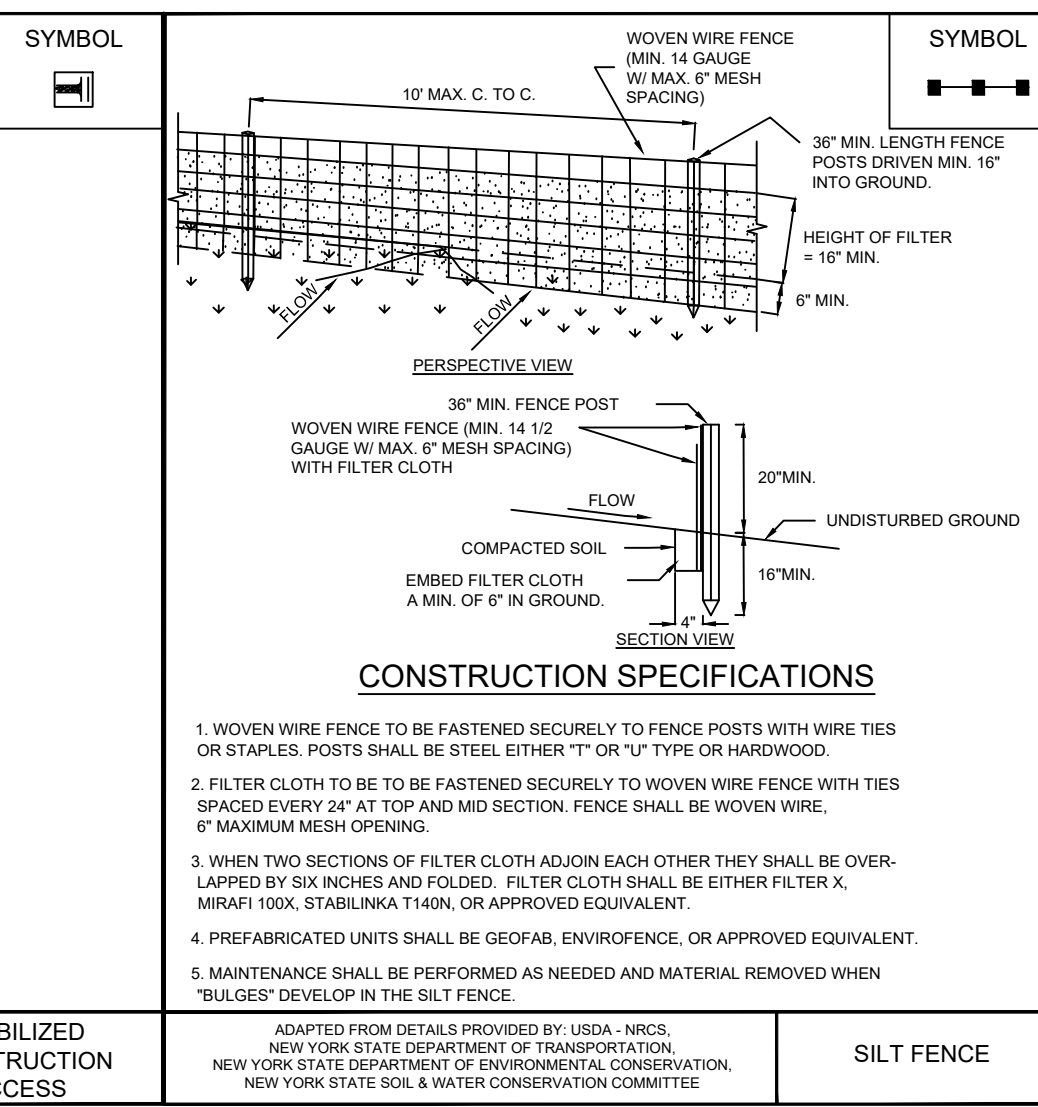
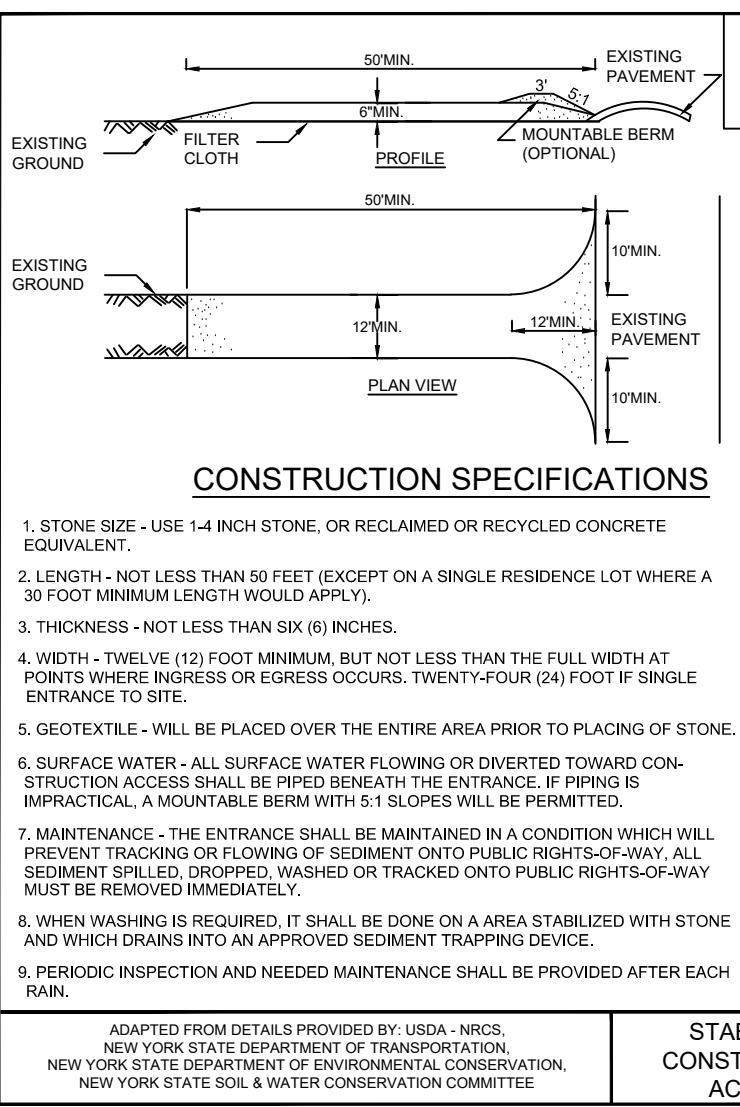


Table with 3 columns: Fabric Properties, Measurement, Test Method. Lists properties like Tensile Strength, Elongation, and Tear Strength for silt fence materials.

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Professional Engineer details including: SITE PLAN FOR PROPOSED ELECTRIC VEHICLE SALES/DISTRIBUTION/SERVICE CENTER, 800 BRADLEY HILL ROAD, TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY. Includes contact information for FRAZ W. LAKI, P.E., PROFESSIONAL ENGINEER, N.Y. LIC. NO. 96772.