

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(914) 359-8410 (ex. 4331)

Date: December 19, 2022

TO: OBAPAE

Environmental Management and Engineering
Rockland County Sewer District #1 ✓
New York State Dept. of Transportation
Palisades Interstate Park Commission
Orange and Rockland Utilities
Orangetown Highway

Rockland County Drainage ✓
Rockland County Health ✓
Rockland County Planning ✓
Rockland County Highway ✓

Review of Plans: Megdanis, 86 Yale Terrace, Blauvelt, NY
Section 70.10 Block 2 Lot 1 R-15 zone

This matter is scheduled for:

Chapter 43, R-15 District, Group M, Section 3.12, Columns 9 (Side Yard: 20' required, 15' proposed) and 10 (Total Side Yard: 50' required, 35.8' proposed), The premises are located at 86 Yale Terrace, Blauvelt, New York and identified on the Orangetown Tax Map as Section 70.10, Block 2, Lot 1 in the R-15 zoning district.

Please review the information enclosed and provide comments. These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: darbolino@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: February 1, 2023

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, February 1, 2023**. Kindly forward your completed review to this office by February 1, 2023.

Reviewing Agency _____

Name _____ date: _____

Signature: _____

Thank you, Deborah Arbolino

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board

<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-2244-22
 ASSIGNED
 INSPECTOR: Ken L

Referred from Planning Board: YES / NO
 if yes provide date of Planning Board meeting: _____

Project Name: MEGDAN'S ADDITION

Street Address: 86 YALE TERRACE 1
BLAUWENT NY 10913

Tax Map Designation:

Section: 70.10 Block: 2 Lot(s): 1
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the Ryth side of Yale Terrace, approximately 100 N feet West of the intersection of North, in the Town of Orangetown in the hamlet/village of _____

Acreage of Parcel 1/3
School District Orangetown
Ambulance District Orangetown
Water District Keolia

Zoning District R-15
Postal District Blauvelt
Fire District 1
Sewer District Orangetown Sewer

Project Description: (If additional space required, please attach a narrative summary.)

2 CAR GARAGE ADDITION WITH NEW ROOF ON EXISTING
HOUSE

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 11/2/22 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ___ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: November 21, 2022

Applicant: Megdanis

Address: 86 Yale Terrace, Blauvelt

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-15 District, Column 2 Group M, Column 3 SFR, Column 9 Required Side Yard 20' w/ 15' proposed, Column 10 Total Side Yard 50' w/ 35.8' proposed
2 Variances requested

Section: 70.10 Block: 2 Lot: 1

Dear Megdanis:

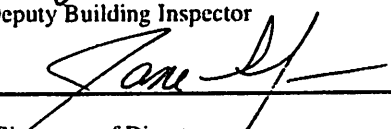
Please be advised that the Building Permit Application, which you submitted on October 12, 2022, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,


Richard Oliver
Deputy Building Inspector


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

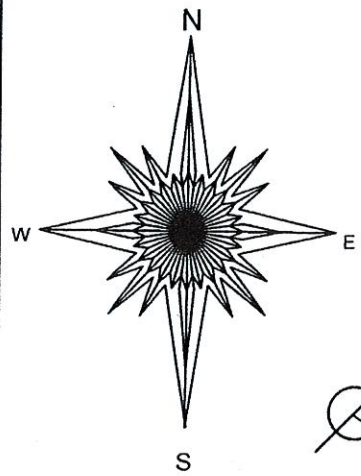
11/21/22
Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
392489	70.06-1-12	Inetta Clemons-Durso	189 Leber Rd,Blauvelt, NY 10913
392489	70.06-1-13	Maria B Mercado	197 Leber Rd,Blauvelt, NY 10913
392489	70.06-1-14	Frank Finch	207 Leber Rd,Blauvelt, NY 10913
392489	70.06-1-15	Matthew Dixon	90 Yale Ter,Blauvelt, NY 10913
392489	70.06-1-16	Eliot Tyler	96 Yale Ter,Blauvelt, NY 10913
392489	70.06-1-17	Timothy Sheridan	99 Yale Terr,Blauvelt, NY 10913
392489	70.06-1-18	Dominick G Paci	95 Yale Ter,Blauvelt, NY 10913
392489	70.06-1-42	Curtis L Edwards	157 Leber Rd,Blauvelt, NY 10913
392489	70.06-1-43	Marlene Mc Evoy	161 Leber Rd,Blauvelt, NY 10993
392489	70.10-1-10	Ajay Baman	20 Shom Dr,Blauvelt, NY 10913
392489	70.10-1-11	Salvatore Carbonetto	22 Shom Dr,Blauvelt, NY 10913
392489	70.10-1-12	Michael Marchman	24 Shom Dr,Blauvelt, NY 10913
392489	70.10-1-13	John Cascone	2 Husted Dr,Blauvelt, NY 10913
392489	70.10-1-14	Amy Coyte	1 Husted Dr,Blauvelt, NY 10913
392489	70.10-1-15	Anthony Miller	71 Yale Ter,Blauvelt, NY 10913
392489	70.10-1-16	Kelly Curcio	67 Yale Ter,Blauvelt, NY 10913
392489	70.10-1-74.1	Daniel Parker	26 Shom Dr,Blauvelt, NY 10913
392489	70.10-2-1	Michael Megdanis	86 Yale Ter,Blauvelt, NY 10913
392489	70.10-2-2	Robert Sirkowa	7 Garber Hill Rd,Blauvelt, NY 10913
392489	70.10-2-3	Michael J Sheeley	12 Garber Hill Rd,Blauvelt, NY 10913
392489	70.10-2-4	Deirdre M Mulhearn	10 Garber Hill Rd,Blauvelt, NY 10913
392489	70.10-2-5	Hector M Fernandez	8 Garber Hill Rd,Blauvelt, NY 10913
392489	70.10-2-52	Joseph K Smith	74 Yale Ter,Blauvelt, NY 10913
392489	70.10-2-53	Joseph Angelini Jr	78 Yale Terr,Blauvelt, NY 10913
392489	70.10-2-54	Michael Boysa	82 Yale Ter,Blauvelt, NY 10913

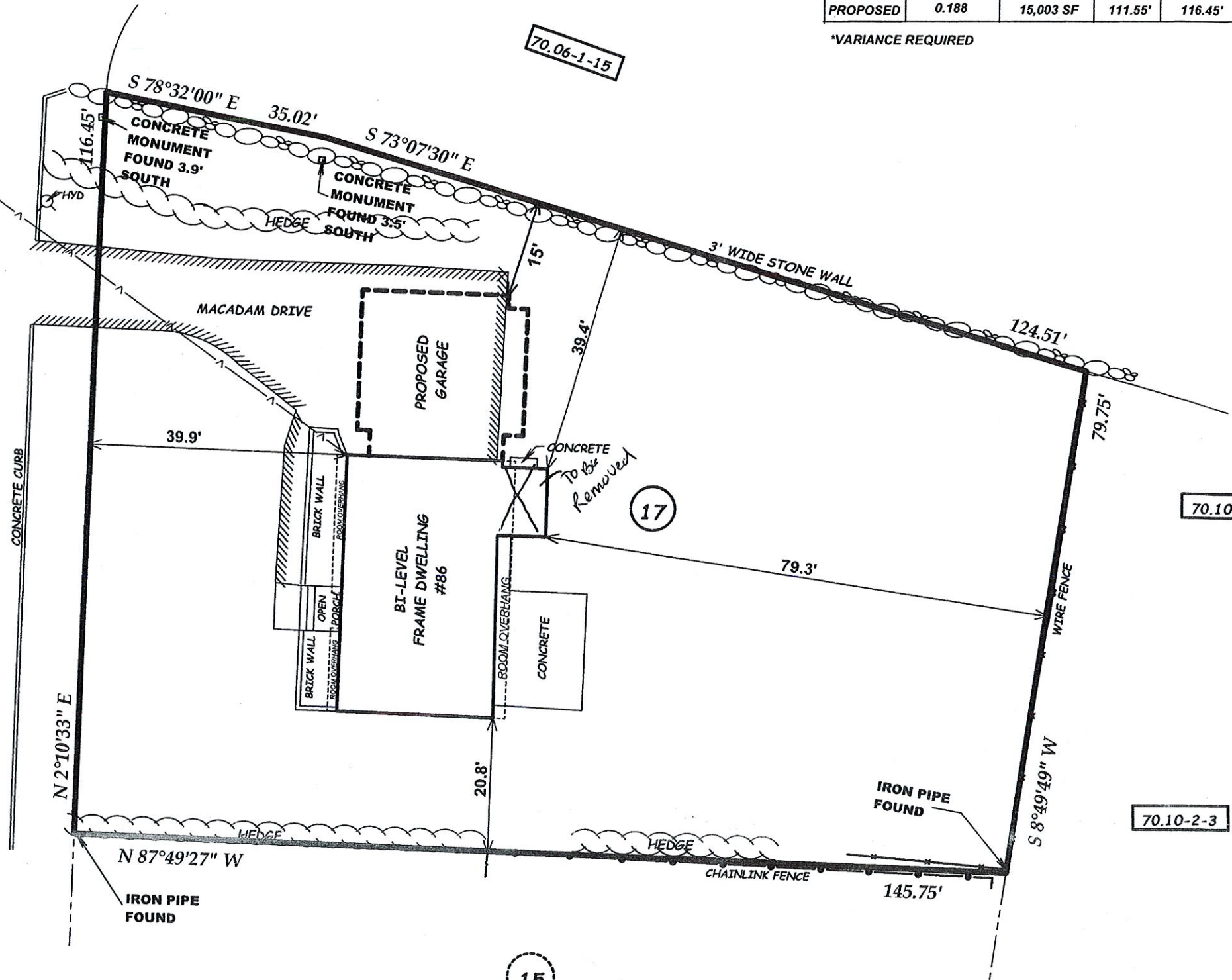
BULK REQUIREMENTS ZONE: R-15 ONE-FAMILY DETACHED DWELLING

USE GROUP M	FLOOR AREA	MINIMUM LOT AREA	MINIMUM LOT WIDTH	MINIMUM STREET FRONTAGE	MINIMUM FRONT YARD	MINIMUM SIDE YARD	TOTAL SIDE YARDS	MINIMUM REAR YARD	MAXIMUM HEIGHT FEET
REQUIRED	0.20	15,000 S.F.	100'	75'	30'	20'	50'	35'	30'
EXISTING	0.144	15,003 SF	111.55'	116.45'	39.9'	20.8'	60.2'	79.3'	<30'
PROPOSED	0.188	15,003 SF	111.55'	116.45'	39.9'	15'	35.8''	79.3'	<30'

*VARIANCE REQUIRED



YALE TERRACE



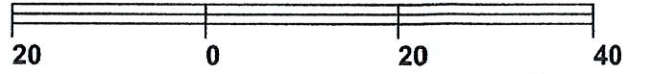
PLAN INFORMATION
 Owner Name: MICHAEL MEGDANIS
 Address: 56 YALE TERRACE
 BLAUVELT NY 10913
 Sec-Blk-Lot: 70.10-2-54
 Prepared By: MICHAEL MEGDANIS
 Date: 11/21/22

ZONING BOARD OF APPEALS
 Meeting Of:
FEB 1 2023
 Town Of Orangetown

TAX MAP DESIGNATION: 70.10-2-1
**PROPOSED
 ADDITION
 FOR**

MEGDANIS

TOWN OF ORANGETOWN, ROCKLAND COUNTY
 BLAUVELT, NEW YORK
 OCTOBER 5, 2022 SCALE: 1" = 20'



LOT AREA=15,003.68 SQUARE FEET

BEING LOT 17 ON A CERTAIN MAP ENTITLED
 "ROBIN HILL ESTATES, SECTION IV-C"
 FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE
 AS MAP #3020 BOOK #65 PAGE #9 ON 08/27/1962.

70.10-2-54

70.10-2-3

70.10-2-4

70.06-1-15

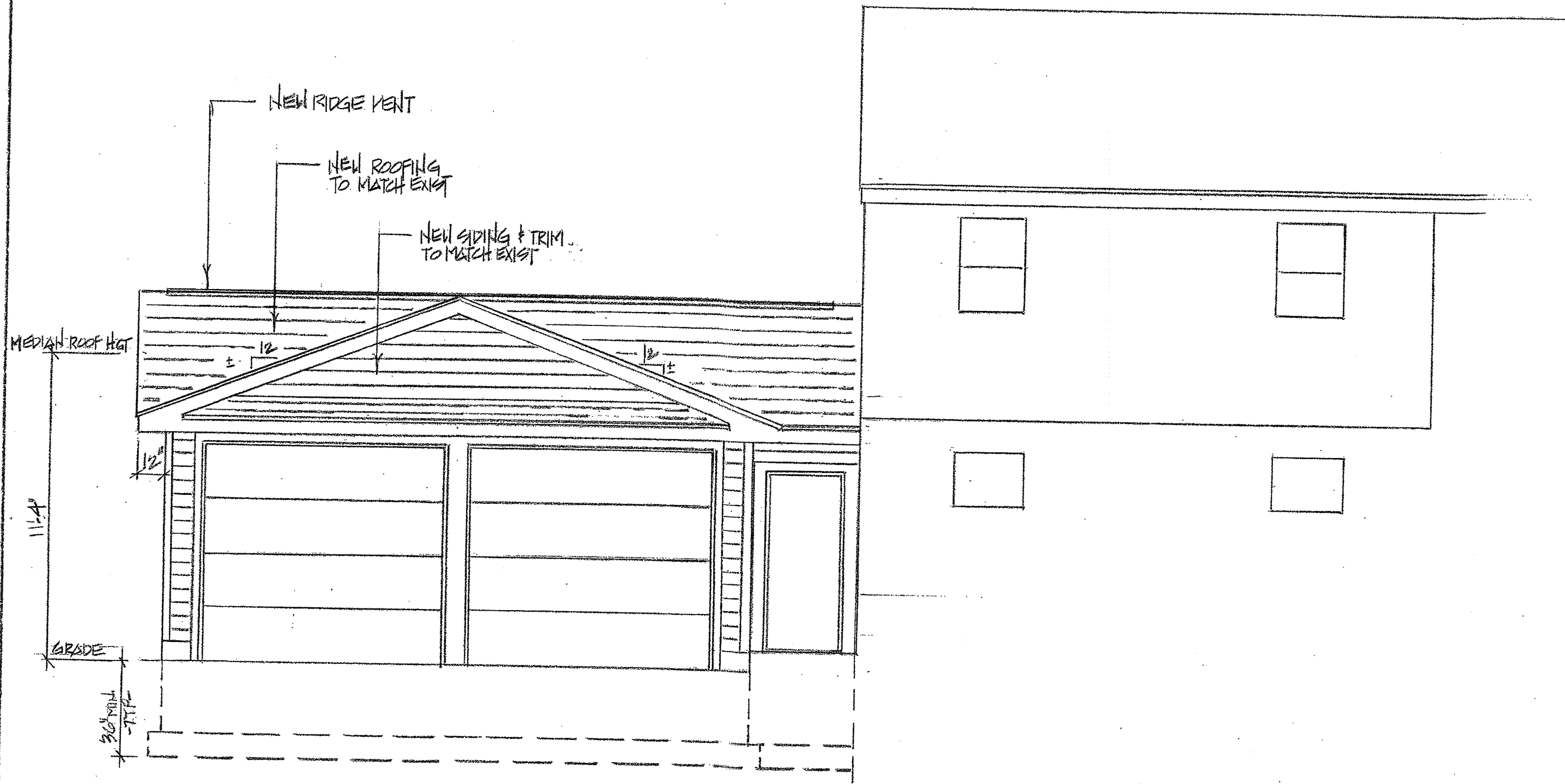
GENERAL SPECIFICATIONS

GENERAL NOTES

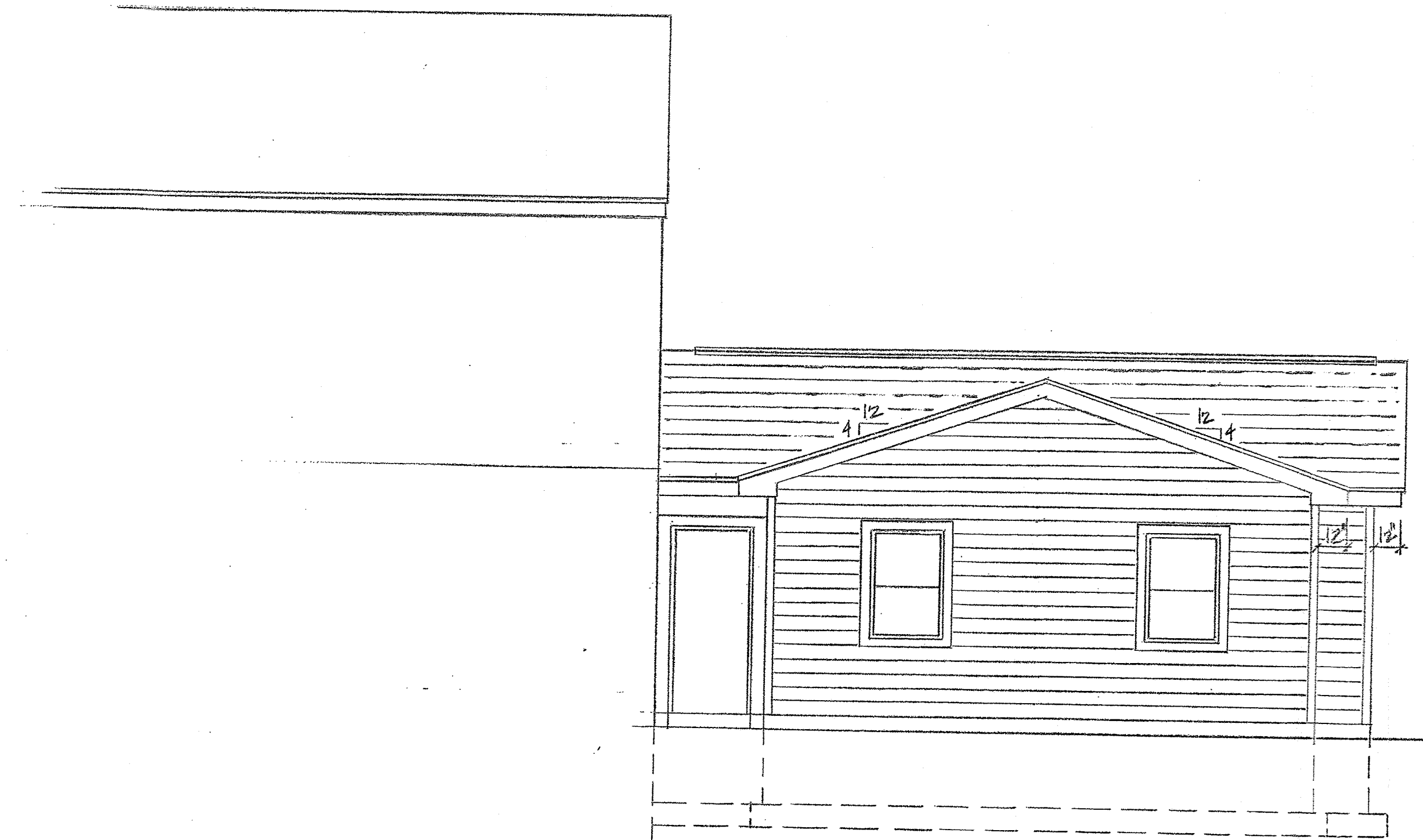
1. ALL WORK PERFORMED SHALL COMPLY WITH THE BUILDING AND ZONING ORDINANCES OF THE TOWN OF ORANGETOWN, AND THE N.Y.S. BUILDING AND ENERGY CODES.
2. THESE PLANS ARE TO BE USED FOR PERMITS & CONSTRUCTION GUIDE ONLY. IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT, UNLESS OTHERWISE INDICATED BY ARCHITECT.
3. CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNER WITH CERTIFICATE OF INSURANCE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
5. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT, BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITION.
6. ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. ARCHITECT IS ONLY RESPONSIBLE FOR THESE WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS. IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORESEEN DEVELOPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
7. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITION OPERATIONS AND METHODS.
8. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS, ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES, MATCH ALL EXISTING MATERIALS, DIMENSIONS, AND CONDITIONS AS THEY APPLY.
9. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.
10. ALL CONSTRUCTION & MATERIALS SHALL BE NEW - UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.
11. ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT, IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS, LICENSED IN THE STATE OF NEW YORK AND AS REQUIRED BY THE LOCAL GOVERNING AGENCY.
12. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR AGENCIES.
13. ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.
14. PRIOR TO COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE EXCEPT AS OTHERWISE NOTED BY THE OWNER.

SITE NOTES

15. CONTRACTOR/OWNER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANIES LINES, SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.
 16. ALL EXISTING CONDITIONS INDICATED ON THE PLANS TO BE REMOVED OR RELOCATED ARE TO BE SO EXECUTED IN A MANNER THAT WILL NOT DISTURB ADJACENT AREAS OR CONDITIONS WHICH ARE TO REMAIN.
 17. EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR TO OBSERVE ANY VARIATIONS OR UNFORESEEN DISCREPANCIES IN THE PLANS AND REPORT IMMEDIATELY TO THE OWNER.
 18. ALL FOOTINGS TO REST ON VIRGIN SOIL HAVING A MINIMUM BEARING CAPACITY OF 3,000 P.S.I. AT 2' MINIMUM BELOW THE FINISHED GRADE.
 19. EARTH UNDER CONCRETE SLAB BE THOROUGHLY COMPACTED AND CLEANED OF DEBRIS, WATER AND OTHER MATTER. THE SUB-GRADE SHALL DROUGHT TO A TRUE PLANE FREE FROM ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIAL. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER SIX INCHES IN GREATEST DIMENSION AND NOT MORE THAN 1% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 2" IN GREATEST DIMENSION.
 20. DO NOT BACKFILL UNTIL MAIN FLOOR SYSTEMS, INCLUDING SLABS AND FLOOR DECKING, ARE INSTALLED.
 21. BACKFILL AGAINST POURED CONCRETE WALLS SHALL BE A MAXIMUM OF 7" OF 10" CONCRETE BLOCK WALLS MAXIMUM 6" ABOVE SLAB TO ADJACENT GRADE.
 22. TOP 8" OF NEWLY GRADED AREAS IS TO BE TOP SOIL BAKED FREE FROM DEBRIS, STONES OVER 2" IN SIZE AND OBJECTIONABLE MATERIAL.
 23. GENERAL CONTRACTOR OR OWNER SHALL FIELD VERIFY ALL INVERT ELEVATIONS AND SEWER CONDITIONS INDICATED PRIOR TO CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEYS ON SEWER DEPT. RECORDS.
 24. FOOTING DRAINS TO BE PROVIDED WHERE REQUIRED AND APPROPRIATE THEY SHALL BE LAID IN GRAVEL BED AND PROTECTED AT TOP WITH FILTER FABRIC AND PROVIDE POSITIVE OUTFLOW TO STORM DRAIN OR DRY WELL.
 25. FINISHED GRADE AND DRIVEWAY SHALL PITCH AWAY FROM THE BUILDING, SO THAT ALL SURFACE WATER FLOWS AWAY FROM IT.
 26. INSTALLATION OF GAS METERS SHALL BE IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
 27. INSTALLATION OF ELECTRIC METERS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
 28. FINISHED GRADE HEIGHT SHALL BE MINIMUM 8" BELOW ADJACENT FRAMING AND MAXIMUM (IF ANY) AS PER LOCAL CODES.
- CONCRETE AND MASONRY**
29. NEW POURED CONCRETE TO BE MINIMUM 3,000 P.S.I. COMPRESSIVE STRENGTH IN 28 DAYS. 80 BAGS OF CEMENT PER CUBIC YARD OF CONCRETE AND MAXIMUM 7.5 GALLONS OF WATER PER 94.5 BAGS OF CEMENT. 6.14 GALLONS OF WATER PER 94 POUND BAGS OF CEMENT FOR AIR ENTRAINED CONCRETE. SUBMIT TESTING REPORTS PERFORMED BY APPROVED TESTING LABORATORY, AS REQUIRED BY LOCAL OFFICIALS.
 30. CONCRETE DESIGN, MATERIALS, AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE STANDARD RATIOS OF THE AMERICAN CONCRETE INSTITUTE. ALL MASONRY OR CONCRETE ANCHORS AND FASTENERS OF ANY KIND, TO BE GALVANIZED OR ZINC COATED.
 31. BLOCK FOUNDATION WALLS TO BE REINFORCED HORIZONTALLY WITH BUILT-UP WALL EVERY SECOND COURSE AND VERTICALLY WITH #4 S REBARS EVERY FOUR FEET. COURSE OF BLOCK SHALL BE FILLED SOLID WITH CONCRETE AROUND REINFORCING BARS. TOP COURSE OF BLOCK SHALL BE FILLED SOLID WITH CONCRETE AND #4" DIAMETER ANCHOR BOLTS SHALL BE PLACED 4" TO 6" O.C.

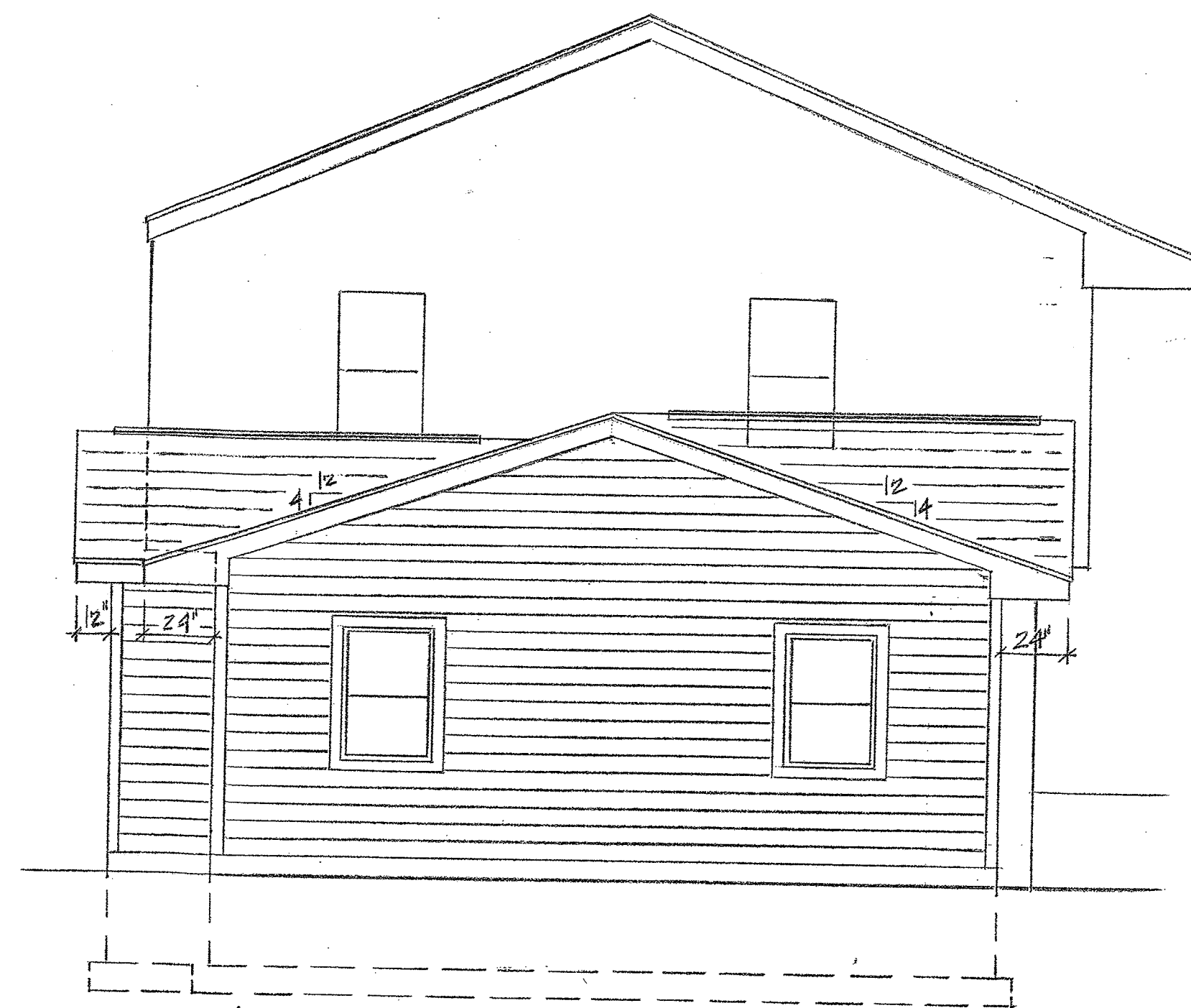


FRONT ELEVATION



REAR ELEVATION

SCALE: 1/4"=1'-0"

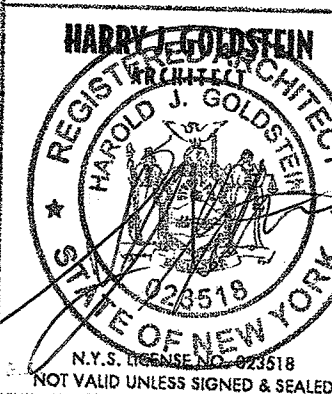


LEFT SIDE ELEVATION

ZONING BOARD OF APPEALS
Meeting Of:
FEB 1 2023
Town Of Orangetown

MEGDANIS RESIDENCE
ONE-STORY ADDITION

86 YALE TERRACE
BLAUVELT, NEW YORK



HARRY J. GOLDSTEIN
ARCHITECT
DESIGN & DEVELOPMENT

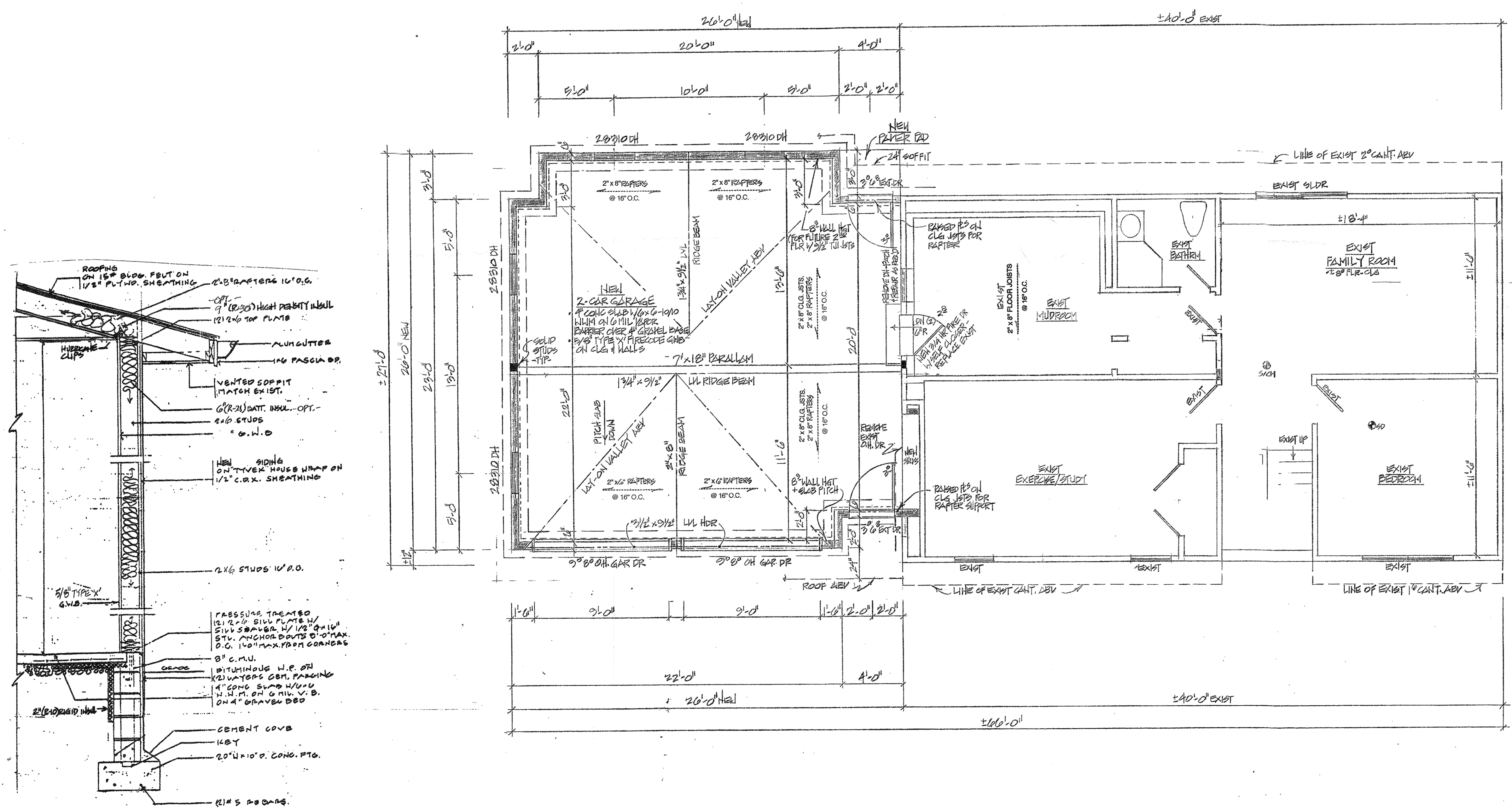
4 REGINA ROAD
MONSIEY, NEW YORK 10952
(845) 356-7942 (914) 393-5787

PROJECT 220748
AUGUST 15, 2022

1
OF
2

GENERAL SPECS. CONTINUED

- FRAMING**
25. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL, FREE FROM ROT, LARGE AND LOOSE KNOTS, SHAKES, AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZES INDICATED ON DRAWINGS. STUDS, SILL, POSTS, LINTELS AND RAFTERS SHALL BE HEM-FIR (19% MAXIMUM GRADE EXCEPT IF NOTED OTHERWISE HEREINAFTER IN THIS SPECIFICATION OR ON THE DRAWINGS. THE MIN. UNIT STRESS FOR HEM-FIR SHALL BE:
- | | |
|---------------------------|-----------------|
| FIBER STRESS (F) | = 1600 PSI |
| HORIZONTAL SHEAR (FV) | = 95 PSI |
| MODULUS OF ELASTICITY (E) | = 1,400,000 PSI |
- WHERE INDICATED ON THE DRAWINGS WITH THE NOTATION FB-140 ONLY DOUGLAS FIR LARCH-NORTH (19% MAX. MOISTURE) NO. 1 GRADE SHALL BE USED WITH THE FOLLOWING MIN. UNIT STRESSES:
- | | |
|---------------------------|-----------------|
| FIBER STRESS (F) | = 1600 PSI |
| HORIZONTAL SHEAR (FV) | = 95 PSI |
| MODULUS OF ELASTICITY (E) | = 1,800,000 PSI |
- CALCULATED DESIGN LOADS (ADD 10 PSI DEAD LOAD ALL SPANS):
- | | |
|--------|----------------------|
| ROOF | 20 PSI LIVE LOAD (S) |
| FLOORS | 40 PSI LIVE LOAD (S) |
| ATTIC | 20 PSI LIVE LOAD (S) |
| DECKS | 60 PSI LIVE LOAD (S) |
26. ALL SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY WALLS, SLABS, ETC. SHALL BE PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED). SILL SEAL SHALL BE OWENS CORNING SILL SEALER (OR APPROVED EQUAL). TERMITES SHIELD SHALL BE INSTALLED WHERE REQUIRED BY SITE CONDITIONS AND BUILDING CODES.
27. DOUBLE JOISTS SHALL BE INSTALLED UNDER ALL PARTITIONS RUNNING PARALLEL WITH SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE STUDS SHALL BE INSTALLED AROUND ALL WALL OPENINGS. ONE ROW OF SOLID BRIDGING AT MID-HEIGHT WITH ALL INTERIOR BEARING WALLS, DOUBLE FRAMING AROUND ALL SKYLIGHTS, ROOF AND FLOOR TRUSSES (I/J) AND L.V.L. (MIDSPAN JOIST) TO BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATION. FLOOR JOISTS SHALL RECEIVE CROSSBRIDGING AT 7'-0" O.C. MAXIMUM SPACING.
28. INTERIOR SUBFLOOR SHALL BE 3/4" TONGUE AND GROOVE SHEATHING GLED AND NAILED OVER PREFABRICATED FLOOR TRUSSES OR TWO LAYERS OF 1/2" PLYWOOD AND PERPENDICULAR TO EACH OTHER, WITH BUILDING PAPER BETWEEN LAYERS; GLED AND NAILED TO FLOOR JOISTS. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR GRADE APPLIED HORIZONTALLY WITH VERTICAL JOINTS STAGGERED 4". ROOF SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD, UNLESS OTHERWISE NOTED.
29. EXTERIOR WALLS SHALL BE 2" X 4" WOOD FRAMING. INTERIOR PARTITIONS SHALL BE 2" X 4" WOOD FRAMING. STUDS SHALL BE PLACED AT 16" ON CENTER (UNLESS OTHERWISE NOTED) AND RECEIVE BLOCKING AT MID-HEIGHT AS REQUIRED. STUDS AT CORNERS UNDER CATHEDRAL CEILINGS SHALL RUN FULL HEIGHT FROM SOLE PLATE TO ROOF AND SHALL RECEIVE SOLID BLOCKING AT 2' ABOVE FLOOR. ALL BEARING WALLS AND PARTITIONS SHALL RECEIVE BLOCKING AT MID-HEIGHT.
30. HEADERS OVER ALL DOORS, WINDOWS, AND OTHER OPENINGS UNDER 6' 0" SHALL BE 2" X 10" (UNLESS OTHERWISE NOTED). HEADERS OVER 6' 0" TO 8' 0" SHALL RECEIVE 2" X 10" OR 2" X 12" HEADERS IN EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
31. ALL EXTERIOR DECKS SHALL BE FRAMED WITH PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED). LUMBER SHALL HAVE THE FOLLOWING MINIMAL STRESSES: F 1500 PSI AND E 1,400,000 PSI AND SHALL BE SOUTHERN YELLOW PINE OR APPROVED EQUAL. OILY VARNISHED HEAVY DUTY POST BASES SHALL BE PROVIDED AT BASE OF ALL WOOD COLUMNS. DECK JOISTS SHALL RECEIVE DIAGONAL CROSS BRACE OR DIAGONAL BRACING. DECKS AND RAILS TO BE NON-TOXIC LUMBER, I.E. DOUGLAS FIR, CEDAR, OR EQUAL. RAILINGS TO BE CONSTRUCTED AT 36" HEIGHT AND WITH MAXIMUM 4" SPHERE OPENING, AS PER CODES.
32. ROOFING MATERIAL SHALL BE MINIMUM 30 YEAR FIBERGLASS SHINGLES (OWENS CORNING OR APPROVED EQUAL) OVER 1/2" ROOFING FELT. VALLEY FLASHING AND OTHER APPROPRIATE FLASHING SHALL BE PROVIDED AS REQUIRED. ICE AND WATER SHIELD SHALL BE INSTALLED AS REQUIRED.
33. FASCIA BOARDS SHALL BE SCARFED AT A 45 DEGREE ANGLE OR 90 DEGREE ANGLE. FASCIA BOARDS SHALL BE COMMON PINE WRAPPED IN ALUMINUM, UNLESS OTHERWISE NOTED.
34. ALUMINUM GUTTERS AND LEADERS SHALL BE PROVIDED AS REQUIRED. SPLASH BLOCKS SHALL BE PROVIDED AT OUTLETS UNLESS CODES PROVIDING FOR WATER DIVERSION ARE PROVIDED. ALL WATER MUST DRAIN AWAY FROM STRUCTURE SO AS NOT TO CONTRIBUTE TO CORROSION WATER SPREAD AT FOUNDATION.
- DOORS AND WINDOWS**
41. WINDOWS SHALL BE SIZE, TYPE AND MFG. AS INDICATED ON PLANS, WITH SCREENS AND HARDWARE PROVIDED. GLAZING LESS THAN 1/8" ABOVE FLOOR SHALL BE TEMPERED. OPTIONS SUCH AS GLAZING, GRILLS, COLORES, ETC. SHALL BE SELECTED BY OWNER AND/OR BUILDER PRIOR TO CONSTRUCTION. HEAD HEIGHT SHALL BE 8' - 10", UNLESS OTHERWISE NOTED.
42. EXTERIOR DOORS TO BE OF THE MANUFACTURER, TYPE, SIZE, AND STYLE AS INDICATED ON THE DRAWINGS. ANY MANUFACTURER'S OPTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL DOORS SHALL BE 6' 8" HEIGHT UNLESS OTHERWISE NOTED. PROVIDE WEATHER STRIP SADDLE ON ALL EXTERIOR DOORS. PROVIDE ALUMINUM SADDLE ON ALL INTERIOR PER-SCHNEIDER GARAGE DOORS.
- PLUMBING**
43. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REQUIREMENTS AND SHALL BE SUBJECT TO THE APPROVAL OF THE PLUMBING INSPECTOR. PLUMBING WORK SHALL BE PROVIDED BY CONTRACTOR. BATHROOM FIXTURES SHALL BE KOLAER AMERICAN STANDARD, OR APPROVED EQUAL. OWNER SHALL SELECT FIXTURES AND COLORS. PLUMBING FIXTURES TO BE MANUFACTURED BY (OR EQUAL).
44. ALL ELECTRICAL WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE N.Y.S.P.L. AND LOCAL UTILITY COMPANY. GROUND FAULT INTERRUPT, DUPLEX RECEPTACLE, ETC. SHALL BE INSTALLED AS REQUIRED ACCORDING TO KITCHEN AND/OR BATH LAYOUTS AND CODE REQUIREMENTS.
- HEATING / VENTILATING / AIR CONDITIONING**
45. ALL HEATING AND AIR CONDITIONING WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES. THE HEATING AND AIR CON. DUCTING SYSTEM SHALL MEET ALL REQUIREMENTS OF THE NEW JERSEY STATE ENERGY CONSERVATION CONSTRUCTION CODE AS THEY APPLY.
- THERMAL AND MOISTURE PROTECTION**
46. APPLY FOUNDATION DAMPROOFING OR WATERPROOFING ON ALL BAGGILL FACES OF WALLS BELOW EARTH GRADE.
47. PROVIDE 1/2" BUILDING FELT, "TYVEK", OR EQUAL, BEHIND ALL SIDING, WIN. DOWN, AND DOOR CASINGS, NAIL TRIMS, ETC.
48. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED, CAULKED, WEATHER STRIPPED OR OTHERWISE PROPERLY SEALED.
- INTERIOR**
49. ALL ONIUM BOARD SHALL BE SCREWED ON CEILINGS AND/OR NAILED TO WALLS. IT RECEIVE THREE COATS OF SPACKLE, FINISHED TO RECEIVE TWO COATS OF PAINT, ONE COAT OF PRIMER, COLORS BY OWNER. BATHROOMS SHALL RECEIVE WATERPROOF SHEETROCKING TILE AREAS AND WONGERBOARD OR APPROVED EQUAL BEHIND TILE IN BATH AND SHOWER AREAS.
50. FLOORING, TRIM, CLOSET SHELVING, CABINETRY, APPLIANCES, FIXTURES, HARDWARE ETC. SHALL BE SELECTED BY OWNER AND INSTALLED BY BUILDER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
51. INTERIOR DOORS SIZED AS INDICATED ON DRAWINGS, STYLE AND TYPE BY OWNER/CONTRACTOR.
52. CERAMIC TILE OR MARBLE FLOORS IN THE AREA INDICATED ON PLANS SHALL BE INSTALLED IN A "MUD" BASE.
53. OAK HARDWARE FLOORS SHALL BE INSTALLED MINIMUM 3 DAYS AFTER DELIVERY AND BUILDING TO BE HEATED. OAK FLOORS TO RECEIVE TWO COATS OF POLYURETHANE, OXI SEAL OR EQUAL.
54. STAIRS TO BE AS INDICATED ON DRAWINGS WITH A MINIMUM OF 9" TREAD, AND A MAXIMUM RISE OF 7". MATERIAL AND STYLE BY OWNER, UNLESS OTHERWISE INDICATED. ANE SHALL BE INSTALLED AS PER STATE AND LOCAL CODES. ALL RAILINGS TO BE 36" HIGH. MINIMUM. STYLE AND MATERIAL TO BE SELECTED BY OWNER, AND SHALL CONFORM TO ALL STATE AND LOCAL CODES. IF SPINER MARKED OPENING, ALL EXPOSED WOOD ANE TRIM TO RECEIVE ONE COAT OF STAIN AND OPTIONAL TWO COATS POLYURETHANE.



STATE OF NEW YORK ADOPTED CODES AND STANDARDS

INTERNATIONAL RESIDENTIAL CODE- NY ED, 2015
 NATIONAL ELECTRICAL CODE, 2015
 NATIONAL STANDARD PLUMBING CODE, 2015
 INTERNATIONAL ENERGY CONSERVATION CODE, 2016 (RESIDENTIAL)
 INTERNATIONAL MECHANICAL CODE, 2015
 INTERNATIONAL FUEL GAS CODE, 2015
 2016 RESIDENTIAL PRESCRIPTIVE PACKAGE

NOTE: TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, PLANS ARE IN COMPLIANCE WITH THE 2015 IECC & NYS ENERGY CODE SUPPLEMENT

MEGDAN'S RESIDENCE
ONE-STORY ADDITION

86 YALE TERRACE
BLAUVELT, NEW YORK

HARRY J. GOLDSTEIN
 ARCHITECT

REGISTERED ARCHITECT
 STATE OF NEW YORK
 NO. 13510

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PROJECT 220748
 AUGUST 15, 2022

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