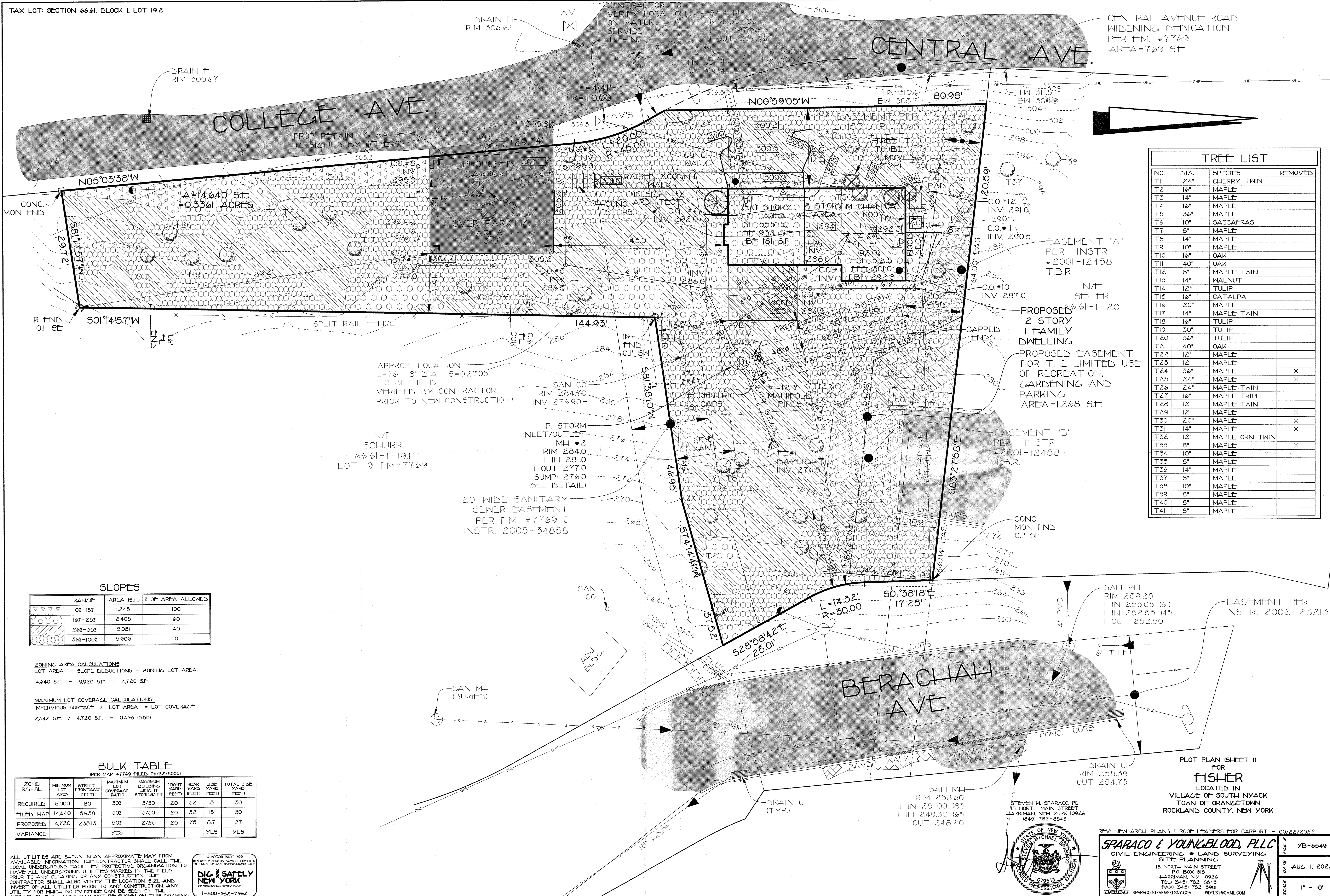


TAX LOT: SECTION 66.61, BLOCK I, LOT 19.2



TREE LIST			
NO.	DIA.	SPECIES	REMOVED
T1	24"	CHERRY TWIN	
T2	16"	MAPLE	
T3	14"	MAPLE	
T4	16"	MAPLE	
T5	36"	MAPLE	
T6	10"	SASSAFRAS	
T7	8"	MAPLE	
T8	14"	MAPLE	
T9	10"	MAPLE	
T10	16"	OAK	
T11	40"	OAK	
T12	8"	MAPLE TWIN	
T13	14"	WALNUT	
T14	12"	TULIP	
T15	16"	CATALPA	
T16	20"	MAPLE	
T17	14"	MAPLE TWIN	
T18	16"	TULIP	
T19	30"	TULIP	
T20	36"	TULIP	
T21	40"	OAK	
T22	12"	MAPLE	X
T23	12"	MAPLE	X
T24	36"	MAPLE	X
T25	24"	MAPLE	X
T26	24"	MAPLE TWIN	
T27	16"	MAPLE TRIPLE	
T28	12"	MAPLE TWIN	
T29	12"	MAPLE	X
T30	20"	MAPLE	X
T31	14"	MAPLE	X
T32	12"	MAPLE ORN TWIN	
T33	8"	MAPLE	X
T34	10"	MAPLE	
T35	8"	MAPLE	
T36	14"	MAPLE	
T37	8"	MAPLE	
T38	10"	MAPLE	
T39	8"	MAPLE	
T40	8"	MAPLE	
T41	8"	MAPLE	

**SLOPES**

RANGE	AREA (SF)	% OF AREA ALLOWED
0% - 15%	1,245	100
16% - 25%	2,405	60
26% - 35%	5,081	40
36% - 100%	5,909	0

**ZONING AREA CALCULATIONS:**  
 LOT AREA - SLOPE DEDUCTIONS = ZONING LOT AREA  
 14,640 SF. - 9,920 SF. = 4,720 SF.

**MAXIMUM LOT COVERAGE CALCULATIONS:**  
 IMPERVIOUS SURFACE / LOT AREA = LOT COVERAGE  
 2,342 SF. / 4,720 SF. = 0.496 (50%)

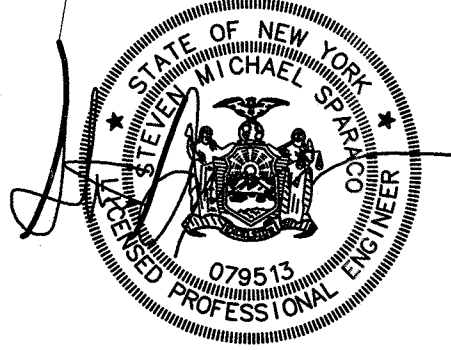
**BULK TABLE**  
 (PER MAP #7769 FILED 06/22/2009)

ZONING	MINIMUM LOT AREA	STREET FRONTAGE (FEET)	MAXIMUM LOT COVERAGE RATIO	MAXIMUM BUILDING HEIGHT (STORIES/ FT)	FRONT YARD (FEET)	REAR YARD (FEET)	SIDE YARD (FEET)	TOTAL SIDE YARD (FEET)
REQUIRED	8,000	80	50%	3/30	20	32	15	30
FILED MAP	14,640	56.38	50%	3/30	20	32	15	30
PROPOSED	4,720	235.13	50%	2/25	20	75	8.7	27
VARIANCE			YES				YES	YES

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND UTILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

18 INVERT PART 703  
 REQUIRES 2 WEEKS ADVANCE NOTICE PRIOR TO START OF ANY UNDERGROUND WORK

**DIG & SAFELY NEW YORK**  
 1-800-962-7962



REV: NEW ARCH. PLANS & ROOF LEADERS FOR CARPORT - 09/22/2022

**SPARACO & YOUNGBLOOD, PLLC**  
 CIVIL ENGINEERING & LAND SURVEYING  
 SITE PLANNING  
 18 NORTH MAIN STREET  
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 SPARACO.STEVE@SELSNY.COM WDYLS1@GMAIL.COM

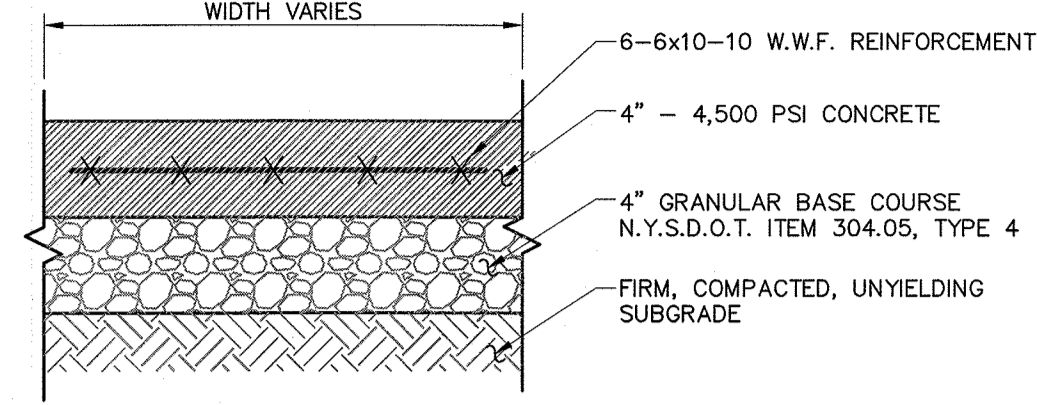
FILE # YB-6549  
 DATE AUG. 1, 2022  
 SCALE 1" = 10'

TAX LOT: SECTION 6661, BLOCK 1, LOT 19.2  
 DEED REFERENCE:  
 INSTR #208-10339 (P10)  
 #208-10339  
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 #208-10398  
 #208-10399  
 #208-10400

- GENERAL NOTES:**
- CONTRACTOR TO VERIFY LOCATION, SIZE AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
  - ALL EXISTING OFF-SITE PAVEMENT, FENCES, CURBS, WALKS AND OTHER FACILITIES DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
  - EXISTING UTILITIES & STRUCTURES THAT ARE TO BE REMOVED AND/OR REPLACED SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
  - PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - UTILITIES AND UTILITY STRUCTURES WHOSE LOCATIONS ARE UNKNOWN MAY BE AFFECTED BY THE PROPOSED WORK. UPON FINDING SUCH UTILITIES THE CONTRACTOR'S RESPONSIBILITY SHALL BE TO NOTIFY THE OWNER AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
  - CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO COMPLETED WORK.
  - ALL NEW UTILITY SERVICE CONNECTIONS, INCLUDING LINES AND EQUIPMENT FOR PROVIDING POWER AND/OR COMMUNICATIONS, ARE TO BE INSTALLED UNDERGROUND.
  - THE EXTENT OF THE CONSTRUCTION AND DISTURBANCE AREAS SHALL BE THE MINIMUM REQUIRED TO PERFORM THE CONTRACT WORK WITH AS MINIMAL EFFECT ON ADJACENT AREAS AS POSSIBLE.
  - ALL NEW STORM DRAINAGE PIPING TO BE SMOOTH BORE CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE SPECIFIED.
  - ROOF LEADERS WHERE REQUIRED TO BE 4" DIA. SDR 35 PVC PIPE AND WILL OUTLET TO DOWNSPOUTS ADJACENT TO THE PROPOSED BUILDINGS.
  - ALL NEW WATER MAINS AND RELATED APPURTENANCES TO BE SPECIFIED BY ARCHITECT'S MECHANICAL ENGINEER.
  - ALL SANITARY HOUSE CONNECTIONS TO BE 6" DIA. CAST IRON WITH A MINIMUM GRADE OF 2% TO THE FIRST CLEAN OUT OUTSIDE THE BUILDING. BEYOND THE FIRST CLEAN OUT, SDR 35 PVC PIPE MAY BE USED IN LIEU OF CAST IRON.
  - ANY SUBSTITUTIONS TO BE REQUESTED IN WRITING AND APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS WITH REGARDS TO DEMOLITION AND LEGAL DISPOSAL OF EXISTING STRUCTURES, WALKS AND DRIVEWAYS.
  - ANY EXISTING HOUSE CONNECTION PROPOSED TO BE ABANDONED MUST BE PLUGGED BETWEEN THE EDGE OF THE "RIGHT-OF-WAY" AND THE CURB LINE WITH A PERMANENT WATER-TIGHT PLUG OR CAP ENCASED IN CONCRETE.
  - WHERE FINISHED GRADE ELEVATION AT BUILDING WALL IS LESS THAN 24" BELOW THE FINISHED FLOOR CONSULT WITH ARCHITECT FOR CHANGES IN FOUNDATION AND SILL DESIGN.
  - CONTRACTOR TO OBTAIN AND SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL BEFORE MANUFACTURING.
  - RETAINING WALLS SHALL BE LESS THAN 4 FEET IN HEIGHT. RETAINING WALLS MORE THAN 4 FEET IN HEIGHT ARE REQUIRED TO BE DESIGNED BY A CERTIFIED STRUCTURAL ENGINEER.
  - THE EXISTING WELL IS TO BE DECOMMISSIONED IN ACCORDANCE WITH ARTICLE 11 OF THE ROCKLAND COUNTY SANITARY CODE UNLESS A REVISED LETTER TO THE CONTRARY FROM THE ROCKLAND COUNTY DEPARTMENT OF HEALTH IS RECEIVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  - THIS PLAN IS BASED ON ARCHITECTURAL PLANS BY KIER B. LEVESQUE, R.A. ARCHITECT DATED APRIL 12, 2022.
  - AN INTERIOR CHECK VALVE SHALL BE PROVIDED ON THE SOIL LINE IF CAST IRON INVERT IS BELOW THE UPSTREAM MANHOLE RIM ELEVATION.
  - THIS PLAN IS BASED ON SURVEY PREPARED BY "SPARACO & YOUNGBLOOD, LLC" DATED 01/05/2022.

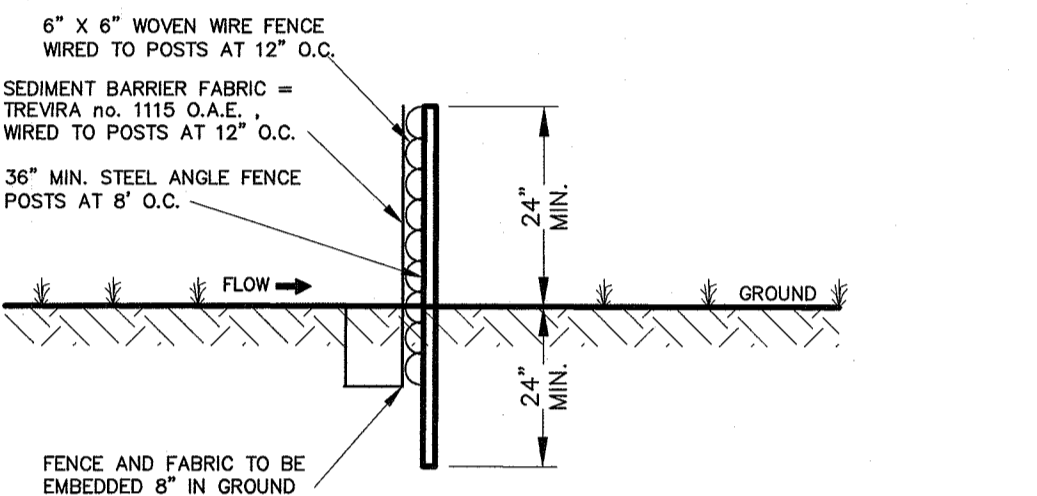
- EROSION CONTROL INFORMATION:**
- EROSION AND SEDIMENT CONTROL PLAN - CONSTRUCTION SEQUENCE:**
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES AND OR UTILITIES.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR STABILIZED.
  - INSTALL STABILIZED CONSTRUCTION ENTRANCE AS INDICATED ON PLAN.
  - INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AND DOWN SLOPE OF ALL AREAS DESIGNATED FOR TOPSOIL STOCKPILING.
  - CONSTRUCT BERMS, TEMPORARY SHALES AND PILES AS NECESSARY TO DIRECT RUNOFF TO TEMPORARY SEDIMENTATION ENTRAPMENT AREAS.
  - CLEAR EXISTING TREES, VEGETATION AND EXISTING STRUCTURES FROM AREAS TO BE FILLED OR EXCAVATED. STRIP AND STOCKPILE TOPSOIL FROM AREAS TO BE DISTURBED. SEED STOCKPILED TOPSOIL WITH TEMPORARY RYE GRASS COVER.
  - PERFORM EXCAVATION AND FILL TO BRING LAND TO DESIRED GRADE. ANY DISTURBED AREAS TO REMAIN BARE SHOULD BE SEED WITH TEMPORARY RYE GRASS.
  - INSTALL UNDERGROUND UTILITIES, MANHOLES AND CATCH BASINS. GRATES OF CURB AND FIELD INLETS SHOULD BE LEFT AT ELEVATIONS WHICH PERMIT PROPER COLLECTION OF SURFACE RUNOFF.
  - INSTALL INLET PROTECTION AT CURB AND FIELD INLETS.
  - CONSTRUCT CURBS AND INSTALL BASE AND BINDER COURSES OF PAVED AREAS. RAISE GRATES OF THE CURB AND FIELD INLETS ACCORDINGLY.
  - COMPLETE THE GRADING.
  - INSTALL SURFACE COURSE OF PAVEMENT. RAISE GRATES OF CURBS AND FIELD INLETS TO FINAL ELEVATION.
  - UPON COMPLETION OF CONSTRUCTION ALL DISTURBED AREAS ARE TO BE SEED WITH 1/2 LB. OF RYE GRASS PER 1000 SQUARE FEET OR DISTURBED AREA. ALL TEMPORARY DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
  - FOR INDIVIDUAL HOUSE & SEPTIC CONSTRUCTION FOLLOW STEPS #1 TO #15 WHERE APPLICABLE.
  - BARE SOIL SHOULD BE SEED WITHIN 14 DAYS OF EXPOSURE. WHENEVER CONSTRUCTION IS SUSPENDED OR COMPLETED AREAS SHOULD BE SEED DOWN OR MULCHED IMMEDIATELY. UPON COMPLETION A PERENNIAL MIX NEEDS TO BE USED TO ENSURE CONTINUAL STABILIZATION.

- STANDARD EROSION CONTROL NOTES:**
- AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING AS APPLICABLE:
- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING CARTLIER, BERMS, RIP-RAP, CRUSHED STONE DAMS OR OTHER SUITABLE MATERIALS. DIVERSION SHALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS WHICH SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
  - ALL DISTURBED AREAS EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEED WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICAL BY INSTALLATION OF THE BASE COURSE.
  - SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
  - AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
  - PROVIDE INLET PROTECTION TO ALL INLETS ON SITE. (SEE DETAILS)



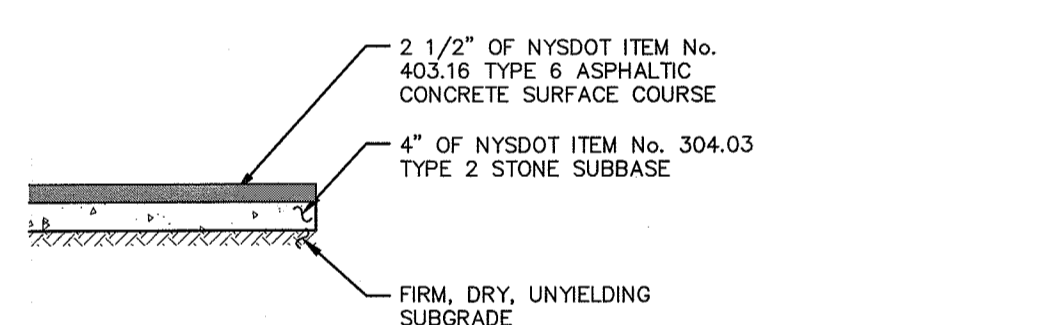
- NOTES:**
- BROOM FINISH EACH SQUARE AT 90° TO PRECEDING SQUARE.
  - PLACE JOINTS EQUAL TO WALK WIDTH OR AS SHOWN ON PLAN.
  - INSTALL 1/2" PRE-MOLDED EXPANSION JOINT FILLER AT 24' O.C. MAX. AND AGAINST CONCRETE CURBS, BUILDINGS AND OTHER STRUCTURES.

**CONCRETE SIDEWALK DETAIL**  
N.T.S.

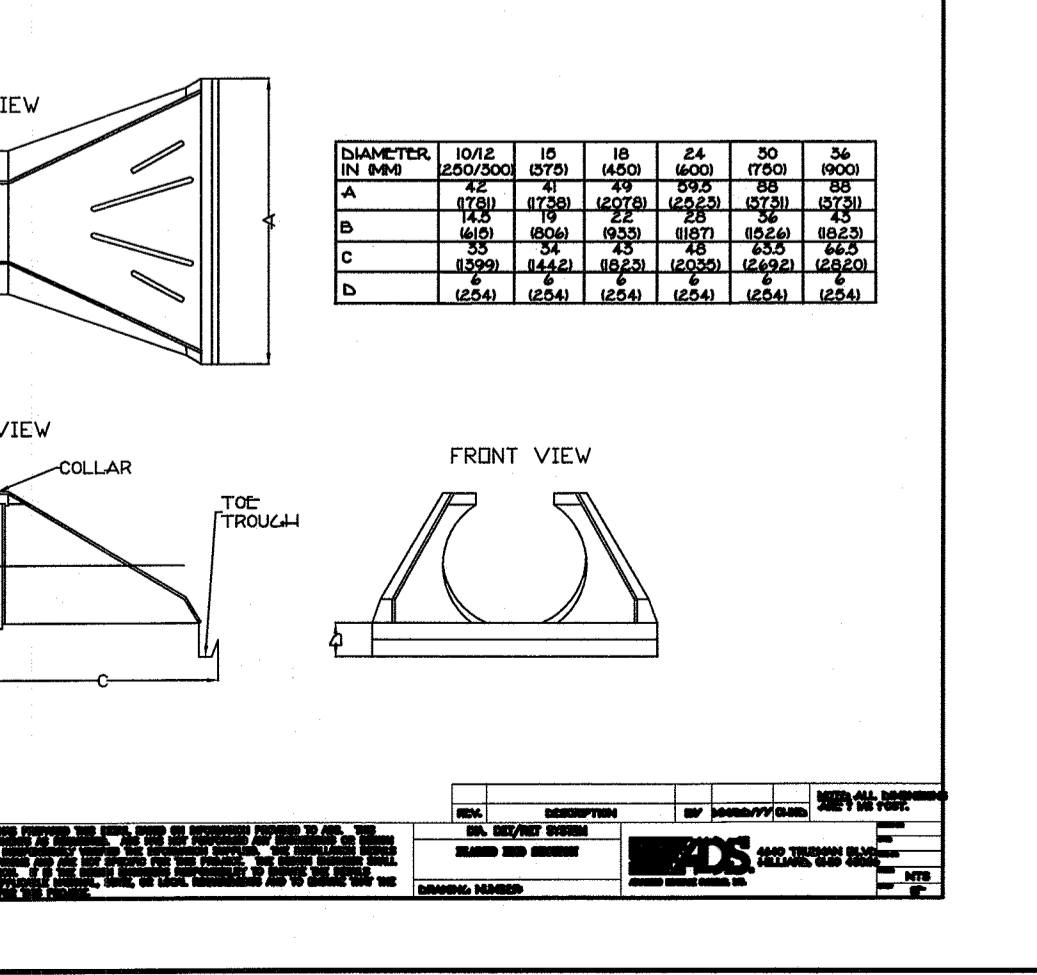


- NOTES:**
- THIS FENCE IS AN ALTERNATE TO HAY BALE SEDIMENT BARRIER.
  - MAINTAIN FENCE TO INSURE SEDIMENT ENTRAPMENT QUALITIES DURING CONSTRUCTION.
  - REMOVE EXCESS SILT PERIODICALLY AND WHEN BULGES DEVELOPE.
  - FENCE SYMBOL ON PLAN =

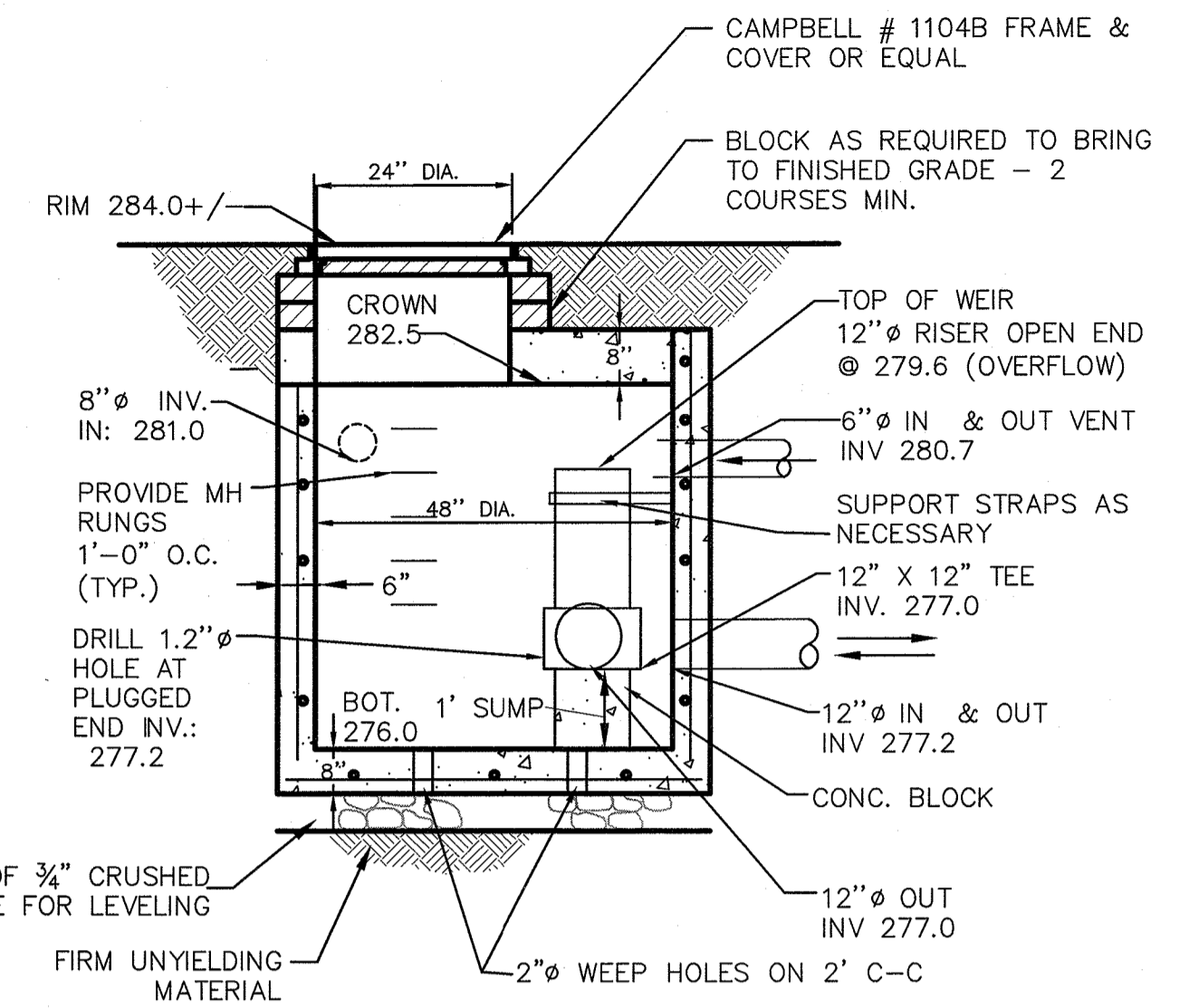
**SEDIMENT BARRIER FENCE**  
N.T.S.



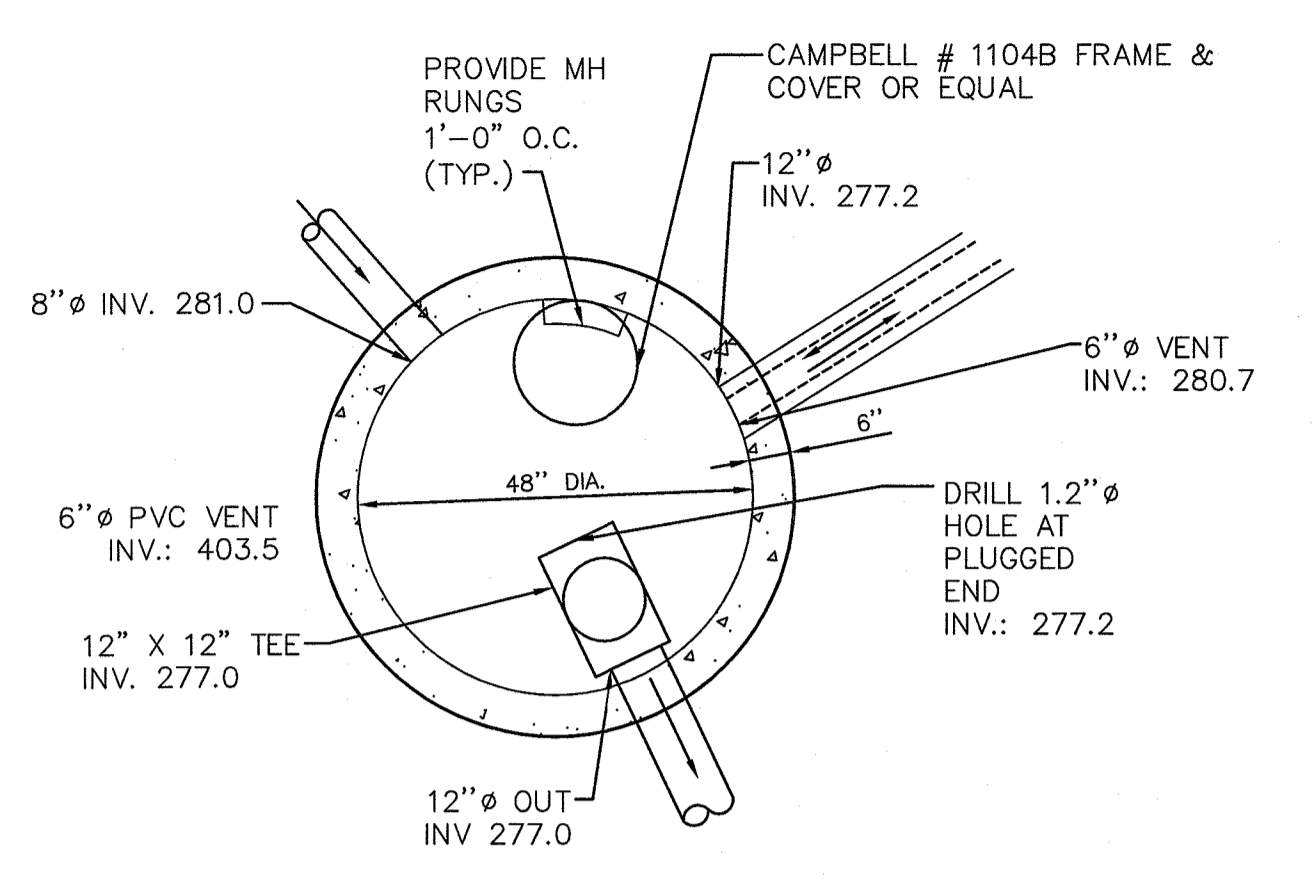
**PRIVATE DRIVEWAY PAVEMENT**  
N.T.S.



DIAMETER	1062	10	18	24	30	36
IN #00	2500/2000	4000	6000	8000	10000	12000
A	42	44	46	48	50	52
B	1720	1720	1720	1720	1720	1720
C	180	180	180	180	180	180
D	1200	1200	1200	1200	1200	1200
E	1050	1050	1050	1050	1050	1050



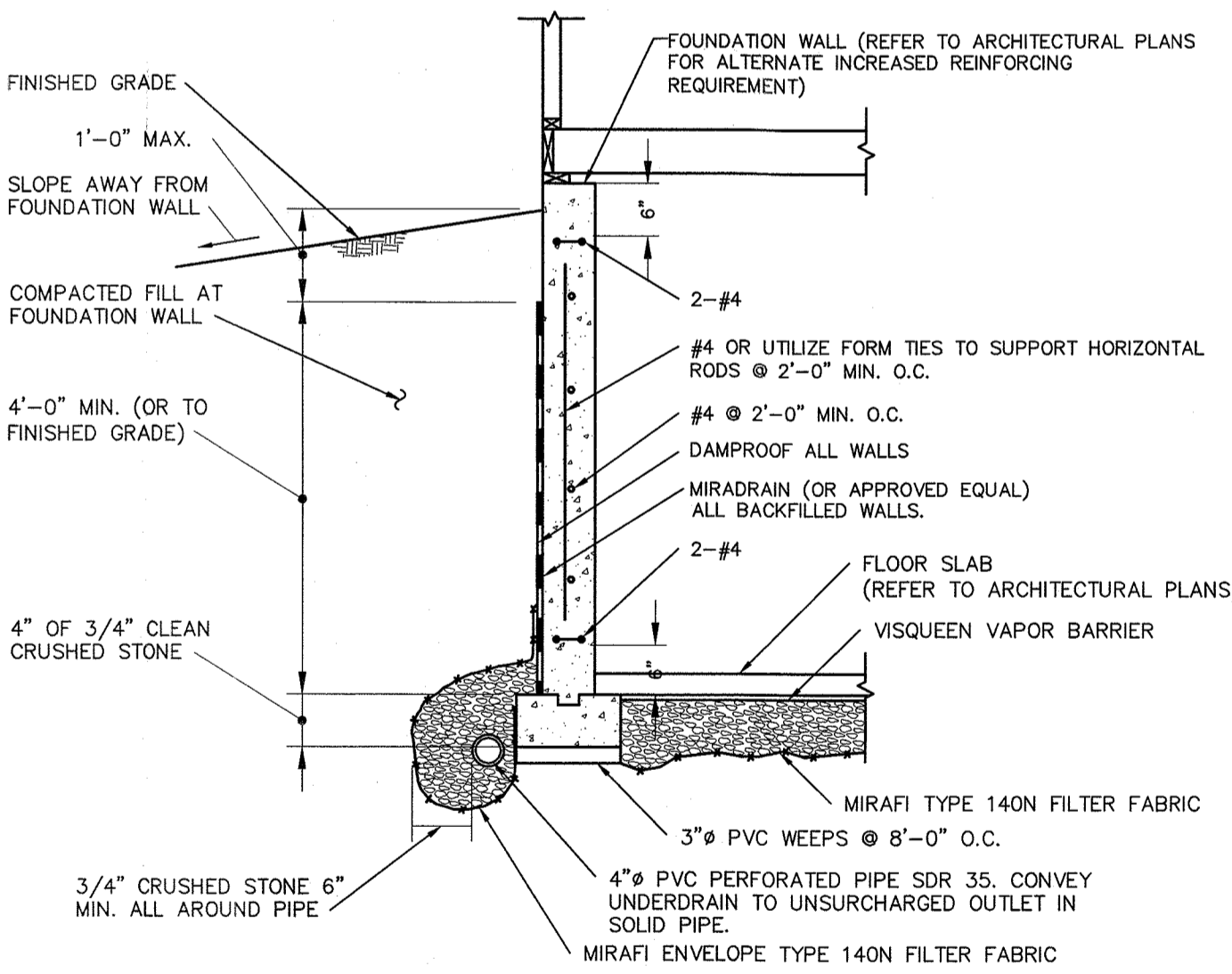
**PROFILE VIEW**



**PLAN VIEW**

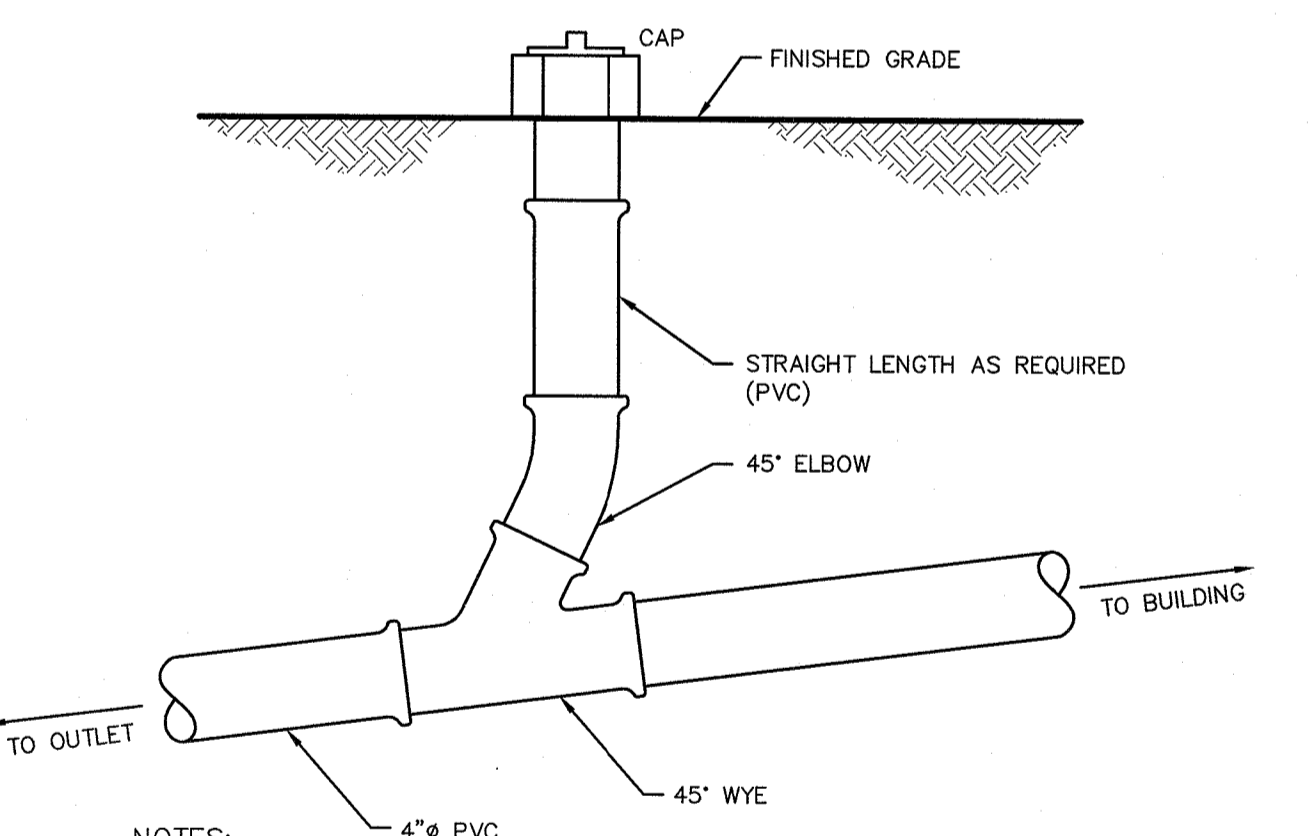
- MANHOLE TO CONFORM TO A.S.T.M. C478 (LATEST REVISION).
- PRECAST CONCRETE MANHOLES WITH RESILIENT SEALS AT JOINTS.
- MANUFACTURER SHALL CERTIFY ALL COMPONENTS MANHOLE FOR HS20 LOADING
- RISER SECTION JOINTS SHALL BE FIELD-MORTARED
- SHOP DRAWING TO BE APPROVED BY DESIGN ENGINEER PRIOR TO CASTING.

**INLET/OUTLET MANHOLE #2**  
N.T.S.



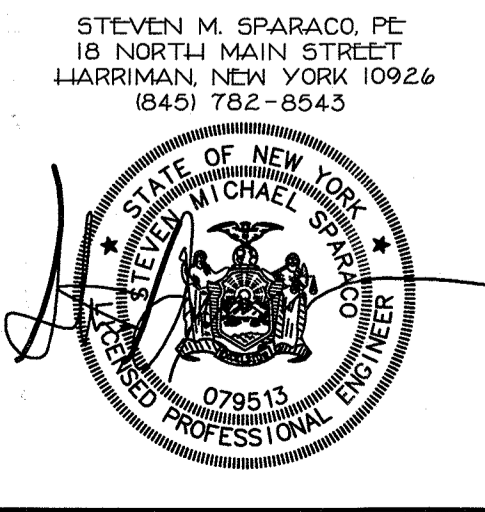
- NOTES:**
- CONVEY ALL ROOF LEADERS AWAY FROM DWELLING IN SEPARATE AND INDEPENDENT 4" (MINIMUM) SDR 35 PVC PIPE.
  - NO CONNECTIONS TO UNDERDRAIN SYSTEM FROM OTHER SOURCES ARE PERMITTED.
  - BACKFILLING OF WALL IS NOT PERMITTED UNTIL FRAMING IS COMPLETED OR WALL IS SUPPORTED INSIDE.
  - STEEL REINFORCEMENT SHOWN IS MINIMUM REQUIREMENT. SEE ARCHITECTURAL PLANS FOR ALTERNATE INCREASED REINFORCING REQUIREMENT.

**FOUNDATION UNDERDRAIN DETAIL**  
N.T.S.



- NOTES:**
- FOR USE AT GRASS AREAS ONLY
  - ALL PIPE SIZES.

**DRAINAGE CLEANOUT DETAIL: NON TRAFFIC**  
N.T.S.



DETAILS & NOTES (SHEET 2 OF 2)  
 FOR  
**FISHER**  
 LOCATED IN  
 VILLAGE OF SOUTH NYACK  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY, NEW YORK

STEVEN M. SPARACO, PE  
 18 NORTH MAIN STREET  
 HARRIMAN, NEW YORK 10926  
 (845) 782-8543

REV: NEW ARCH PLANS & ROOF LEADERS FOR CARPORT - 09/22/2022

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 SPARACO.STEVE@SINY.COM WDW151@GMAIL.COM

FILE # YB-6549  
 DATE AUG. 1, 2022  
 SCALE AS NOTED