

Hauser

Historical Areas Board of Review(HABR)

Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 200 KINGS HWY, TAPPAN Section/Block/Lot: 77.07/1/35

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:			
Siding:			
Decorative Siding:			
Soffits & Fascia:			
Gutters & Leaders:			
Windows:			
Trim:			
Shutters:			
Front Door:			
Back Door:			
Garage Door(s):			
Other Door(s):			
Lighting:			
Lighting:			
Stone or Rock being used on Structure:			
Stone or Rock being used on walkway(s):	BLUE STONE	SLABS	
CABANA 22'x11'-2"	ZINC / ROOF	STANDING SEAM	DREXEL METALS
VINYL IN GROUND SWIMMING POOL	BLUE LINER	VINYL	WEST ROCK POOLS, NANUET, NY

Name of Municipality: **TOWN OF ORANGETOWN**

Date Submitted: **28 SEPT 2022**

2022 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: _____

ASSIGNED

INSPECTOR: _____

Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: **HAUSER STRA PLAN**

Street Address: **200 KINGS HIGHWAY, TAPPAN, NY 10983**

Tax Map Designation:

Section: **77.07** Block: **1** Lot(s): **35**
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the **WEST** side of **KINGS HIGHWAY**, approximately **135** feet **NORTH** of the intersection of **OLD MILL LANE**, in the Town of **Orangetown** in the hamlet/village of **TAPPAN**.

Acreage of Parcel **3.01**
School District **SOUTH ORANGETOWN**
Ambulance District **SOAC**
Water District **VEOLIA**

Zoning District **R-15**
Postal District **TAPPAN**
Fire District **TAPPAN**
Sewer District **ORANGETOWN**

Project Description: (If additional space required, please attach a narrative summary.)

REVIEW / **APPROVAL FOR A VINYL-IN GROUND SWIMMING POOL, 15'X30'. AND A 22'X11'-2" CABANA.**

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: **28 SEPT 2022** Applicant's Signature: **Joseph Mause**

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 4345
- 2) Total square footage 8799
- 3) Number of dwelling units 1

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. SPARKILL CREEK

Are there **wetlands** on the site? If yes, please provide the names and type: _____

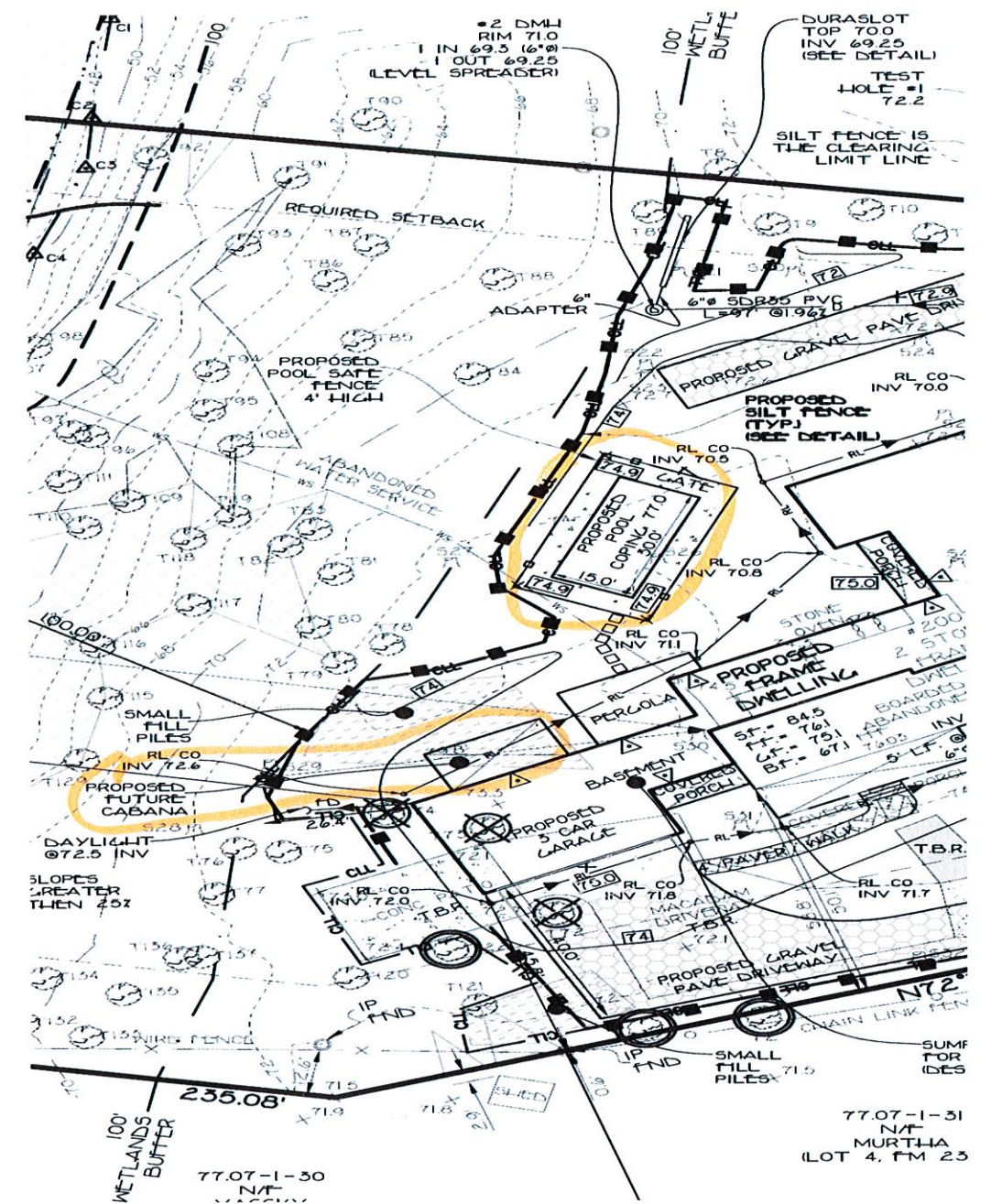
Project History:

Has this project ever been reviewed before? YES

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

HABR APPROVAL ON JUNE 14, 2022, HABR #22-11
PLANNING BOARD FINAL APPROVAL ON JULY 27, 2022 PB-21-6C

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



Site Plan View from Site Drawing 1 of 5.

NOTES:

- THIS IS A SITE PLAN OF LOT 35, GROUP 1, SECTION 77.07 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAP.
- AREA OF TRACT: 132,837 SF - 3,049.95 AC.
- ZONE: R-10
- PROPOSED USE: RESIDENTIAL DWELLING.
- RECORD OWNER: JOSEPH LAUSIER, 200 KINGS HIGHWAY, TAPPAN NY 10964.
- RECORD APPLICANT: JOSEPH LAUSIER, 200 KINGS HIGHWAY, TAPPAN NY 10964.
- FIRE DISTRICT: TAPPAN FIRE DISTRICT.
- SCHOOL DISTRICT: SOUTH ORANGETOWN CENTRAL SCHOOL DISTRICT.
- WATER DISTRICT: VEOLIA WATER NY, INC.
- SEWER DISTRICT: ORANGETOWN.
- UTILITY COMPANY: ORANGE & ROCKLAND UTILITIES.
- THE UNDERSIGNED, OWNER AND/OR APPLICANT, AS A CONDITION OF APPROVAL OF THIS SITE PLAN HEREBY AGREES TO COMPLETE THE WITHIN SITE DEVELOPMENT PLAN AS SHOWN AND ALL IMPROVEMENTS SHOWN THEREON. THE APPLICANT/OWNER IS AWARE THAT NO CHANGES IN THIS PLAN MAY BE MADE WITHOUT APPROVAL BY THE PLANNING BOARD.

STANDARD EROSION CONTROL NOTES:

- AN EROSION CONTROL SYSTEM WILL BE UTILIZED BY THE DEVELOPER TO MINIMIZE THE PRODUCTION OF SEDIMENT FROM THE SITE. METHODS TO BE UTILIZED WILL BE THOSE FOUND MOST EFFECTIVE FOR THE SITE AND SHALL INCLUDE ONE OR MORE OF THE FOLLOWING AS APPLICABLE:
 - TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BORDERS, RIP-RAP GRASSES, STONE DAMS, OR OTHER SUITABLE MATERIALS. DIVERSION SHALES INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS. THESE SHALL BE CLEARED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
 - ALL DISTURBED AREAS EXCEPT ROADWAYS WHICH WILL REMAIN UNPAVED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDDED WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS OF STRAW OR LAY PER 1000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICAL BY INSTALLATION OF THE BASE COURSE.
 - SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
 - AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 - PROVIDE INLET PROTECTION TO ALL INLETS ON SITE. SEE DETAIL.

DATUM:
NAVD 1988 REFERENCE BENCHMARK - RM21
(CHISELED SQUARE ON LEADWALL OF ROUTE 305 BRIDGE OVER THE SPARKILL CREEK)
BENCHMARK ELEVATION 59.99 (NGVD 1929)
FROM PANEL 360686 0006 C EFFECTIVE 8/2/1982
ELEVATION CONVERTED FROM NGVD 1929 TO NAVD 1988 USING CORPSON - 59.99 (NGVD 1929) - 59.00 (NAVD 1988)

FLOODPLAIN NOTE:
A FLOODPLAIN DEVELOPMENT PERMIT IS REQUIRED FROM THE LOCAL FLOODPLAIN PERMIT DEVELOPMENT ADMINISTRATOR.

RCDA NOTE:
NO WORK SHALL BE DONE AT THE SITE PRIOR TO OBTAINING THE REQUIRED STREAM CONTROL ACT PERMIT FROM THE RCDA.

DEEP HOLE AND PERC. DATA:

TEST HOLE TP #1:
EX. ELEV. 72.2 PERC. FOR 1 TESTED AT EL: 65.2 : 30 SEC - PASS.
BOT. HOLE: 58.2
WATER EL: NONE

TEST HOLE TP #2:
EX. ELEV. 71.9 PERC. FOR 2 TESTED AT EL: 64.9 : 13 MIN 20 SEC - PASS.
BOT. HOLE: 58.9
WATER EL: NONE

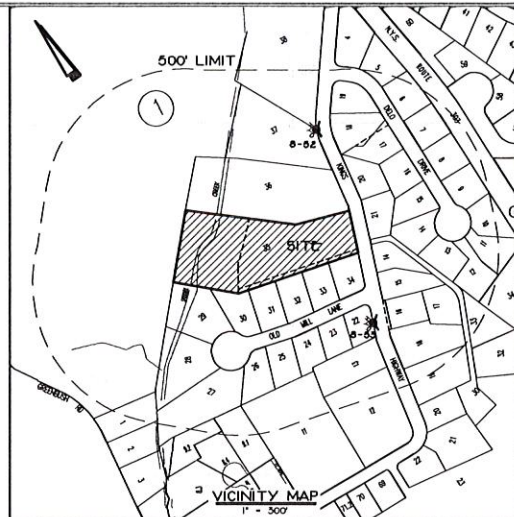
*REFER TO DRAINAGE REPORT DATED 03/14/22 FOR ADDITIONAL REFERENCE DETAIL.

LEGEND

EXISTING	PROPOSED	ITEMS
---	---	PROPERTY LINE
---	---	BUILDING SETBACK LINE
---	---	SANITARY SEWER
---	---	SAN. SEWER MANHOLE
---	---	SEWER SERVICE
---	---	CLEAN-OUT
---	---	WATER MAIN
---	---	WATER SERVICE
---	---	WATER VALVE
---	---	GAS SERVICE
---	---	GAS VALVE
---	---	DRAIN PIPE
---	---	CATCH BASIN
---	---	ROOF LEADER
---	---	UTILITY POLE
---	---	UNDERGROUND ELECTRIC
---	---	TITLE CABLE
---	---	OVERHEAD ELECTRIC
---	---	10' CONTOUR INTERVAL
---	---	5' CONTOUR INTERVAL
---	---	SPOT GRADE
---	---	100 YEAR FLOOD LINE

EROSION CONTROL LEGEND

SYMBOL	ITEMS
---	STABILIZED CONSTRUCTION ENTRANCE
---	INLET PROTECTION
---	SILT FENCE
---	CLEARING LIMIT LINE



GENERAL NOTES:

- CONTRACTOR TO VERIFY LOCATION, SIZE AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
- ALL EXISTING OFF-SITE PAVEMENT, FENCES, CURBS, WALKS AND OTHER FACILITIES DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- EXISTING UTILITIES (STRUCTURES) THAT ARE TO BE REMOVED AND/OR REPLACED SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- UTILITIES AND UTILITY STRUCTURES WHOSE LOCATIONS ARE UNKNOWN MAY BE AFFECTED BY THE PROPOSED WORK. UPON FINDING SUCH UTILITIES, THE CONTRACTOR'S RESPONSIBILITY SHALL BE TO NOTIFY THE OWNER AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
- CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE. THESE REQUIREMENTS TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO COMPLETED WORK.
- ALL NEW UTILITY SERVICE CONNECTIONS, INCLUDING LINES AND EQUIPMENT FOR PROVIDING POWER AND/OR COMMUNICATIONS, ARE TO BE INSTALLED UNDERGROUND.
- THE EXTENT OF THE CONSTRUCTION AND DISTURBANCE AREAS SHALL BE THE MINIMUM REQUIRED TO PERFORM THE CONTRACT WORK WITH AS MINIMAL EFFECT ON ADJACENT AREAS AS POSSIBLE.
- ALL NEW STORM DRAINAGE PIPING TO BE SHOOTED BORE CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE SPECIFIED.
- ROOF LEADERS WHERE REQUIRED TO BE 6" DIA. SDR 35 PVC PIPE AND WILL OUTLET TO DOWNSPOUTS ADJACENT TO THE PROPOSED BUILDING.
- ALL NEW WATER MAINS AND RELATED APPURTENANCES TO BE SPECIFIED BY ARCHITECT'S MECHANICAL ENGINEER.
- ALL SANITARY HOUSE CONNECTIONS TO BE 6" DIA. CAST IRON WITH A MINIMUM GRADE OF "Z" TO THE FIRST CLEAN OUT OUTSIDE THE BUILDING. BEYOND THE FIRST CLEAN OUT, SDR 35 PVC PIPE MAY BE USED IN LIEU OF CAST IRON.
- ANY SUBSTITUTIONS TO BE REQUESTED IN WRITING AND APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS WITH REGARDS TO DEMOLITION AND LEGAL DISPOSAL OF EXISTING STRUCTURES, WALKS AND DRIVEWAYS.
- ANY EXISTING SANITARY SEWER CONNECTION SHALL BE REMOVED IN ITS ENTIRETY FROM THE EXISTING LATERAL STRUCTURE TO THE SANITARY MAIN. THE CONNECTION SHALL BE CUT AND CAPPED AT THE MAIN.
- WHERE FINISHED GRADE ELEVATION AT BUILDING WALL IS LESS THAN 24" BELOW THE FINISHED FLOOR CONSULT WITH ARCHITECT FOR CHANGES IN FOUNDATION AND SILL DESIGN.
- CONTRACTOR TO OBTAIN AND SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL BEFORE MANUFACTURING.
- RETAINING WALLS SHALL BE LESS THAN 4 FEET IN HEIGHT. RETAINING WALLS MORE THAN 4 FEET IN HEIGHT ARE REQUIRED TO BE DESIGNED BY A CERTIFIED STRUCTURAL ENGINEER.
- THE EXISTING WELL IS TO BE DECOMMISSIONED IN ACCORDANCE WITH ARTICLE II OF THE ROCKLAND COUNTY SANITARY CODE, UNLESS A REVISED LETTER TO THE CONTRARY FROM THE ROCKLAND COUNTY DEPARTMENT OF HEALTH IS RECEIVED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THIS PLAN IS BASED ON ARCHITECTURAL PLANS BY "ROAM ARCHITECTURE" RECEIVED ON 02/02/22.
- AN INTERIOR CHECK VALVE SHALL BE PROVIDED ON THE SOIL LINE IF CAST IRON INVERT IS BELOW THE UPSTREAM MANHOLE RIM ELEVATION.
- THIS PLAN IS BASED ON SURVEY PREPARED BY "SPARACO & YOUNGBLOOD, LLC" DATED MAY 23, 2021.
- THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY WORK TO BE PERFORMED ON OR NEAR ANY EXISTING OR PROPOSED SANITARY HOUSE CONNECTION / MAIN.
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING SUPERINTENDENT OF LAWMANS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- ADDITIONAL CERTIFICATION BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS.
- LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 LCM OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.

EROSION CONTROL INFORMATION:

EROSION AND SEDIMENT CONTROL PLAN - CONSTRUCTION SEQUENCE:

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES AND UTILITIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND/OR STABILIZED.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AS INDICATED ON PLAN.
- INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AND DOWN SLOPE OF ALL AREAS DESIGNATED FOR TOPSOIL STOCKPILING.
- CONSTRUCT BERMS, TEMPORARY SHALES AND PILES AS NECESSARY TO DIRECT RUNOFF TO TEMPORARY SEDIMENTATION ENTRAPMENT AREAS.
- CLEAR EXISTING TREES, VEGETATION AND EXISTING STRUCTURES FROM AREAS TO BE FILLED OR EXCAVATED. STRIP AND STOCKPILE TOPSOIL FROM AREAS TO BE DISTURBED. SEED STOCKPILED TOPSOIL WITH TEMPORARY RYE GRASS COVER.
- PERFORM EXCAVATION AND FILL TO BRING LAND TO DESIRED GRADE. ANY DISTURBED AREAS TO REMAIN BARE SHOULD BE SEEDDED WITH TEMPORARY RYE GRASS.
- INSTALL UNDERGROUND UTILITIES, MANHOLES AND CATCH BASINS, GRATES OF CURB AND FIELD INLETS SHOULD BE LEFT AT ELEVATIONS WHICH PERMIT PROPER COLLECTION OF SURFACE RUNOFF.
- INSTALL INLET PROTECTION AT CURB AND FIELD INLETS.
- CONSTRUCT CURBS AND INSTALL BASE AND BINDER COURSES OF PAVED AREAS. RAISE GRATES OF THE CURB AND FIELD INLETS ACCORDINGLY.
- COMPLETE THE GRADING.
- INSTALL SURFACE COURSE OF PAVEMENT, RAISE GRATES OF CURBS AND FIELD INLETS TO FINAL ELEVATION.
- UPON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS ARE TO BE SEEDDED WITH 1/2 LB. OF RYE GRASS PER 1000 SQUARE FEET OR DISTURBED AREA. ALL TEMPORARY DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
- FOR INDIVIDUAL HOUSE (SEPTIC) CONSTRUCTION FOLLOW STEPS #1 TO #10 WHERE APPLICABLE.
- BASE SOIL SHOULD BE SEEDDED WITHIN 14 DAYS OF EXPOSURE. WHENEVER CONSTRUCTION IS SUSPENDED OR COMPLETED AREAS SHALL BE SEEDDED DOWN OR MULCHED IMMEDIATELY. UPON COMPLETION A PERENNIAL MIX NEEDS TO BE USED TO ENSURE CONTINUAL STABILIZATION.

IMPERVIOUS SURFACE:
EXISTING 9,126 SF
PROPOSED 18,990 SF
INCREASE 9,864 SF
14,582 SF IS PERMEABLE

AREA OF DISTURBANCE:
43,230 SF

BULK TABLE:

ZONE	R-10 GROUP M	MINIMUM LOT AREA (ACRES)	MINIMUM LOT WIDTH (FEET)	FRONT YARD (FEET)	SIDE YARD (FEET)	TOTAL SIDE YARD (FEET)	REAR YARD (FEET)	STREET FRONTAGE (FEET)	FLOOR AREA RATIO (FAR)	MAXIMUM BUILDING HEIGHT
REQUIRED		15,000	100	30	20	50	35	75	0.20	50
EXISTING		120,504	155.9	295	50	158	279	155.57	0.04	23
PROPOSED		120,504	155.9	287	45	107	235	155.57	0.09	23
VARIANCE:										

NET LOT AREA CALCULATION:

501 DEDUCTION FOR 100 YEAR FLOOD PLAIN
1064 SF / 501 = 7582 SF

501 DEDUCTION FOR SLOPE AREAS OVER 25%
9502 SF / 501 = 4751 SF

GROSS LOT AREA - TOTAL DEDUCTION = NET LOT AREA
132,837 SF - 12,333 SF = 120,504 SF

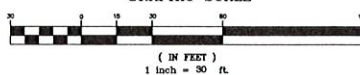
FLOOR AREA RATIO CALCULATION:
GROSS FLOOR AREA / LOT AREA = FAR

EXISTING:
4,545 SF / 120,504 SF = 0.0361 (0.04)

PROPOSED:
9,962 SF / 120,504 SF = 0.0827 (0.09)

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

GRAPHIC SCALE



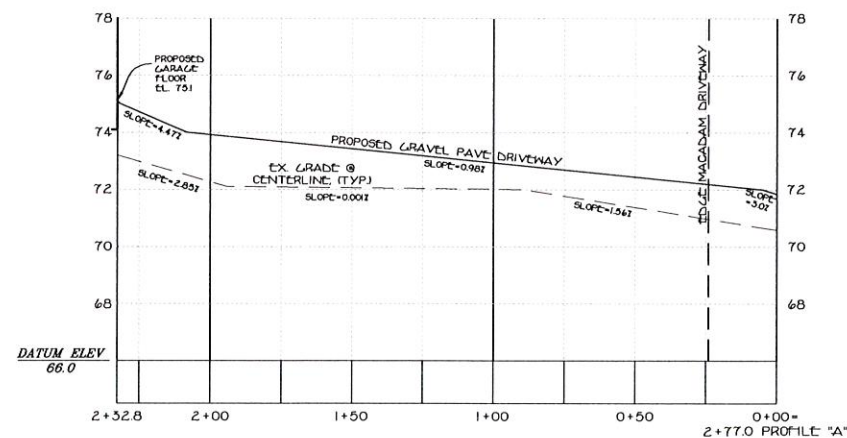
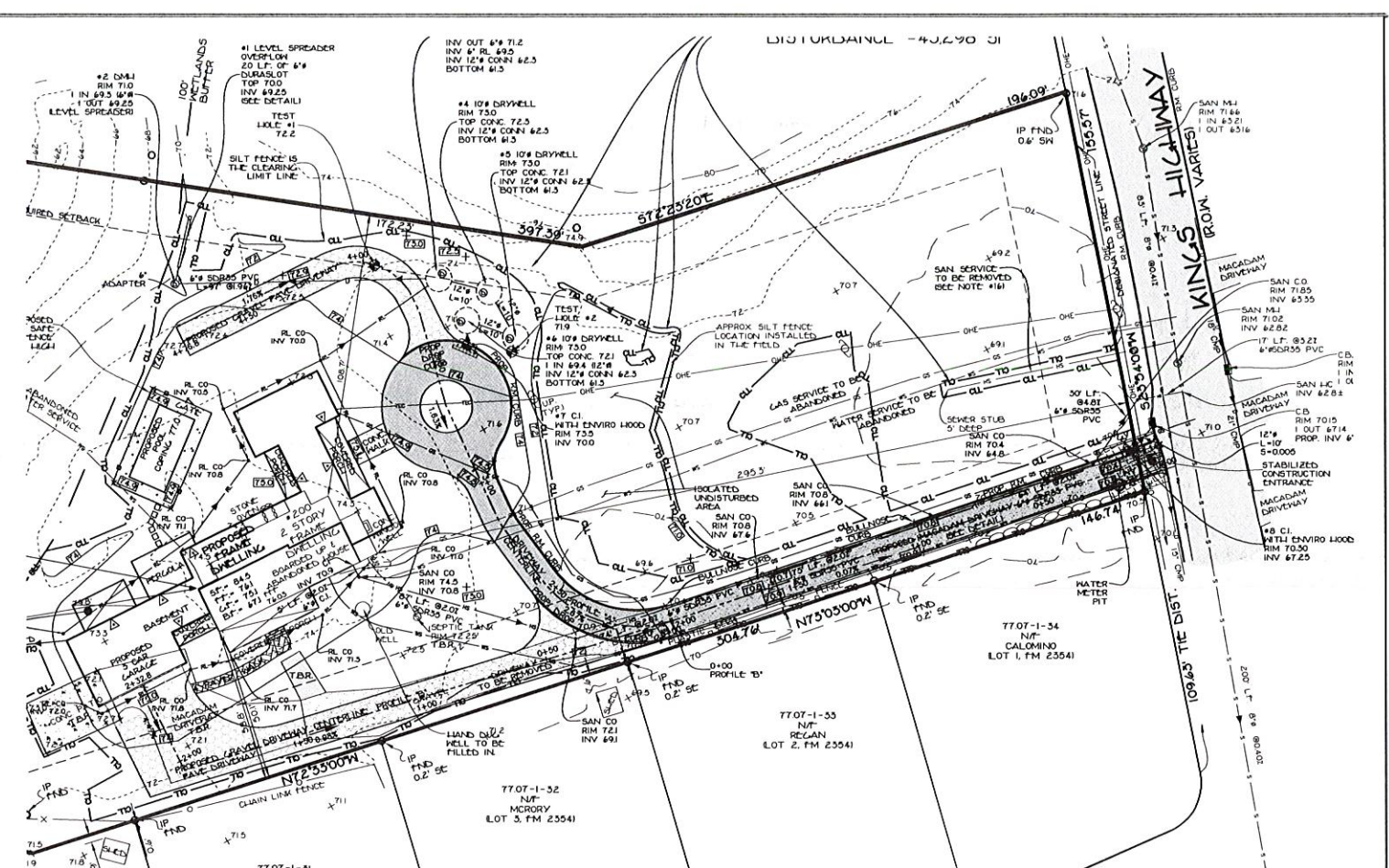
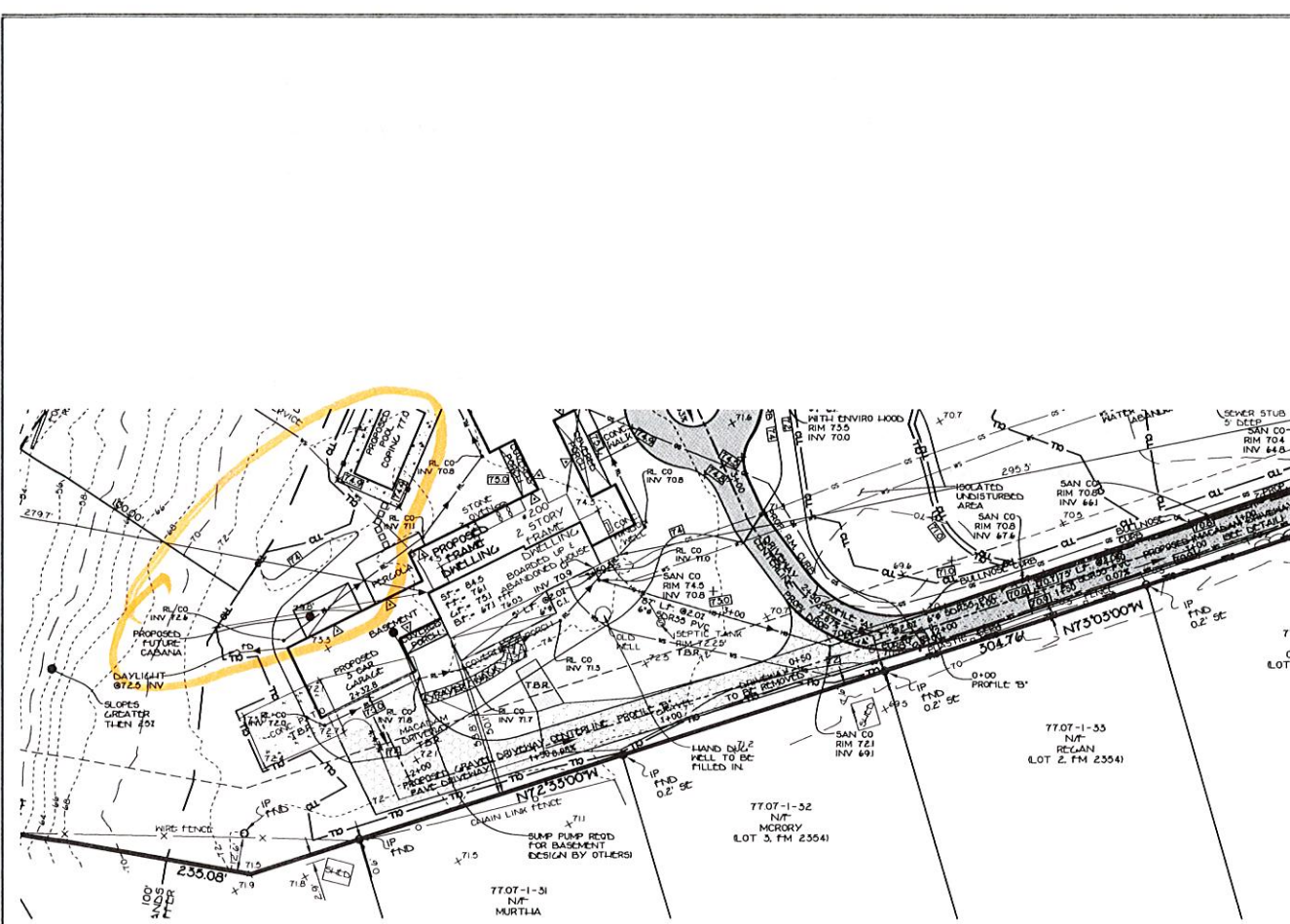
STEVEN M. SPARACO, PE
18 NORTH MAIN STREET
HARRIMAN, NEW YORK 10926
(845) 782-8543



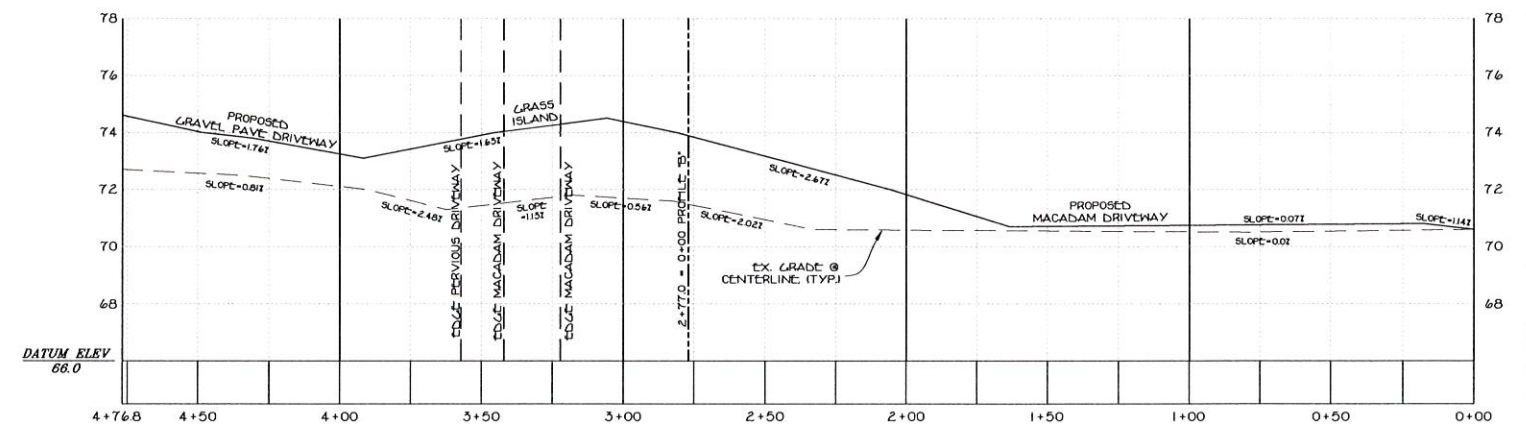
REV. PER COMMENTS - 09/06/2022
REV. FOR CHECK PRINT SUBMISSION - 08/10/2022
REV. CLARIFIED BLDG. LOT, REV. CURB LINE - 06/22/2022
REV. PER COMMENTS - 06/14/2022
REV. PER COMMENTS - 03/14/2022
REV. ADJUSTED ELEVATIONS - 03/10/2022
REV. NEW ARCH. PLANS - 02/22/2022
REV. STUMP & PILE LOCATIONS - 12/02/2021
REV. PER COMMENTS - 12/14/2021

SPARACO & YOUNGBLOOD, PLLC
CIVIL ENGINEERING & LAND SURVEYING
SITE PLANNING
18 NORTH MAIN STREET
P.O. BOX 918
HARRIMAN, NY 10926
TEL: (845) 782-8543
FAX: (845) 782-5901
WWW.SPACOSURVEYS.COM

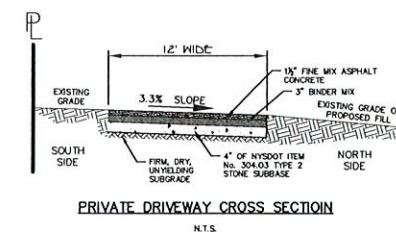
YB-6621
AUG. 5, 2021
1" = 30'



CENTERLINE PROPOSED DRIVEWAY PROFILE 'B' STA: 0+00 TO 2+32.8
SCALE: H-1"=30', V-1"=3'



CENTERLINE PROPOSED DRIVEWAY PROFILE 'A' STA: 0+00 TO 4+76.8
SCALE: H-1"=30', V-1"=3'



PRIVATE DRIVEWAY CROSS SECTION
N.T.S.

STEVEN M. SPARACO, P.E.
18 NORTH MAIN STREET
LIARIMAN, NEW YORK 10926
(845) 782-8543



REV: PER COMMENTS - 09/06/2022
REV: FOR CHECK PRINT SUBMISSION - 08/10/2022
REV: CLARIFIED BLDG. LGT. REV. CURB LINE - 06/22/2022
REV: PER COMMENTS - 06/14/2022
REV: PER COMMENTS - 03/14/2022
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SPARACO.STEVE@SELSNY.COM YOUNGBLOOD@SELSNY.COM

PROFILES (SHEET 2 OF 5)
FOR
200 KINGS HIGHWAY
LOCATED IN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

FILE	YB-6621
DATE	AUG. 5, 2021
SCALE	1" = 30'

YB-6621



ROAM
ARCHITECTURE
181 OLD TAPPAN RD. • TAPPAN, NY 10983
t. 845.267.8479 www.roamarch.com

NOTE:
Written dimensions on this drawing shall have precedence. DO NOT SCALE dimensions directly off this drawing. Contractor shall verify and be responsible for all dimensions and conditions on the job and ROAM ARCHITECTURE, PLLC shall be notified of any variations from the dimensions and conditions shown on this drawing.

[illegible]

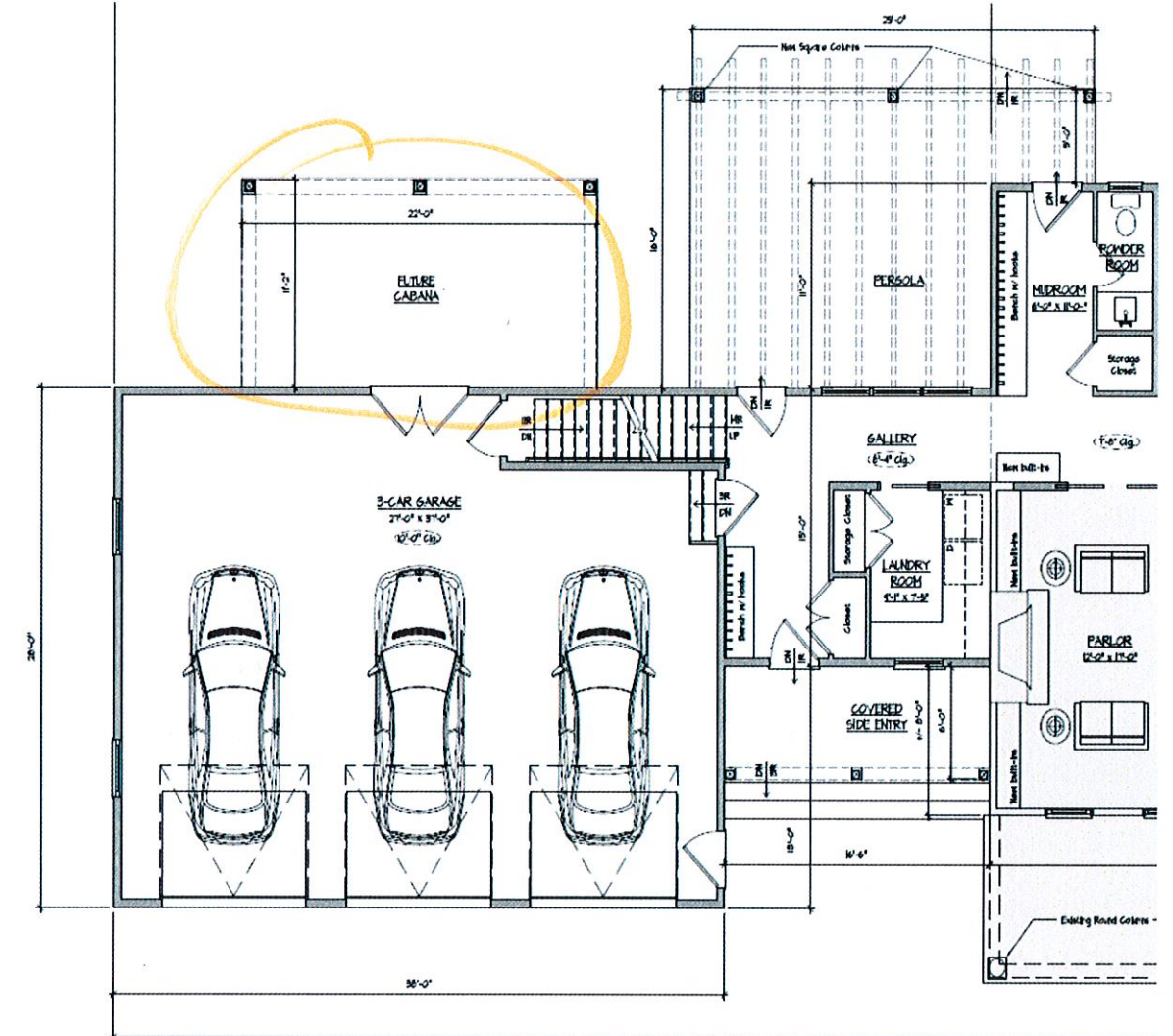
House Renovation And Additions For:
HAUSER RESIDENCE
200 KINGS HIGHWAY
TAPPAN, NEW YORK 10983

FOUNDATION PLAN
DESIGN SCHEME #9



DATE: 02-02-2022
DRAWN BY: RP
SCALE: AS NOTED
JOB NO.: 2021.06

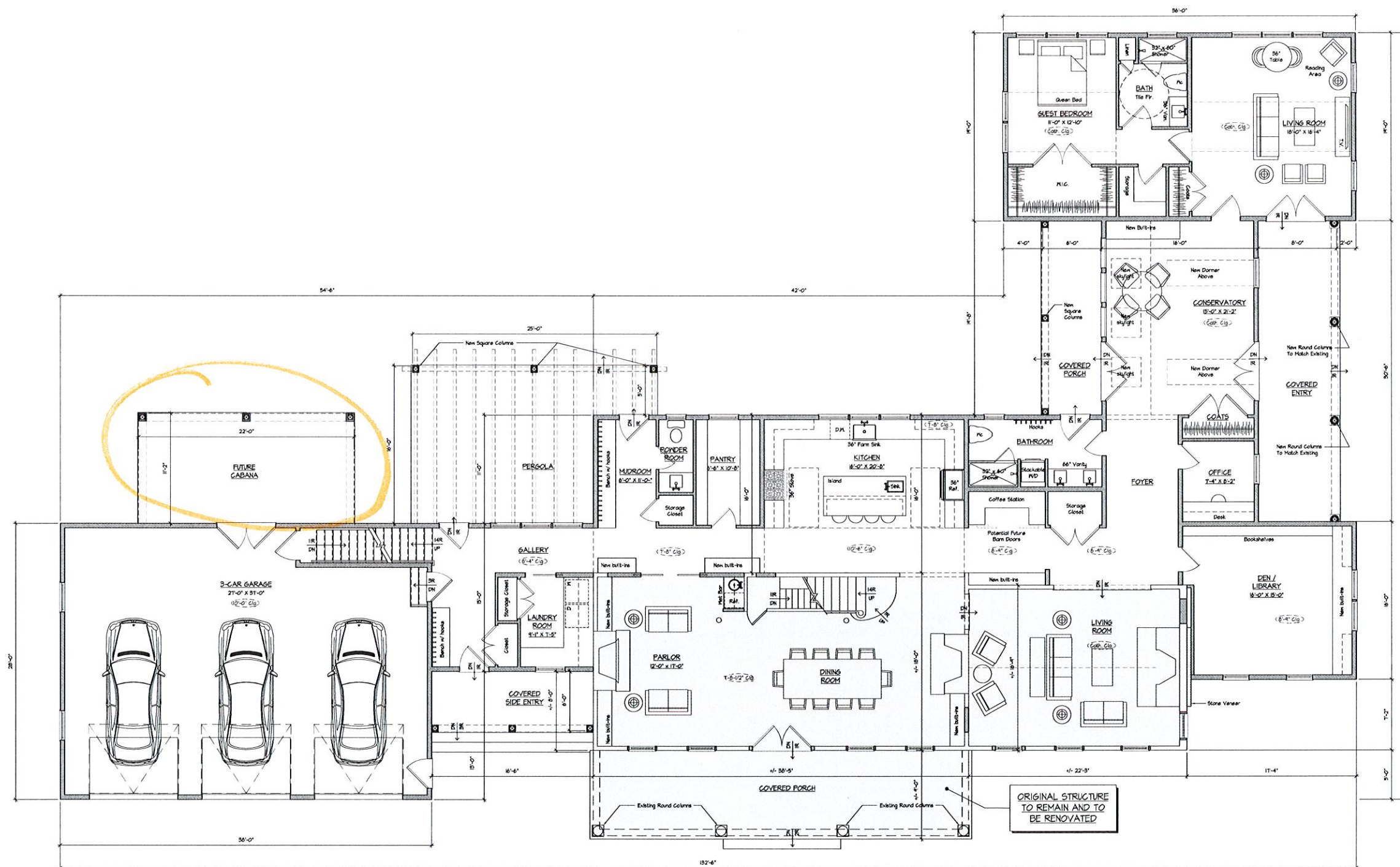
SK-9.0



Cabana Plan View from Drawing SK-9.1

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING CEILING ABOVE
- NEW CEILING ABOVE
- NEW STUD WALL
- NEW FOUNDATION WALL
- NEW LOW WALL



1 PROPOSED FIRST FLOOR
SCALE: 3/16" = 1'-0"

ROAM
ARCHITECTURE
181 OLD TAPPAN RD. TAPPAN, NY 10983
T. 845.267.8479 www.roamarchi.com

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RECORD OF ISSUES		
ISSUE	DATE	DESCRIPTION

House Renovation And Additions For:
HAUSER RESIDENCE
200 KINGS HIGHWAY
TAPPAN, NEW YORK 10983

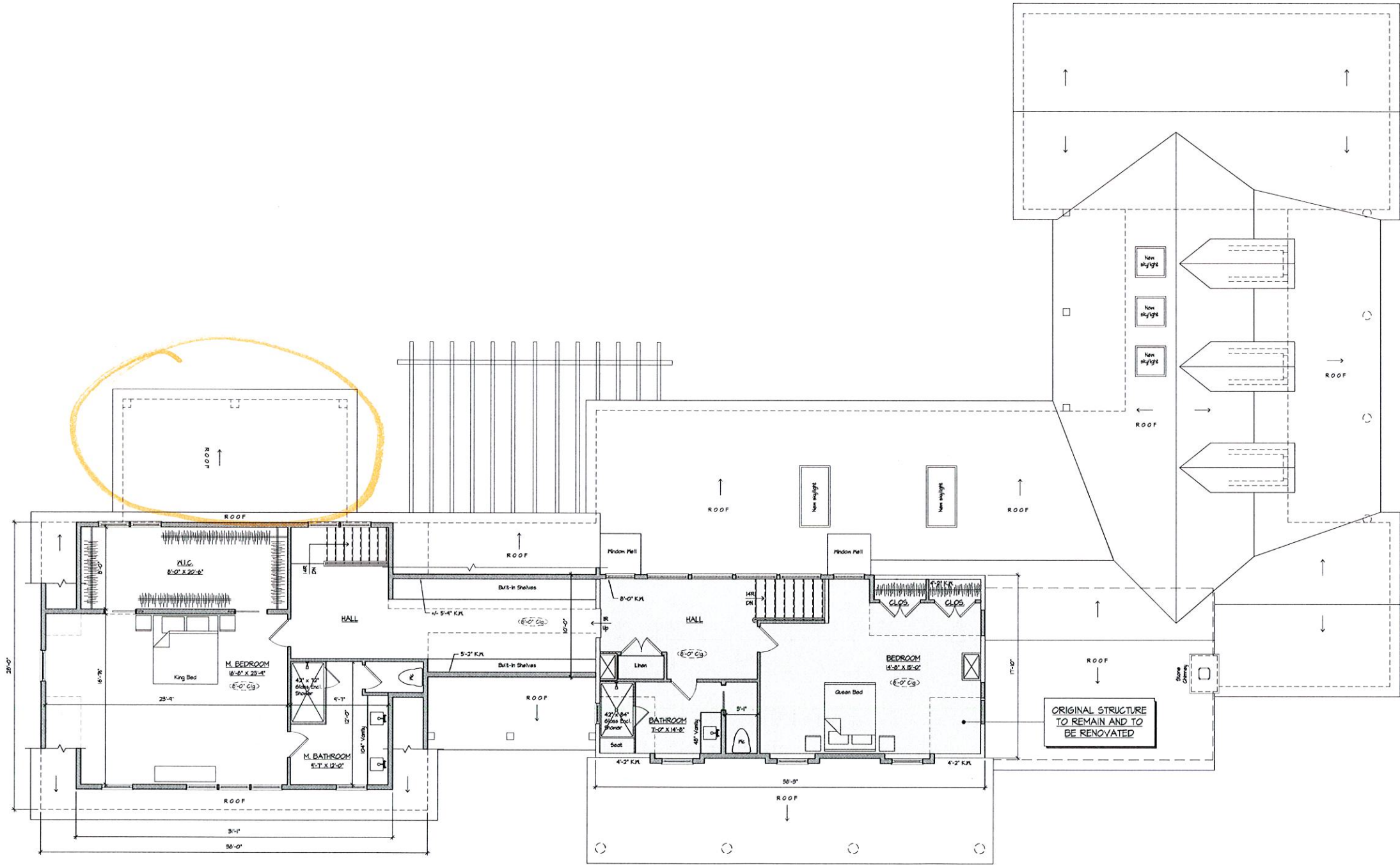
FIRST FLOOR PLAN
DESIGN SCHEME #9



DATE: 02-02-2022
DRAWN BY: RP
SCALE: AS NOTED
JOB NO.: 2021.06

SK-9.1

WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING CEILING ABOVE
	NEW CEILING ABOVE
	NEW STUD WALL
	NEW FOUNDATION WALL
	NEW LOW WALL



1 PROPOSED SECOND FLOOR
SCALE: 3/16" = 1'-0"

NOTE: All dimensions on this drawing shall have precedence. DO NOT SCALE dimensions directly off of this drawing. Contractor shall verify and be responsible for all dimensions and conditions on the job and ROAM ARCHITECTURE, PLLC shall be notified of any variations from the dimensions and conditions shown on this drawing.

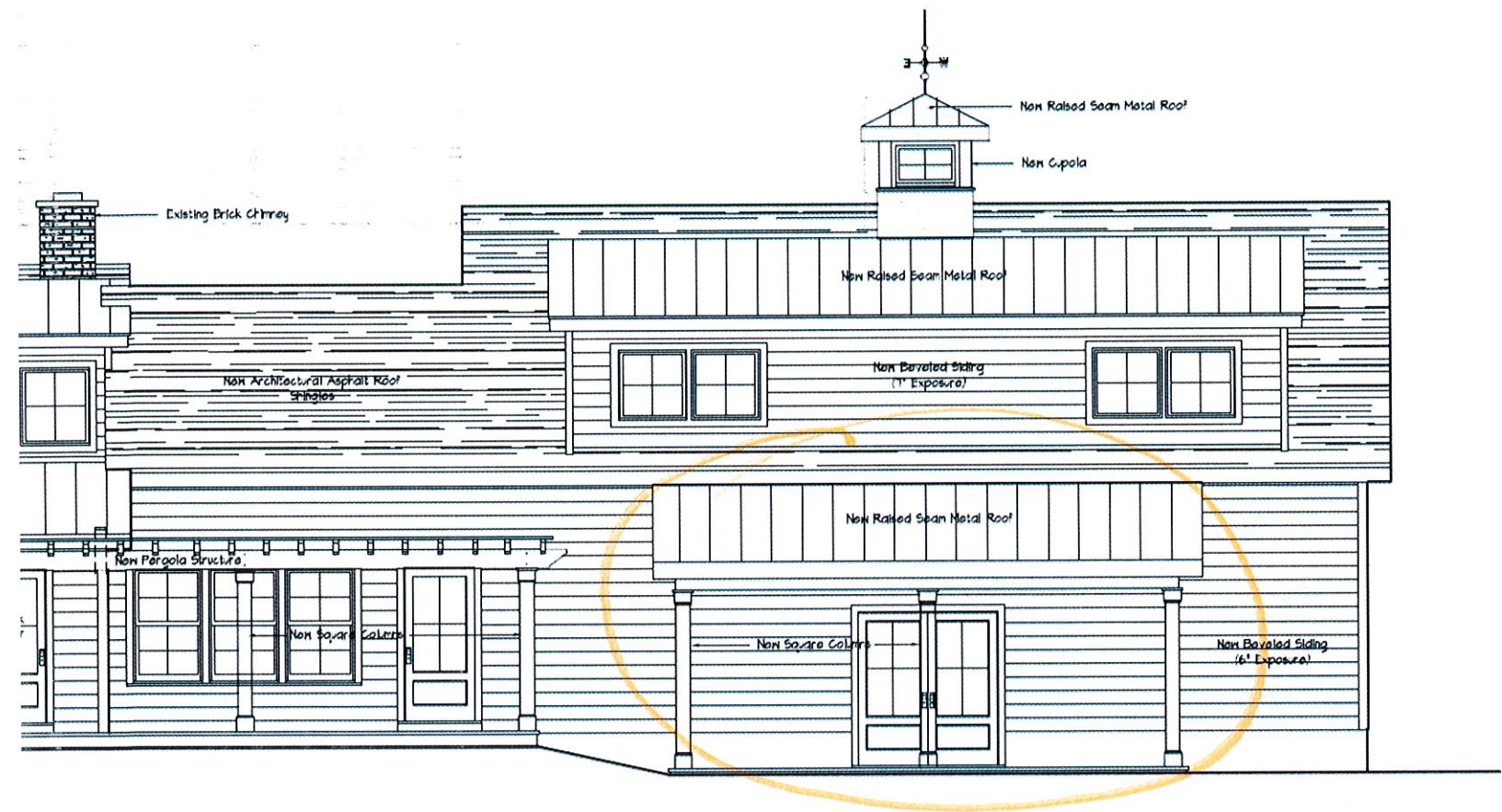
RECORD OF ISSUES	
ISSUE	DESCRIPTION

House Renovation And Additions For:
HAUSER RESIDENCE
200 KINGS HIGHWAY
TAPPAN, NEW YORK 10983

SECOND FLOOR PLAN
DESIGN SCHEME #9

DATE: 02-02-2022
DRAWN BY: RP
SCALE: AS NOTED
JOB NO.: 2021.06

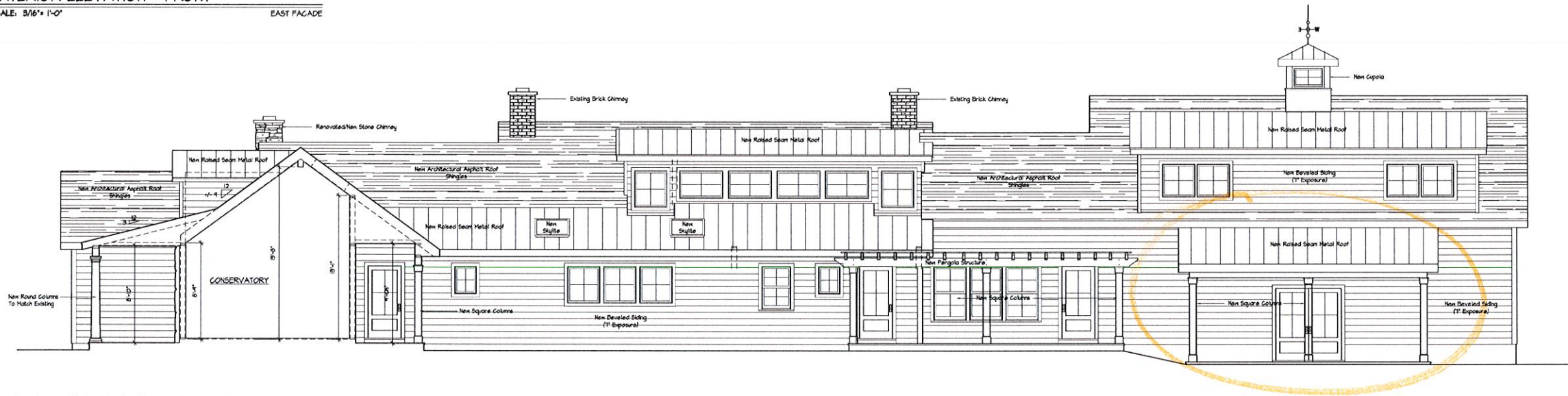
SK-9.2



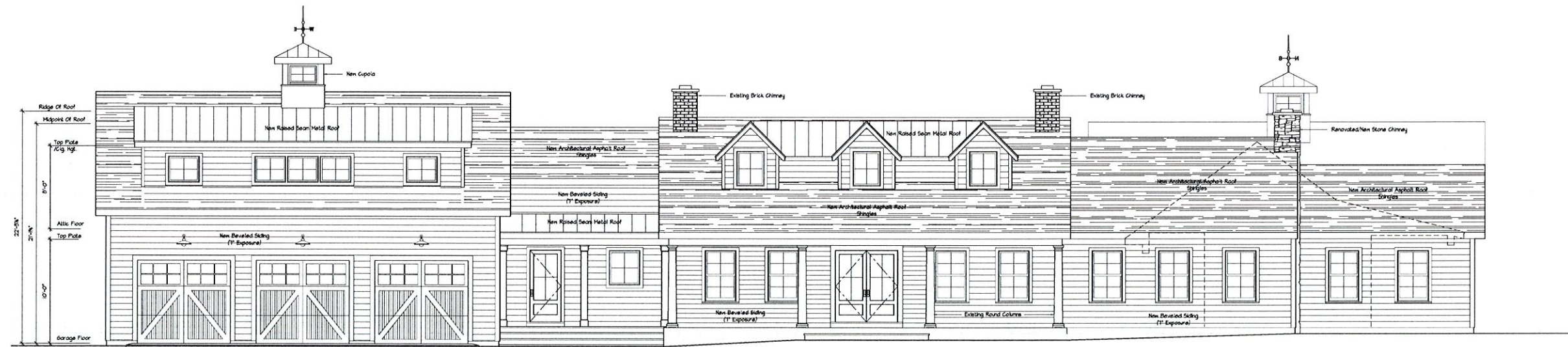
Cabana Elevation from Drawing SK-9.3



1 EXTERIOR ELEVATION - FRONT
SCALE: 3/16" = 1'-0" EAST FACADE



2 EXTERIOR ELEVATION - RIGHT SIDE
SCALE: 3/16" = 1'-0" NORTH FACADE



3 EXTERIOR ELEVATION - LEFT SIDE
SCALE: 3/16" = 1'-0" SOUTH FACADE

NOTE: Written dimensions on this drawing shall govern over all other dimensions. The contractor shall verify and be responsible for all dimensions and conditions on the site. The architect shall not be responsible for any variations from the dimensions and conditions shown on this drawing.

RECORD OF ISSUES	
ISSUE	DESCRIPTION

House Renovation And Additions For:
HAUSER RESIDENCE
200 KINGS HIGHWAY
TAPPAN, NEW YORK 10983

EXTERIOR ELEVATIONS
DESIGN SCHEME #9



DATE: 02-02-2022
DRAWN BY: RP
SCALE: AS NOTED
JOB NO.: 2021.06

SK-9.3



SIMILAR



ORIGINAL RENDERING WITH GARAGE AND CABANA REVERSED

SETTING