

Saved Monday, September 19, 2022 5:45:56 PM KITTY-CHEN Ploied Monday, September 19, 2022 8:35:01 PM Chen, Kitty  
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# FINAL SITE PLAN APPLICATION DRAWINGS

## FOR

# DATABANK ORANGEBURG

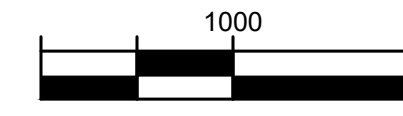
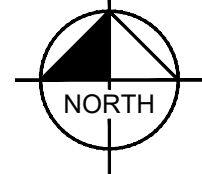
## 2000 CORPORATE DRIVE ORANGEBURG, NY 10962

PROJECT TEAM
<b>CIVIL ENGINEER</b> KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C. 60 E 42ND STREET, SUITE 1215 NEW YORK, NY 10165 TEL: (914) 368-9200 CONTACT: DANIEL LOFRISCO, P.E.
<b>TRAFFIC ENGINEER</b> KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C. 1 NORTH LEXINGTON AVENUE SUITE 1575 WHITE PLAINS, NY 10601 TEL: (914) 368-9200 CONTACT: JOHN CANNING, P.E.
<b>LANDSCAPE ARCHITECT</b> KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C. 1 NORTH LEXINGTON AVENUE SUITE 1575 WHITE PLAINS, NY 10601 TEL: (914) 368-9200 CONTACT: KEVIN VAN HISE, PLA
<b>ARCHITECT</b> HIGHLAND ASSOCIATES ONE EAST 33RD STREET NEW YORK, NY 10016 TEL: 212-681-0200 CONTACT: PAUL LEBLOND
<b>SURVEYOR</b> INSITE ENGINEERING, SURVEYING AND LANDSCAPE ARCHITECTURE, P.C. 3 GARRETT PLACE CARMEL, NY 10512 TEL: 845-225-9690 CONTACT: JEFFREY B. DEROSA

PROPERTY INFORMATION
<b>OWNER AND APPLICANT</b> DATABANK 3110 N CENTRAL AVENUE, SUITE B-75 PHOENIX, AZ 85012 TEL: 347-873-1480 CONTACT: TONY QORRI
SECTION: 73.15 BLOCK: 1 LOT: 19



**SITE LOCATION MAP**  
 Source: 1" = 1000'



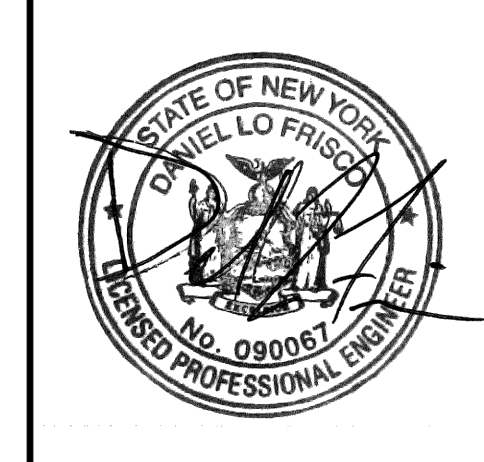
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LA-1.1	LANDSCAPING DETAILS
LT-1.0	LIGHTING PLAN

NO.	REVISIONS	DATE	BY
4	ISSUED FOR ACABOR/PLANNING BOARD REVIEW	09/20/22	KH
3	SITE PLAN REVISIONS	05/13/22	KH
2	SITE PLAN SUBMISSION	04/14/22	KH
1	50% DPs	03/29/22	KH

NOT FOR CONSTRUCTION

KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.  
 1 NORTH LEXINGTON AVENUE, SUITE 1575  
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DATABANK



KHA PROJECT	112117011	DATE	01-27-2022	SCALE	AS SHOWN	DESIGNED BY:		DRAWN BY:	BMD	CHECKED BY:	DL
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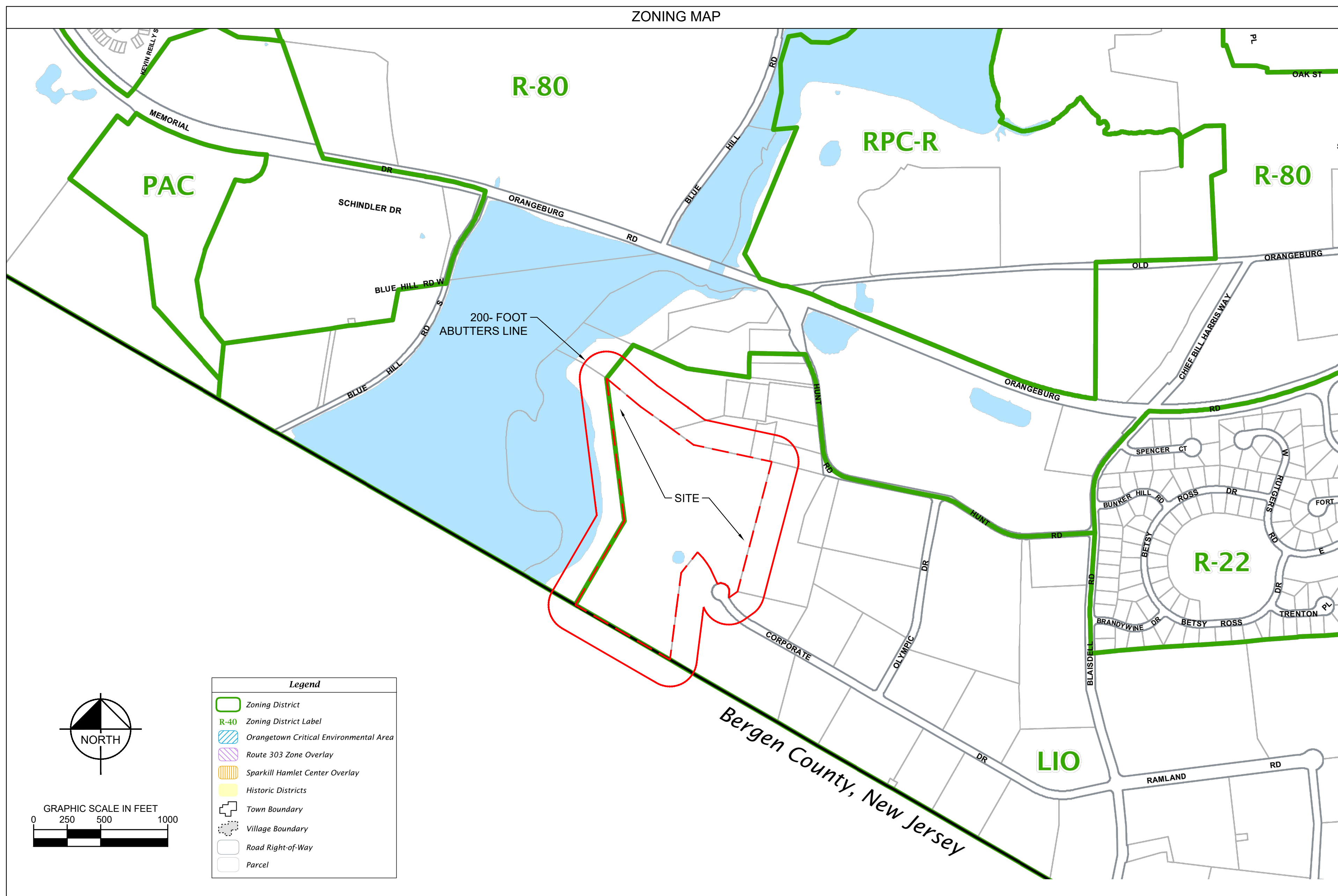
**COVER SHEET**

**DATABANK ORANGEBURG**  
 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962  
 TOWN OF ORANGEBURG NEW YORK

SHEET NUMBER  
**C-0.0**



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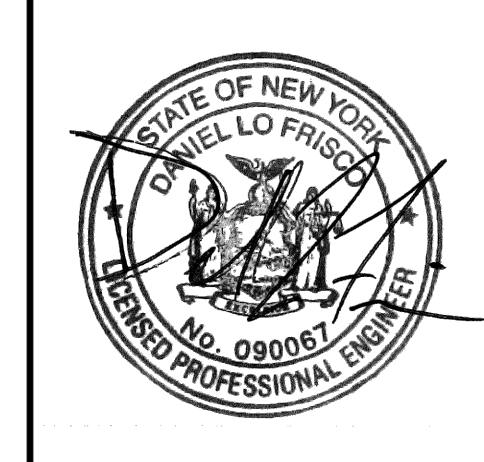


SWIS	PRINT KEY	NAME	ADDRESS
392489	73.10-1-3	Corwick Realty Corp	P.O. Box 71970, Phoenix, AZ 85050
392489	73.11-1-1	Alta Group US Inc	P.O. Box 71970, Phoenix, AZ 85050
392489	73.11-1-3	Corwick Realty Corp	P.O. Box 71970, Phoenix, AZ 85050
392489	73.11-1-4	Alta Group US Inc	P.O. Box 71970, Phoenix, AZ 85050
392489	73.14-1-2	Corwick Realty Corp	P.O. Box 71970, Phoenix, AZ 85050
392489	73.15-1-1	Alta Group US Inc	7 Van Terrace, Sparkill, NY 10976
392489	73.15-1-2	Joseph Chenetti	7 Van Ter, Sparkill, NY 10976
392489	73.15-1-3	American Legion	10 Dorsey Ct, Orangetown, NY 10962
392489	73.15-1-4	D & B Ent No 3 LLC	95 Putnam Ave, Portchester, NY 10573
392489	73.15-1-5	James Coffey	P.O. Box 66, Orangetown, NY 10962
392489	73.15-1-6	Melody P F Fione	28 Strawtown Rd, West Nyack, NY 10994
392489	73.15-1-7	Jacqueline M Fione	15 Winding Way, Upper Saddle River, NJ 07458
392489	73.15-1-8	Claude Baumann	73 Hunt Rd, Orangetown, NY 10962
392489	73.15-1-9	Kiera Birch	67 Hunt Rd, Orangetown, NY 10962
392489	73.15-1-10	Brightview Lake Tappan LLC	P.O. Box 92129, Southlake, TX 76062
392489	73.15-1-11	Alta Group	2 Robyn Hill Dr, Orangetown, NY 10962
392489	73.15-1-12	Kazepzeli LLC	41 Hunt Rd, Orangetown, NY 10962
392489	73.15-1-13	Joseph Misale	9 Paradise Ave, Piermont, NY 10968
392489	73.15-1-15	Grace B Meyer	20 Olympic Dr, Orangetown, NY 10962
392489	73.15-1-16	Dakin America Inc	8 Olympic Dr, Orangetown, NY 10962
392489	73.15-1-17	5G Properties LLC	26 Orangetown Rd, Orangetown, NY 10962
392489	73.15-1-18	Town Of Orangetown	731 Lexington Ave, New York, NY 10022
392489	73.15-1-19	BREO NY LLC	200 Corporate Drive LLC
392489	73.15-1-20	Peter Smith	400 S Akard St Ste 100, Dallas, TX 75202
392489	73.16-1-1	Corwick Realty Corp	P.O. Box 71970, Phoenix, AZ 85050
392489	73.16-1-1	Alta Group US Inc	26 Orangetown Rd, Orangetown, NY 10962
392489	73.16-1-1	Town Of Orangetown	15 Olympic Dr, Orangetown, NY 10962
392489	73.19-1-1	Claris Use Inc	731 Lexington Ave, New York, NY 10022
392489	73.19-1-1	BREO NY LLC	151 N Main St Ste 400, New City, NY 10956
392489	73.19-1-2	Peter Smith	20 Corporate Dr, Orangetown, NY 10962
392489	73.19-1-3	Callibers Inc	1 Olympic Dr, Orangetown, NY 10962
392489	73.19-1-4	One Olympic Dr LLC	200 Performance Dr Ste 207, Mahwah, NJ 07495
392489	73.19-1-8	29 Corporate Drive LLC	100 Challenger Rd Ste 105, Ridgefield Park, NJ 07650
392489	73.19-1-9	Ford 33 Realty LLC	

NOTES	
1.	ZONING MAP SOURCE: ORANGETOWN ZONING MAP (ADOPTED DECEMBER 11, 2018) <a href="https://www.orangetown.com/wp-content/uploads/Orangetown_Zoning_Adopted_Dec_11_2018_opt.pdf">https://www.orangetown.com/wp-content/uploads/Orangetown_Zoning_Adopted_Dec_11_2018_opt.pdf</a>
2.	PARCEL DATA SOURCE: ROCKLAND COUNTY GIS MAP APPLICATION, PLANNING DEPARTMENT -GIS <a href="https://www.rockland.com/portal/apps/plan/plan/gis/data/layer713cd7f364a743858f954579554886a">https://www.rockland.com/portal/apps/plan/plan/gis/data/layer713cd7f364a743858f954579554886a</a>
3.	ABUTTERS LIST SOURCE: ROCKLAND COUNTY GIS AND BERGEN COUNTY GIS
4.	KIMLEY-HORN DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED ON THIS SHEET. INFORMATION PROVIDED FOR GENERAL INFORMATIONAL PURPOSES ONLY.

NO.	DATE	REVISIONS	BY
4	09/20/22	ISSUED FOR ACAB/PLANNING BOARD REVIEW	KH
3	05/13/22	SITE PLAN REVISIONS	KH
2	04/14/22	SITE PLAN SUBMISSION	KH
1	03/29/22	50% DPs	KH

NOT FOR CONSTRUCTION



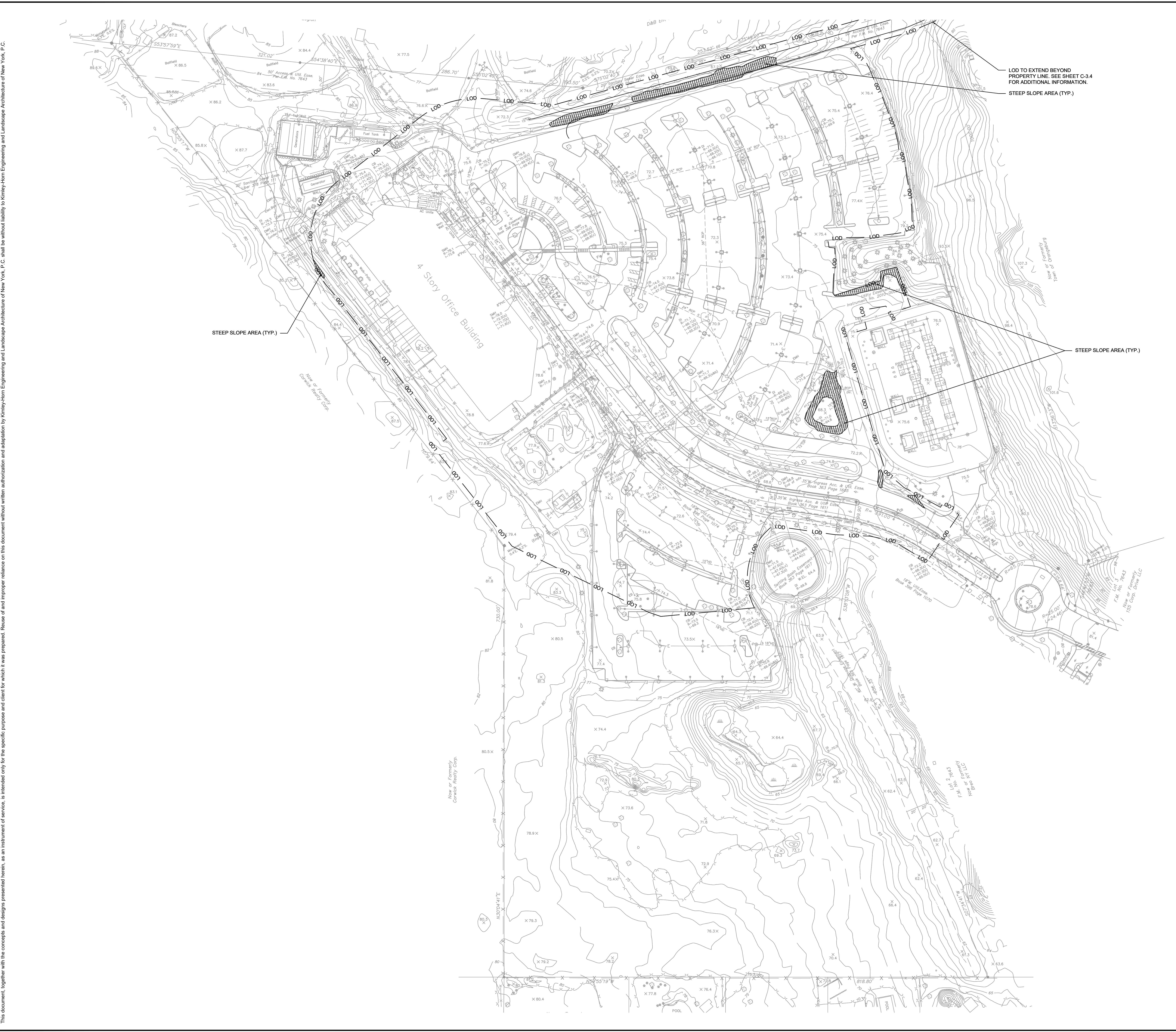
KHA PROJECT	112117011	DATE	01-27-2022	SCALE	AS SHOWN	BMD	DL
CHECKED BY:		DRAWN BY:		DESIGNED BY:			

## ZONING AND ABUTTERS PLAN

DATABANK ORANGETOWN  
2000 CORPORATE DRIVE  
ORANGETOWN, NY 10962  
TOWN OF ORANGETOWN  
NEW YORK

SHEET NUMBER  
**C-1.0**

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- PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "TOPOGRAPHIC SURVEY", PREPARED BY INSITE ENGINEERING, SURVEY AND LANDSCAPE ARCHITECTURE, P.C., DATED MARCH 24TH, 2022.
- ALL UTILITY INFORMATION SHOWN ON THE PLAN IS NOT WARRANTED TO BE EXACT. NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES WILL BE SHOWN ON THE SURVEY. EXACT LOCATIONS TO BE VERIFIED BY CONTRACTOR BEFORE BEGINNING CONSTRUCTION.
- ELEVATIONS SHOWN ARE REFERENCED TO NAVD83 DATUM - AS SHOWN ON THE ABOVE MENTIONED SURVEY.

**GENERAL NOTES**

- CONTRACTOR TO NOTIFY TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.

**LEGEND**

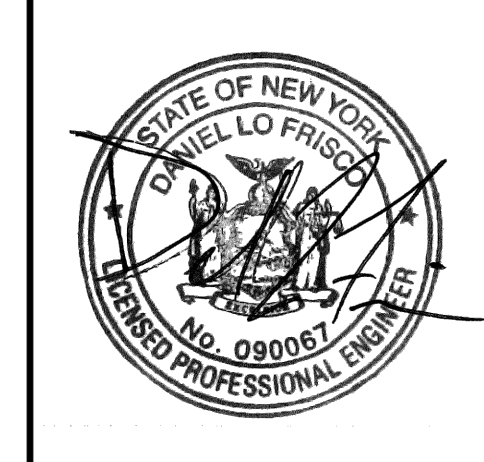
LOD LIMITS OF DISTURBANCE APPROXIMATELY 16.5 ACRES  
 STEEP SLOPE AREA (> 25%) APPROXIMATELY 0.24 ACRES

NO.	REVISIONS	DATE	BY
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1	50% DPs	03/29/22	KH

**NOT FOR CONSTRUCTION**

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 ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.  
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 WHITE PLAINS, NY 10601  
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**DATABANK**



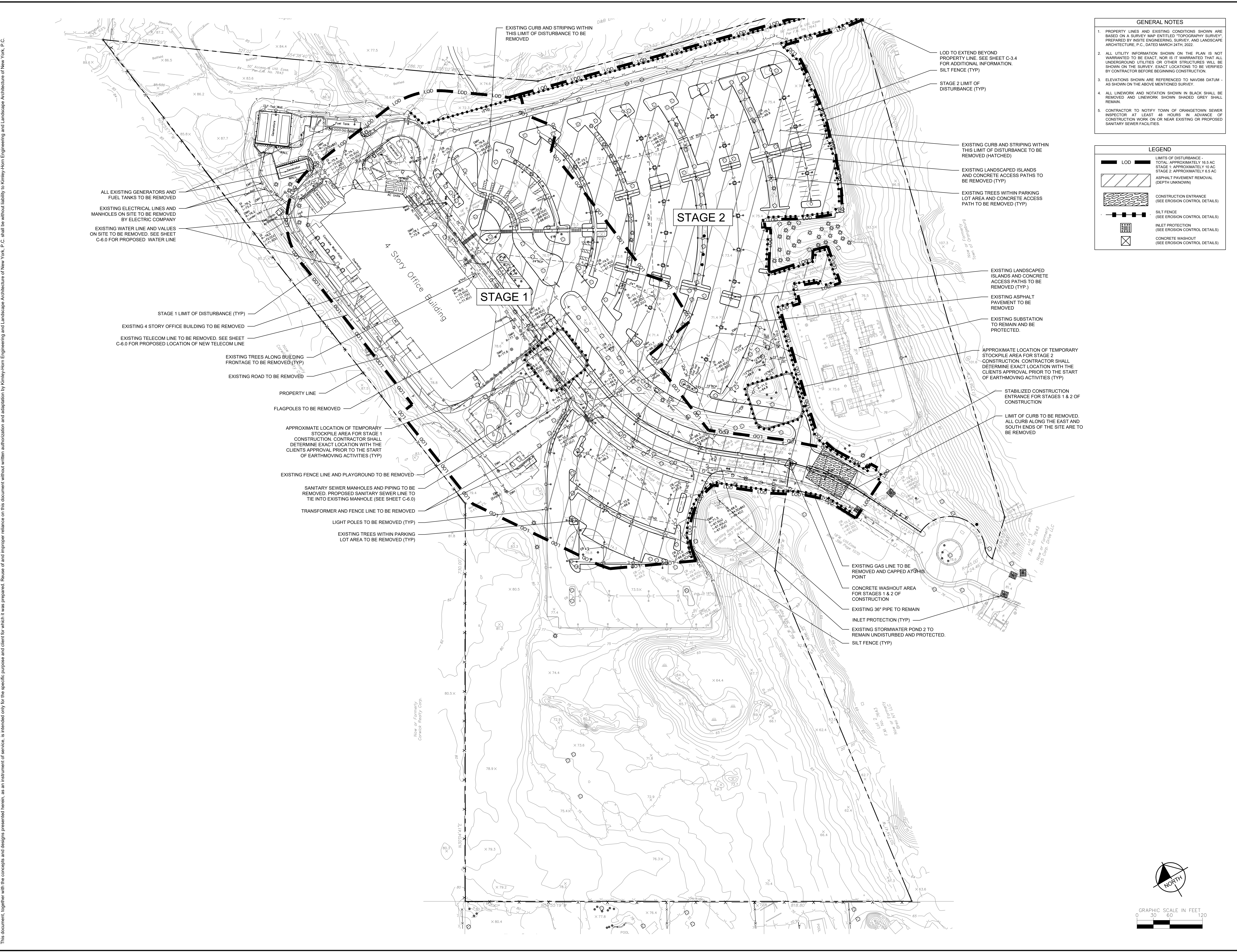
KHA PROJECT	11217011
DATE	01-27-2022
SCALE	AS SHOWN
DESIGNED BY:	
DRAWN BY:	BMD
CHECKED BY:	DL

**EXISTING CONDITIONS  
 PLAN**

**DATABANK ORANGEBURG**  
 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962  
 TOWN OF ORANGEBURG NEW YORK

SHEET NUMBER  
**C-1.1**

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- GENERAL NOTES**
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  - ALL UTILITY INFORMATION SHOWN ON THE PLAN IS NOT WARRANTED TO BE EXACT. NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES WILL BE SHOWN ON THE SURVEY. EXACT LOCATIONS TO BE VERIFIED BY CONTRACTOR BEFORE BEGINNING CONSTRUCTION.
  - ELEVATIONS SHOWN ARE REFERENCED TO NAVD83 DATUM - AS SHOWN ON THE ABOVE MENTIONED SURVEY.
  - ALL LINEWORK AND NOTATION SHOWN IN BLACK SHALL BE REMOVED AND LINEWORK SHOWN SHADED GREY SHALL REMAIN.
  - CONTRACTOR TO NOTIFY TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.

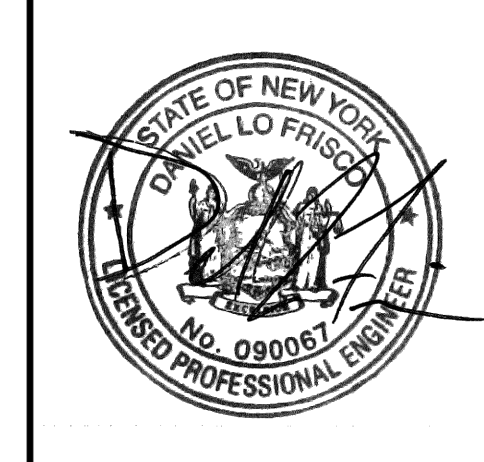
- LEGEND**
- LOD LIMITS OF DISTURBANCE - TOTAL APPROXIMATELY 16.5 AC
  - STAGE 1 APPROXIMATELY 10 AC
  - STAGE 2 APPROXIMATELY 6.5 AC
  - ASPHALT PAVEMENT REMOVAL (DEPTH UNKNOWN)
  - CONSTRUCTION ENTRANCE (SEE EROSION CONTROL DETAILS)
  - SILT FENCE (SEE EROSION CONTROL DETAILS)
  - INLET PROTECTION (SEE EROSION CONTROL DETAILS)
  - CONCRETE WASHOUT (SEE EROSION CONTROL DETAILS)

NO.	REVISIONS	DATE	BY
4	ISSUED FOR ACABOR/PLANNING BOARD REVIEW	09/20/22	KH
3	SITE PLAN REVISIONS	05/13/22	KH
2	SITE PLAN SUBMISSION	04/14/22	KH
1	50% DPs	03/29/22	KH

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**DATABANK**

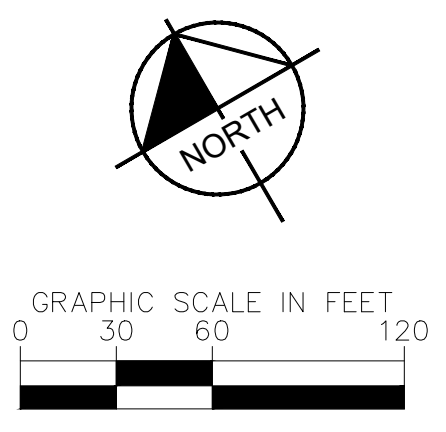


KHA PROJECT	11217011	DATE	01-27-2022	SCALE	AS SHOWN	DESIGNED BY:	BMD	DL
		DRAWN BY:		CHECKED BY:				

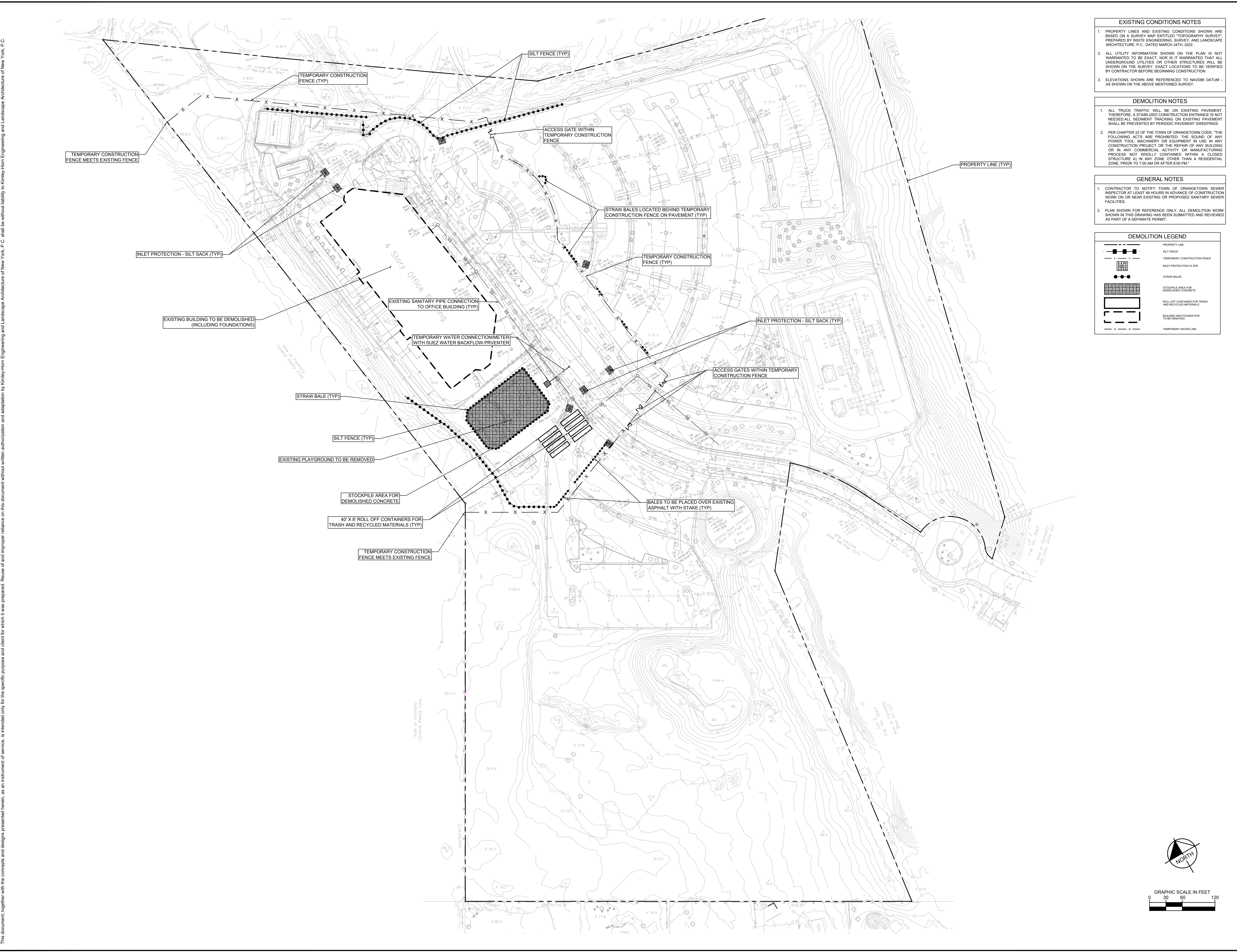
**EROSION CONTROL AND REMOVALS PLAN**

**DATABANK ORANGETOWN**  
 2000 CORPORATE DRIVE  
 ORANGETOWN, NY 10962  
 NEW YORK

SHEET NUMBER  
**C-1.2**



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**EXISTING CONDITIONS NOTES**

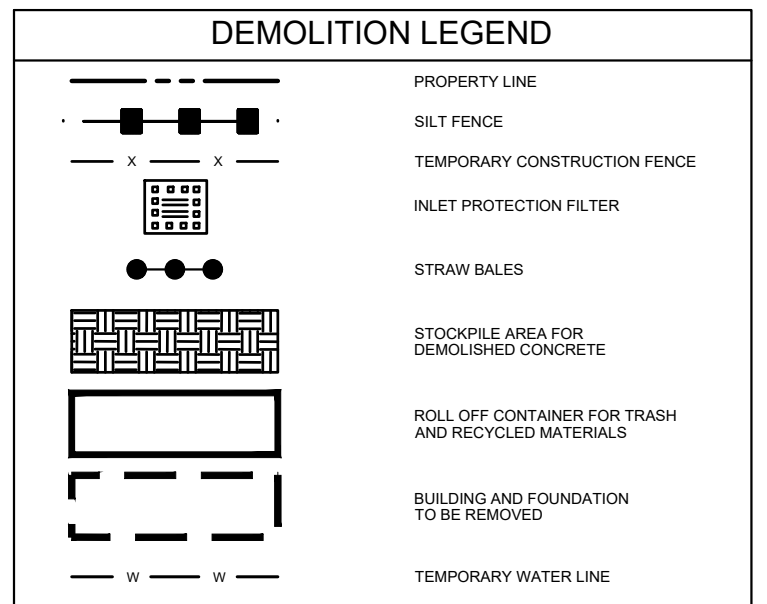
- PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON A SURVEY MAP ENTITLED "TOPOGRAPHY SURVEY", PREPARED BY INSITE ENGINEERING, SURVEY AND LANDSCAPE ARCHITECTURE, P.C., DATED MARCH 24TH, 2022.
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- ELEVATIONS SHOWN ARE REFERENCED TO NAVD83 DATUM - AS SHOWN ON THE ABOVE MENTIONED SURVEY.

**DEMOLITION NOTES**

- ALL TRUCK TRAFFIC WILL BE ON EXISTING PAVEMENT. THEREFORE, A STABILIZED CONSTRUCTION ENTRANCE IS NOT NEEDED. ALL SEDIMENT TRACKING ON EXISTING PAVEMENT SHALL BE PREVENTED BY PERIODIC PAVEMENT SWEEPINGS.
- PER CHAPTER 22 OF THE TOWN OF ORANGETOWN CODE, "THE FOLLOWING ACTS ARE PROHIBITED: THE SOUND OF ANY POWER TOOL, MACHINERY OR EQUIPMENT IN USE IN ANY CONSTRUCTION PROJECT OR THE REPAIR OF ANY BUILDING OR IN ANY COMMERCIAL ACTIVITY OR MANUFACTURING PROCESS, NOT WHOLLY CONTAINED WITHIN A CLOSED STRUCTURE A) IN ANY ZONE OTHER THAN A RESIDENTIAL ZONE, PRIOR TO 7:00 AM OR AFTER 6:00 PM."

**GENERAL NOTES**

- CONTRACTOR TO NOTIFY TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.
- PLAN SHOWN FOR REFERENCE ONLY. ALL DEMOLITION WORK SHOWN IN THIS DRAWING HAS BEEN SUBMITTED AND REVIEWED AS PART OF A SEPARATE PERMIT.

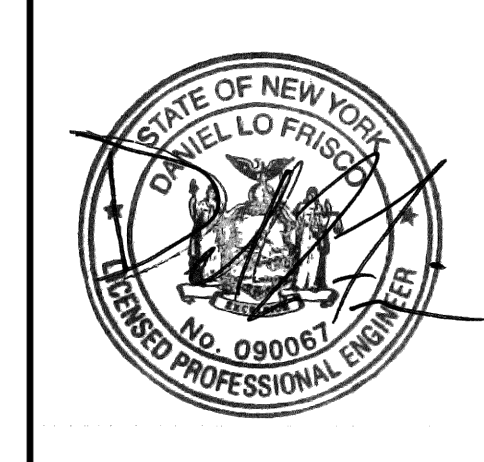


NO.	DATE	REVISIONS	BY
1	09/20/22	ISSUED FOR ACABOR PLANNING BOARD REVIEW	KH
2	05/13/22	SITE PLAN REVISIONS	KH
3	04/14/22	SITE PLAN SUBMISSION	KH
4	03/29/22	50% DPs	KH

**NOT FOR CONSTRUCTION**

**Kimley-Horn**  
 ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.  
 1 NORTH LEXINGTON AVENUE, SUITE 505  
 WHITE PLAINS, NY 10601  
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**DATABANK**



KHA PROJECT	11217011
DATE	01-27-2022
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DRAWN BY:	DL
CHECKED BY:	

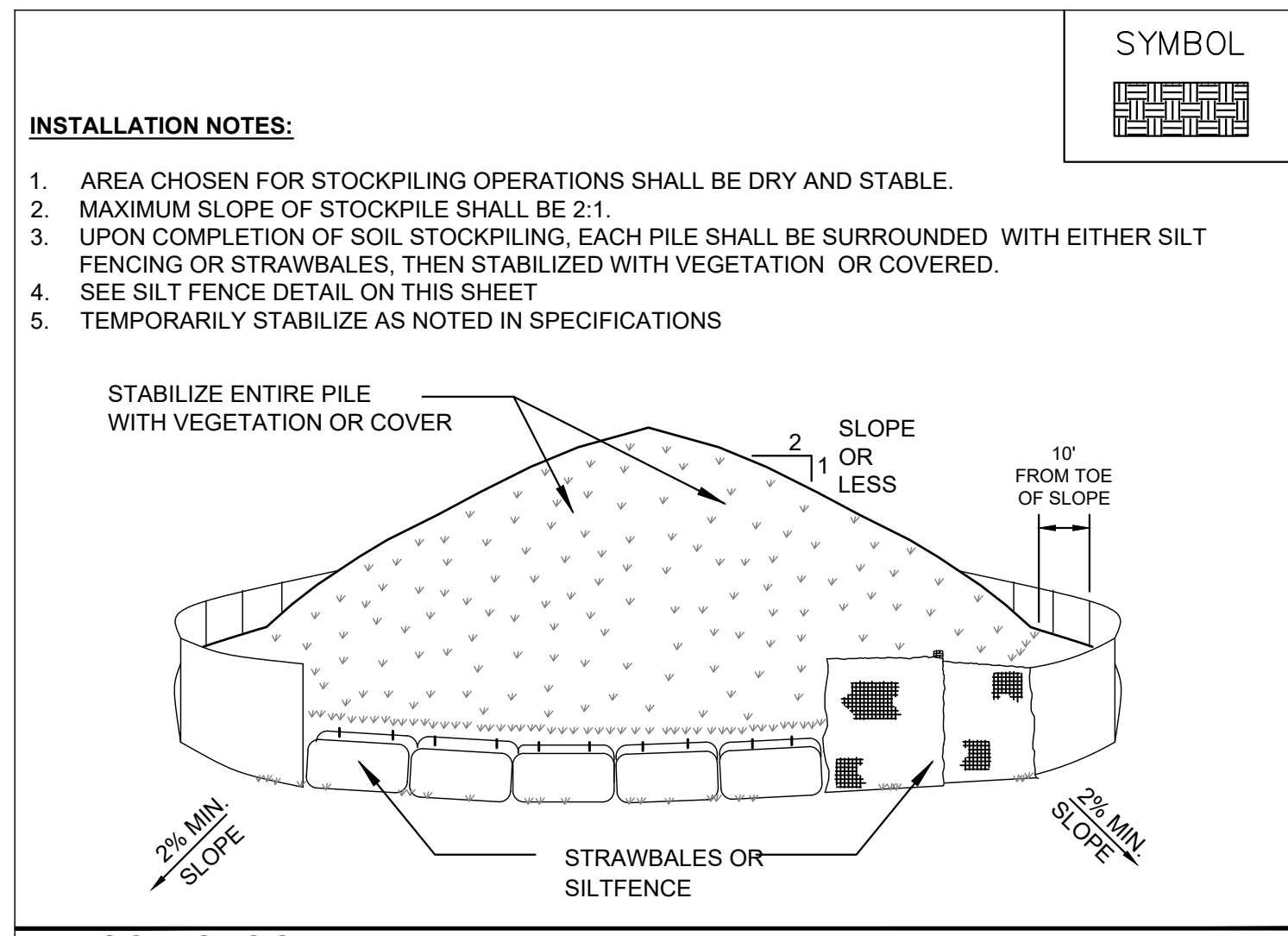
**BUILDING DEMOLITION AND EROSION CONTROL PLAN**

**DATABANK ORANGETOWN**  
 2000 CORPORATE DRIVE  
 ORANGETOWN, NY 10962  
 NEW YORK

SHEET NUMBER  
**C-2.0**

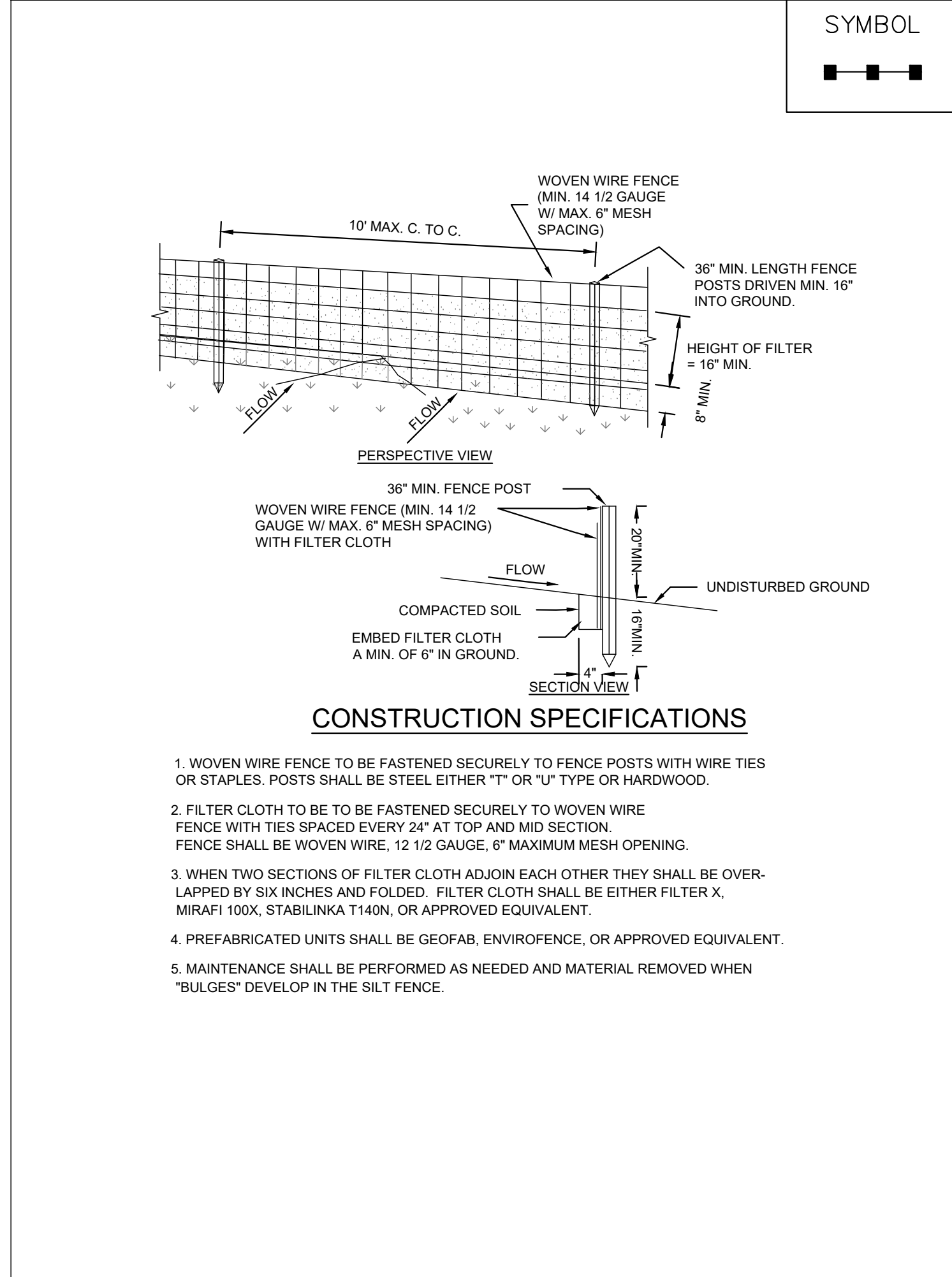
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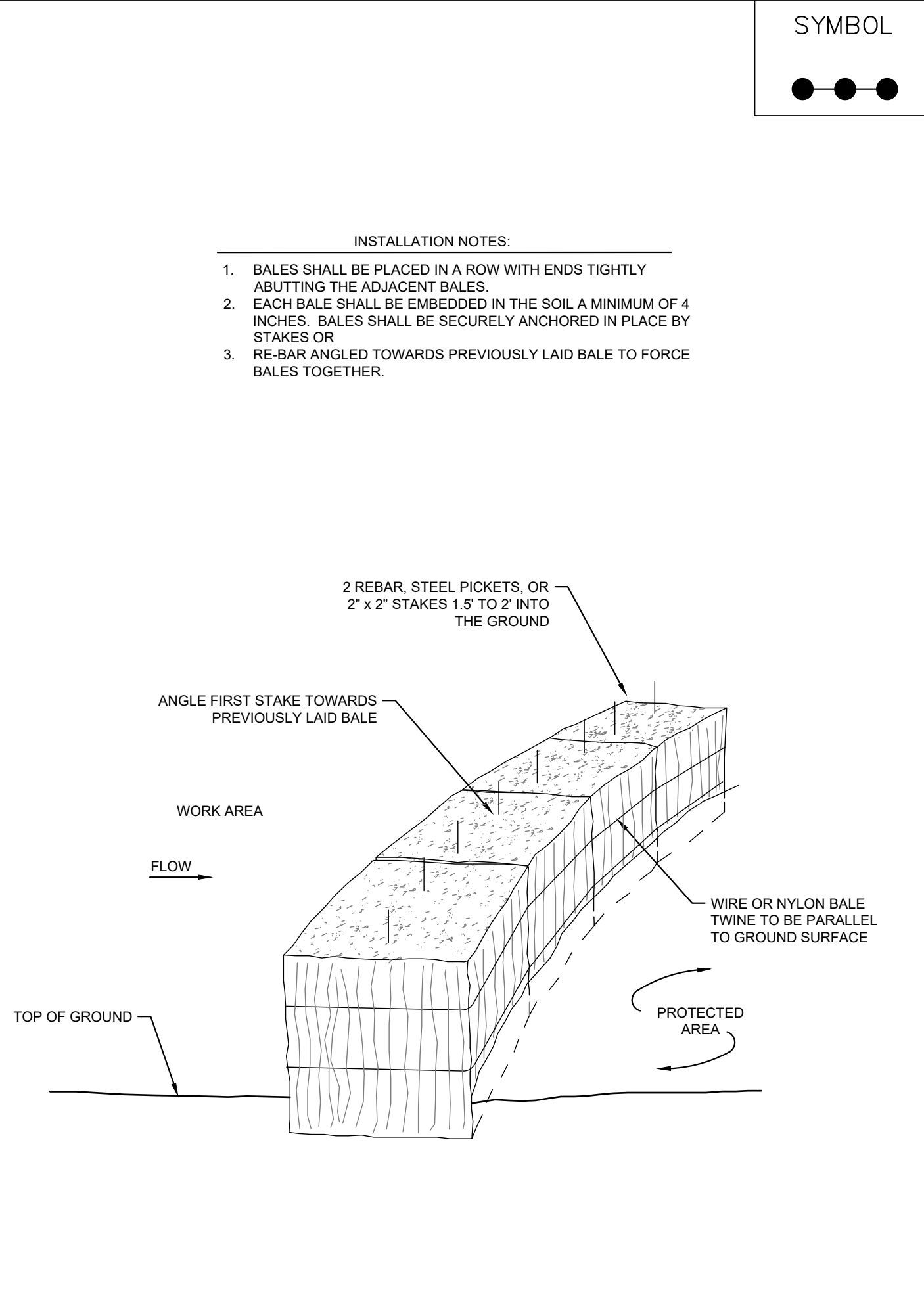
**SOIL STOCKPILE AREA**

N.T.S. SOURCE: KIMLEY-HORN



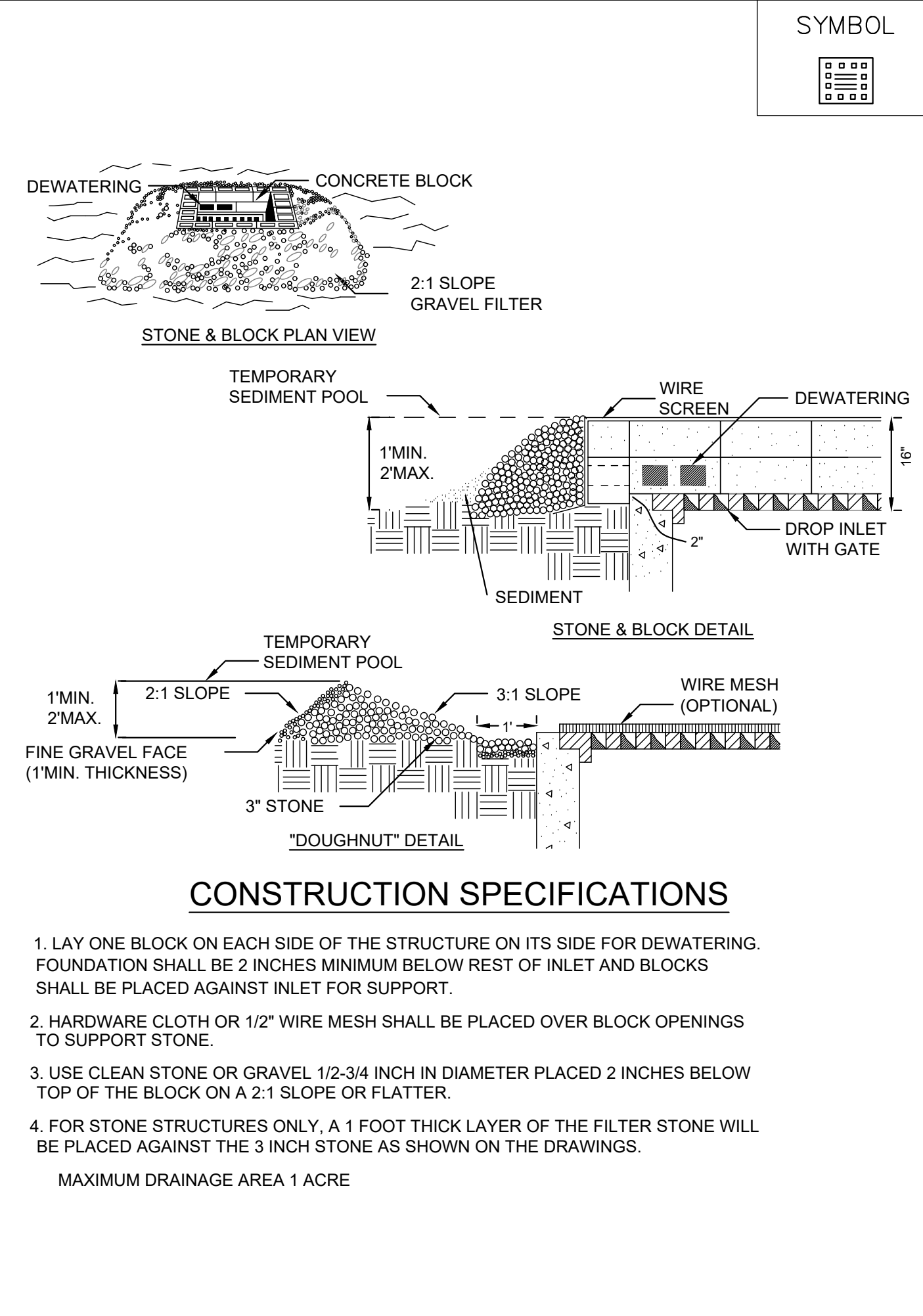
**SILT FENCE**

N.T.S. SOURCE: NYSDEC SE8C BLUE BOOK



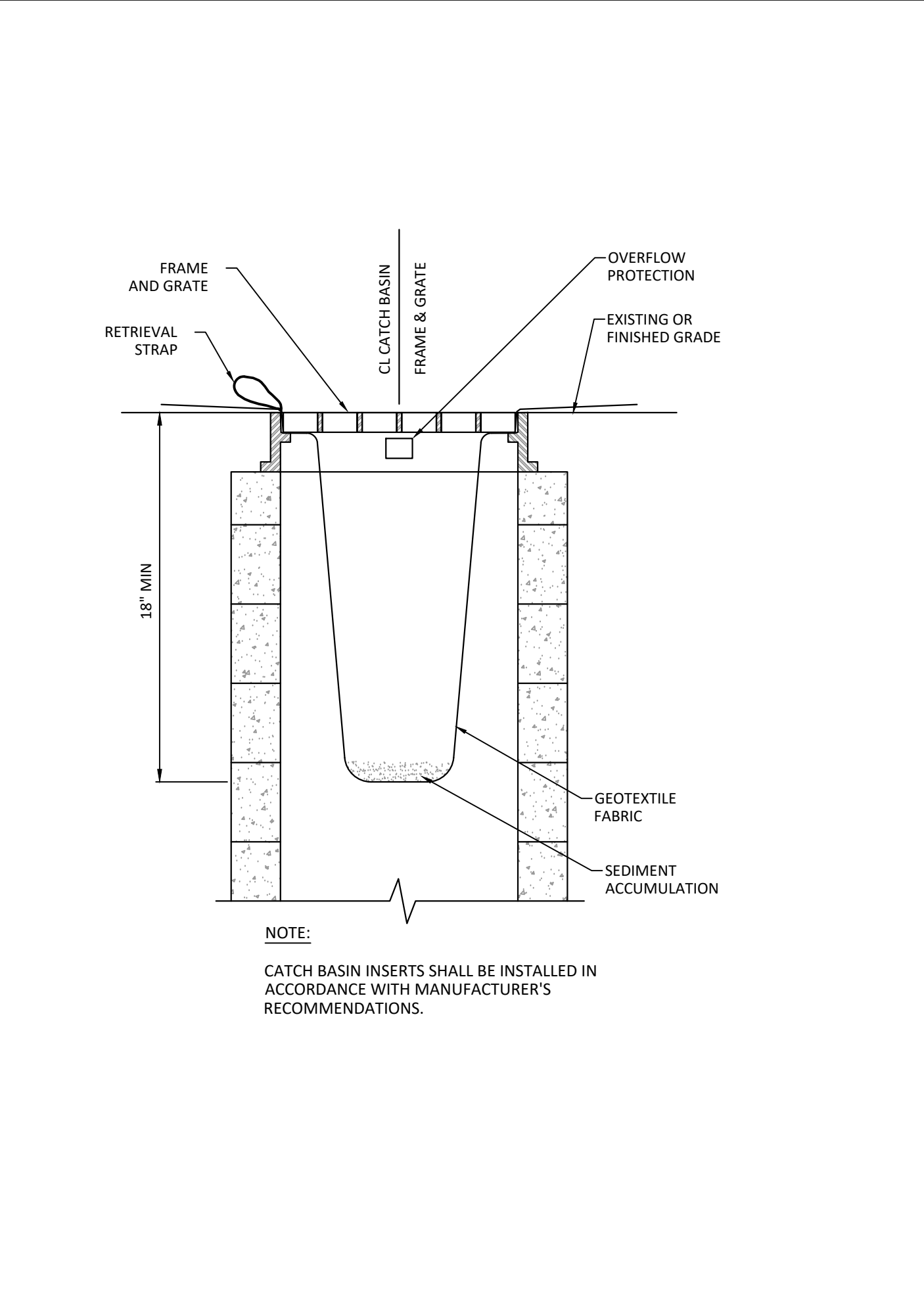
**STRAW BALE - EMBEDDED**

N.T.S. SOURCE: KIMLEY-HORN



**STONE AND BLOCK DROP INLET PROTECTION**

N.T.S. SOURCE: NYSDEC SE8C BLUE BOOK



**SILT SACK DETAIL**

N.T.S. SOURCE: KIMLEY-HORN

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3	SITE PLAN REVISIONS	05/13/22	KH
2	SITE PLAN SUBMISSION	04/14/22	KH
1	50% DPs	03/29/22	KH
NO.	REVISIONS		

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**Kimley-Horn**  
 6002 WILLEMENY ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.  
 1 NORTH LEXINGTON AVENUE, SUITE 505  
 WHITE PLAINS, NY 10601  
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**DATABANK**



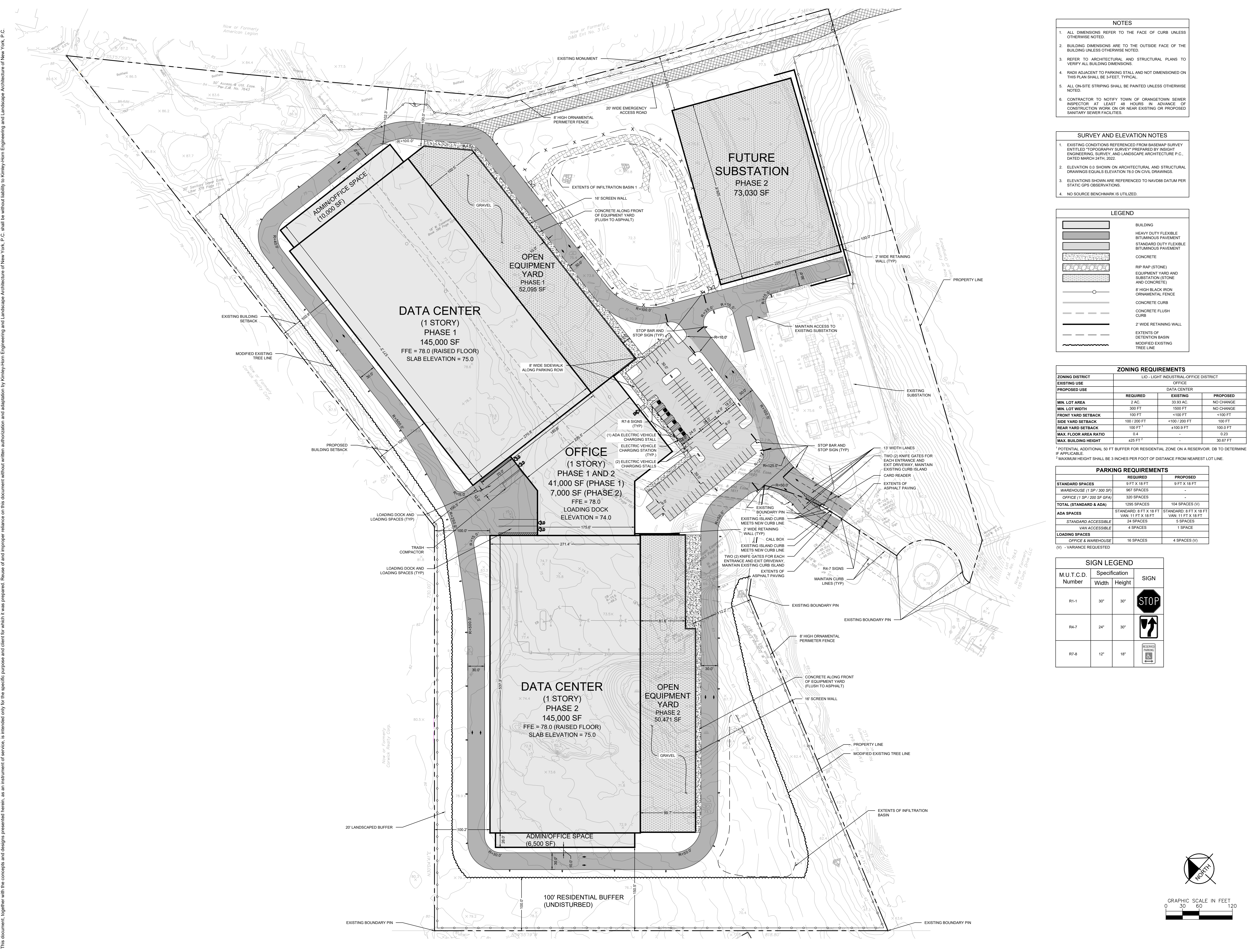
KHA PROJECT	DATE	SCALE	DESIGNED BY:	DRAWN BY:	BMD	DL
11217011	01-27-2022	AS SHOWN				

**BUILDING DEMOLITION AND EROSION CONTROL DETAILS**

**DATABANK ORANGEBURG**  
 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962  
 NEW YORK

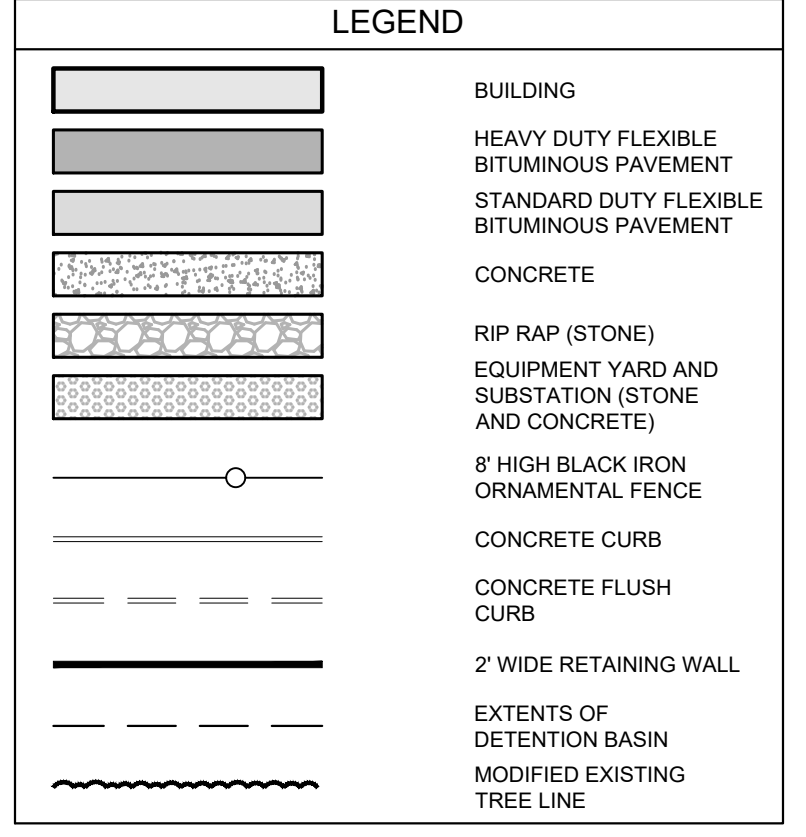
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- ### NOTES
- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
  - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
  - RADIi ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3- FEET, TYPICAL.
  - ALL ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO NOTIFY TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.

- ### SURVEY AND ELEVATION NOTES
- EXISTING CONDITIONS REFERENCED FROM BASEMAP SURVEY ENTITLED "TOPOGRAPHY SURVEY" PREPARED BY INSIGHT ENGINEERING, SURVEY, AND LANDSCAPE ARCHITECTURE P.C., DATED MARCH 24TH, 2022.
  - ELEVATION 0.0 SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS EQUALS ELEVATION 78.0 ON CIVIL DRAWINGS.
  - ELEVATIONS SHOWN ARE REFERENCED TO NAVD83 DATUM PER STATIC GPS OBSERVATIONS.
  - NO SOURCE BENCHMARK IS UTILIZED.



### ZONING REQUIREMENTS

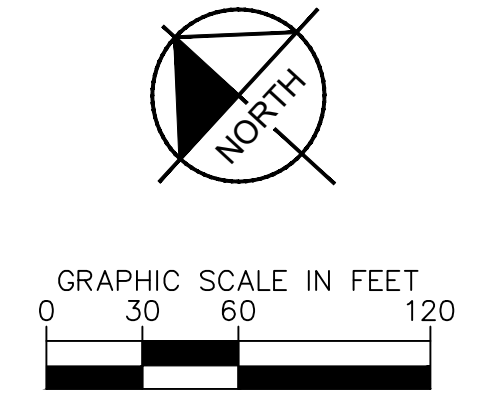
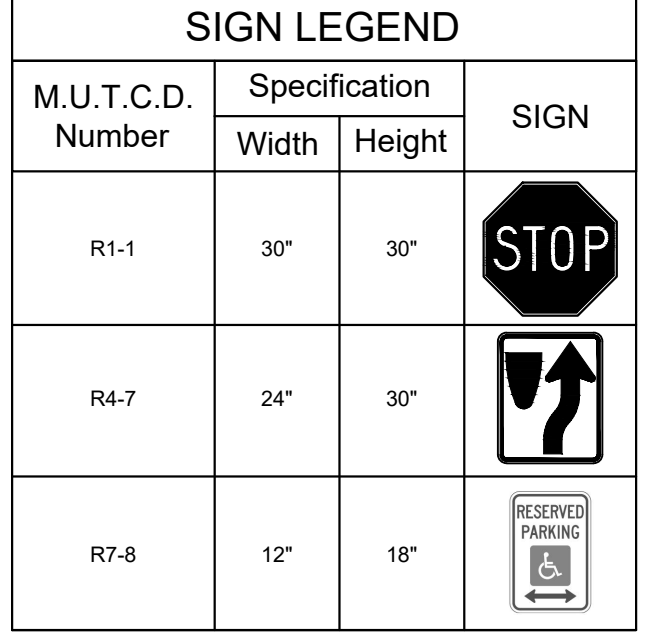
ZONING DISTRICT	LIO - LIGHT INDUSTRIAL-OFFICE DISTRICT		
EXISTING USE	OFFICE		
PROPOSED USE	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	2 AC.	33.93 AC.	NO CHANGE
MIN. LOT WIDTH	300 FT	1500 FT	NO CHANGE
FRONT YARD SETBACK	100 FT	<100 FT	<100 FT
SIDE YARD SETBACK	100 FT	<100 FT	100 FT
REAR YARD SETBACK	100 FT	<100 FT	100 FT
MAX. FLOOR AREA RATIO	0.4	<100.9 FT	0.23
MAX. BUILDING HEIGHT	<25 FT*	-	30.67 FT

\*POTENTIAL ADDITIONAL 50 FT BUFFER FOR RESIDENTIAL ZONE ON A RESERVOIR. DB TO DETERMINE IF APPLICABLE.  
 \*\*MAXIMUM HEIGHT SHALL BE 3 INCHES PER FOOT OF DISTANCE FROM NEAREST LOT LINE.

### PARKING REQUIREMENTS

STANDARD SPACES	REQUIRED	PROPOSED
WAREHOUSE (1 SP / 300 SF)	9 FT X 18 FT	9 FT X 18 FT
OFFICE (1 SP / 200 SF GFA)	320 SPACES	-
<b>TOTAL (STANDARD &amp; ADA)</b>	<b>1205 SPACES</b>	<b>104 SPACES (V)</b>

ADA SPACES: STANDARD 8 FT X 18 FT VAN: 11 FT X 18 FT; STANDARD 8 FT X 18 FT VAN: 11 FT X 18 FT  
 STANDARD ACCESSIBLE: 24 SPACES; 5 SPACES  
 VAN ACCESSIBLE: 4 SPACES; 1 SPACE  
 LOADING SPACES: OFFICE & WAREHOUSE: 16 SPACES; 4 SPACES (V)  
 (V) - VARIANCE REQUESTED

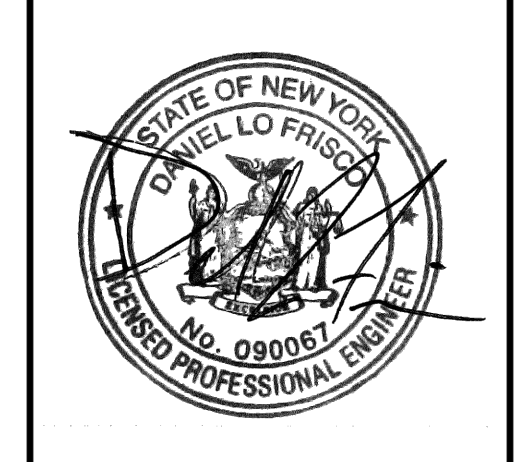


NO.	DATE	BY	REVISIONS
4	09/20/22	KH	ISSUED FOR ACABOR/PLANNING BOARD REVIEW
3	05/13/22	KH	SITE PLAN REVISIONS
2	04/14/22	KH	SITE PLAN SUBMISSION
1	03/29/22	KH	50% DPs
			NO.

**NOT FOR CONSTRUCTION**

Kimley-Horn Engineering and Landscape Architecture of New York, P.C.  
 5002 WALKER AVENUE, SUITE 505  
 1 NORTH LEXINGTON AVENUE, SUITE 505  
 WHITE PLAINS, NY 10601  
 WWW.KIMLEY-HORN.COM

DATABANK



KHA PROJECT	112117011	DATE	01-27-2022	SCALE	AS SHOWN	DESIGNED BY:	BMD	DL
						DRAWN BY:		
						CHECKED BY:		

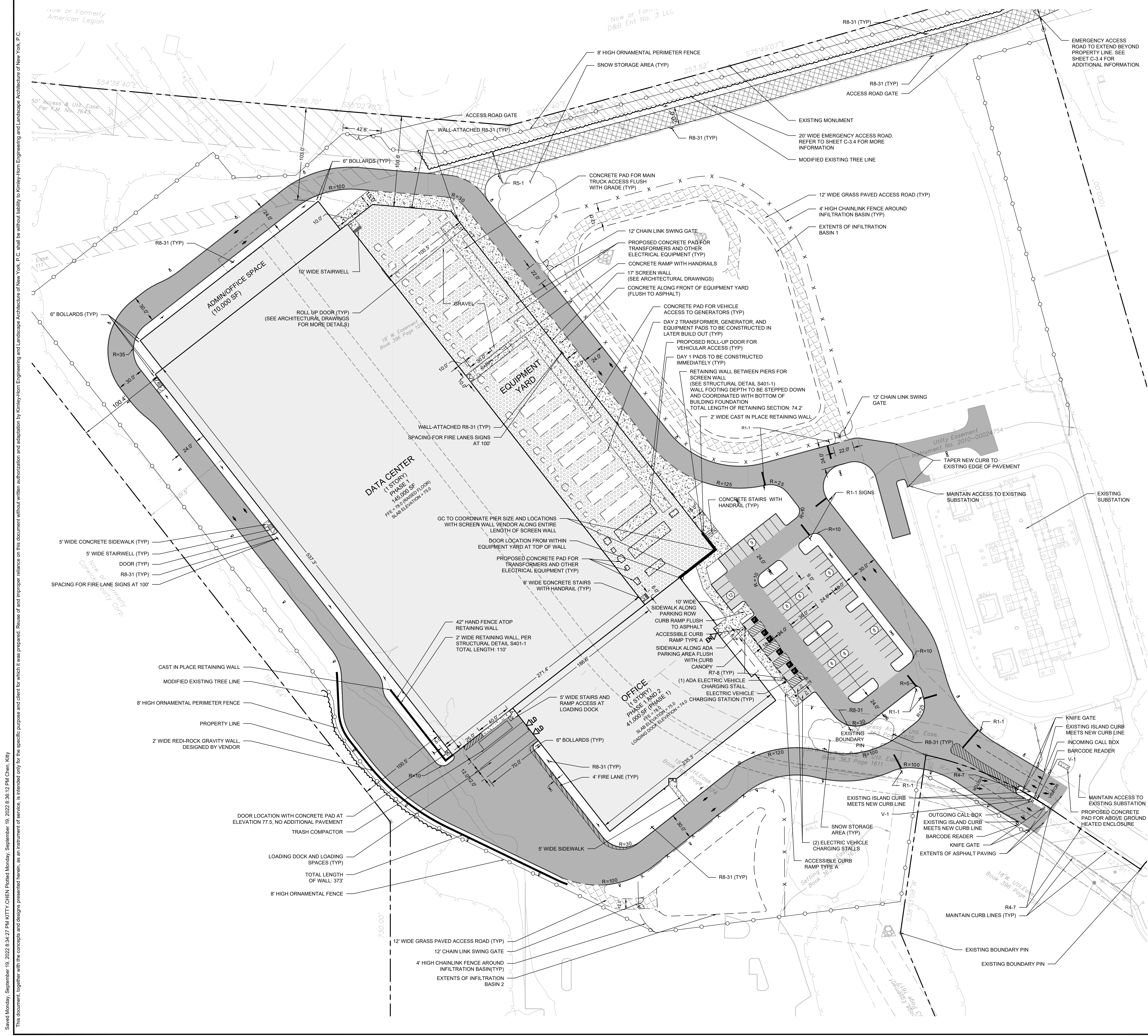
# MASTER SITE PLAN

**DATABANK ORANGETOWN**  
 2000 CORPORATE DRIVE  
 ORANGETOWN, NY 10962

TOWN OF ORANGETOWN  
 NEW YORK

SHEET NUMBER  
**C-3.0**





- NOTES**
- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF THE BUILDINGS UNLESS OTHERWISE NOTED.
  - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
  - RADIi ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3- FEET, TYPICAL.
  - ALL ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO NOTIFY TOWN OF ORANGEBURG SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.

- SURVEY AND ELEVATION NOTES**
- EXISTING CONDITIONS REFERENCED FROM BASEMAP SURVEY ENTITLED "TOPOGRAPHY SURVEY" PREPARED BY INSIGHT ENGINEERING, SURVEY AND LANDSCAPE ARCHITECTURE P.C., DATED MARCH 24TH, 2022.
  - ELEVATION 0.0 SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS EQUALS ELEVATION 78.0 ON CIVIL DRAWINGS.
  - ELEVATIONS SHOWN ARE REFERENCED TO NAVD88 DATUM PER STATIC GPS OBSERVATIONS.
  - NO SOURCE BENCHMARK IS UTILIZED.

**LEGEND**

[Symbol]	BUILDING
[Symbol]	HEAVY DUTY FLEXIBLE BITUMINOUS PAVEMENT
[Symbol]	STANDARD DUTY FLEXIBLE BITUMINOUS PAVEMENT
[Symbol]	CONCRETE
[Symbol]	GRASS PAVE
[Symbol]	GEOBLOCK
[Symbol]	RIP RAP (STONE)
[Symbol]	EQUIPMENT YARD AND SUBSTATION (STONE AND CONCRETE)
[Symbol]	DAY 1 EQUIPMENT PAD
[Symbol]	DAY 2 EQUIPMENT PAD
[Symbol]	8' HIGH BLACK IRON ORNAMENTAL FENCE
[Symbol]	CONCRETE CURB
[Symbol]	CONCRETE FLUSH CURB
[Symbol]	2' WIDE RETAINING WALL
[Symbol]	EXTENTS OF DETENTION BASIN
[Symbol]	MODIFIED EXISTING TREE LINE
[Symbol]	SNOW STORAGE AREA

**SIGN LEGEND**

M.U.T.C.D. Number	Specification	Width	Height	SIGN
R1-1		30"	30"	
R4-7		24"	30"	
R7-8		12"	18"	
R8-31		24"	30"	
R5-1		30"	30"	
V-1		24"	30"	

**ZONING REQUIREMENTS**

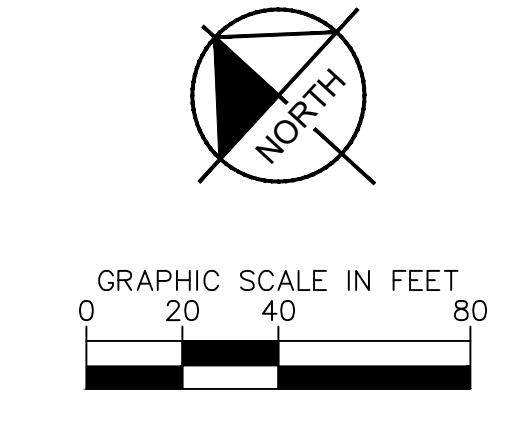
	LID - LIGHT INDUSTRIAL OFFICE DISTRICT		
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	2 AC.	17.53 AC	NO CHANGE
MIN. LOT WIDTH	300 FT	1500 FT	NO CHANGE
FRONT YARD SETBACK	100 FT	<100 FT	<100 FT
SIDE YARD SETBACK	100.1/200 FT	<100.1/200 FT	100 FT
REAR YARD SETBACK	100 FT <sup>1</sup>	<100.9 FT	100.6 FT
MAX. FLOOR AREA RATIO	0.4	-	0.23
MAX. BUILDING HEIGHT	<25 FT <sup>2</sup>	-	30.67 FT

<sup>1</sup>POTENTIAL ADDITIONAL 50 FT BUFFER FOR RESIDENTIAL ZONE ON A RESERVOIR. DB TO DETERMINE IF APPLICABLE.  
<sup>2</sup>MAXIMUM HEIGHT SHALL BE 3 INCHES PER FOOT OF DISTANCE FROM NEAREST LOT LINE.

**PARKING REQUIREMENTS**

	REQUIRED	PROPOSED
STANDARD SPACES	9 FT X 18 FT	9 FT X 18 FT
WAREHOUSE (1 SP/300 SF)	484 SPACES	-
OFFICE (1 SP/200 SF GFA)	255 SPACES	-
TOTAL (STANDARD & ADA)	739 SPACES	70 SPACES (V)
ADA SPACES	STANDARD: 8 FT X 18 FT VAN: 11 FT X 18 FT	STANDARD: 8 FT X 18 FT VAN: 11 FT X 18 FT
STANDARD ACCESSIBLE	24 SPACES	5 SPACES
LOADING SPACES	4 SPACES	1 SPACE
OFFICE & WAREHOUSE	16 SPACES	2 SPACES (V)

(V) - VARIANCE REQUESTED



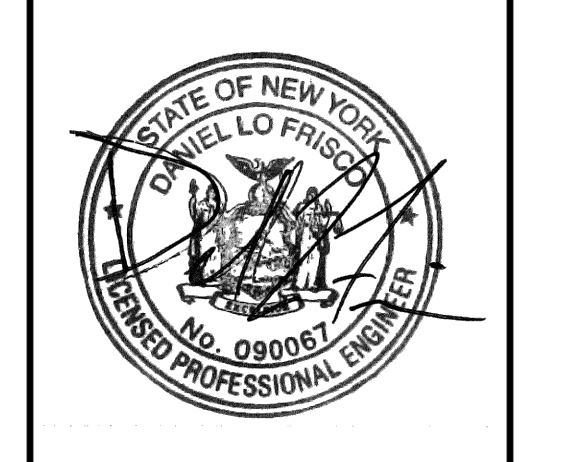
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4	09/20/22	ISSUED FOR ACABOR/PLANNING BOARD REVIEW	KH
3	05/13/22	SITE PLAN REVISIONS	KH
2	04/14/22	SITE PLAN SUBMISSION	KH
1	03/29/22	50% DPs	KH

NOT FOR CONSTRUCTION

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 1 NORTH LEXINGTON AVENUE, SUITE 505  
 WHITE PLAINS, NY 10601  
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**DATABANK**



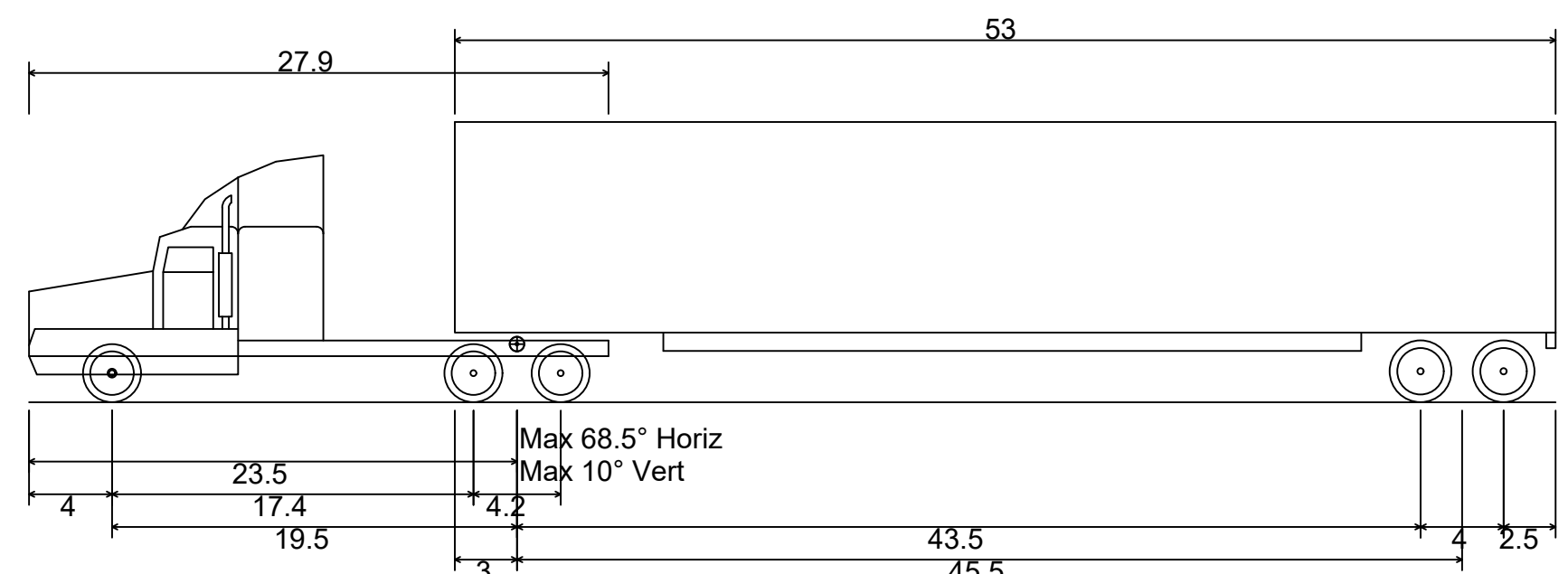
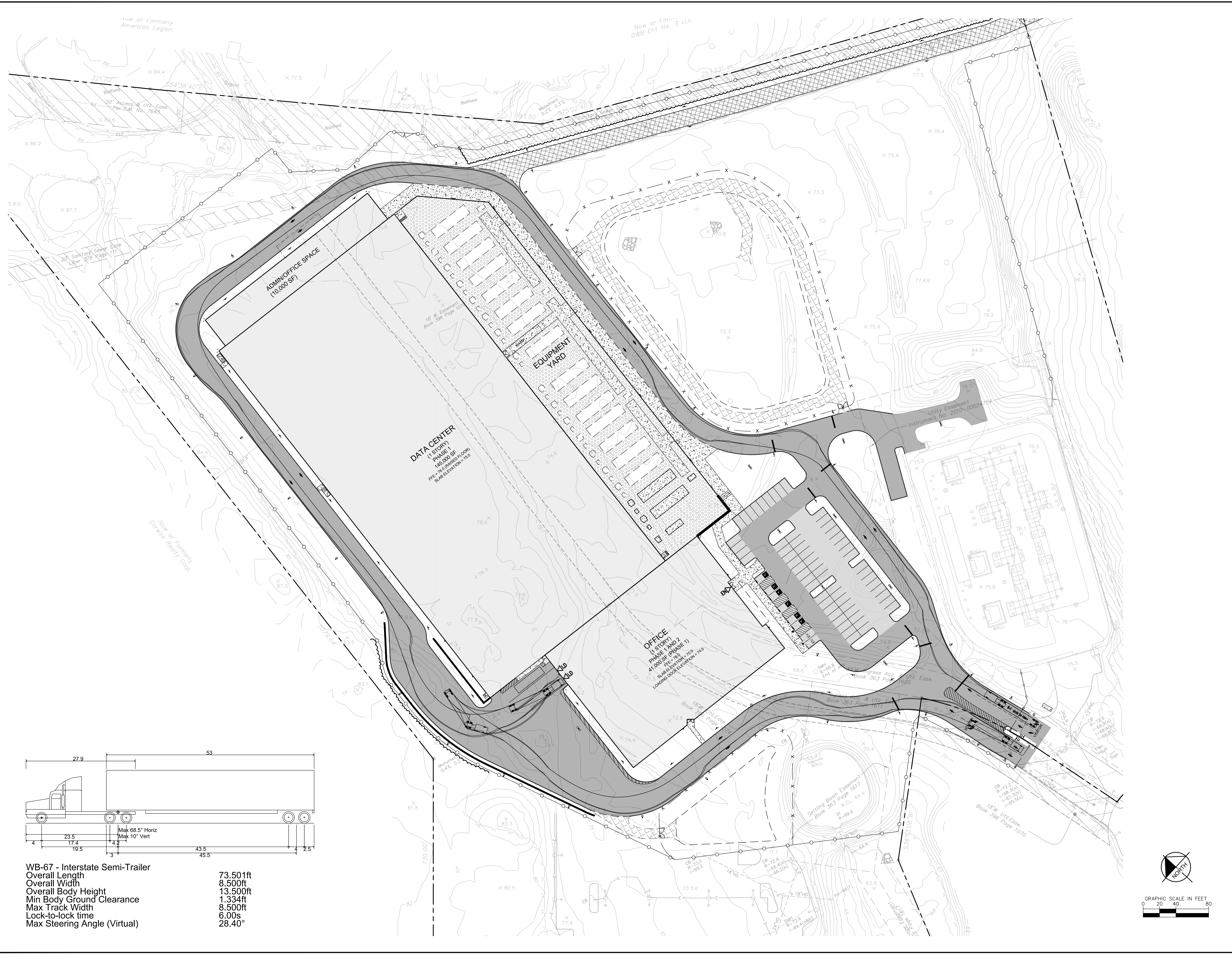
KHA PROJECT	112117011	DATE	01-27-2022	SCALE	AS SHOWN	DESIGNED BY	BMD	DL
DRAWN BY		CHECKED BY						

**LAYOUT AND MATERIALS PLAN PHASE 1**

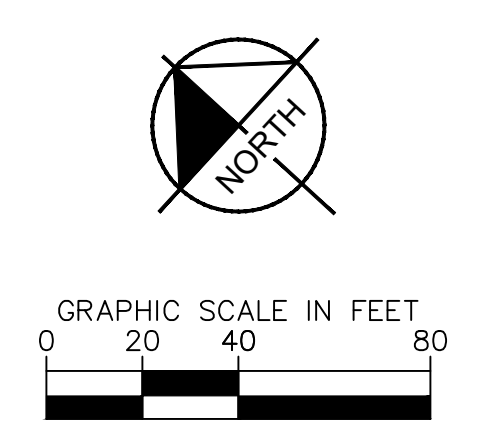
**DATABANK ORANGEBURG**  
 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962  
 NEW YORK

SHEET NUMBER  
**C-3.1**

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**WB-67 - Interstate Semi-Trailer**  
 Overall Length 73.501ft  
 Overall Width 8.500ft  
 Overall Body Height 13.500ft  
 Min Body Ground Clearance 1.334ft  
 Max Track Width 8.500ft  
 Lock-to-lock time 6.00s  
 Max Steering Angle (Virtual) 28.40°

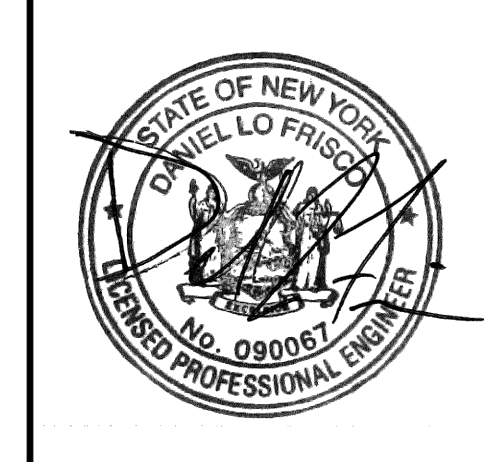


NO.	REVISIONS	DATE	BY
4	ISSUED FOR ACAB/PLANNING BOARD REVIEW	09/20/22	KH
3	SITE PLAN REVISIONS	05/13/22	KH
2	SITE PLAN SUBMISSION	04/14/22	KH
1	50% DPs	03/29/22	KH

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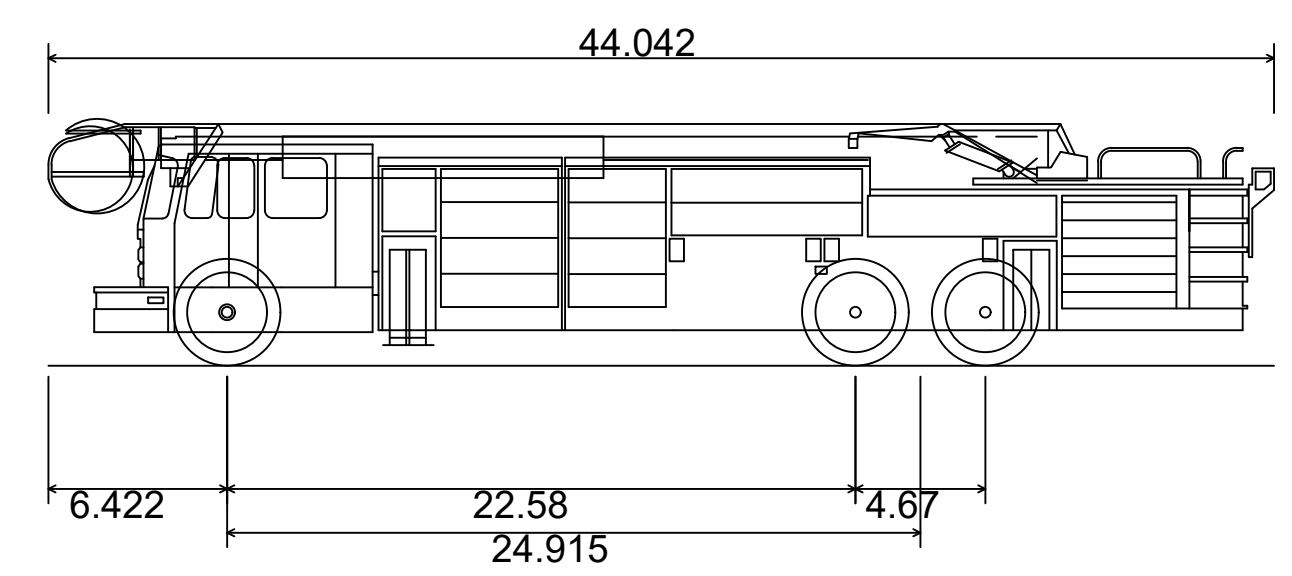
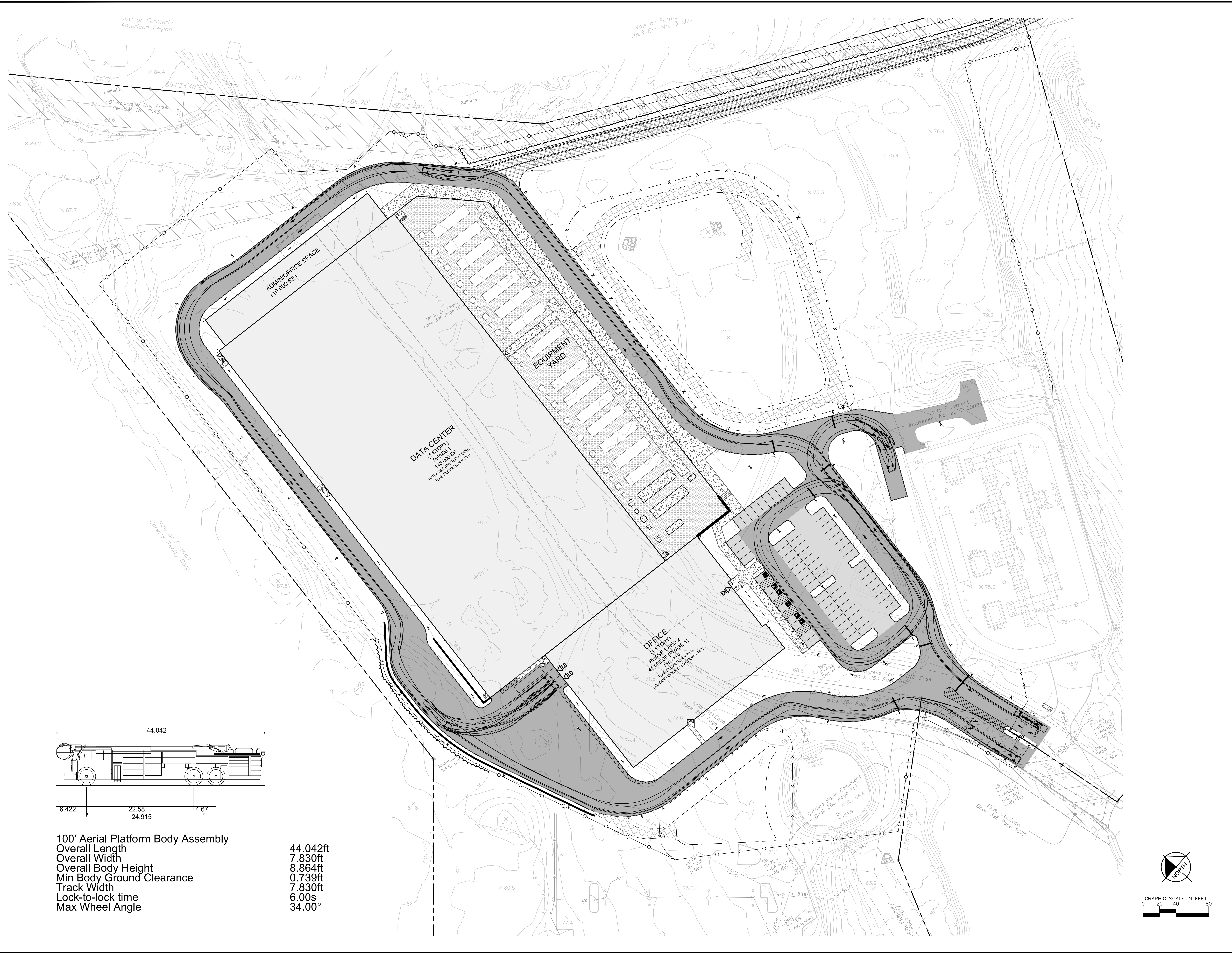
KIM PROJECT	11217011
DATE	01-27-2022
SCALE	AS SHOWN
DESIGNED BY:	BMD
DRAWN BY:	DL
CHECKED BY:	

**VEHICLE MANEUVERING  
(WB TRUCK)**

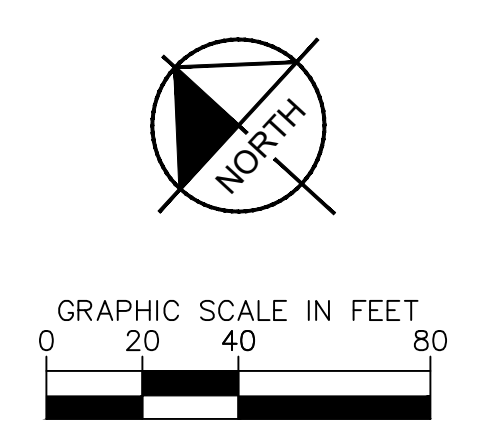
**DATABANK ORANGEBURG**  
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 ORANGEBURG, NY 10962  
 NEW YORK

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**C-3.2**

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**100' Aerial Platform Body Assembly**  
 Overall Length 44.042ft  
 Overall Width 7.830ft  
 Overall Body Height 8.864ft  
 Min Body Ground Clearance 0.739ft  
 Track Width 7.830ft  
 Lock-to-lock time 6.00s  
 Max Wheel Angle 34.00°

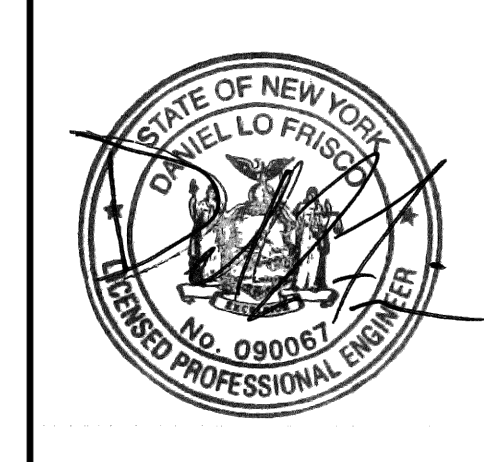


NO.	REVISIONS	DATE	BY
4	ISSUED FOR ACAB/PLANNING BOARD REVIEW	09/20/22	KH
3	SITE PLAN REVISIONS	05/13/22	KH
2	SITE PLAN SUBMISSION	04/14/22	KH
1	50% DPs	03/29/22	KH

NOT FOR CONSTRUCTION

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 1 NORTH LEXINGTON AVENUE, SUITE 505  
 WHITE PLAINS, NY 10601  
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**DATABANK**



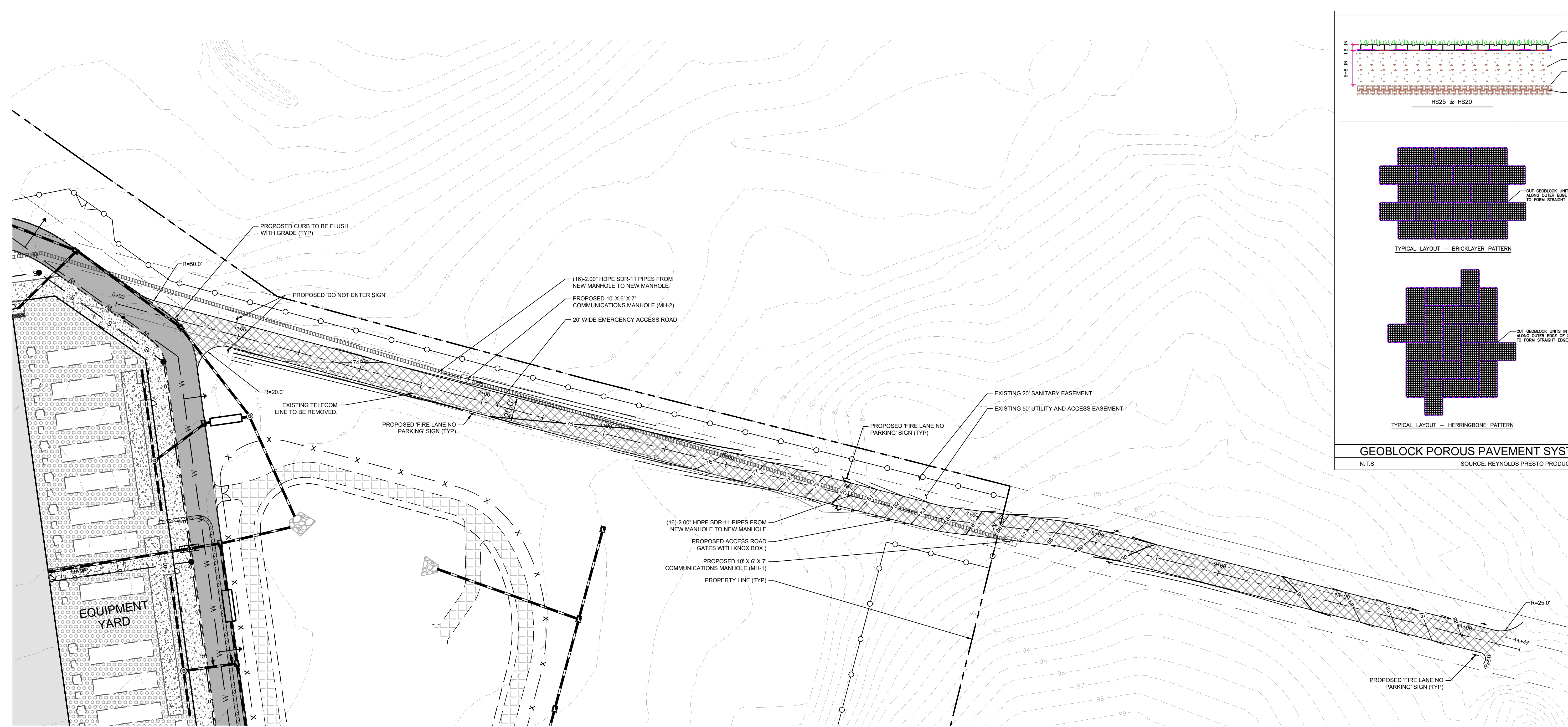
KIM PROJECT	11217011
DATE	01-27-2022
SCALE	AS SHOWN
DESIGNED BY:	BMD
DRAWN BY:	DL
CHECKED BY:	

**VEHICLE MANEUVERING (FIRETRUCK)**

**DATABANK ORANGEBURG**  
 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962  
 NEW YORK

SHEET NUMBER  
**C-3.3**

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**EMERGENCY FIRE ACCESS ROAD PLAN VIEW**

**DESIGN GUIDELINES - BASE DEPTH**

LOAD DESCRIPTION	CBR 2 - 4%	CBR > 4%
Heavy Fire Truck Access & H/HSES loading, Typical 110 psi (758 kPa) tire pressure. Single axle loadings of 40 kips (178 kN). Gross vehicle weight of 80,000 lbs (40.1 MT).	8" Base	6" Base
Heavy Fire Truck Access & H/HSES loading, Typical 110 psi (758 kPa) tire pressure. Single axle loadings of 32 kips (145 kN). Gross vehicle weight of 80,000 lbs (40.1 MT).	8" Base	6" Base

**GEORLOCK MATERIAL SPECIFICATION**

MATERIAL	UP TO 100% RECYCLED POLYETHYLENE
COLOR	RANGES FROM SHINY GRAY TO BLACK
CORNER RESISTANCE	1.5 TO 2.0"
UNIT MIN CRUSH STRENGTH - LUMPY @ 70F (21C)	4200 PSI (2900 kPa)
UNIT MIN CRUSH STRENGTH - SAND FILLED @ 70F (21C)	5,880 PSI (41,285 kPa)
FLOORING MODULUS @ 70F (21C)	35,000 PSI (243,000 kPa)
NOMINAL DIMENSIONS - WIDTH X LENGTH	20" X 40" IN (0.5 X 1.0 M)
NOMINAL UNIT WEIGHT	1.2 LB (0.54 KG)
NOMINAL AREA	0.3 SQFT (0.3 SQMTR)
CELL SIZE	2.25 X 2.25 IN (57 X 57 MM)
TOP OPEN AREA PER UNIT	78%
BOTTOM OPEN AREA PER UNIT	58%
INTERLOCKING OFFSET SPREAD TRANSFER PARS	12 IN (305 MM) PER 40 IN (1.0 M)
NOMINAL WEIGHT PER UNIT	4.7 LBS (2.1 KG)
RUNOFF COEFFICIENT @ 2.5 IN (64 MM) RAIN	0.15
UNITS PER PALLET	92

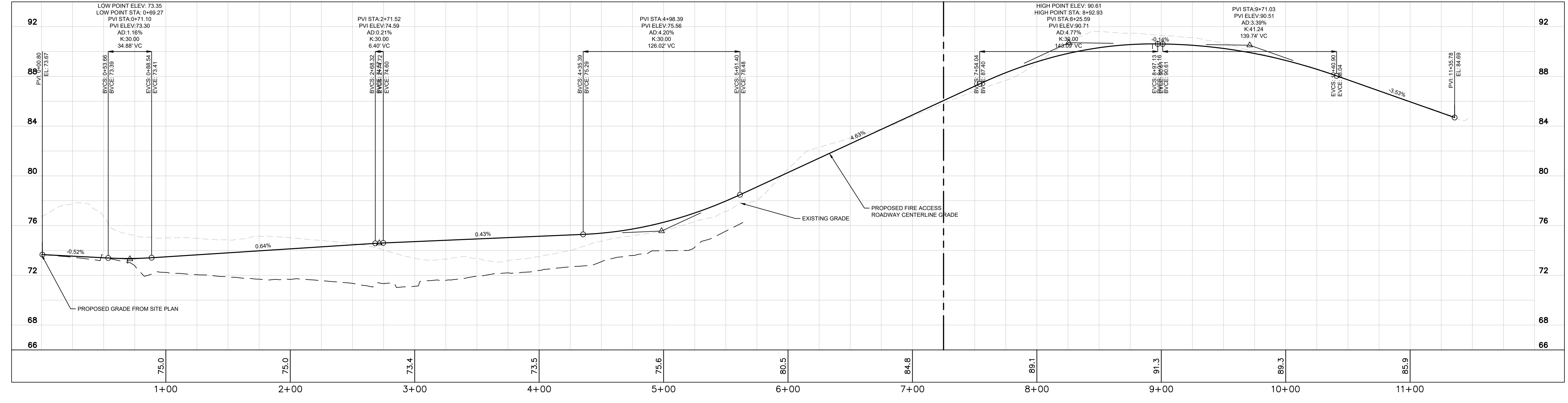
**GEORLOCK POROUS PAVEMENT SYSTEM**  
N.T.S. SOURCE: REYNOLDS PRESTO PRODUCTS, INC.

**LEGEND**

- GEORLOCK POROUS PAVEMENT ROADWAY
- FULL DEPTH PAVEMENT
- TELECOM CONDUIT TO PHASE 1 DATA CENTER
- TELECOM MANHOLE
- PROPOSED STORM DRAINAGE PIPE
- PROPOSED STORM DRAINAGE STRUCTURES

**SURVEY AND ELEVATION NOTES**

- EXISTING CONDITIONS REFERENCED FROM BASEMAP SURVEY ENTITLED "TOPOGRAPHY SURVEY" PREPARED BY INSIGHT ENGINEERING, SURVEY AND LANDSCAPE ARCHITECTURE P.C., DATED MARCH 24TH, 2022.
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**EMERGENCY FIRE ACCESS ROAD PROFILE**

NO.	1	DATE	09/20/22	BY	KC
REVISIONS		ISSUED FOR ACABOR/PLANNING BOARD REVIEW			

**NOT FOR CONSTRUCTION**

**Kimley-Horn**  
 5052 WILHELMUS ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.  
 1 NORTH LEXINGTON AVENUE, SUITE 505  
 WHITE PLAINS, NY 10601  
 WWW.KIMLEY-HORN.COM

**DATABANK**

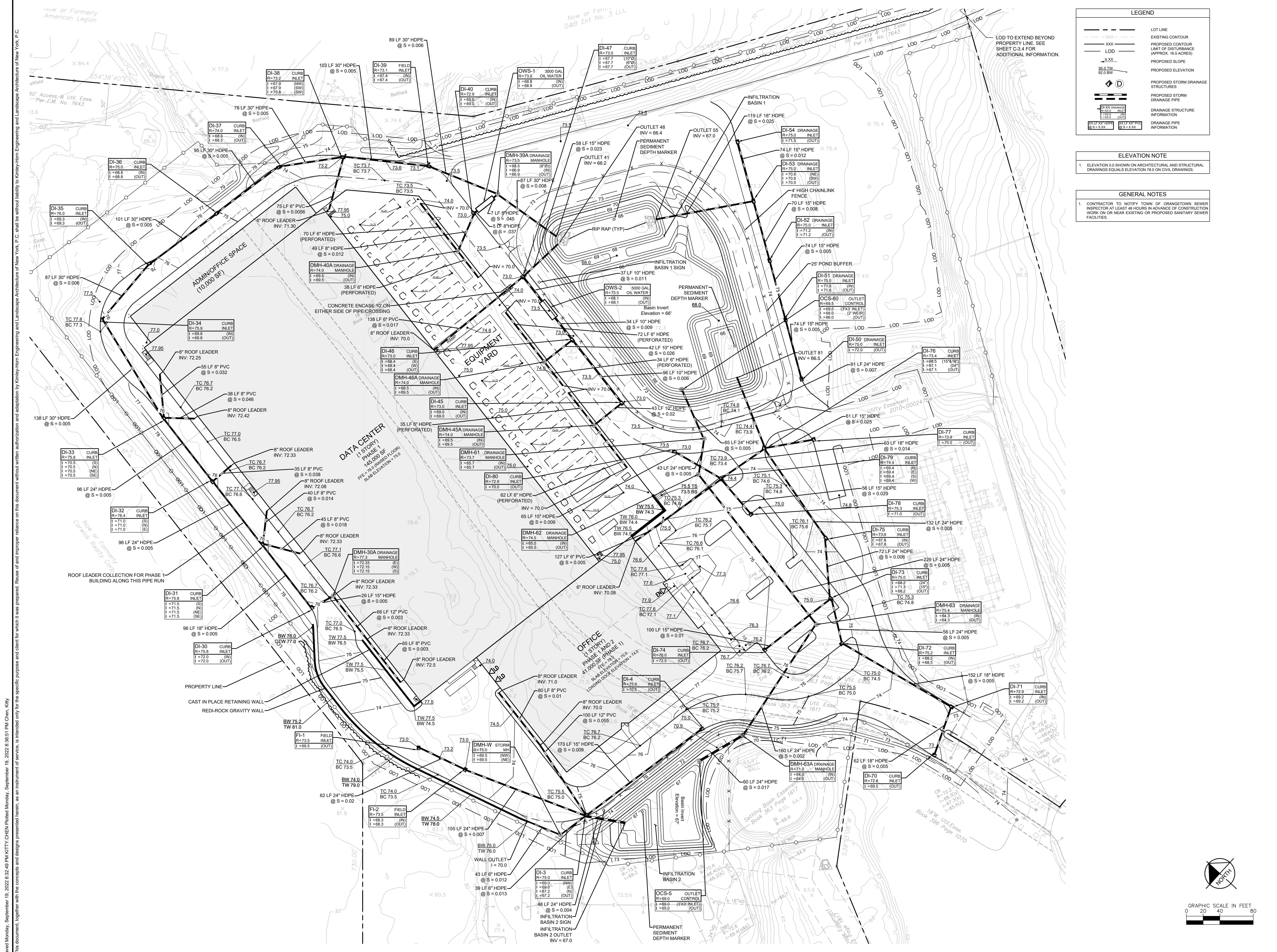
STATE OF NEW YORK  
 ENGINEER  
 No. 090067  
 LICENSED PROFESSIONAL ENGINEER

KHA PROJECT	112117011	DATE	01-27-2022	SCALE	AS SHOWN	KC	KL	DL
DESIGNED BY:		DRAWN BY:		CHECKED BY:				

**EMERGENCY FIRE ACCESS ROAD AND PROFILE**

**DATABANK ORANGEBURG**  
 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962  
 NEW YORK

SHEET NUMBER  
**C-3.4**



**LEGEND**

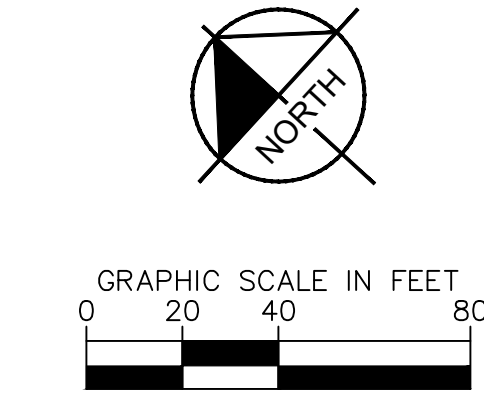
- LOT LINE
- - - - - EXISTING CONTOUR
- PROPOSED CONTOUR
- LIMIT OF DISTURBANCE (APPROX. 16.5 ACRES)
- PROPOSED SLOPE
- PROPOSED ELEVATION
- PROPOSED STORM DRAINAGE STRUCTURES
- PROPOSED STORM DRAINAGE PIPE
- DRAINAGE STRUCTURE INFORMATION
- DRAINAGE PIPE INFORMATION

**ELEVATION NOTE**

1. ELEVATION 8.0 SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS EQUALS ELEVATION 78.0 ON CIVIL DRAWINGS.

**GENERAL NOTES**

1. CONTRACTOR TO NOTIFY TOWN OF ORANGEBURG SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.



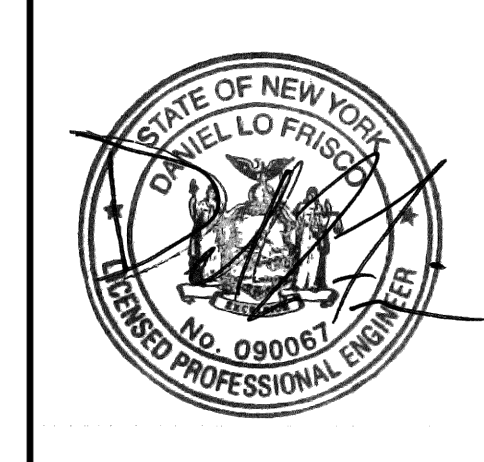
NO.	DATE	REVISIONS
1	09/20/22	ISSUED FOR ACAP/PLANNING BOARD REVIEW
2	05/13/22	SITE PLAN REVISIONS
3	04/14/22	SITE PLAN SUBMISSION
4	03/29/22	50% DPs

NOT FOR CONSTRUCTION

**Kimley-Horn**

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WHITE PLAINS, NY 10601  
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**DATABANK**



DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
01-27-2022	AS SHOWN			

**GRADING AND DRAINAGE PLAN**

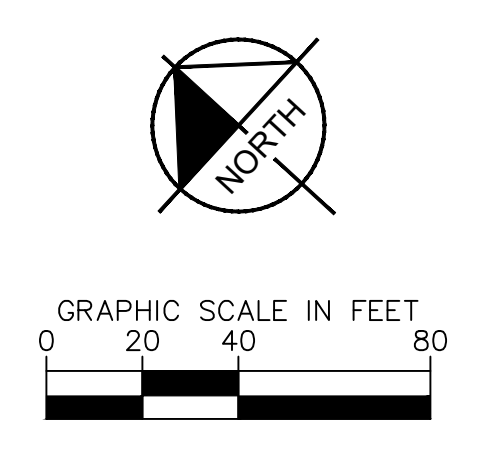
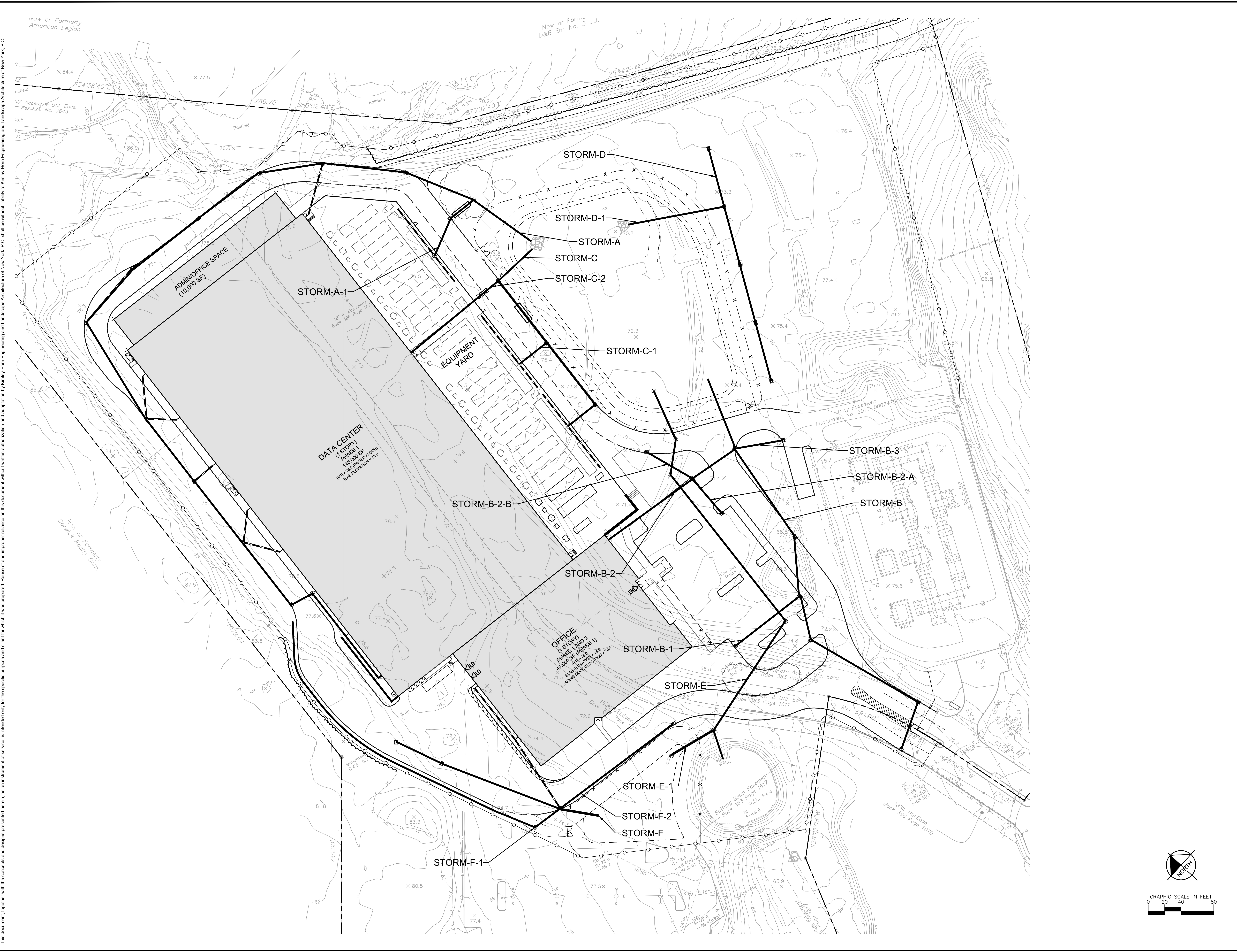
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ORANGEBURG, NY 10962

TOWN OF ORANGEBURG  
NEW YORK

SHEET NUMBER  
**C-4.0**

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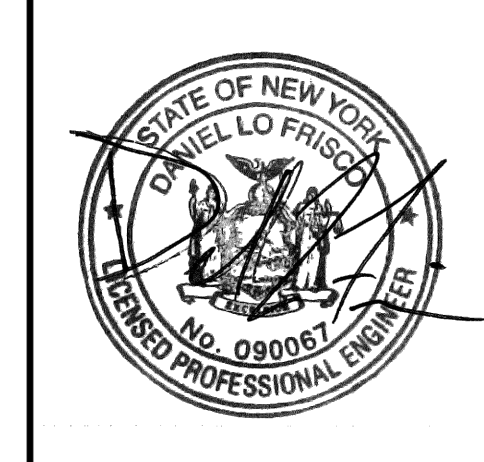


NO.	REVISIONS	DATE	BY
4	ISSUED FOR ACABOR/PLANNING BOARD REVIEW	09/20/22	KH
3	SITE PLAN REVISIONS	05/13/22	KH
2	SITE PLAN SUBMISSION	04/14/22	KH
1	50% DPs	03/29/22	KH

NOT FOR CONSTRUCTION

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 ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.  
 500 WEST 14TH STREET, SUITE 505  
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**DATABANK**



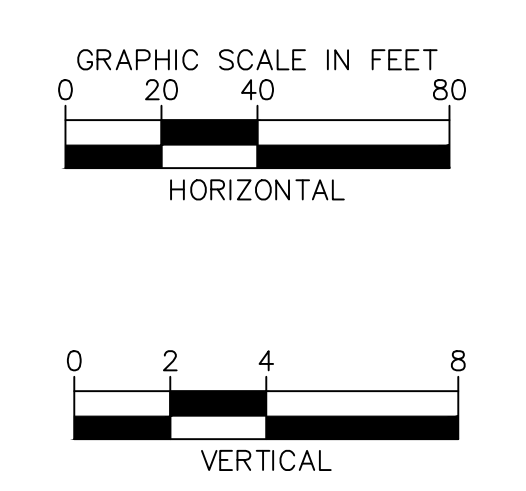
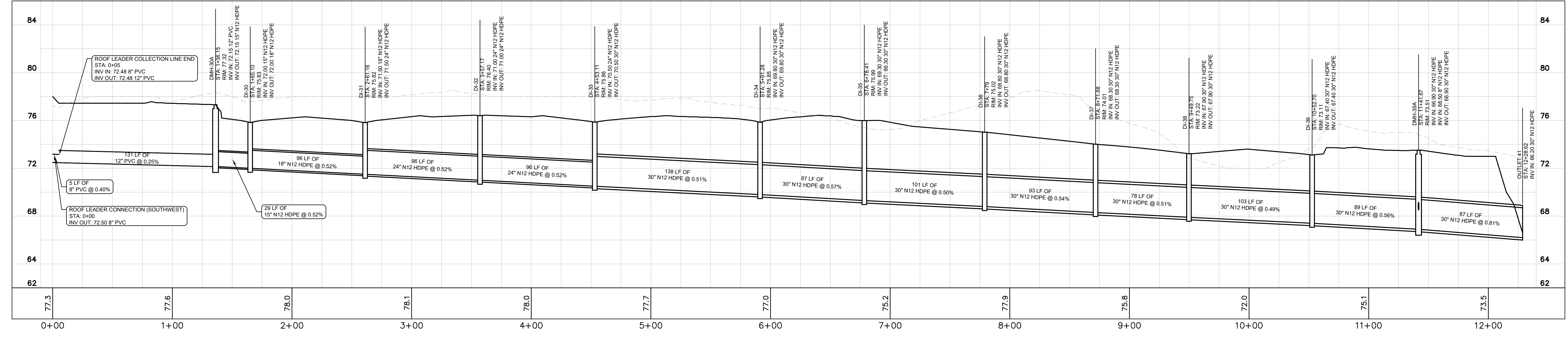
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DATE	01-27-2022
SCALE	AS SHOWN
DESIGNED BY:	BMD
DRAWN BY:	DL
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**STORMWATER PIPE NETWORK OVERALL PLAN**

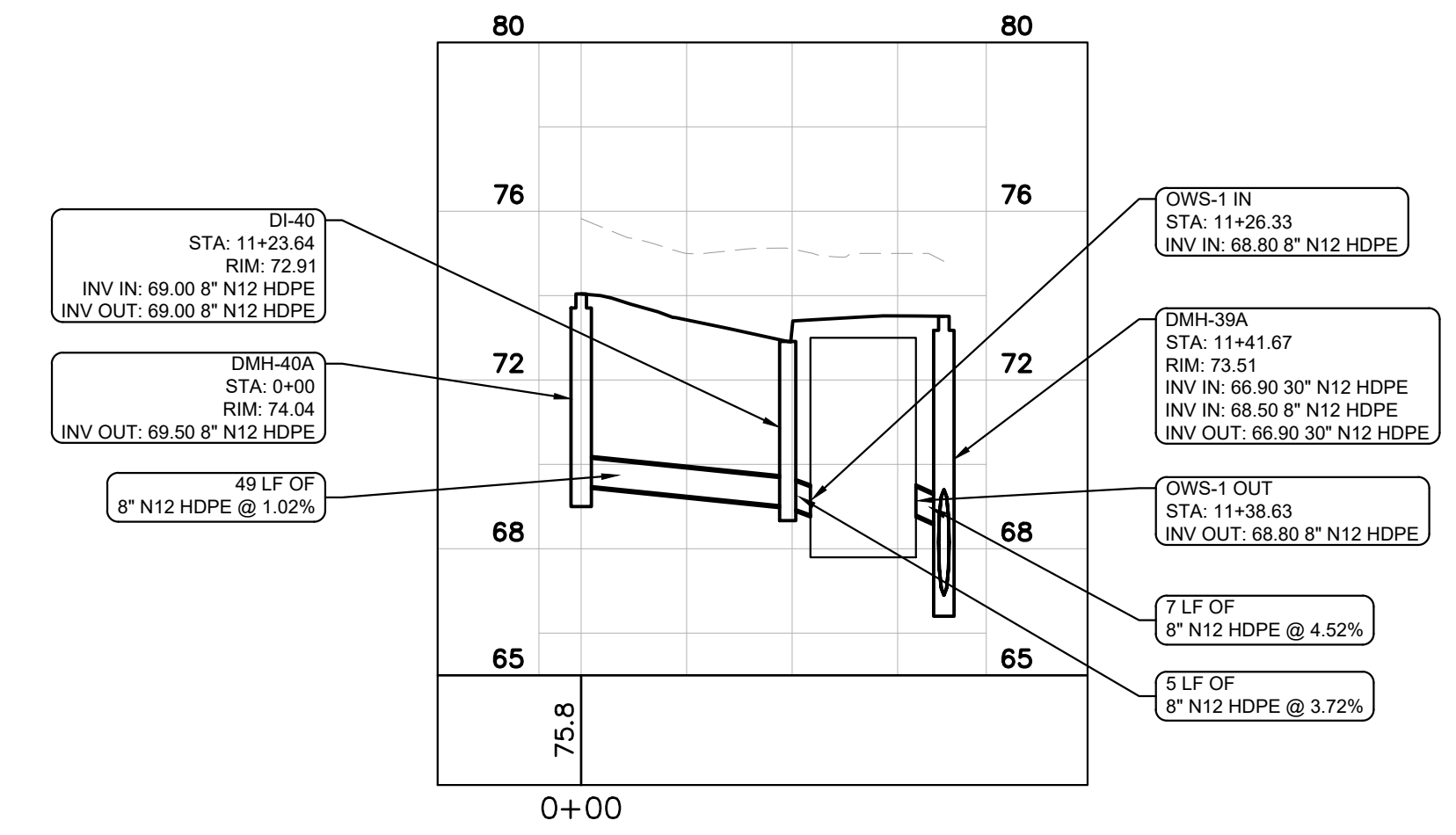
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 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962  
 TOWN OF ORANGEBURG, NEW YORK

SHEET NUMBER  
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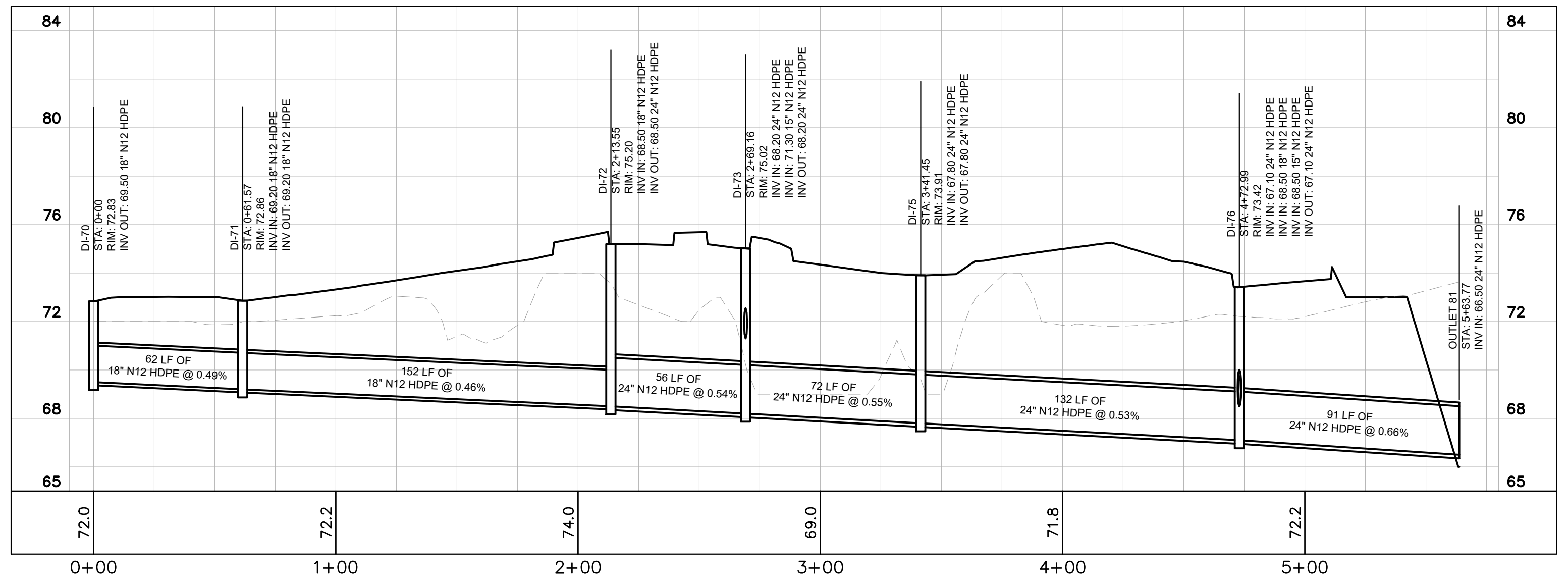
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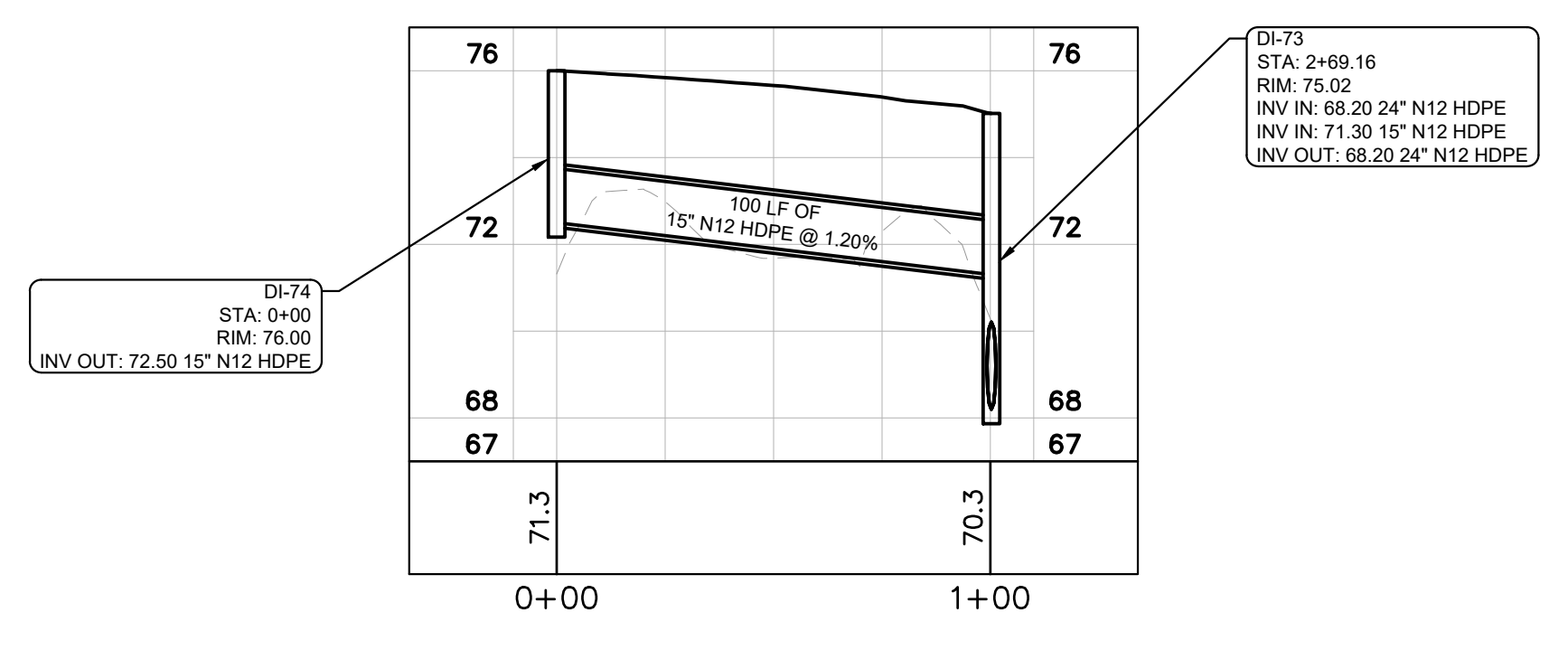
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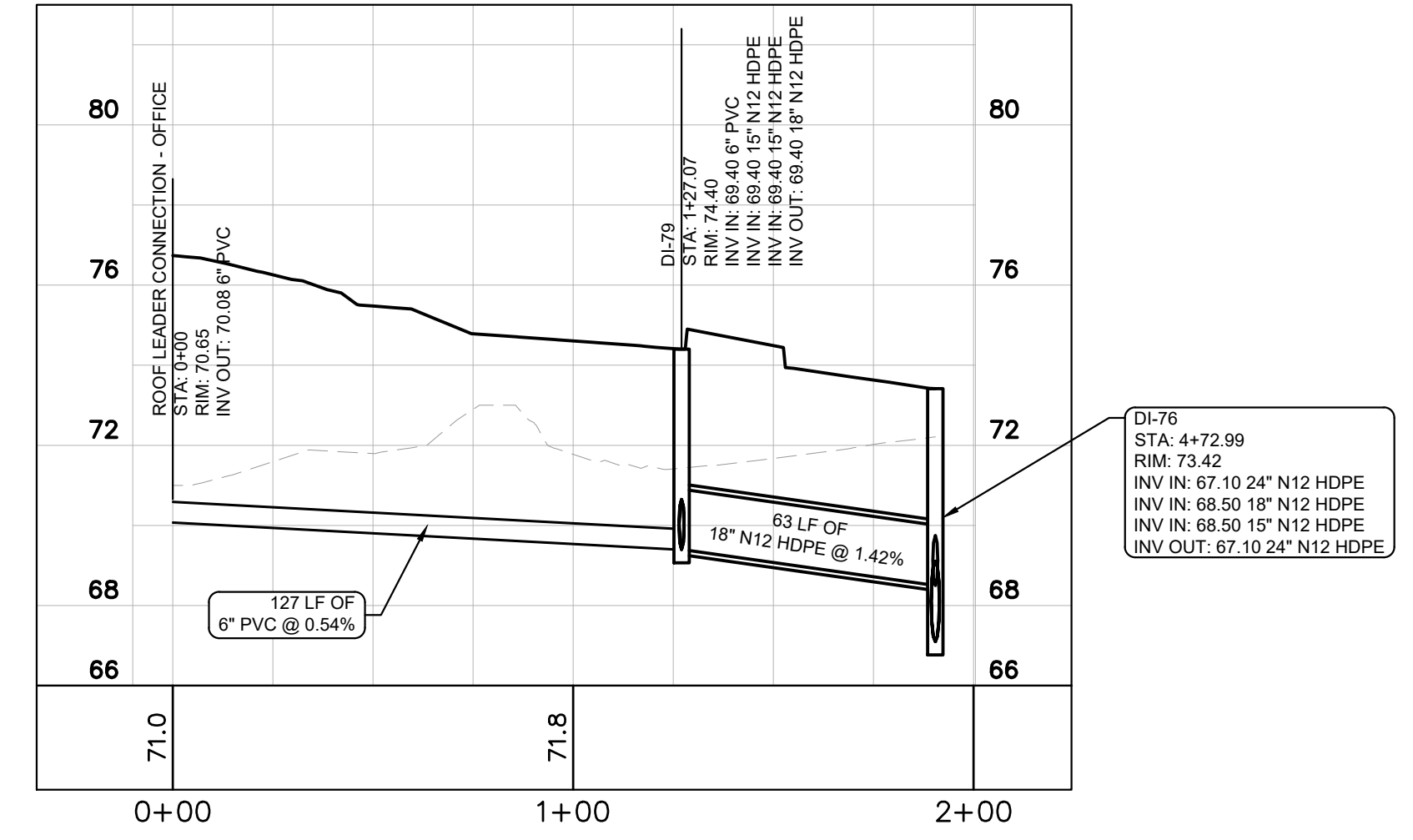
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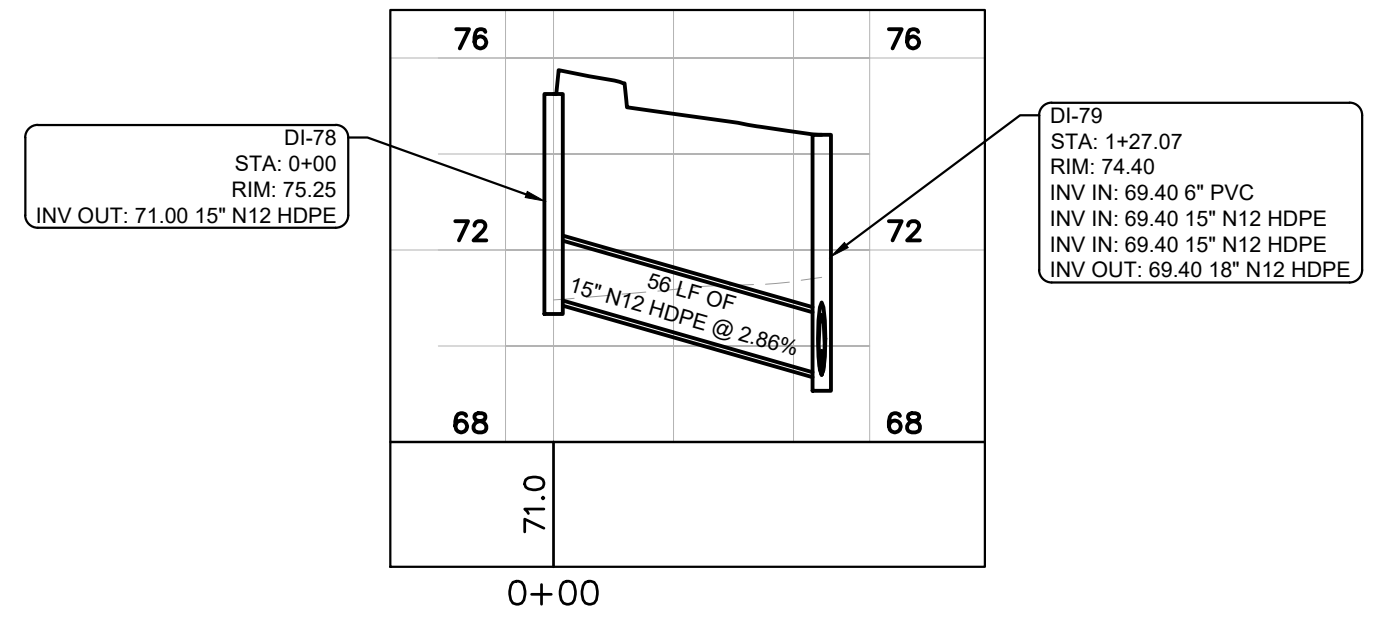
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**STORM-B-1**



**STORM-B-2**



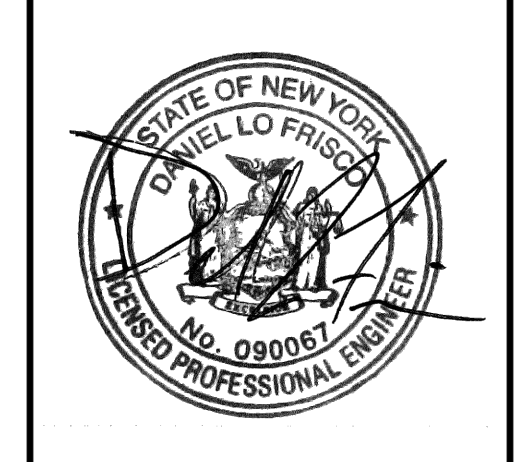
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NO.	REVISIONS	DATE	BY
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3	SITE PLAN REVISIONS	05/13/22	KH
2	SITE PLAN SUBMISSION	04/14/22	KH
1	50% DPs	03/29/22	KH

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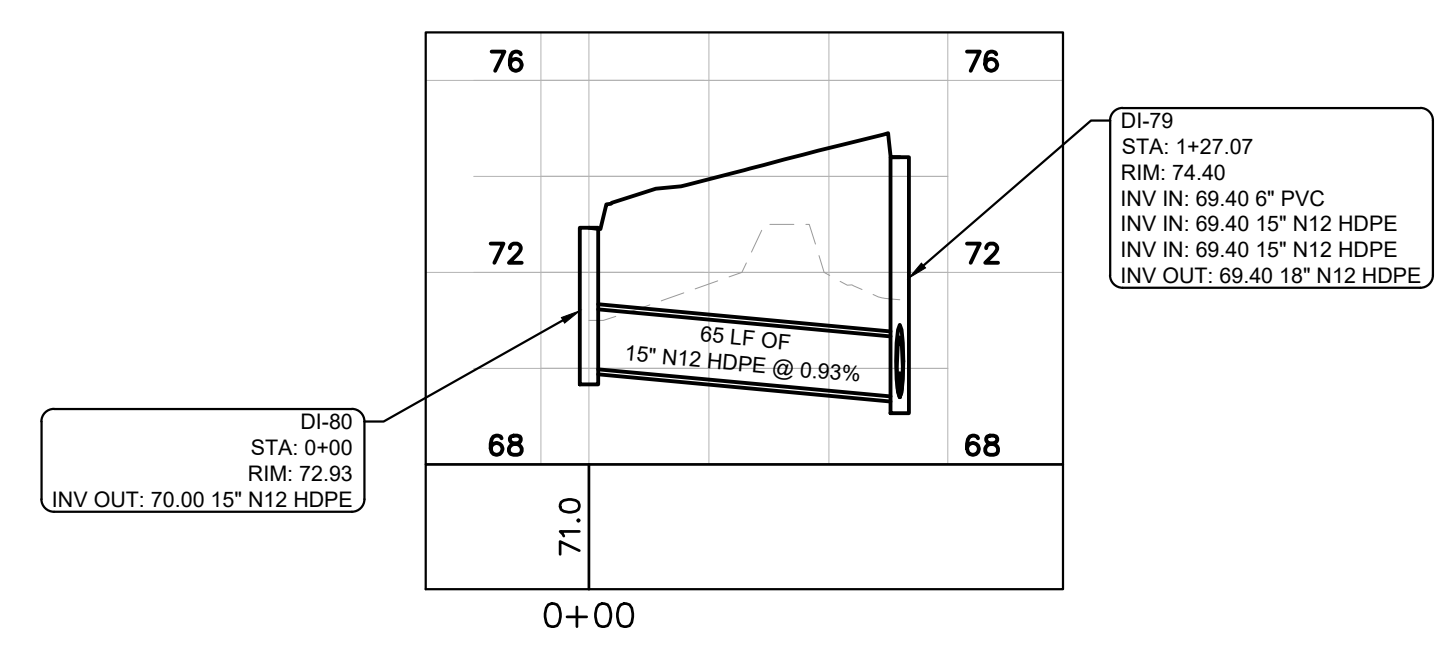
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CHECKED BY:		DRAWN BY:						

**STORMWATER PROFILES**

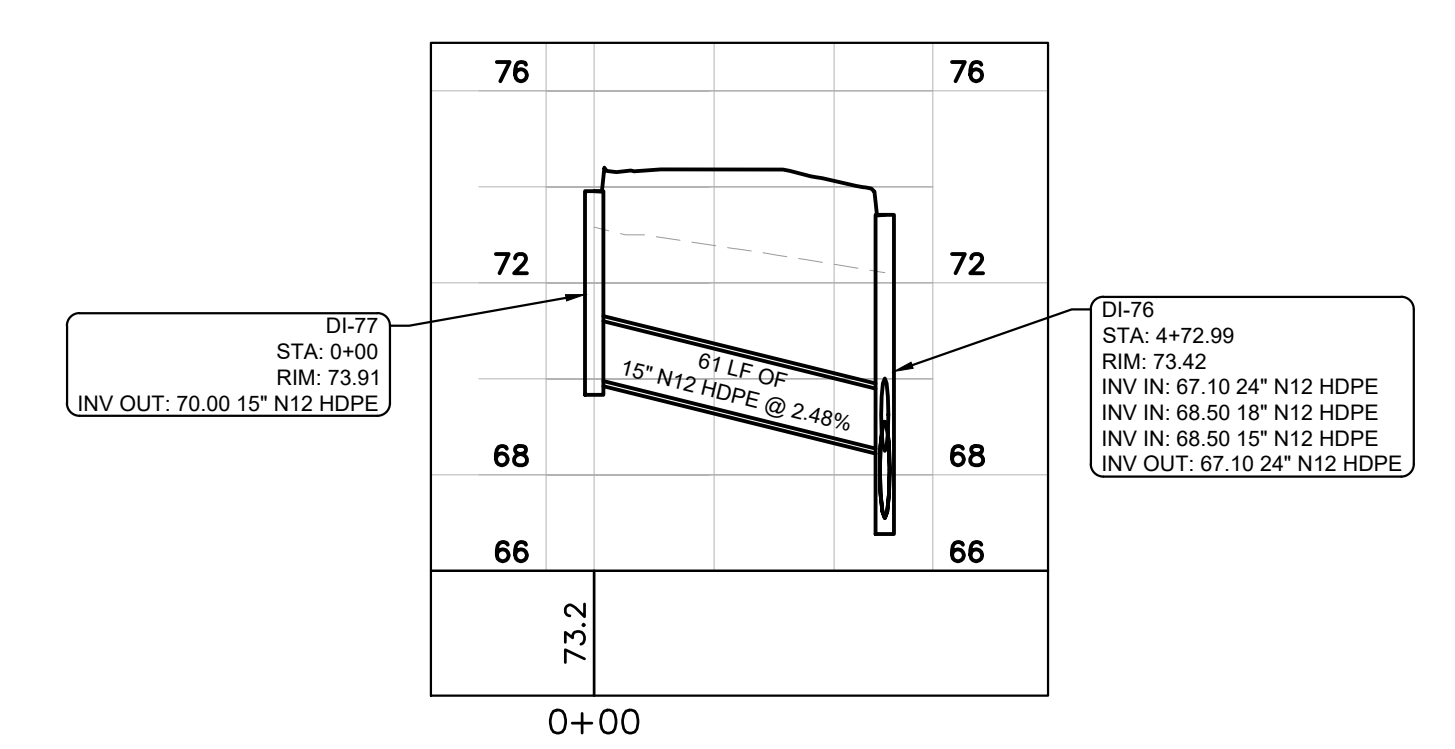
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 ORANGEBURG, NY 10962  
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SHEET NUMBER  
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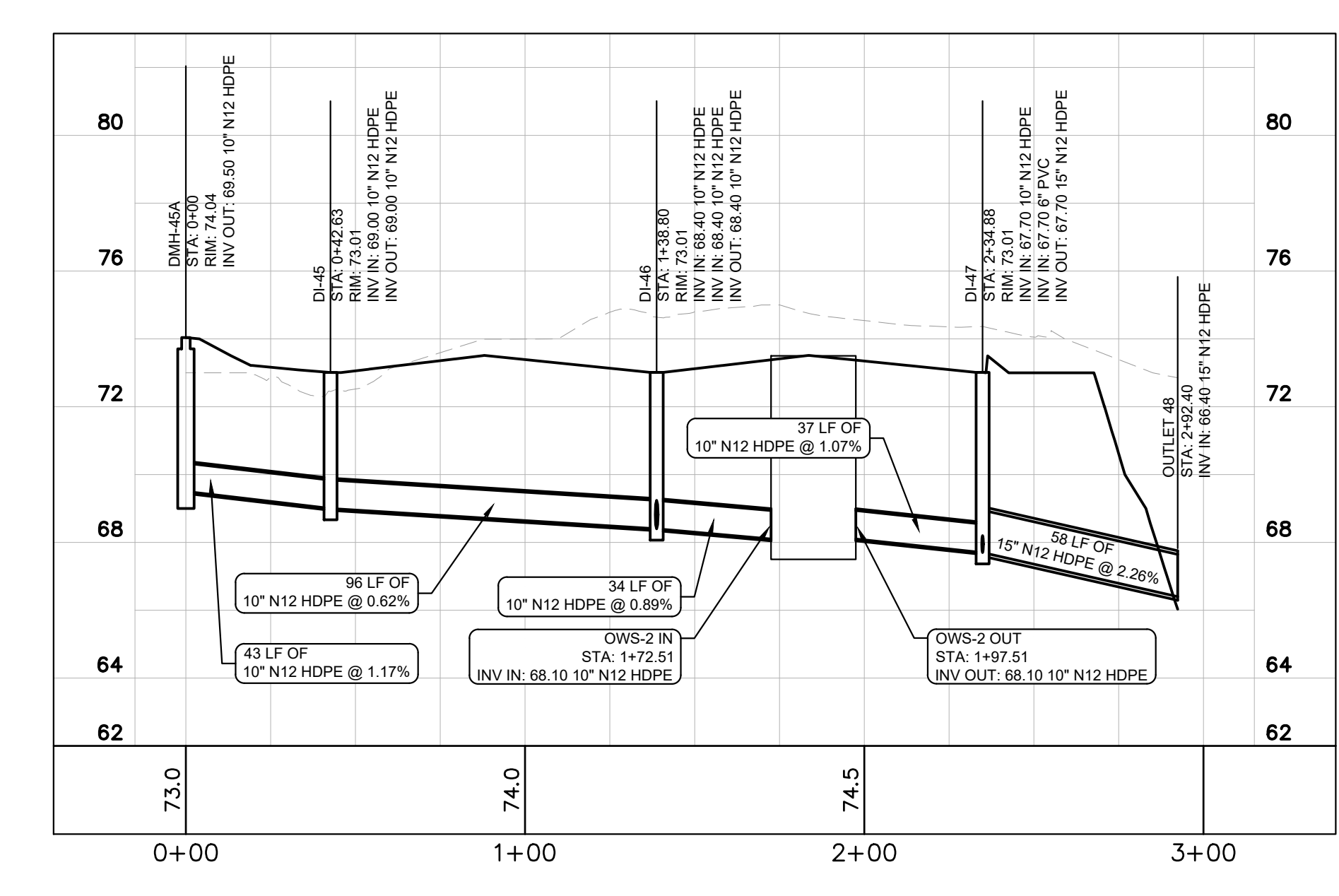
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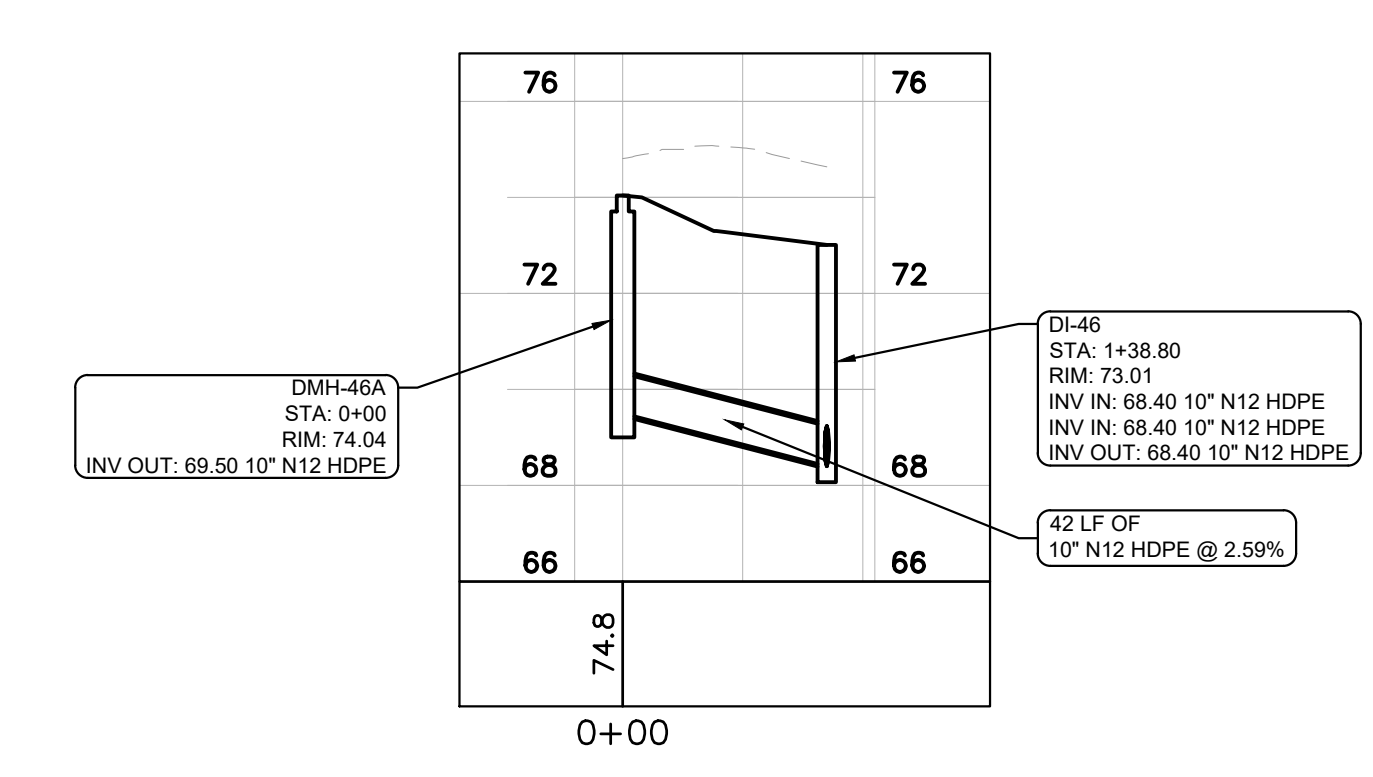
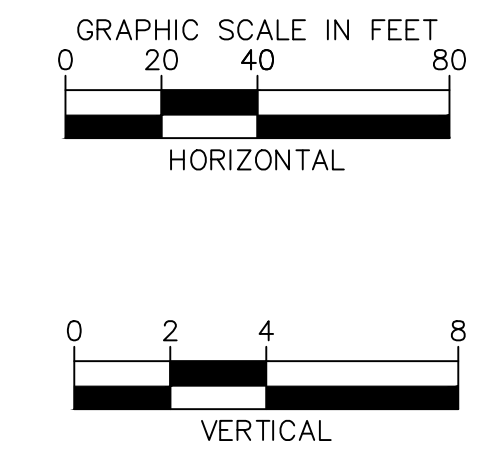
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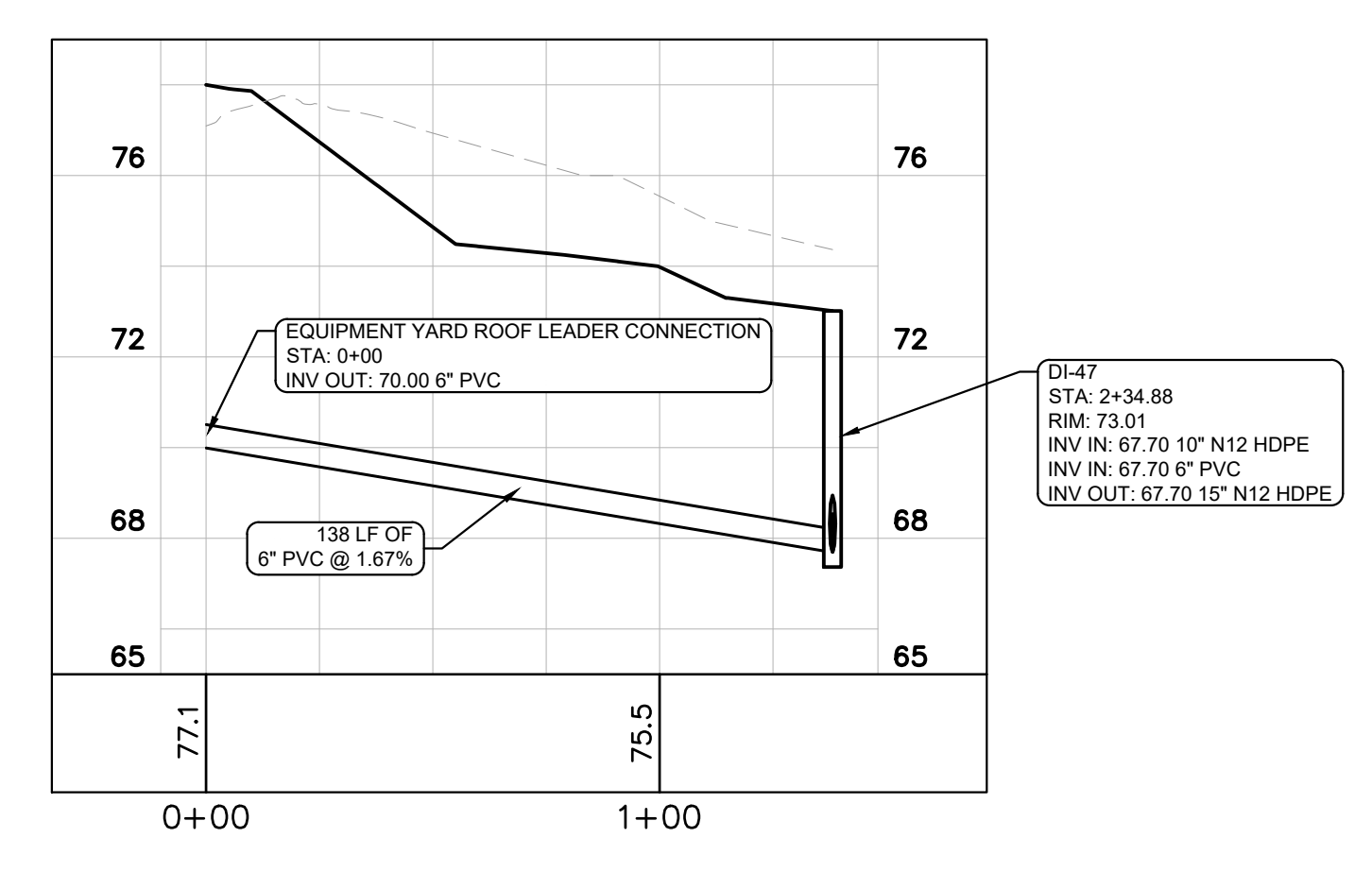
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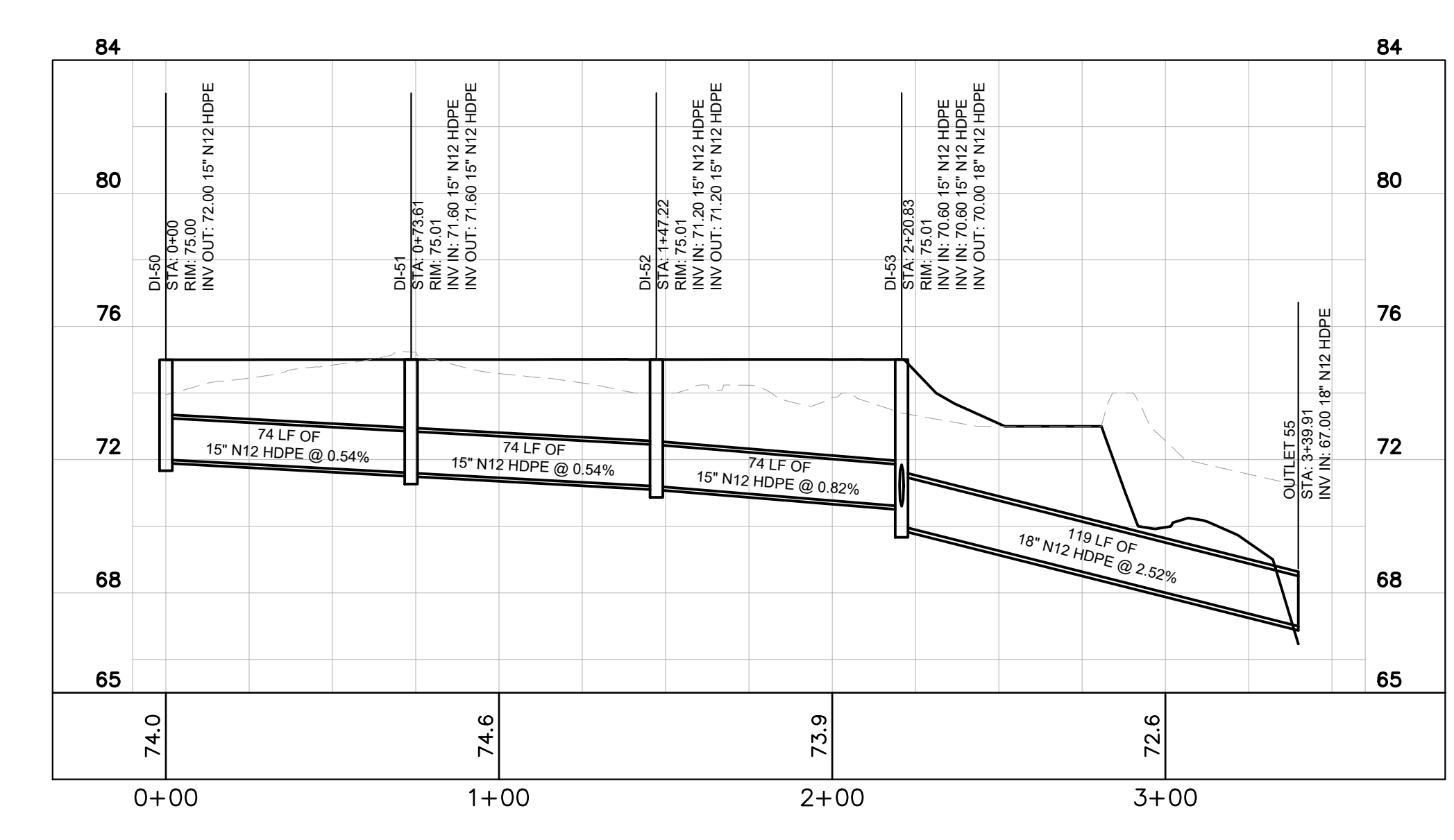
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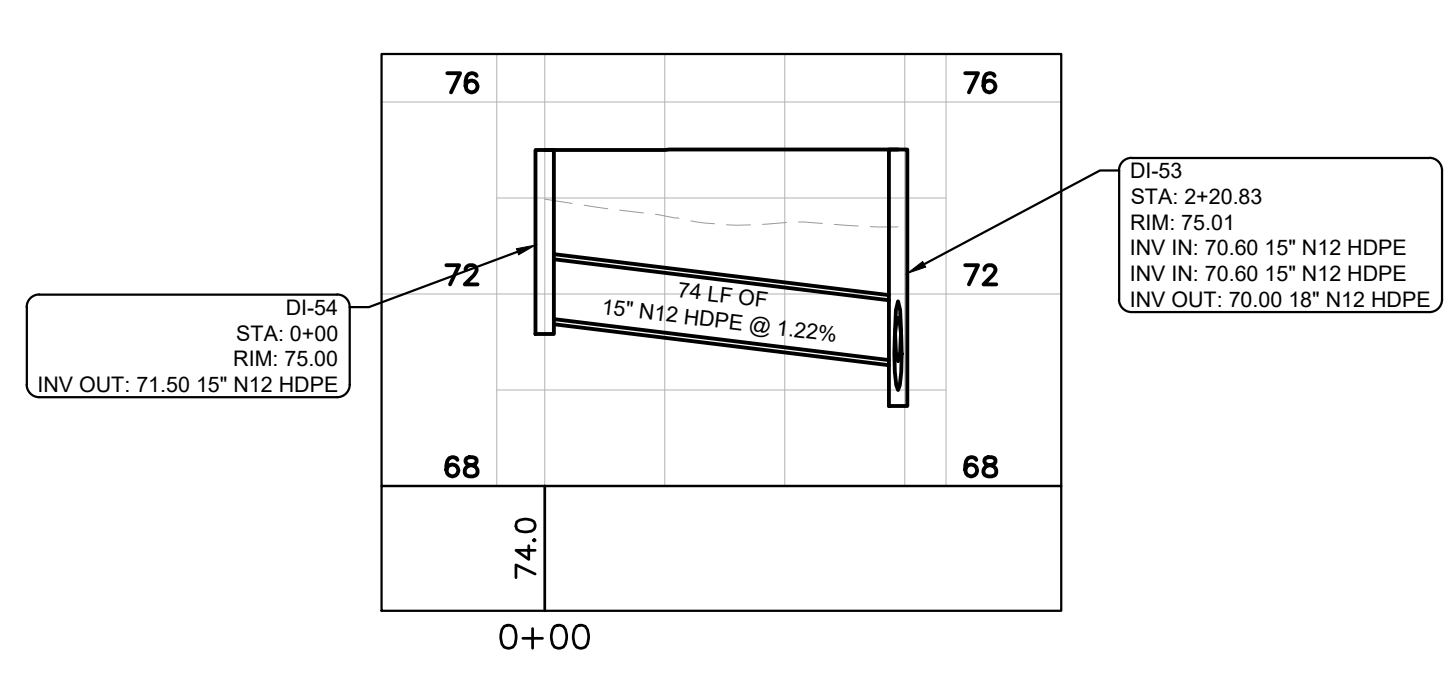
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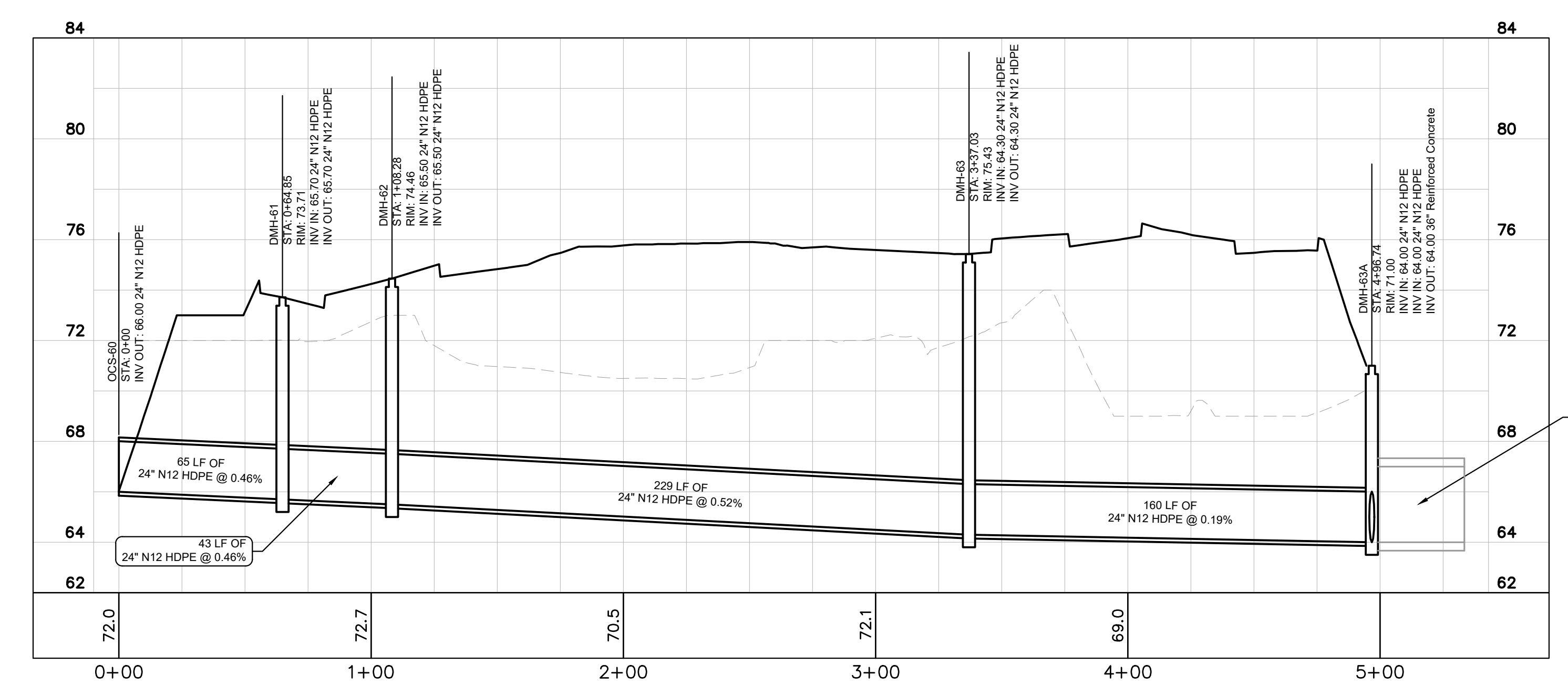
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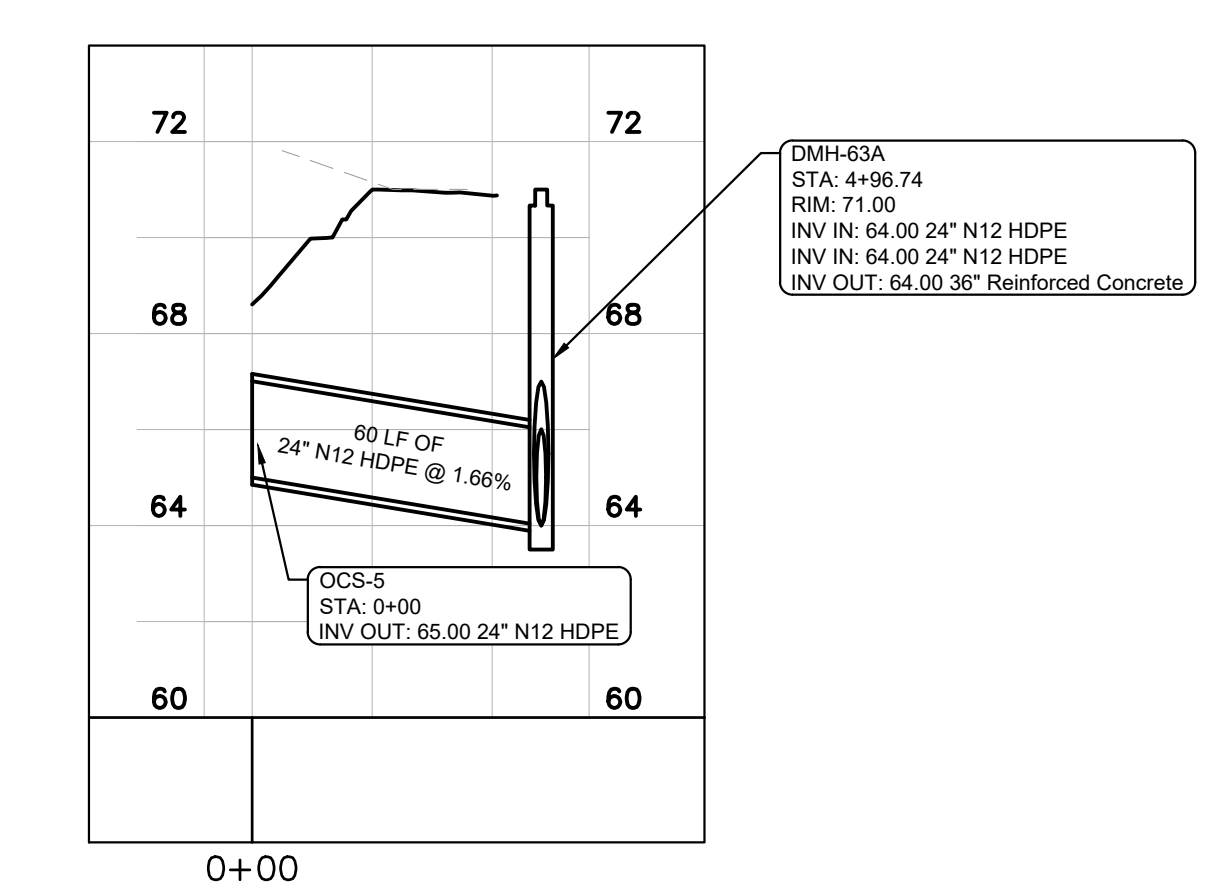
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STORM-D-1



STORM-E



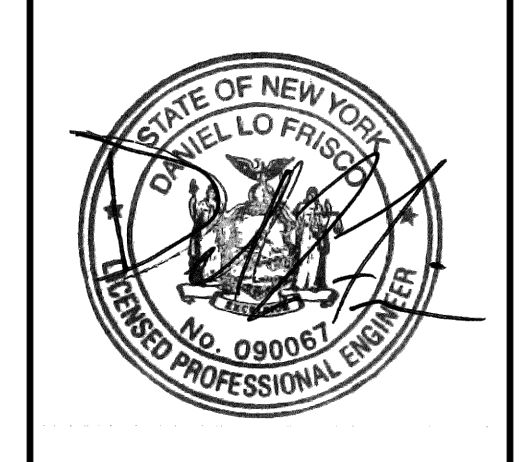
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NO.	DATE	BY
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3	05/13/22	KH
2	04/14/22	KH
1	03/29/22	KH
NO.	REVISIONS	DATE
1	50% DPs	
2	SITE PLAN SUBMISSION	
3	SITE PLAN REVISIONS	
4	ISSUED FOR ACABOR/PLANNING BOARD REVIEW	

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DATE	01-27-2022
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DRAWN BY:	BMD
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**STORMWATER PROFILES**

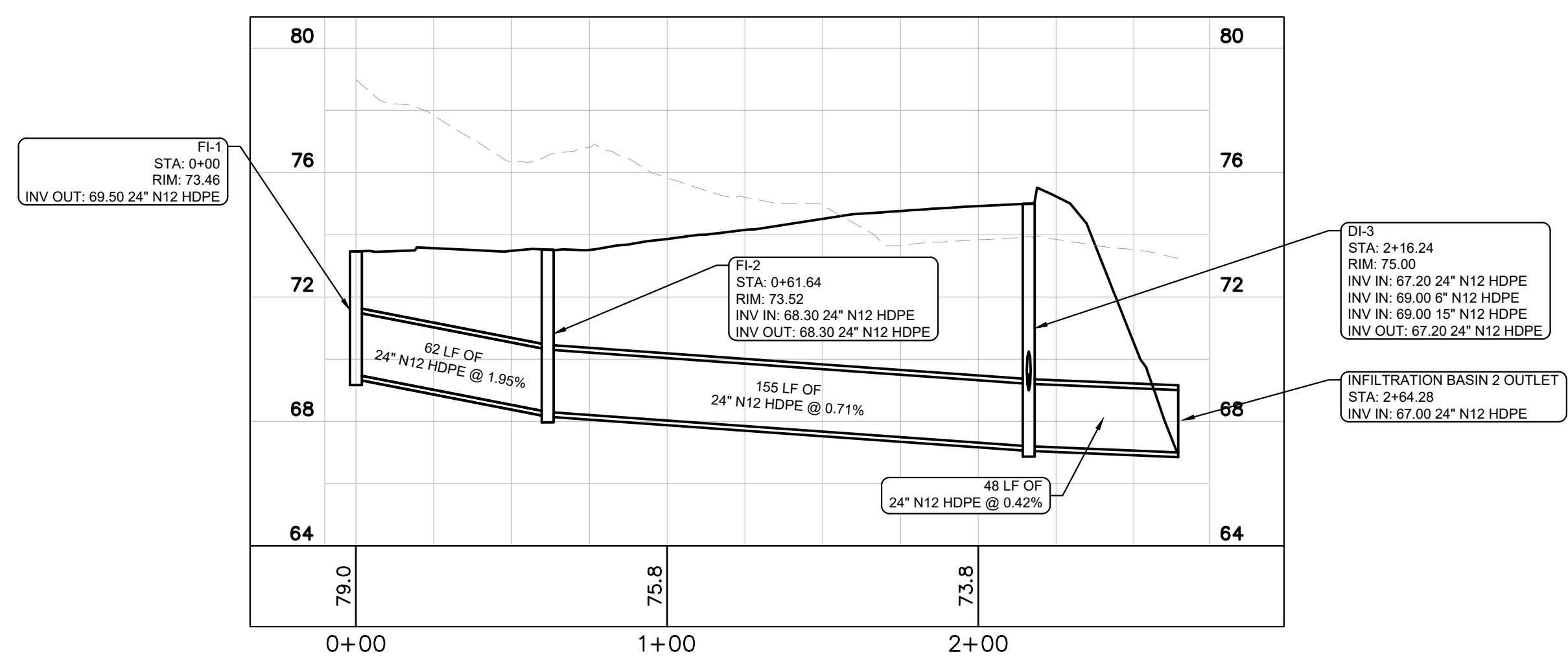
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 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962  
 NEW YORK

SHEET NUMBER  
**C-4.3**

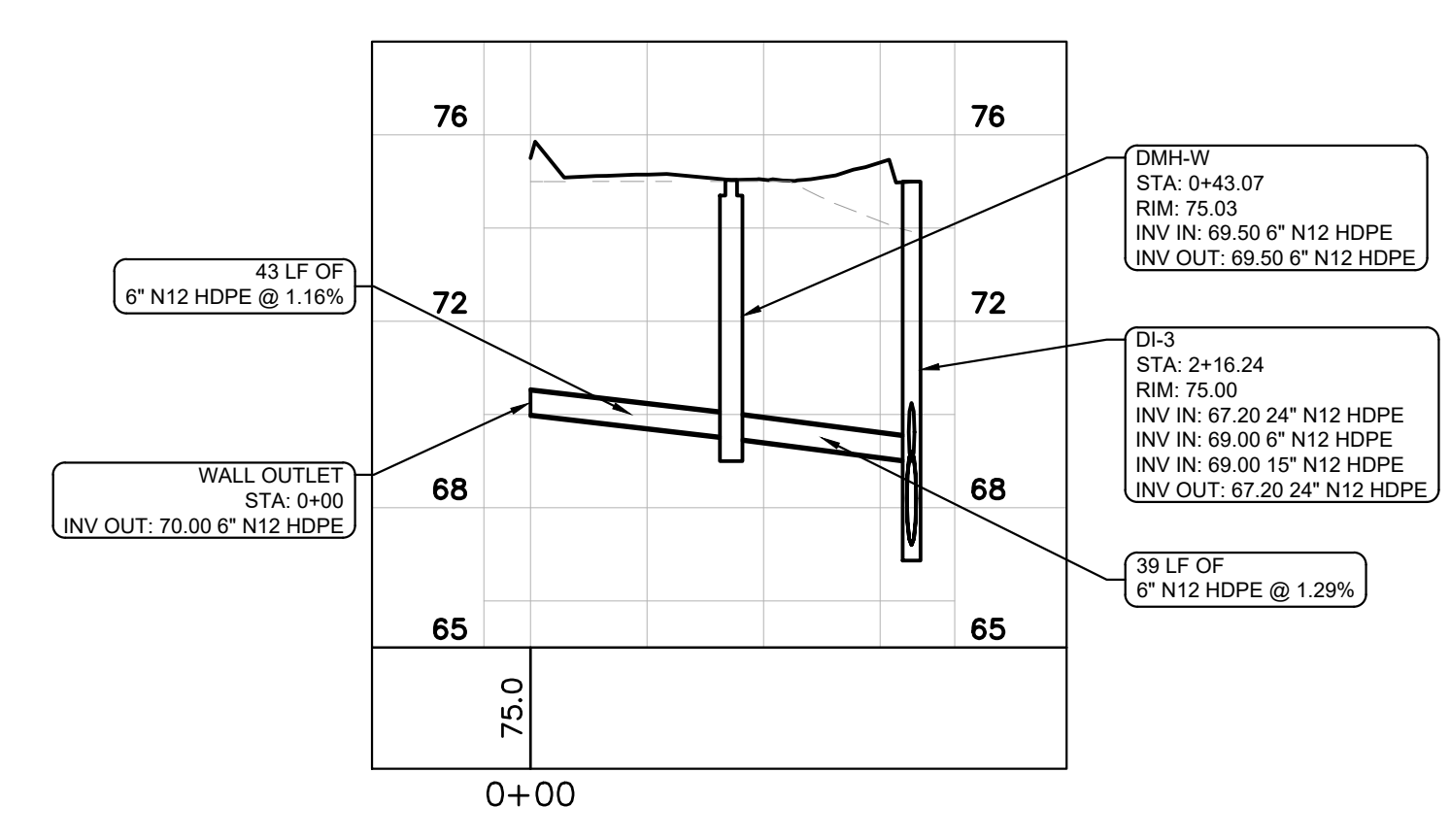


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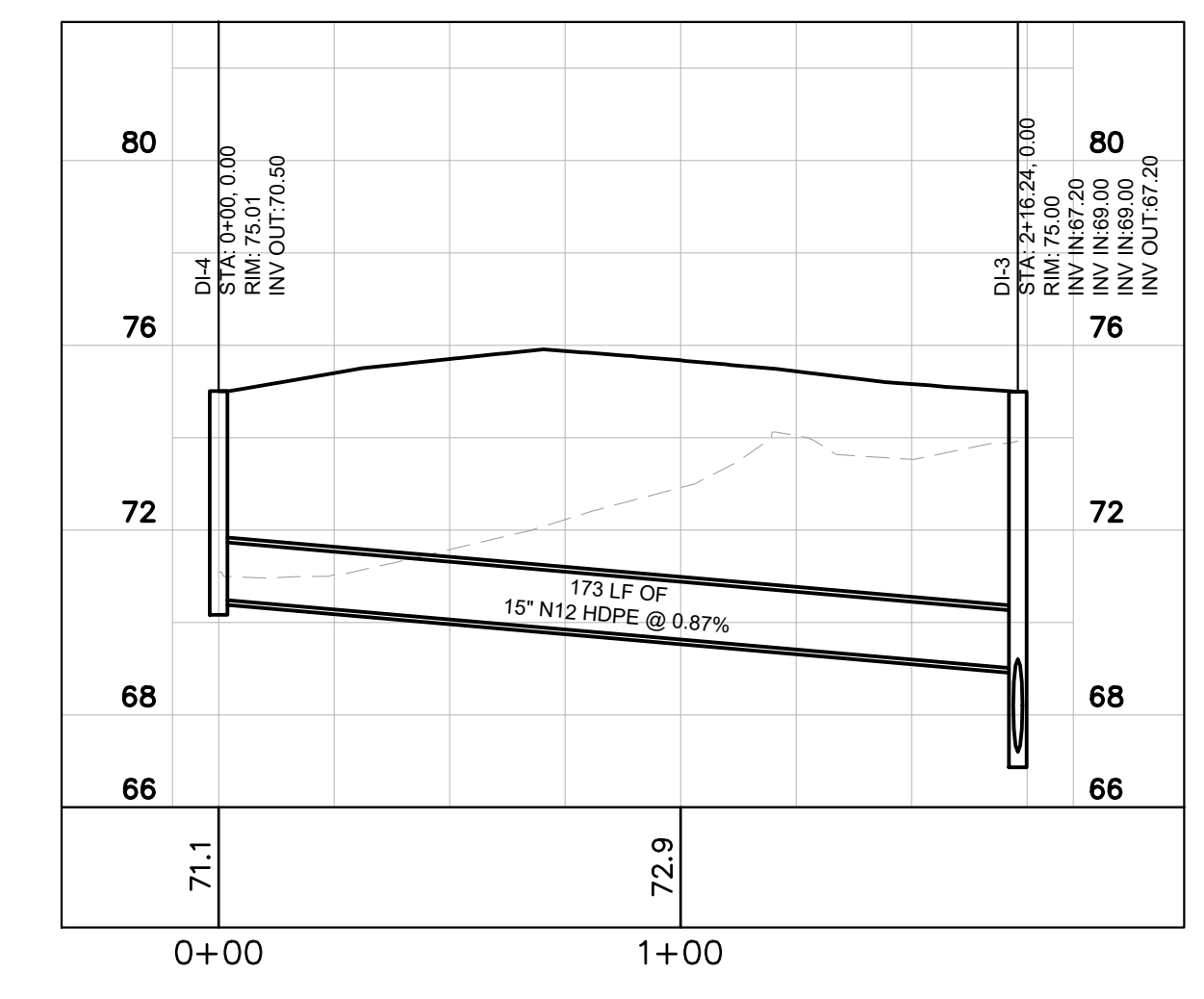
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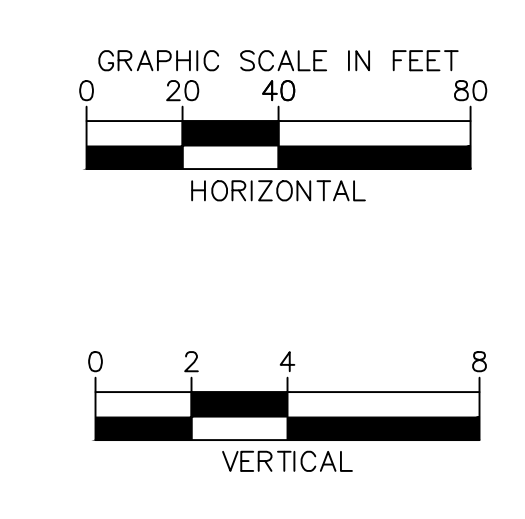
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STORM-F-1



STORM-F-2

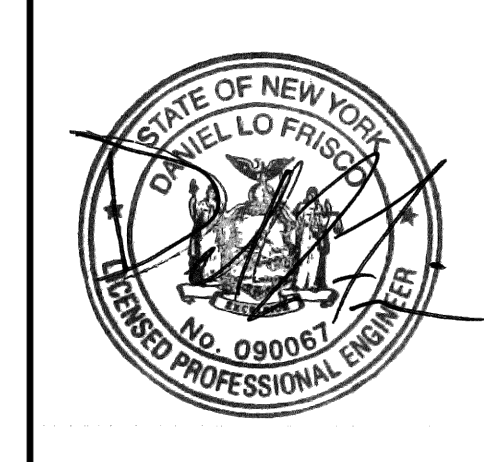


NO.	REVISIONS	DATE	BY
1	50% DPs	03/29/22	KH
2	SITE PLAN SUBMISSION	04/14/22	KH
3	SITE PLAN REVISIONS	05/13/22	KH
4	ISSUED FOR ACABOR/PLANNING BOARD REVIEW	09/20/22	KH

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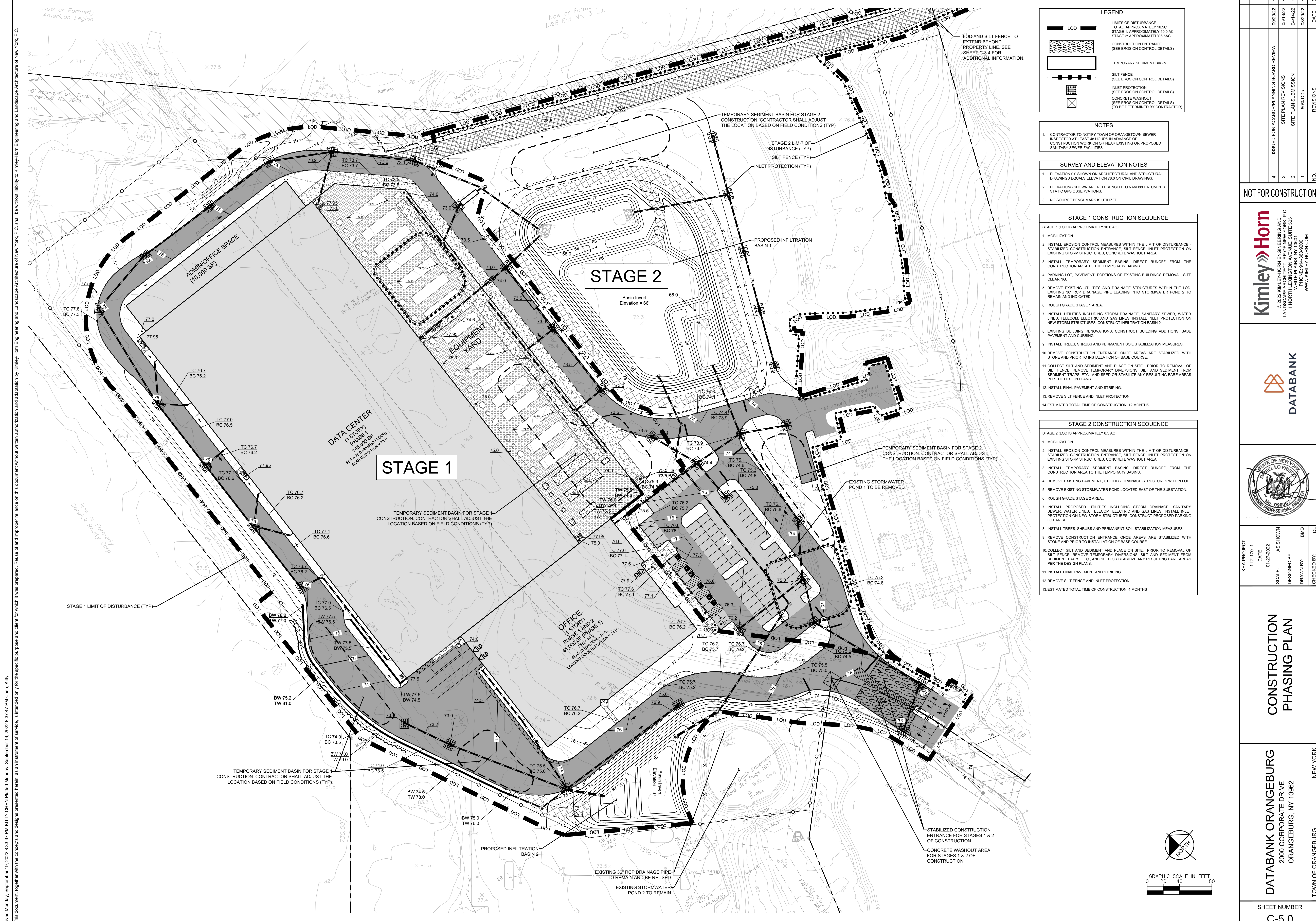


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**STORMWATER PROFILES**

**DATABANK ORANGEBURG**  
 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962  
 TOWN OF ORANGEBURG NEW YORK

SHEET NUMBER  
**C-4.4**



**LEGEND**

- LOD: LIMITS OF DISTURBANCE - TOTAL APPROXIMATELY 16.5 AC
- STAGE 1: APPROXIMATELY 10.0 AC
- STAGE 2: APPROXIMATELY 6.5 AC
- CONSTRUCTION ENTRANCE (SEE EROSION CONTROL DETAILS)
- TEMPORARY SEDIMENT BASIN
- SILT FENCE (SEE EROSION CONTROL DETAILS)
- INLET PROTECTION (SEE EROSION CONTROL DETAILS)
- CONCRETE WASHOUT (SEE EROSION CONTROL DETAILS) (TO BE DETERMINED BY CONTRACTOR)

**NOTES**

- CONTRACTOR TO NOTIFY TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.

**SURVEY AND ELEVATION NOTES**

- ELEVATION 0.0 SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS EQUALS ELEVATION 78.0 ON CIVIL DRAWINGS.
- ELEVATIONS SHOWN ARE REFERENCED TO NAVD83 DATUM PER STATIC GPS OBSERVATIONS.
- NO SOURCE BENCHMARK IS UTILIZED.

**STAGE 1 CONSTRUCTION SEQUENCE**

STAGE 1 (LOD IS APPROXIMATELY 10.0 AC):

- MOBILIZATION
- INSTALL EROSION CONTROL MEASURES WITHIN THE LIMIT OF DISTURBANCE - STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, INLET PROTECTION ON EXISTING STORM STRUCTURES, CONCRETE WASHOUT AREA.
- INSTALL TEMPORARY SEDIMENT BASINS, DIRECT RUNOFF FROM THE CONSTRUCTION AREA TO THE TEMPORARY BASINS.
- PARKING LOT, PAVEMENT, PORTIONS OF EXISTING BUILDINGS REMOVAL, SITE CLEARING.
- REMOVE EXISTING UTILITIES AND DRAINAGE STRUCTURES WITHIN THE LOD, EXISTING 36" RCP DRAINAGE PIPE LEADING INTO STORMWATER POND 2 TO REMAIN AND INDICATED.
- ROUGH GRADE STAGE 1 AREA.
- INSTALL UTILITIES INCLUDING STORM DRAINAGE, SANITARY SEWER, WATER LINES, TELECOM, ELECTRIC AND GAS LINES. INSTALL INLET PROTECTION ON NEW STORM STRUCTURES. CONSTRUCT INFILTRATION BASIN 2.
- EXISTING BUILDING RENOVATIONS, CONSTRUCT BUILDING ADDITIONS, BASE PAVEMENT AND CURBING.
- INSTALL TREES, SHRUBS AND PERMANENT SOIL STABILIZATION MEASURES.
- REMOVE CONSTRUCTION ENTRANCE ONCE AREAS ARE STABILIZED WITH STONE AND PRIOR TO INSTALLATION OF BASE COURSE.
- COLLECT SILT AND SEDIMENT AND PLACE ON SITE. PRIOR TO REMOVAL OF SILT FENCE, REMOVE TEMPORARY DIVERSIONS, SILT AND SEDIMENT FROM SEDIMENT TRAPS, ETC. AND SEED OR STABILIZE ANY RESULTING BARE AREAS PER THE DESIGN PLANS.
- INSTALL FINAL PAVEMENT AND STRIPING.
- REMOVE SILT FENCE AND INLET PROTECTION.
- ESTIMATED TOTAL TIME OF CONSTRUCTION: 12 MONTHS

**STAGE 2 CONSTRUCTION SEQUENCE**

STAGE 2 (LOD IS APPROXIMATELY 6.5 AC):

- MOBILIZATION
- INSTALL EROSION CONTROL MEASURES WITHIN THE LIMIT OF DISTURBANCE - STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, INLET PROTECTION ON EXISTING STORM STRUCTURES, CONCRETE WASHOUT AREA.
- INSTALL TEMPORARY SEDIMENT BASINS, DIRECT RUNOFF FROM THE CONSTRUCTION AREA TO THE TEMPORARY BASINS.
- REMOVE EXISTING PAVEMENT, UTILITIES, DRAINAGE STRUCTURES WITHIN LOD.
- REMOVE EXISTING STORMWATER POND LOCATED EAST OF THE SUBSTATION.
- ROUGH GRADE STAGE 2 AREA.
- INSTALL PROPOSED UTILITIES INCLUDING STORM DRAINAGE, SANITARY SEWER, WATER LINES, TELECOM, ELECTRIC AND GAS LINES. INSTALL INLET PROTECTION ON NEW STORM STRUCTURES. CONSTRUCT PROPOSED PARKING LOT AREA.
- INSTALL TREES, SHRUBS AND PERMANENT SOIL STABILIZATION MEASURES.
- REMOVE CONSTRUCTION ENTRANCE ONCE AREAS ARE STABILIZED WITH STONE AND PRIOR TO INSTALLATION OF BASE COURSE.
- COLLECT SILT AND SEDIMENT AND PLACE ON SITE. PRIOR TO REMOVAL OF SILT FENCE, REMOVE TEMPORARY DIVERSIONS, SILT AND SEDIMENT FROM SEDIMENT TRAPS, ETC. AND SEED OR STABILIZE ANY RESULTING BARE AREAS PER THE DESIGN PLANS.
- INSTALL FINAL PAVEMENT AND STRIPING.
- REMOVE SILT FENCE AND INLET PROTECTION.
- ESTIMATED TOTAL TIME OF CONSTRUCTION: 4 MONTHS

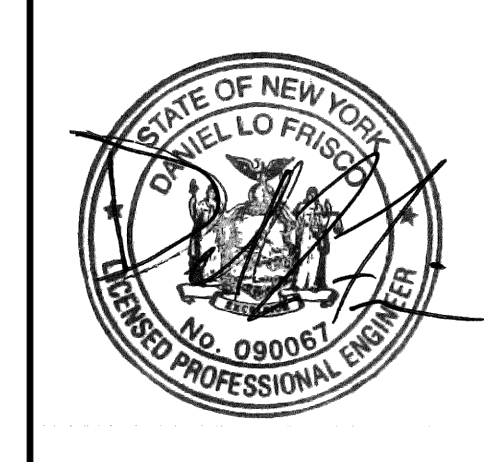
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3	04/14/22	KH
4	03/29/22	KH

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**DATABANK**



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KHA PROJECT 112117011	01-27-2022	AS SHOWN		BMD	DL

# CONSTRUCTION PHASING PLAN

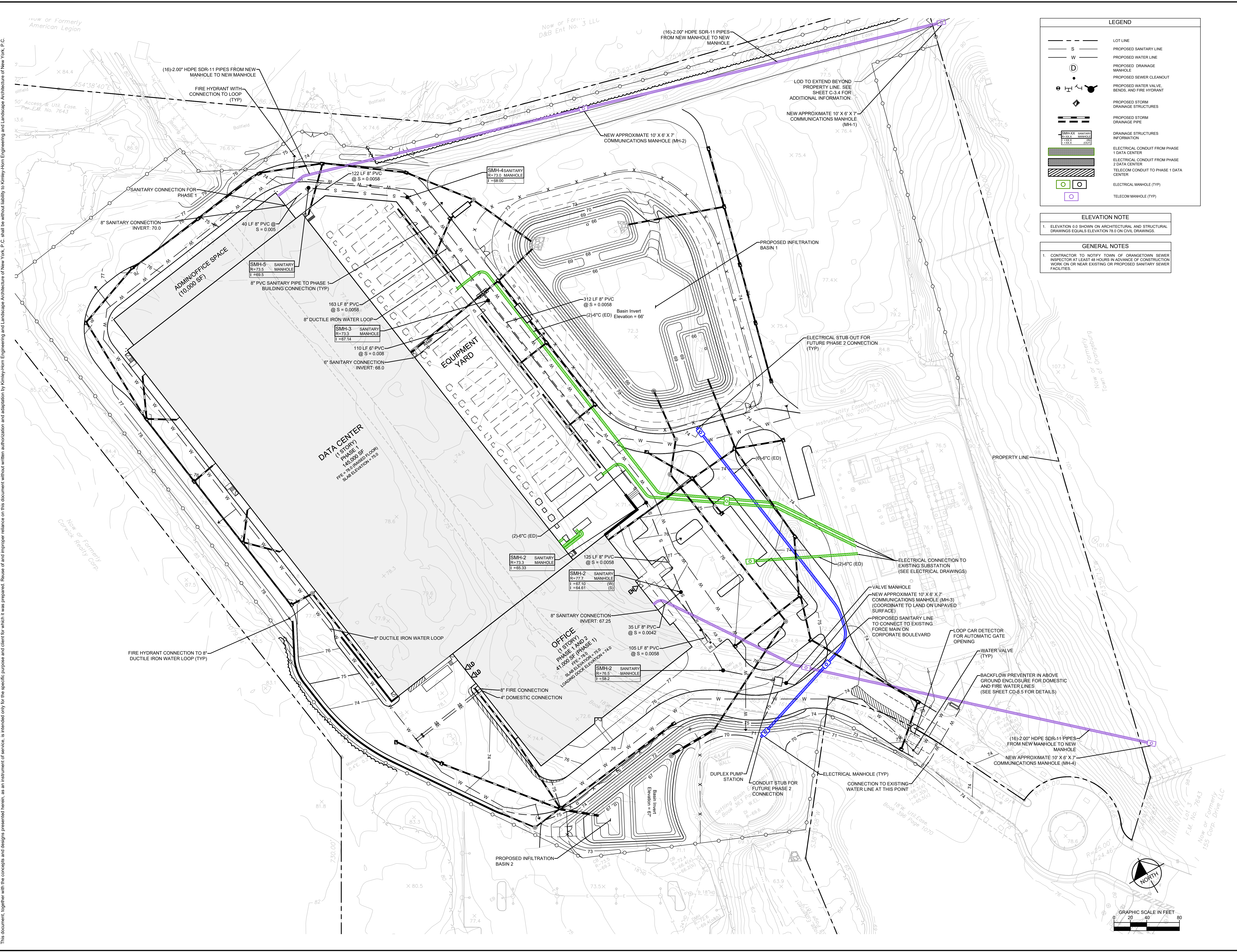
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**LEGEND**

- LOT LINE
- PROPOSED SANITARY LINE
- PROPOSED WATER LINE
- PROPOSED DRAINAGE MANHOLE
- PROPOSED SEWER CLEANOUT
- PROPOSED WATER VALVE, BENDS, AND FIRE HYDRANT
- PROPOSED STORM DRAINAGE STRUCTURES
- PROPOSED STORM DRAINAGE PIPE
- DRAINAGE STRUCTURES INFORMATION
- ELECTRICAL CONDUIT FROM PHASE 1 DATA CENTER
- ELECTRICAL CONDUIT FROM PHASE 2 DATA CENTER
- TELECOM CONDUIT TO PHASE 1 DATA CENTER
- ELECTRICAL MANHOLE (TYP)
- TELECOM MANHOLE (TYP)

**ELEVATION NOTE**

1. ELEVATION 0.0 SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS EQUALS ELEVATION 76.0 ON CIVIL DRAWINGS.

**GENERAL NOTES**

1. CONTRACTOR TO NOTIFY TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.

NO.	DATE	REVISIONS	BY
1	08/23/2022	DRAFT PHASE 1 DRAWINGS	KH
2	08/23/2022	DRAFT PHASE 1 DRAWINGS	KH
3	08/23/2022	ISSUE FOR BID	KH

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**UTILITY PLAN**

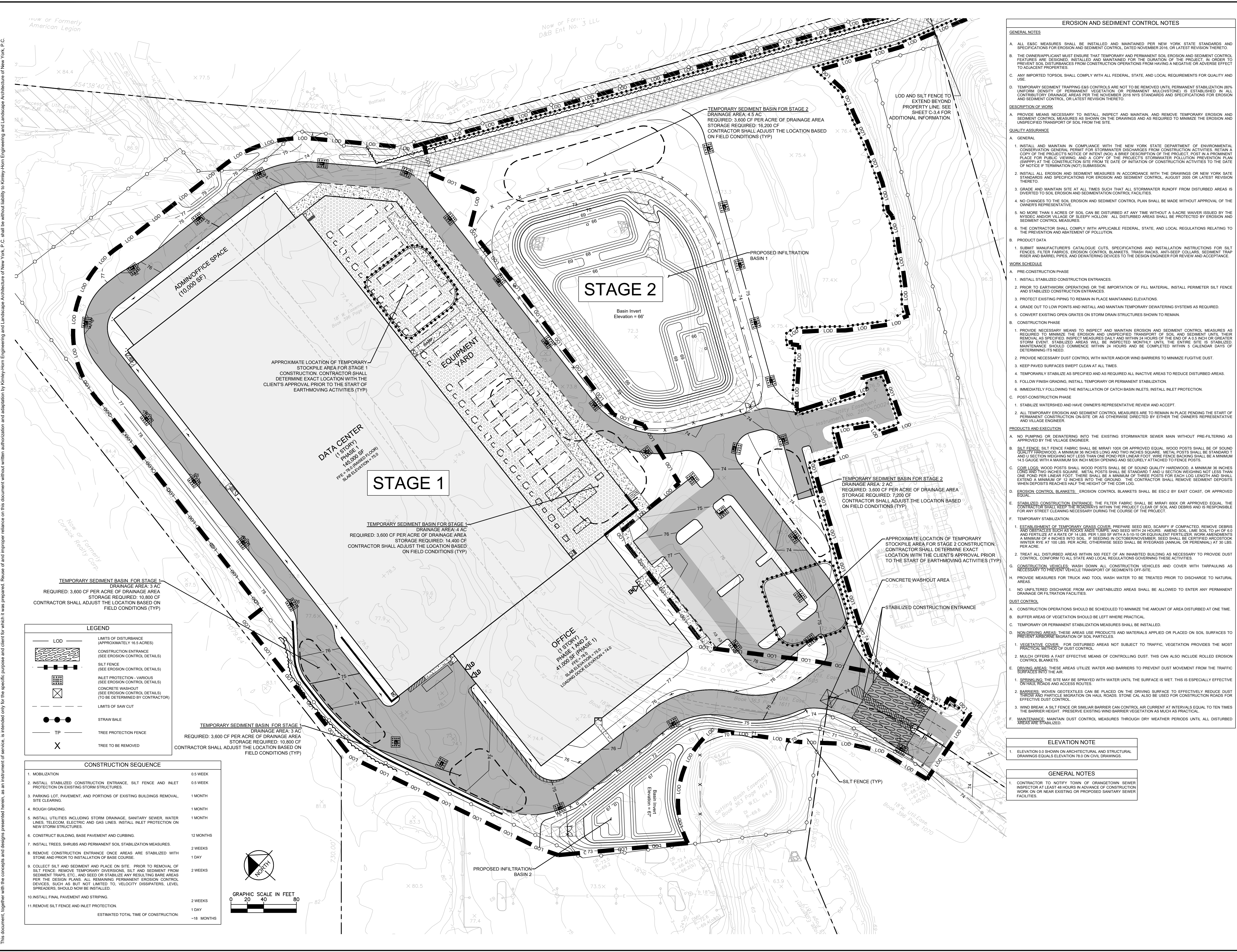
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 ORANGETOWN, NY 10962

TOWN OF ORANGETOWN  
 NEW YORK

SHEET NUMBER  
**C-6.0**

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**EROSION AND SEDIMENT CONTROL NOTES**

- GENERAL NOTES**
- ALL EASC MEASURES SHALL BE INSTALLED AND MAINTAINED PER NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, DATED NOVEMBER 2016, OR LATEST REVISION THEREOF.
  - THE OWNER/APPLICANT MUST ENSURE THAT TEMPORARY EROSION AND SEDIMENT CONTROL FEATURES ARE DESIGNED, INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT. IN ORDER TO PREVENT SOIL DISTURBANCES FROM CONSTRUCTION OPERATIONS FROM HAVING A NEGATIVE OR ADVERSE EFFECT TO ADJACENT PROPERTIES.
  - ANY IMPORTED TOPSOIL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR QUALITY AND USE.
  - TEMPORARY SEDIMENT TRAPPING EASC CONTROLS ARE NOT TO BE REMOVED UNTIL PERMANENT STABILIZATION (80% UNIFORM DENSITY OF PERMANENT VEGETATION OR PERMANENT MULCHSTONE) IS ESTABLISHED IN ALL CONTIGUOUS DRAINAGE AREAS PER THE NOVEMBER 2016 NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, OR LATEST REVISION THEREOF.
- DESCRIPTION OF WORK**
- PROVIDE MEANS NECESSARY TO INSTALL, INSPECT AND MAINTAIN, AND REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE DRAWINGS AND AS REQUIRED TO MINIMIZE THE EROSION AND UNSPECIFIED TRANSPORT OF SOIL FROM THE SITE.
- QUALITY ASSURANCE**
- GENERAL
    - INSTALL AND MAINTAIN IN COMPLIANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. RETAIN A COPY OF THE PROJECT'S NOTICE OF INTENT (NOI), A BRIEF DESCRIPTION OF THE PROJECT, POST IN A PROMINENT PLACE FOR PUBLIC VIEWING, AND A COPY OF THE PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AT THE CONSTRUCTION SITE FROM THE DATE OF INITIATION OF CONSTRUCTION ACTIVITIES TO THE DATE OF NOTICE OF TERMINATION (NOT) SUBMISSION.
    - INSTALL ALL EROSION AND SEDIMENT MEASURES IN ACCORDANCE WITH THE DRAWINGS OR NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AUGUST 2005 OR LATEST REVISION THEREOF.
    - GRADE AND MAINTAIN SITE AT ALL TIMES SUCH THAT ALL STORMWATER RUNOFF FROM DISTURBED AREAS IS DIVERTED TO SOIL EROSION AND SEDIMENTATION CONTROL FACILITIES.
    - NO CHANGES TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
    - NO MORE THAN 5 ACRES OF SOIL CAN BE DISTURBED AT ANY TIME WITHOUT A 5-ACRE WAIVER ISSUED BY THE NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION. ALL DISTURBED AREAS SHALL BE PROTECTED BY EROSION AND SEDIMENT CONTROL MEASURES.
    - THE CONTRACTOR SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS RELATING TO THE PREVENTION AND ABATEMENT OF POLLUTION.
  - PRODUCT DATA
    - SUBMIT MANUFACTURER'S CATALOGUE CUTS, SPECIFICATIONS AND INSTALLATION INSTRUCTIONS FOR SILT FENCES, FILTER FABRICS, EROSION CONTROL BLANKETS, TRASH RACKS, ANTI-SHEET COLLARS, SEDIMENT TRAP RISER AND BARREL PIPES, AND DEWATERING DEVICES TO THE DESIGN ENGINEER FOR REVIEW AND ACCEPTANCE.
- WORK SCHEDULE**
- PRE-CONSTRUCTION PHASE
    - INSTALL STABILIZED CONSTRUCTION ENTRANCES.
    - PRIOR TO EARTHWORK OPERATIONS OR THE IMPORTATION OF FILL MATERIAL, INSTALL PERIMETER SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCES.
    - PROTECT EXISTING PIPING TO REMAIN IN PLACE MAINTAINING ELEVATIONS.
    - GRADE OUT TO LOW POINTS AND INSTALL AND MAINTAIN TEMPORARY DEWATERING SYSTEMS AS REQUIRED.
    - CONVERT EXISTING OPEN GRATES ON STORM DRAIN STRUCTURES SHOWN TO REMAIN.
  - CONSTRUCTION PHASE
    - PROVIDE NECESSARY MEANS TO INSPECT AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED TO MINIMIZE EROSION AND SEDIMENT TRANSPORT OF SOIL AND REMOVE UNTIL THEIR REMOVAL AS SPECIFIED. INSPECT MEASURES DAILY AND WITHIN 24 HOURS OF THE END OF A 0.5 INCH OR GREATER STORM EVENT. MONTHLY INSPECTIONS SHALL BE CONDUCTED UNTIL THE SITE IS STABILIZED. MAINTENANCE SHOULD COMMENCE WITHIN 24 HOURS AND BE COMPLETED WITHIN 5 CALENDAR DAYS OF DETERMINING ITS NEED.
    - PROVIDE NECESSARY DUST CONTROL WITH WATER AND/OR WIND BARRIERS TO MINIMIZE FUGITIVE DUST.
    - KEEP PAVED SURFACES SWEEP CLEAN AT ALL TIMES.
    - TEMPORARILY STABILIZE AS SPECIFIED AND AS REQUIRED ALL INACTIVE AREAS TO REDUCE DISTURBED AREAS.
    - FOLLOW FINISH GRADING, INSTALL TEMPORARY OR PERMANENT STABILIZATION.
    - IMMEDIATELY FOLLOWING THE INSTALLATION OF CATCH BASIN INLETS, INSTALL INLET PROTECTION.
  - POST-CONSTRUCTION PHASE
    - STABILIZE WATERSHED AND HAVE OWNER'S REPRESENTATIVE REVIEW AND ACCEPT.
    - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE TO REMAIN IN PLACE PENDING THE START OF PERMANENT CONSTRUCTION ON-SITE OR AS OTHERWISE DIRECTED BY EITHER THE OWNER'S REPRESENTATIVE AND VILLAGE ENGINEER.
- PRODUCTS AND EXECUTION**
- NO PUMPING OR DEWATERING INTO THE EXISTING STORMWATER SEWER MAIN WITHOUT PRE-FILTERING AS APPROVED BY THE VILLAGE ENGINEER.
  - SILT FENCE: SILT FENCE FABRIC SHALL BE MIRAFI 100X OR APPROVED EQUAL. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD, A MINIMUM TWO INCHES LONG AND TWO INCHES SQUARE. METAL POSTS SHALL BE STANDARD 1 AND U SECTION WEIGHING NOT LESS THAN ONE POUND PER LINEAR FOOT. WIRE FENCE BACKING SHALL BE A MINIMUM 14 GAUGE WITH A MAXIMUM SIX INCH MESH OPENING AND SECURELY ATTACHED TO FENCE POSTS.
  - COR LOGS: WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD, A MINIMUM 36 INCHES LONG AND TWO INCHES SQUARE. METAL POSTS SHALL BE STANDARD 1 AND U SECTION WEIGHING NOT LESS THAN ONE POUND PER LINEAR FOOT. THESE SHALL BE MINIMUM THREE POSTS FOR EACH LOG LENGTH AND SHALL EXTEND A MINIMUM OF 12 INCHES INTO THE GROUND. THE CONTRACTOR SHALL REMOVE SEDIMENT DEPOSITS WHEN LOG POSTS REACHES HALF THE HEIGHT OF THE COR LOG.
  - EROSION CONTROL BLANKETS: EROSION CONTROL BLANKETS SHALL BE ESC-2 BY EAST COAST, OR APPROVED EQUAL.
  - STABILIZED CONSTRUCTION ENTRANCE: THE FILTER FABRIC SHALL BE MIRAFI 600X OR APPROVED EQUAL. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
  - TEMPORARY STABILIZATION
    - ESTABLISHMENT OF TEMPORARY GRASS COVER: PREPARE SEED BED, SCARIFY IF COMPACTED, REMOVE DEBRIS AND OBSTACLES SUCH AS ROCKS AND STUMPS AND SEED WITH 24 HOURS. AMEND SOIL. LIME SOIL TO pH OF 6.0 AND FERTILIZE AT A RATE OF 14 LBS PER 1,000 SF WITH A 5-10-10 OR EQUIVALENT FERTILIZER. WORK AMENDMENTS A MINIMUM OF 4 INCHES INTO SOIL. IF SEEDING IN OCTOBER/NOVEMBER, SEED SHALL BE CERTIFIED ARCOSTOOK WINTER TYPIC AT 100 LBS PER ACRE, OTHERWISE SEED SHALL BE RYEGRASS (ANNUAL OR PERENNIAL) AT 30 LBS PER ACRE.
    - TREAT ALL DISTURBED AREAS WITHIN 500 FEET OF AN UNINHABITED BUILDING AS NECESSARY TO PROVIDE DUST CONTROL. USE WATER AND LOCAL REGULATIONS GOVERNING THESE ACTIVITIES.
  - CONSTRUCTION VEHICLES: WASH DOWN ALL CONSTRUCTION VEHICLES AND COVER WITH TARPULINS AS NECESSARY TO PREVENT VEHICLE TRANSPORT OF SEDIMENTS OFF-SITE.
  - PROVIDE MEASURES FOR TRUCK AND TOOL WASH WATER TO BE TREATED PRIOR TO DISCHARGE TO NATURAL AREAS.
  - NO UNFILTERED DISCHARGE FROM ANY UNSTABILIZED AREAS SHALL BE ALLOWED TO ENTER ANY PERMANENT DRAINAGE OR FILTRATION FACILITIES.
- DUST CONTROL**
- CONSTRUCTION OPERATIONS SHOULD BE SCHEDULED TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ONE TIME.
  - BUFFER AREAS OF VEGETATION SHOULD BE LEFT WHERE PRACTICAL.
  - TEMPORARY OR PERMANENT STABILIZATION MEASURES SHALL BE INSTALLED.
  - NON-DRIVING AREAS: THESE AREAS USE PRODUCTS AND MATERIALS APPLIED OR PLACED ON SOIL SURFACES TO PREVENT AIRBORNE MIGRATION OF SOIL PARTICLES
    - VEGETATIVE COVER: FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC, VEGETATION PROVIDES THE MOST PRACTICAL METHOD OF DUST CONTROL.
    - MULCH OFFERS A FAST EFFECTIVE MEANS OF CONTROLLING DUST. THIS CAN ALSO INCLUDE ROLLED EROSION CONTROL BLANKETS.
  - DRIVING AREAS: THESE AREAS UTILIZE WATER AND BARRIERS TO PREVENT DUST MOVEMENT FROM THE TRAFFIC SURFACES INTO THE AIR
    - SPRINKLING: THE SITE MAY BE SPRAYED WITH WATER UNTIL THE SURFACE IS WET. THIS IS ESPECIALLY EFFECTIVE ON TRAIL ROADS AND ACCESS ROUTES.
    - BARRIERS: WOVEN GEOTEXTILES CAN BE PLACED ON THE DRIVING SURFACE TO EFFECTIVELY REDUCE DUST THROW AND PARTICLE MIGRATION ON HAUL ROADS. STONE CAL ALSO BE USED FOR CONSTRUCTION ROADS FOR EFFECTIVE DUST CONTROL.
    - WIND BREAK: A SILT FENCE OR SIMILAR BARRIER CAN CONTROL AIR CURRENT AT INTERVALS EQUAL TO TEN TIMES THE BARRIER HEIGHT. PRESERVE EXISTING WIND BARRIER VEGETATION AS MUCH AS PRACTICAL.
  - MAINTENANCE: MAINTAIN DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS ARE STABILIZED.

**ELEVATION NOTE**

- ELEVATION 0.0 SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS EQUALS ELEVATION 78.0 ON CIVIL DRAWINGS.

**GENERAL NOTES**

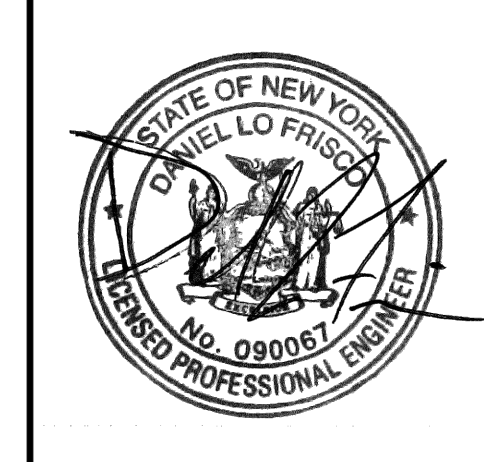
- CONTRACTOR TO NOTIFY TOWN OF ORANGETOWN SEWER INSPECTOR AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION WORK ON OR NEAR EXISTING OR PROPOSED SANITARY SEWER FACILITIES.

NO.	DATE	REVISIONS	BY
1	09/20/22	ISSUED FOR ACAD/PLANNING BOARD REVIEW	KH
2	05/13/22	SITE PLAN REVISIONS	KH
3	04/14/22	SITE PLAN SUBMISSION	KH
4	03/29/22	50% DPs	KH

NOT FOR CONSTRUCTION

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**DATABANK**



DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
01-27-2022	AS SHOWN			

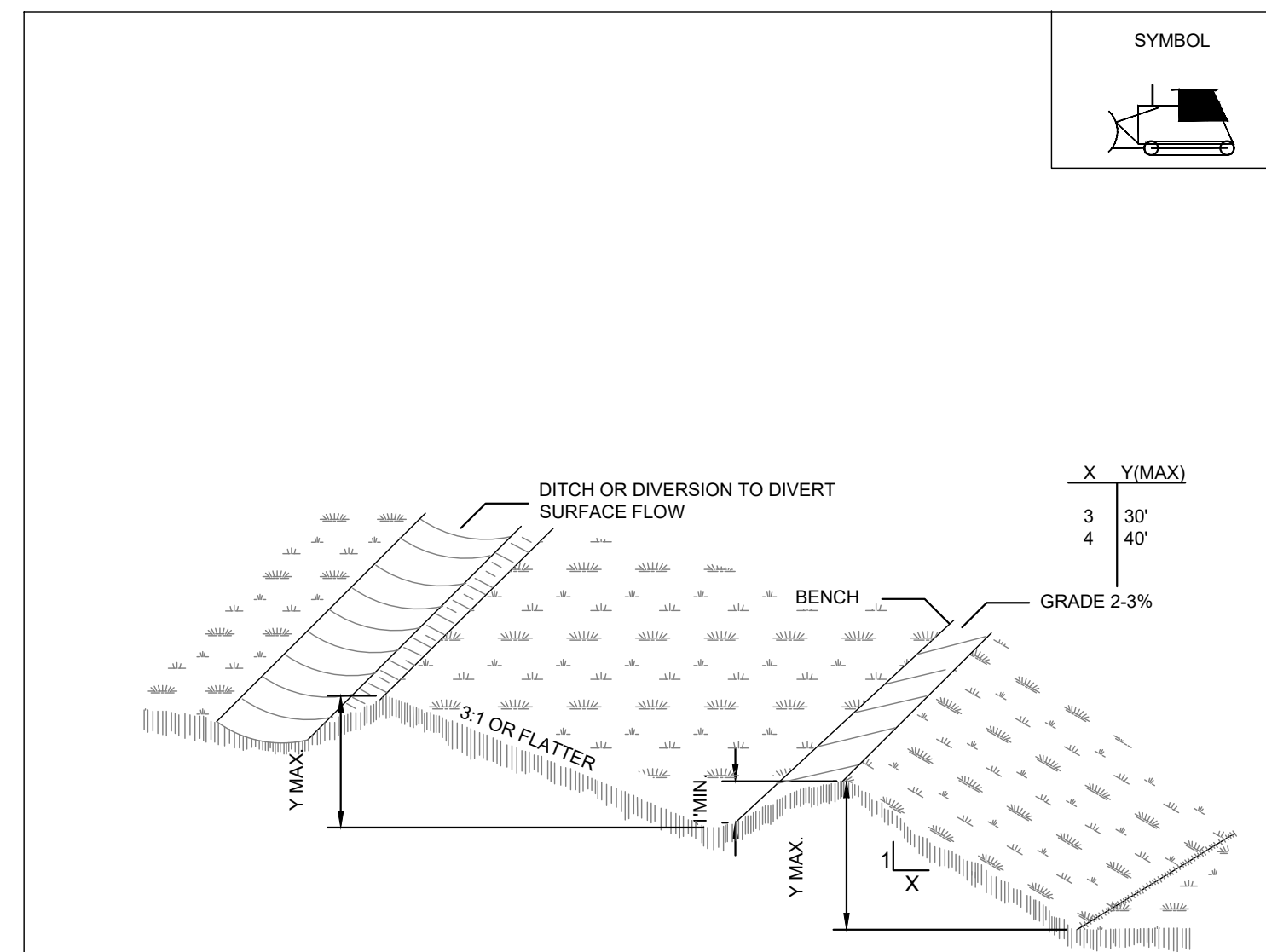
**EROSION AND SEDIMENT CONTROL PLAN**

**DATABANK ORANGETOWN**  
 2000 CORPORATE DRIVE  
 ORANGETOWN, NY 10962

TOWN OF ORANGETOWN  
 NEW YORK

SHEET NUMBER C-7.0

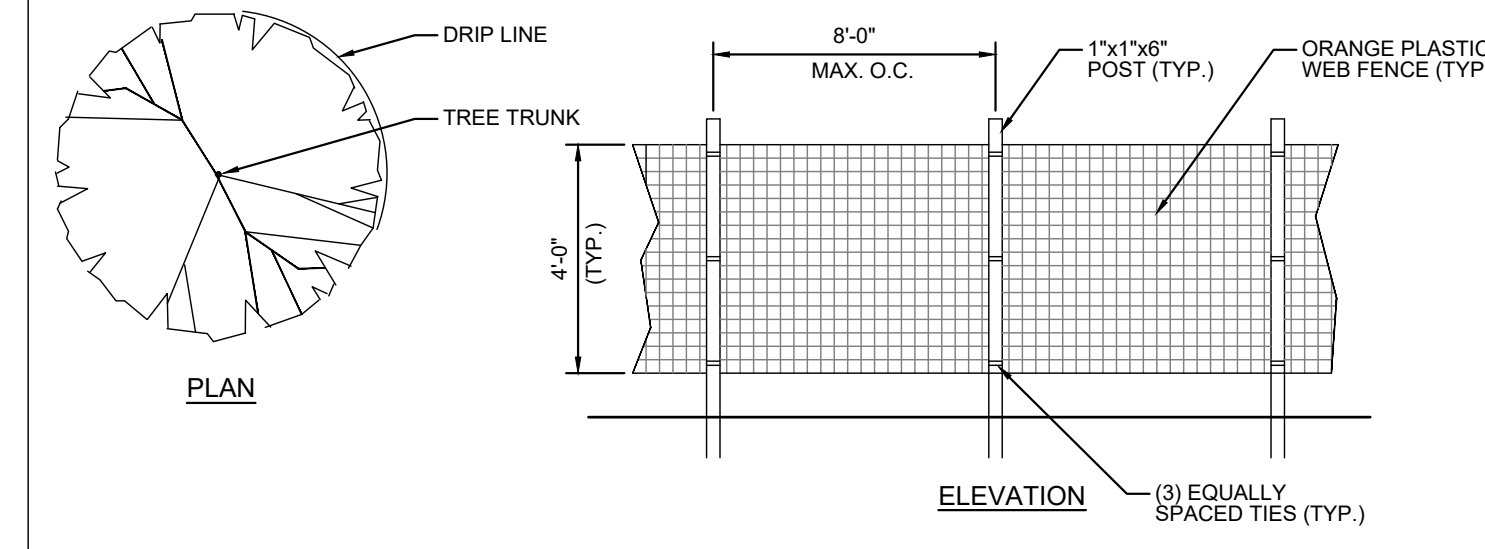
Saved Monday, September 19, 2022 8:34:17 PM KITTLY-CHEN Plotted Monday, September 19, 2022 8:38:19 PM Chen, Kitty  
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- CONSTRUCTION SPECIFICATIONS**
1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN UNTIL THEY ARE PERMANENTLY STABILIZED.
  2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
  3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNT NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS.
  4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
  5. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF FOUR INCHES PRIOR TO PLACEMENT OF TOPSOIL.
  6. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
  7. ALL FILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
  8. EXCEPT FOR APPROVED LANDFILLS, FILL MATERIAL SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
  9. FROZEN MATERIALS OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED IN FILLS.
  10. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
  11. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
  12. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
  13. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISHED GRADING.
  14. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD SPECIFICATION.

**LANDGRADING DETAIL AND NOTES**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

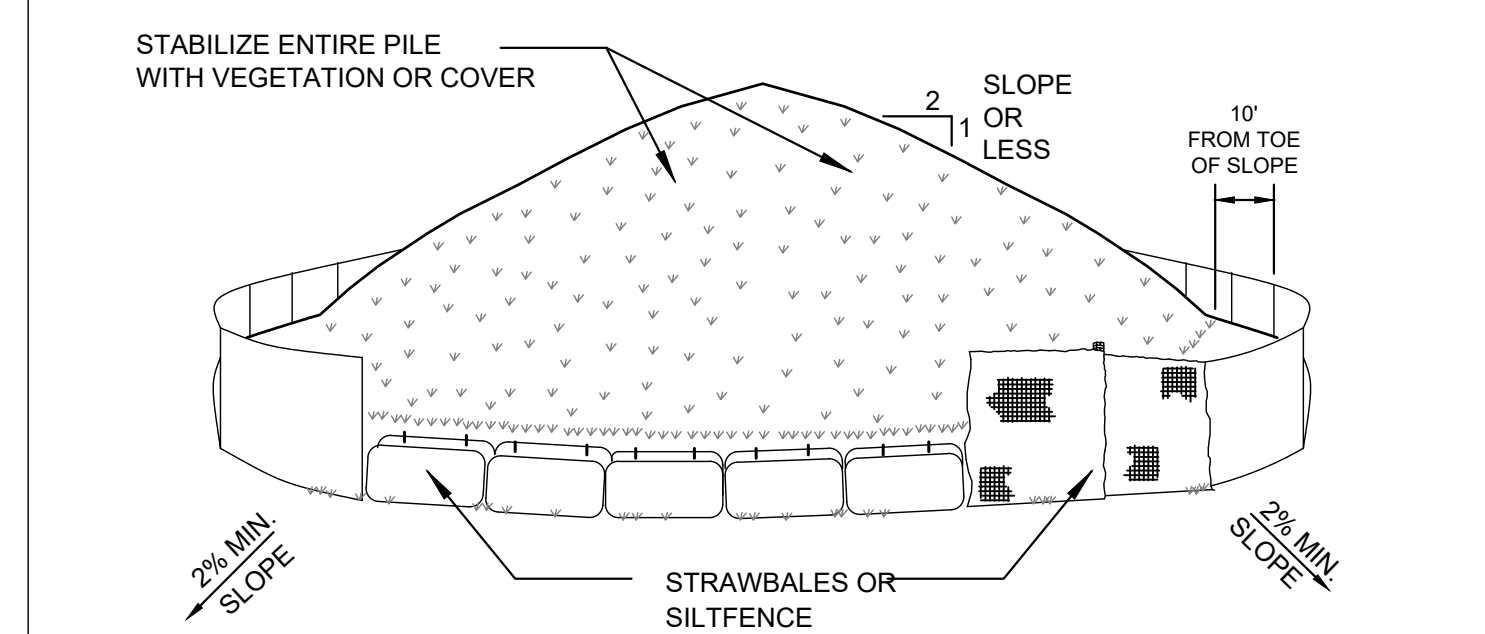


- TREE PROTECTION NOTES:**
1. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY EROSION CONTROL FENCE AND HAY BALE BARRIER. ERECT BARRIER AT EDGE OF THE EARTHWORK CUT LINE PRIOR TO TREE CLEARING. LAY OUT THIS LINE BY FIELD SURVEY.
  2. CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
  3. DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.
  4. INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES.

**TREE PROTECTION FENCE**

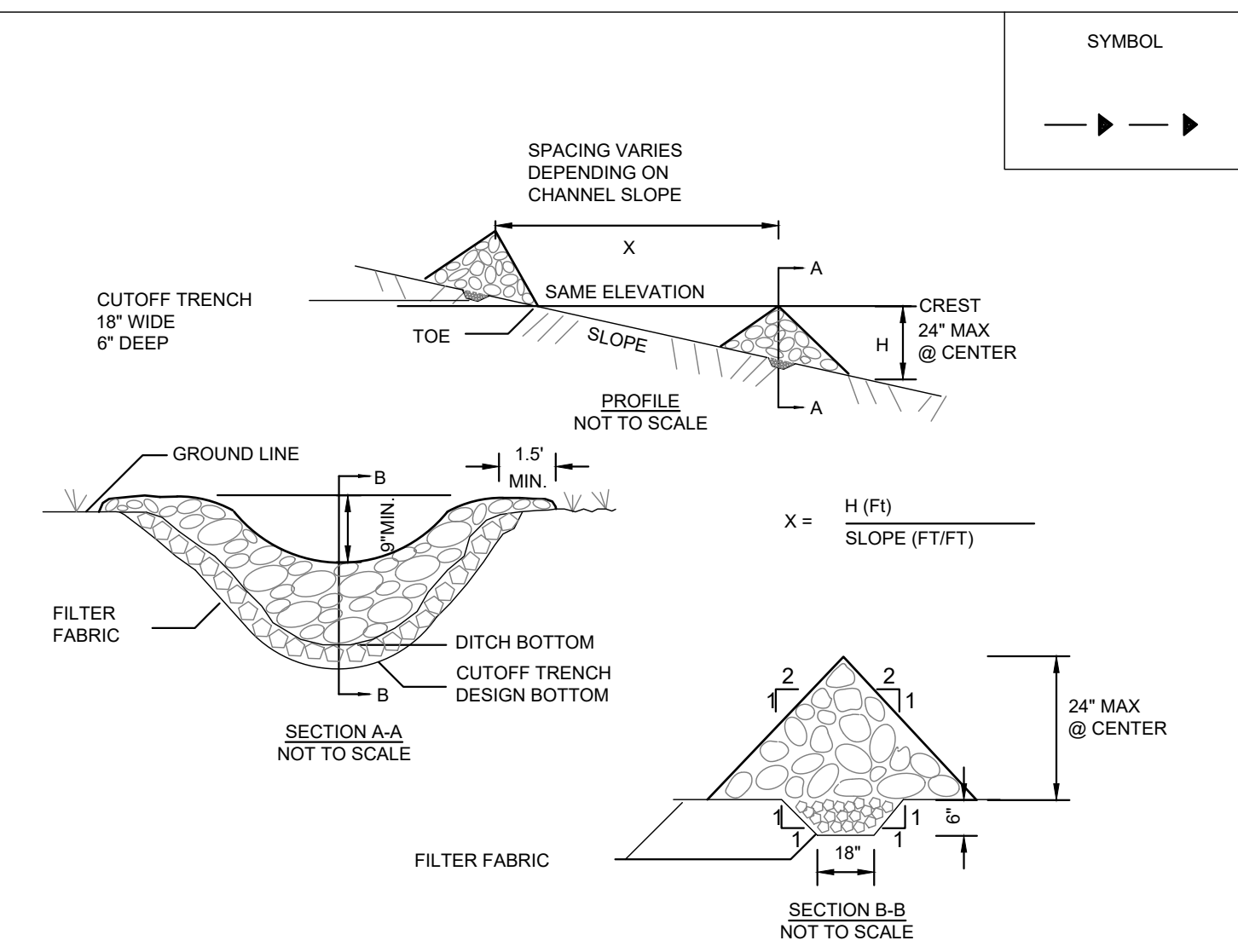
N.T.S. SOURCE: KIMLEY-HORN

- INSTALLATION NOTES:**
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
  2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
  3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
  4. SEE SILT FENCE DETAIL ON THIS SHEET.
  5. TEMPORARILY STABILIZE AS NOTED IN SPECIFICATIONS.



**SOIL STOCKPILE AREA**

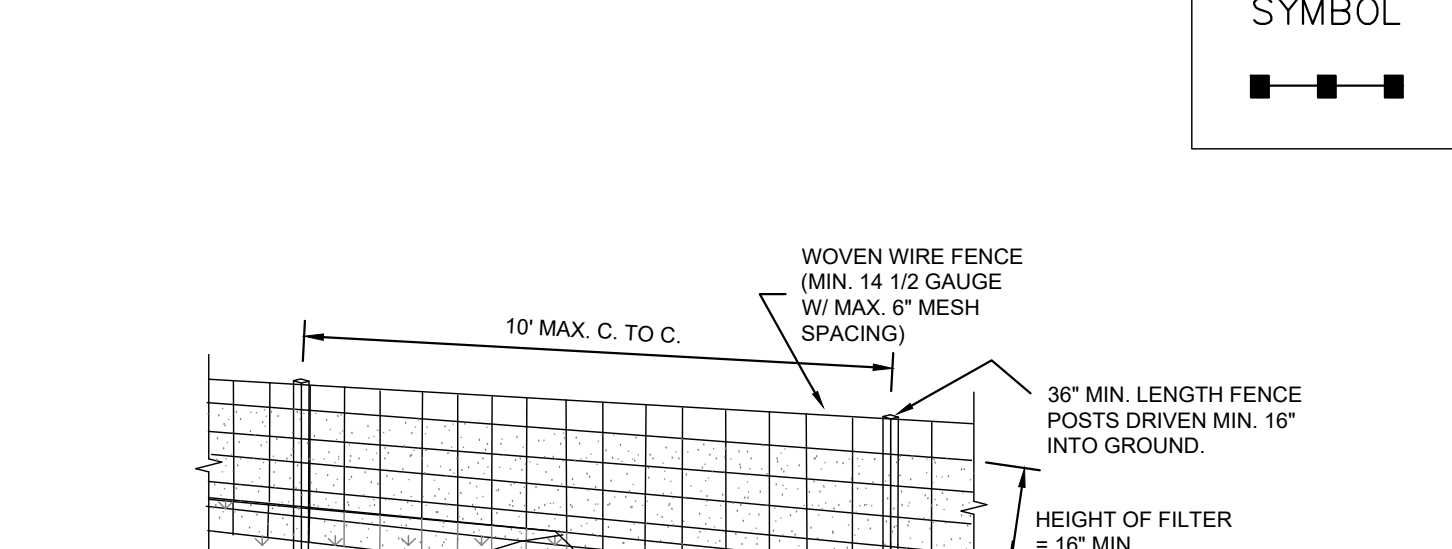
N.T.S. SOURCE: KIMLEY-HORN



- CONSTRUCTION SPECIFICATIONS**
1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
  2. SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
  3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
  4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
  5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE. MAXIMUM DRAINAGE AREA 2 ACRES.

**STONE CHECK DAM**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

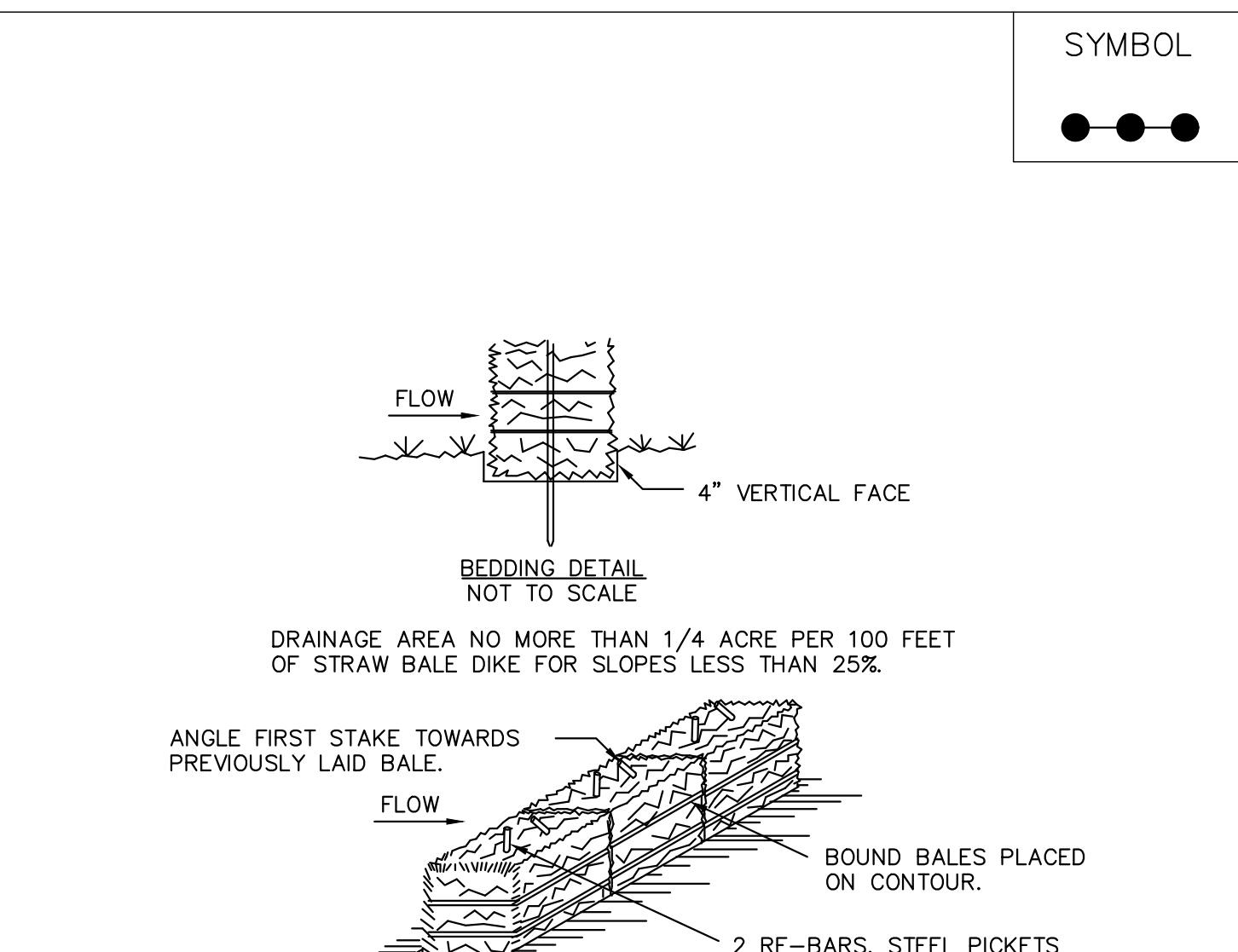


- CONSTRUCTION SPECIFICATIONS**
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 1\"/>

**SILT FENCE**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

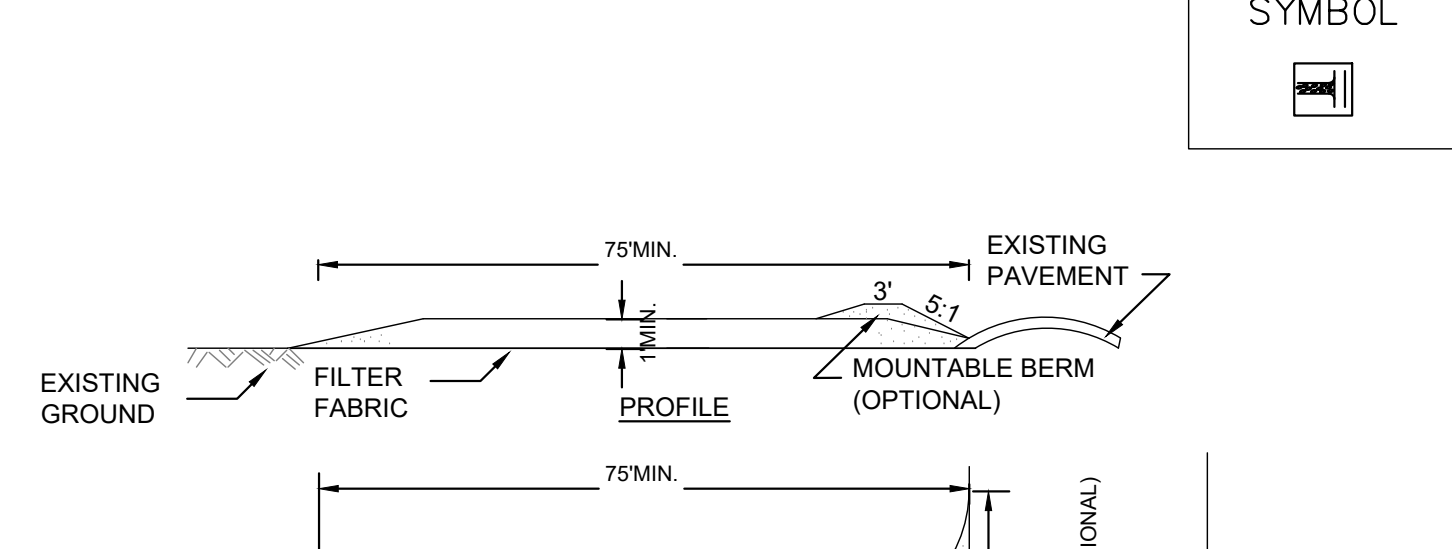
1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T46N, OR APPROVED EQUIVALENT.
2. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.



- CONSTRUCTION SPECIFICATIONS**
1. BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
  2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
  3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH TOP OF BALE.
  4. INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

**STRAW BALE DIKE**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

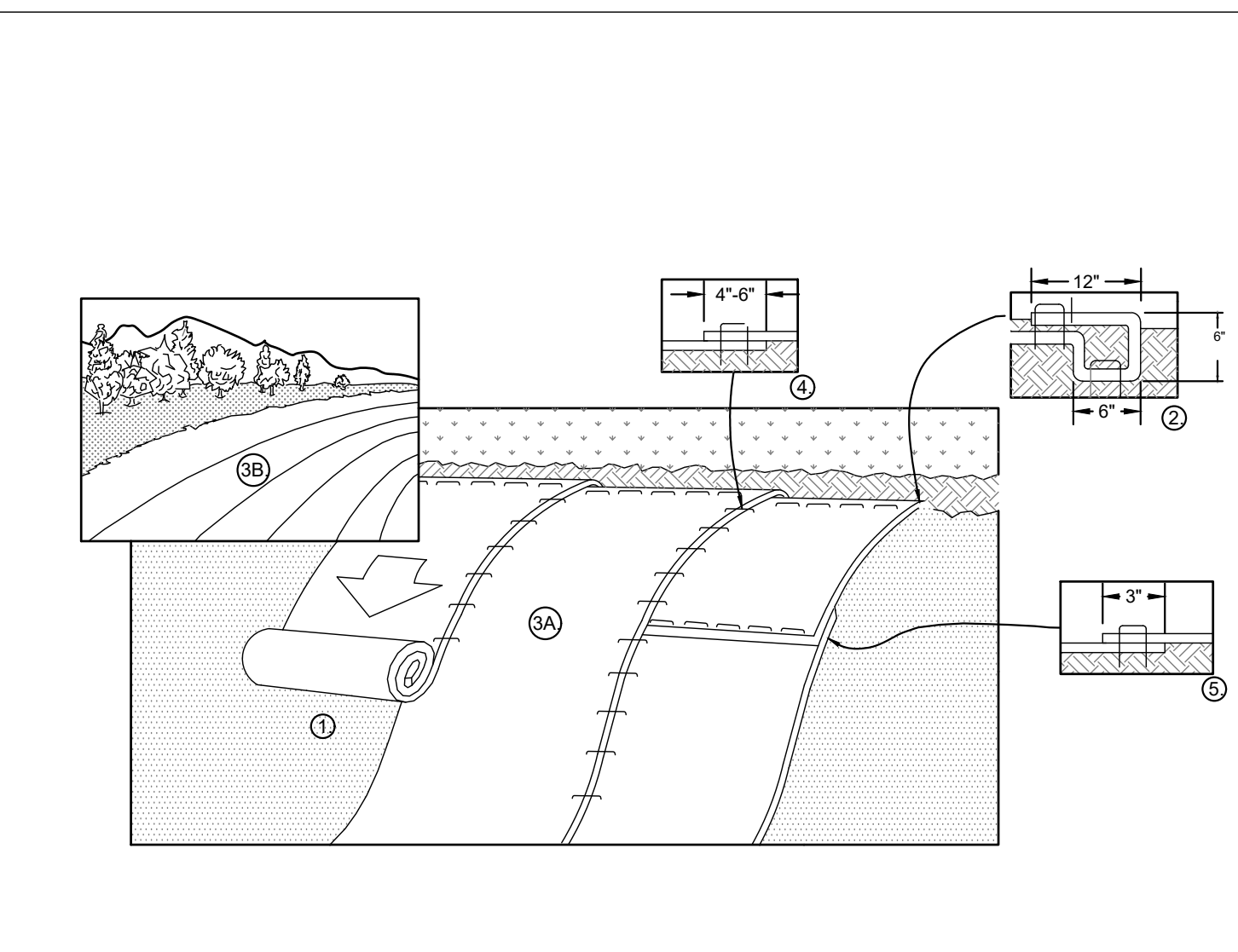


- CONSTRUCTION SPECIFICATIONS**
1. STONE SIZE - USE 3\"/>

**STABILIZED CONSTRUCTION ENTRANCE**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

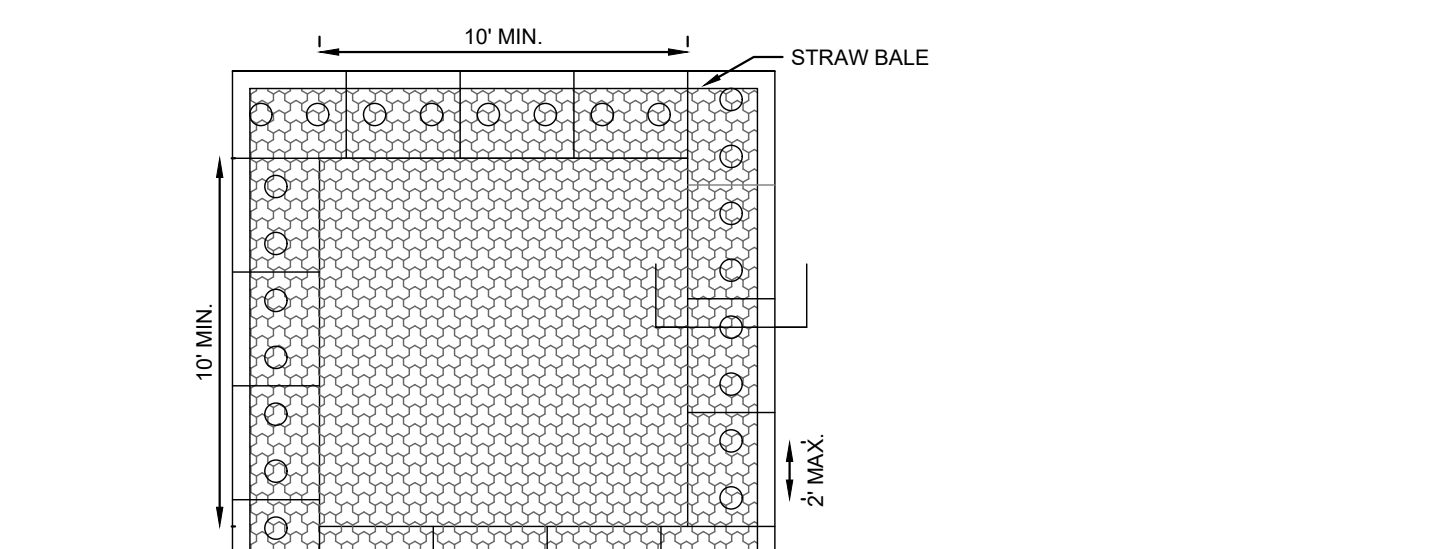
1. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



- CONSTRUCTION SPECIFICATIONS**
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
  2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6\"/>

**EROSION CONTROL BLANKET (ERONET P300)**

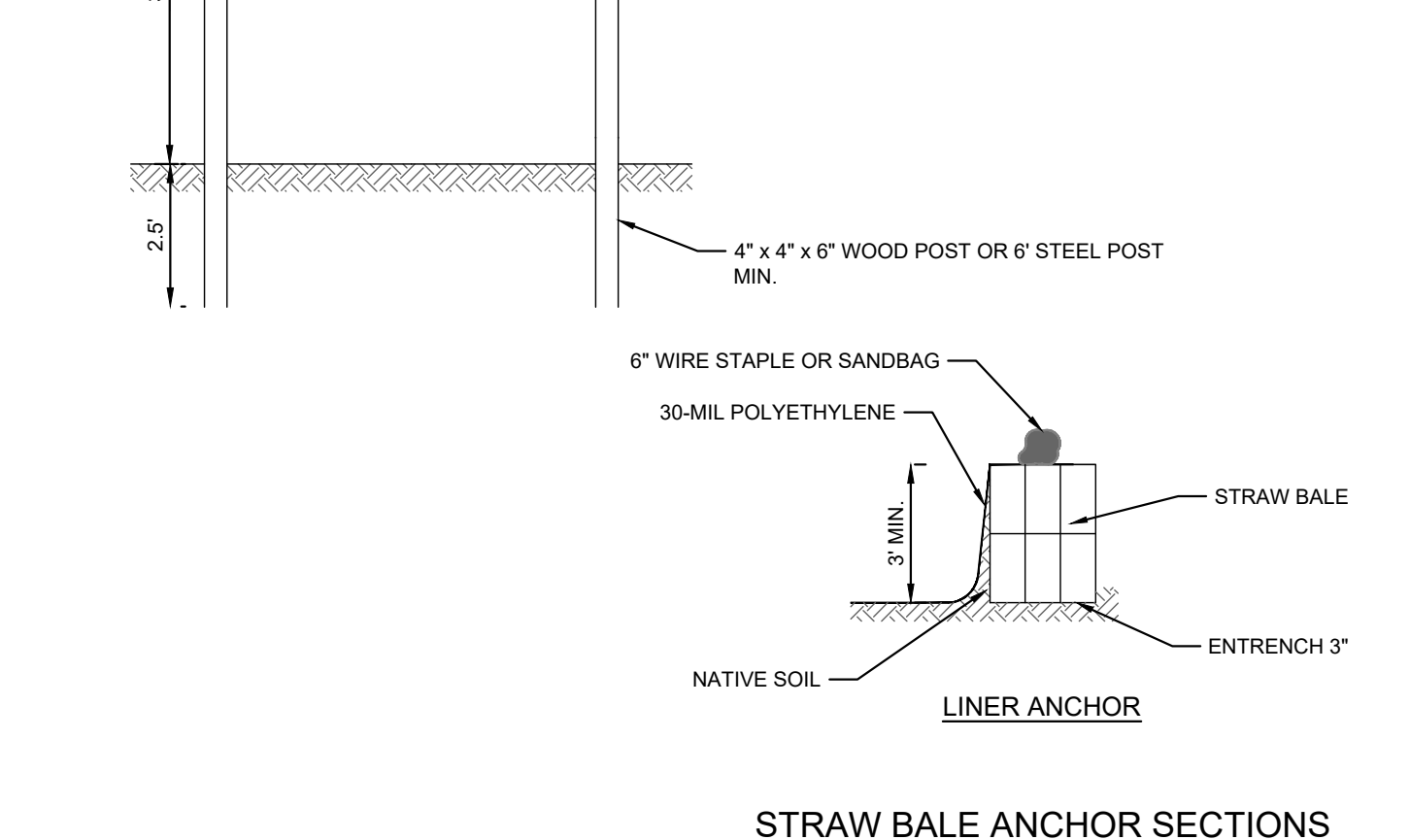
N.T.S. SOURCE: NORTH AMERICAN GREEN



- CONSTRUCTION SPECIFICATIONS**
1. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6\"/>

**CONCRETE WASHOUT AREA**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK



**CONCRETE WASHOUT AREA**

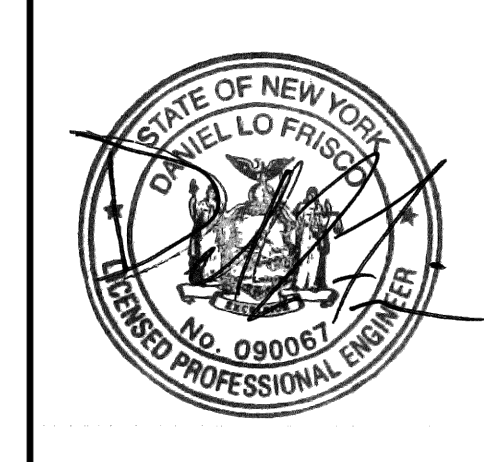
N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

4	ISSUED FOR ACAB/PLANNING BOARD REVIEW	09/20/22	KH
3	SITE PLAN REVISIONS	05/13/22	KH
2	SITE PLAN SUBMISSION	04/14/22	KH
1	50% DPs	03/29/22	KH
NO	REVISIONS		BY
			DATE

NOT FOR CONSTRUCTION

**Kimley-Horn**  
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**DATABANK**



KHIA PROJECT	11217011
DATE	01-27-2022
SCALE	AS SHOWN
DESIGNED BY:	BMD
DRAWN BY:	DL
CHECKED BY:	

**EROSION AND SEDIMENT CONTRL DETAILS**

**DATABANK ORANGEBURG**  
 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962

NEW YORK

SHEET NUMBER  
**C-7.1**

Saved Monday, September 19, 2022 8:34:17 PM KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.

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**STONE AND BLOCK DROP INLET PROTECTION**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

**CONSTRUCTION SPECIFICATIONS**

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

MAXIMUM DRAINAGE AREA 1 ACRE

**STONE OUTLET SEDIMENT TRAP (ST-II)**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

**INSTALLATION NOTES:**

- ALL TEMPORARY SWALES SHALL HAVE INTERRUPTED POSITIVE GRADE TO AN OUTLET.
- DIVERTED RUNOFF FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.
- DIVERTED RUNOFF FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY ONTO AN UNDISTURBED STABILIZED AREA AT NON-EROSIVE VELOCITIES.
- ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE / DELETERIOUS MATERIALS SHALL BE REMOVED AND DISPOSED OF SO AS TO NOT INTERFERE WITH THE PROPER FUNCTION OF THE SWALE.
- THE SWALE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
- FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
- ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED AS TO NOT INTERFERE WITH THE FUNCTIONING OF THE SWALE.
- INSPECTION AND MAINTENANCE MUST BE PROVIDED AFTER EACH RAIN EVENT.
- STABILIZATION SHALL BE AS PER THE CHART BELOW.

FLOW CHANNEL STABILIZATION			
TYPE OF TREATMENT	CHANNEL GRADE	A (5 AC. OR LESS)	B (5 AC. TO 10 AC.)
1	0 TO 3%	SEED AND STRAW MULCH	SEED AND STRAW MULCH
2	3 TO 5%	SEED AND STRAW MULCH	SEED AND JUTE MESH LINED - RIPRAP 2"
3	5 TO 8%	SEED AND JUTE MESH LINED - RIPRAP 2"	LINED - RIPRAP 4 TO 8"
4	8 TO 20%	LINED - RIPRAP 4 TO 8"	ENGINEERED DESIGN

**TEMPORARY DIVERSION SWALE**

N.T.S. SOURCE: KIMLEY HORN

**EXCAVATED DROP INLET PROTECTION**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

**CONSTRUCTION SPECIFICATIONS**

- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
- THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
- THE STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP 4"-8" ALONG WITH A 1" THICKNESS OF 2" AGGREGATE PLACED ON THE UP-GRADE SIDE ON THE SMALL RIPRAP OR EMBEDDED FILTER CLOTH IN THE RIPRAP.
- SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. IT SHALL BE PLACED ON SITE AND STABILIZED.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
- THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED. MAXIMUM DRAINAGE AREA 5 ACRES

**FABRIC DROP INLET PROTECTION**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

**CONSTRUCTION SPECIFICATIONS**

- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
- WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES. FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING. MAXIMUM DRAINAGE AREA 1 ACRE

**SILT SACK INLET PROTECTION**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

**NOTES:**

- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE CORRECT SIZE DEVICE FOR EACH INLET.
- FOR NON-STANDARD CATCH BASINS AND INLETS, THE CONTRACTOR SHALL MEASURE DIMENSIONS IN THE FIELD AND ORDER THE APPROPRIATE SIZE(S).
- THE INLET SEDIMENT CONTROL DEVICE SHALL BE OF HIGH LOW DESIGN AS PER THE MANUFACTURER'S SPECIFICATIONS.
- THE SEDIMENT CONTROL DEVICE SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED A MINIMUM ONCE PER MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT. FILTER SHALL BE CLEANED IN A MANNER WHICH ENSURES THAT ALL SEDIMENT REMAINS ON SITE.
- SUBSTITUTION OF A SHEET OF FILTER FABRIC PLACED OVER THE OPENING OF THE INLET IS NOT APPROVED.
- RECESSED CURB INLET CATCH BASINS MUST BE BLOCKED WHEN USING FILTER FABRIC INLET SACKS. SIZE OF FILTER INLET SACK TO BE DETERMINED BY THE MANUFACTURER.
- THE FILTER SHALL BE REPLACED OR CLEANED WHEN THE BAG BECOMES HALF FULL.

**TEMPORARY DIVERSION SWALE**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

**STONE AND BLOCK DROP INLET PROTECTION**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

**CONSTRUCTION SPECIFICATIONS**

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

MAXIMUM DRAINAGE AREA 1 ACRE

**TEMPORARY DIVERSION SWALE**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

**STONE AND BLOCK DROP INLET PROTECTION**

N.T.S. SOURCE: NYSDEC SESC BLUE BOOK

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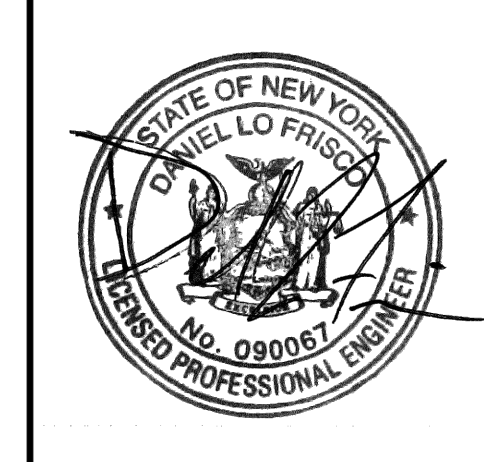
MAXIMUM DRAINAGE AREA 1 ACRE

NO.	DATE	REVISIONS	BY
4	09/20/22	ISSUED FOR ACABOR/PLANNING BOARD REVIEW	KH
3	05/13/22	SITE PLAN REVISIONS	KH
2	04/14/22	SITE PLAN SUBMISSION	KH
1	03/29/22	50% DPs	KH

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KHA PROJECT	11217011	DATE	01-27-2022	SCALE	AS SHOWN	DESIGNED BY:	BMD	DRAWN BY:	DL	CHECKED BY:	
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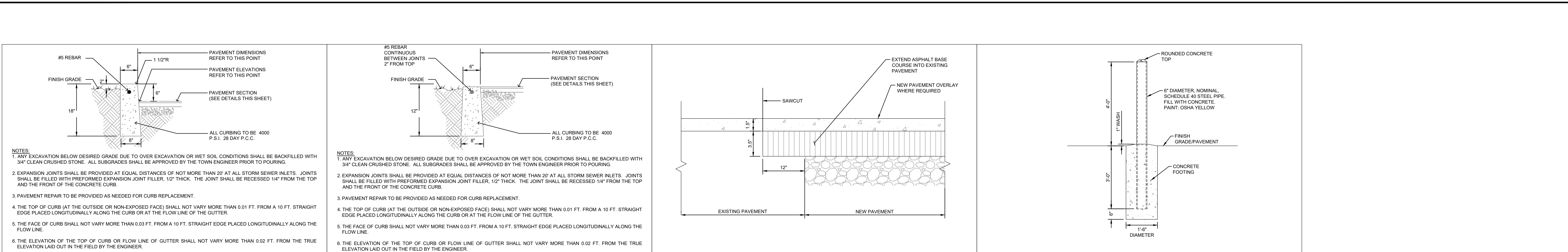
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**DATABANK ORANGEBURG**  
 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962  
 NEW YORK

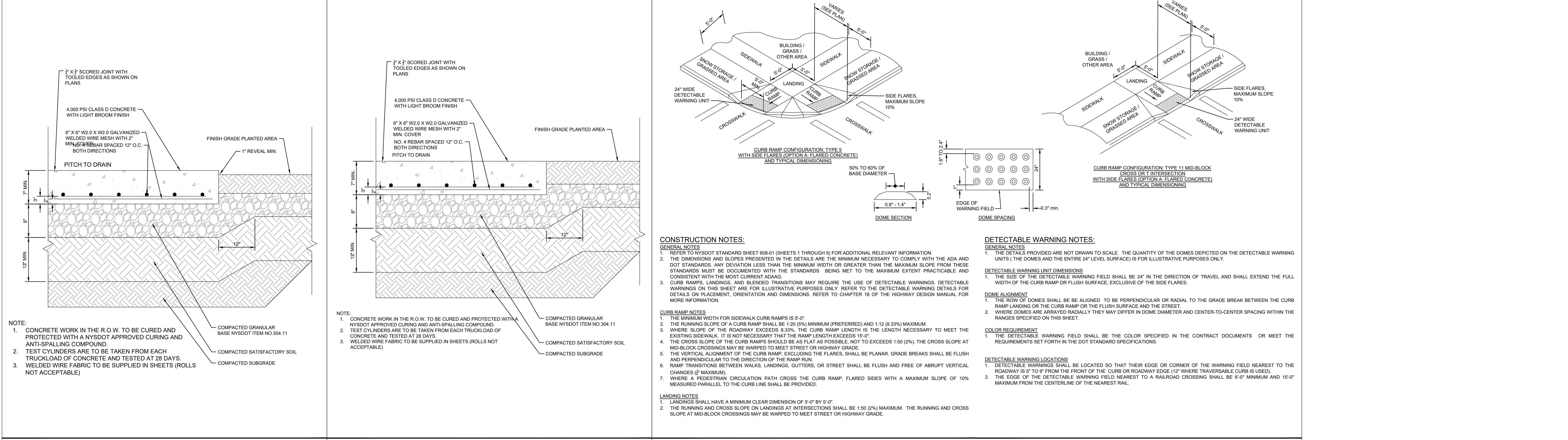
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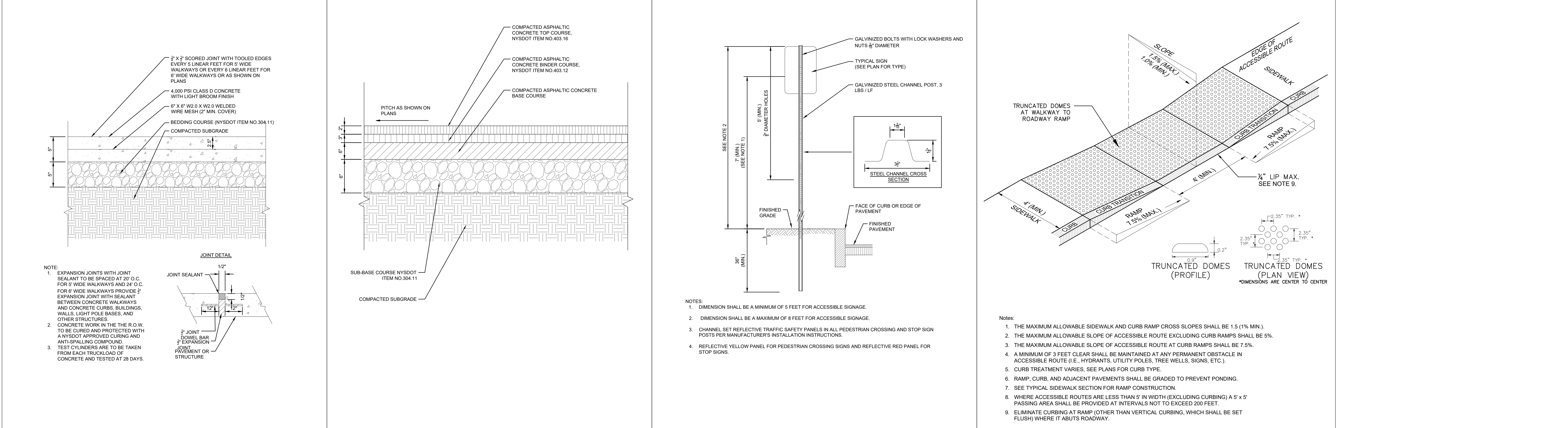
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**FULL REVEAL CONCRETE CURB** SOURCE: KIMLEY-HORN  
**FLUSH CONCRETE CURB** SOURCE: KIMLEY-HORN  
**SAWCUT PAVEMENT KEY-IN** SOURCE: KIMLEY-HORN  
**6\"/>**



**CONCRETE UTILITY PAD** SOURCE: KIMLEY-HORN  
**CONCRETE UTILITY PAD/CONCRETE APRON FOR DRIVEWAYS** SOURCE: KIMLEY-HORN  
**PEDESTRIAN / ACCESSIBLE CURB RAMP** SOURCE: NYS DOT STANDARD SHEET 608-01 (SHEETS 1 THROUGH 9)  
**CONCRETE PAVEMENT (SIDEWALK)** SOURCE: KIMLEY-HORN



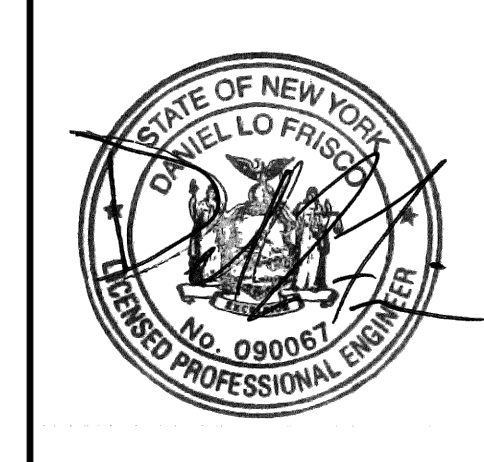
**HEAVY DUTY AND STANDARD DUTY ASPHALT PAVEMENT** SOURCE: KIMLEY-HORN  
**TRAFFIC SIGN POST** SOURCE: KIMLEY-HORN  
**ACCESSIBLE CURB RAMP TYPE A** SOURCE: KIMLEY-HORN

NO.	REVISIONS	DATE	BY
4	ISSUED FOR ACABOR/PLANNING BOARD REVIEW	09/20/22	KH
3	SITE PLAN REVISIONS	05/13/22	KH
2	SITE PLAN SUBMISSION	04/14/22	KH
1	50% DPs	03/29/22	KH

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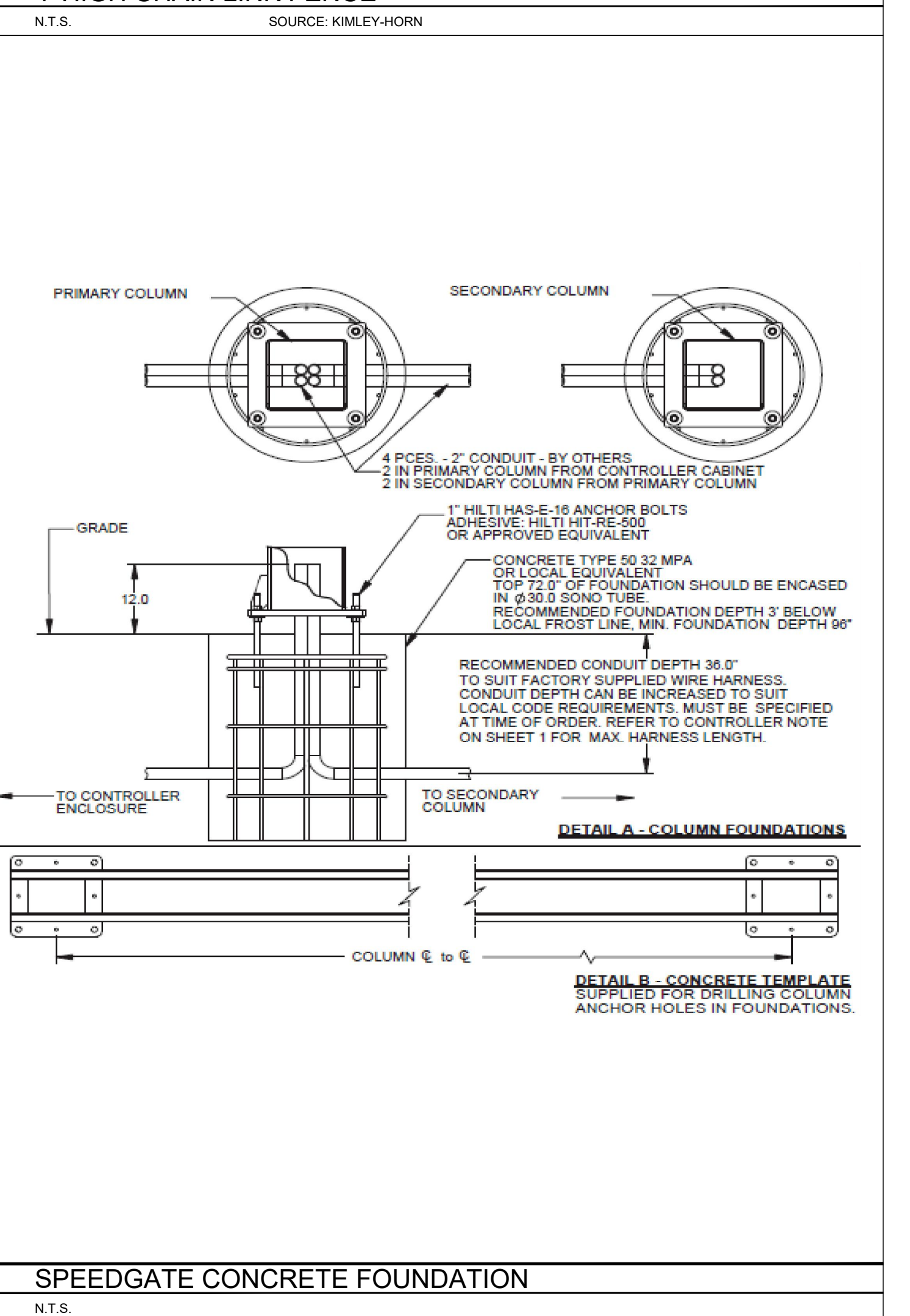
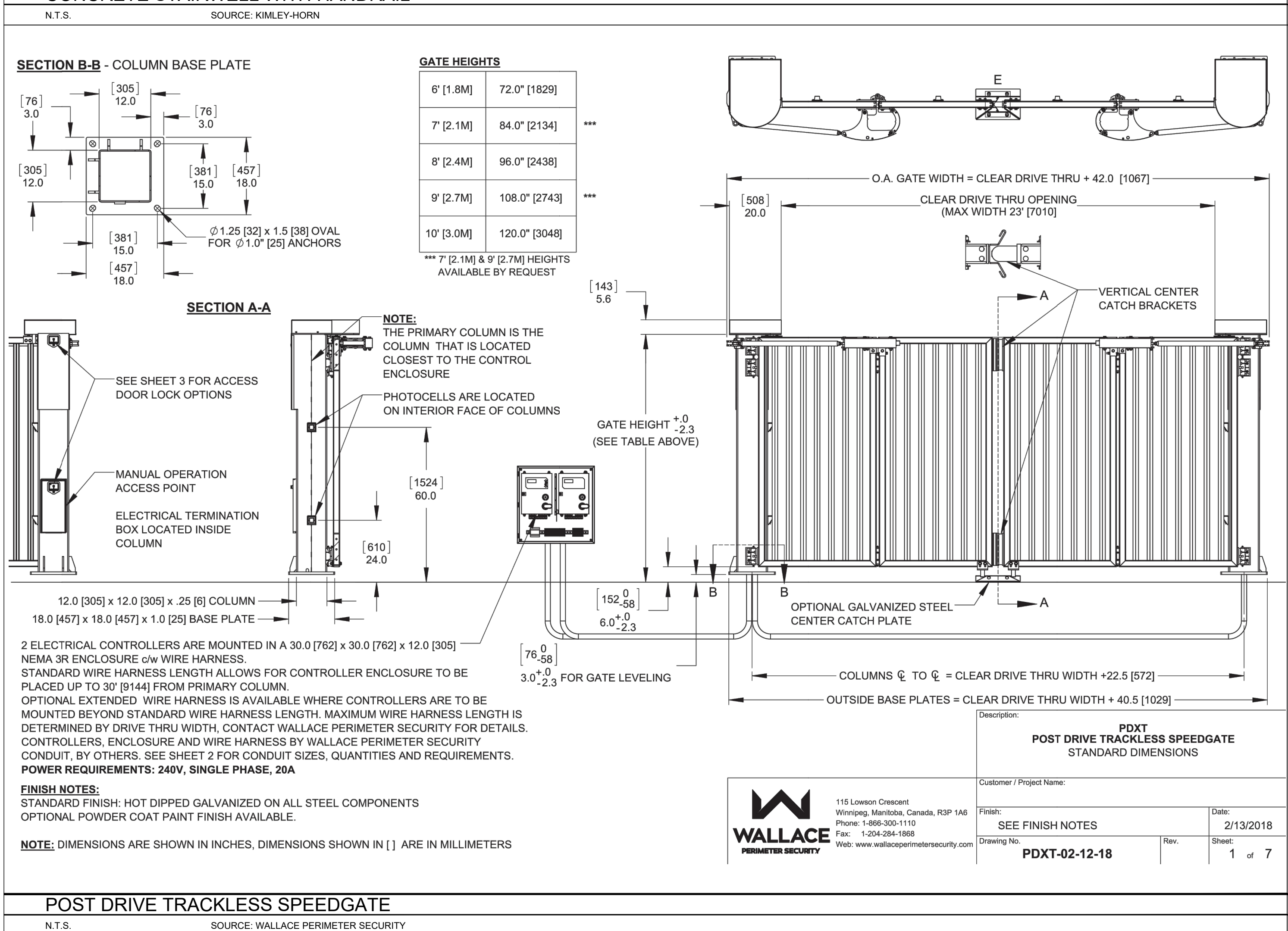
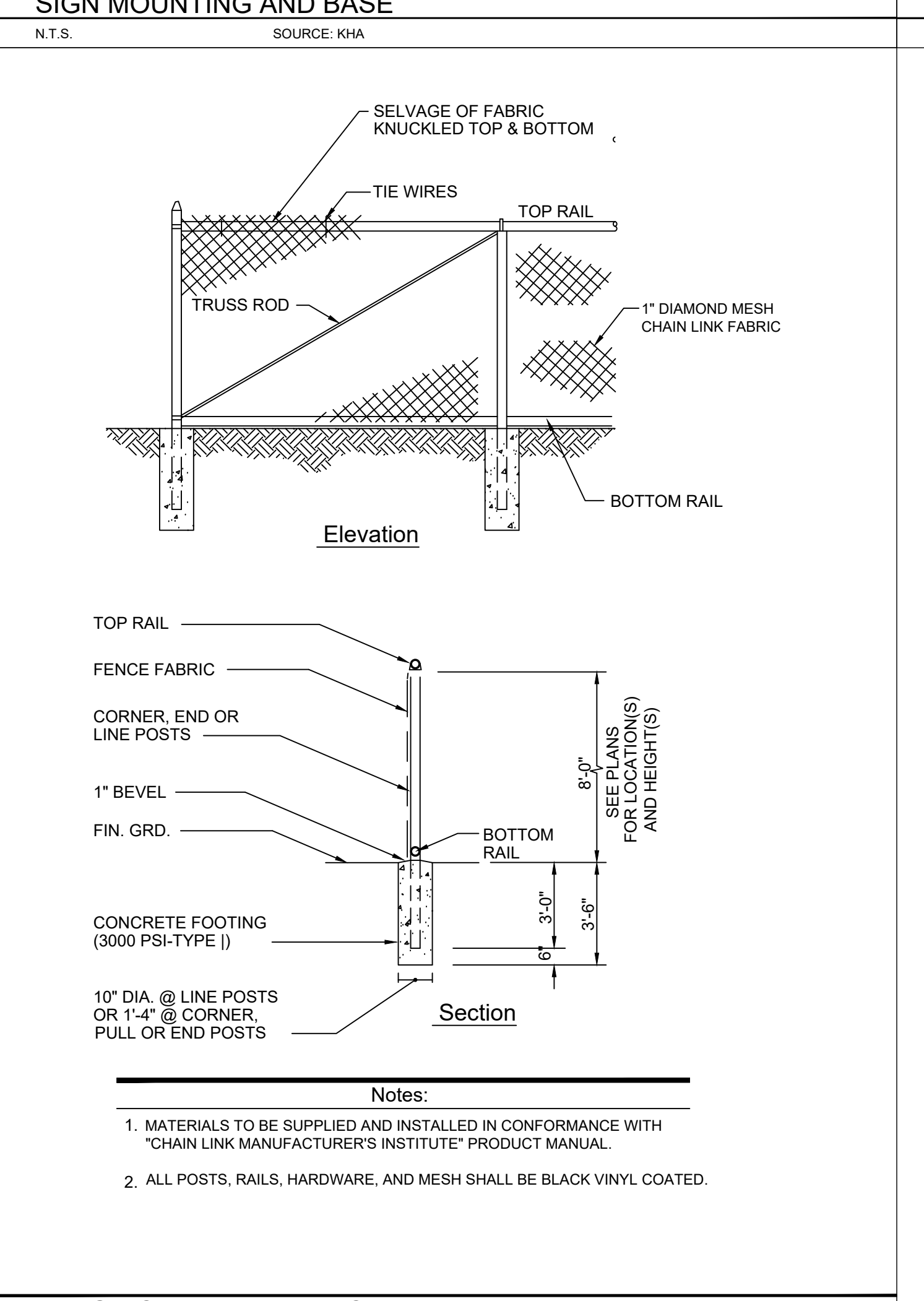
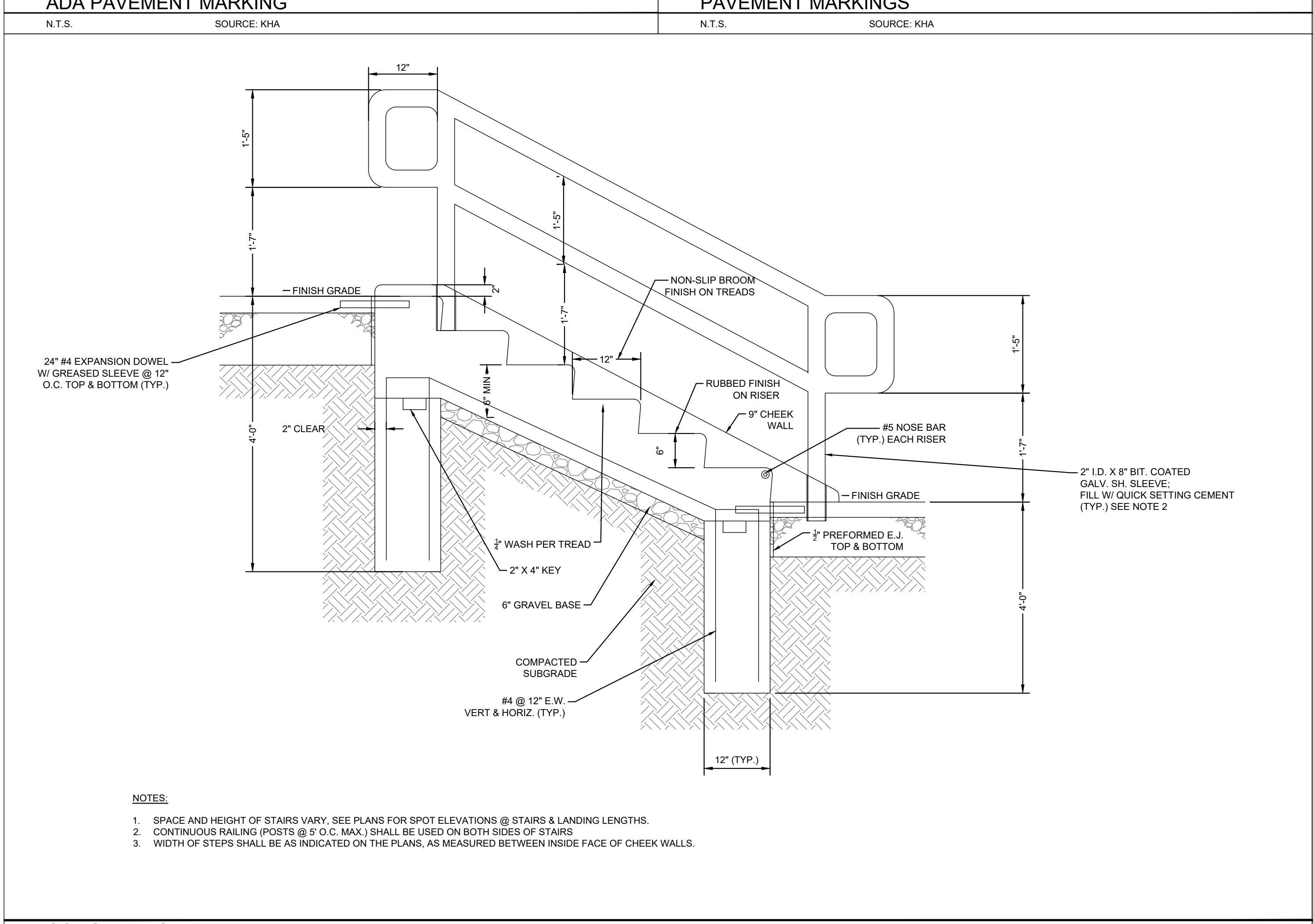
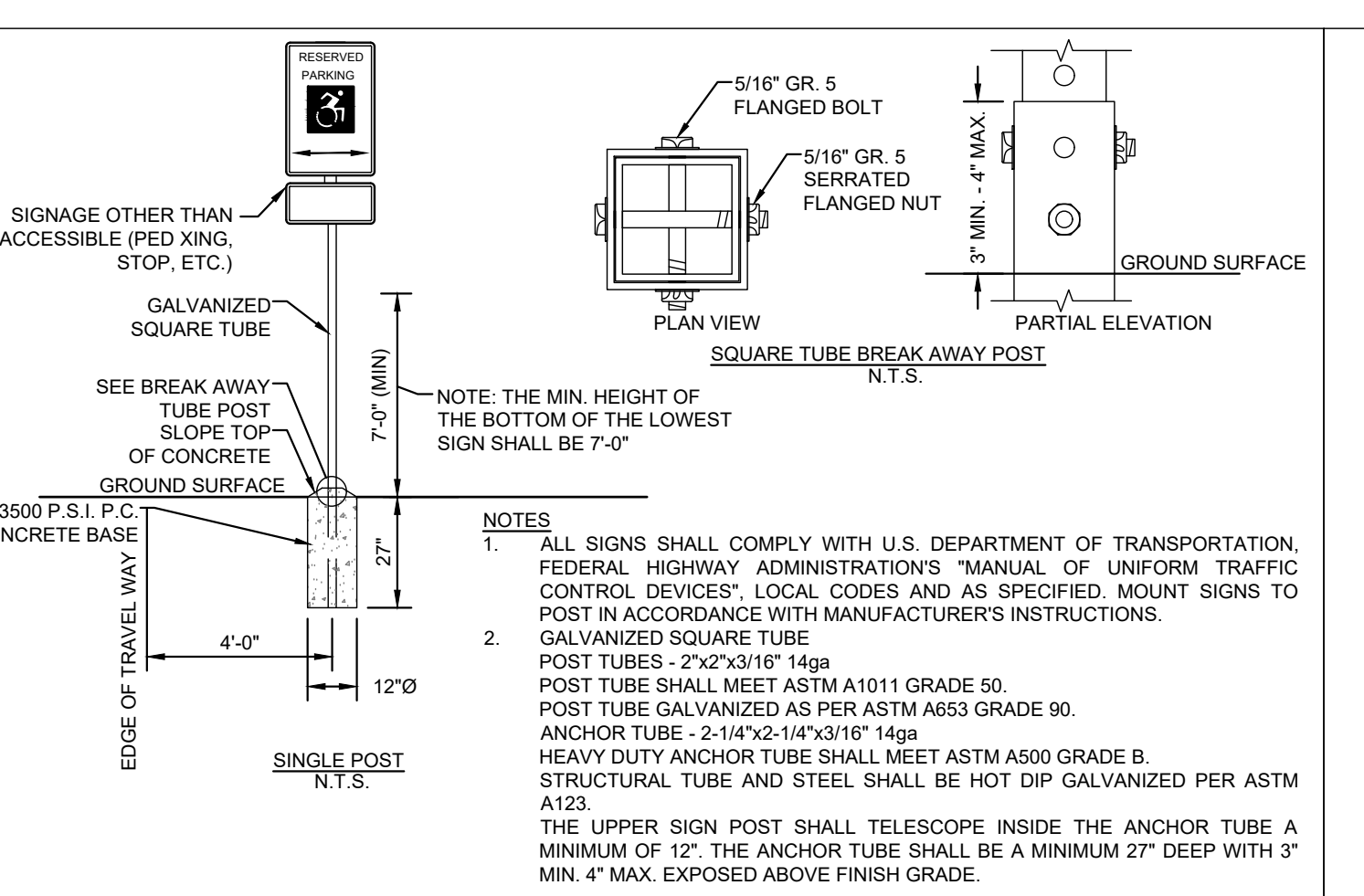
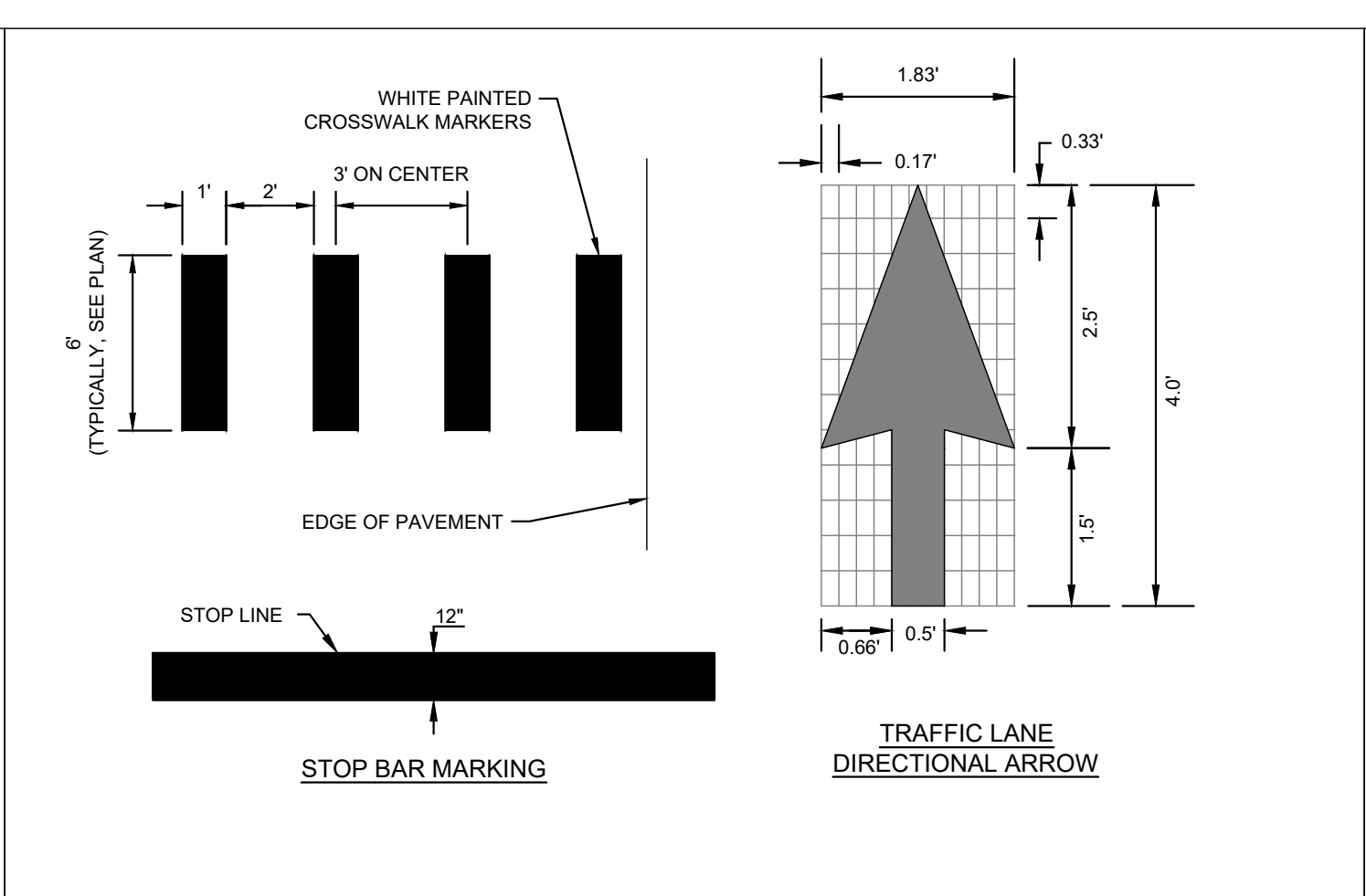
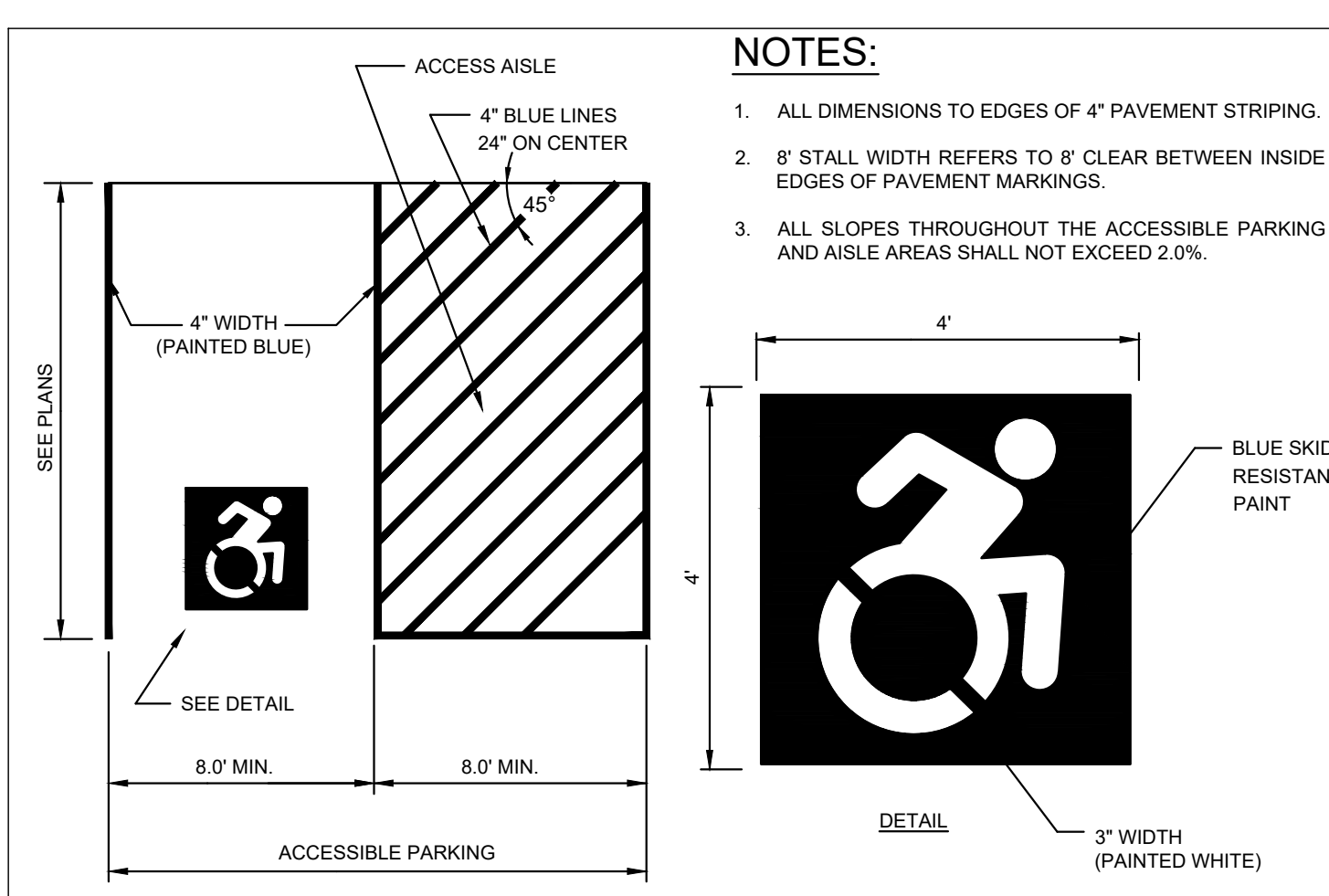


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SCALE:	AS SHOWN		
DESIGNED BY:			

**SITE DETAILS**  
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SHEET NUMBER  
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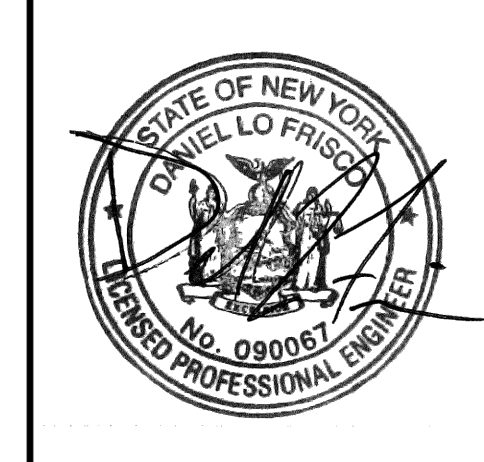
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4	09/20/22	ISSUED FOR ACABOR/PLANNING BOARD REVIEW	KH
3	05/13/22	SITE PLAN REVISIONS	KH
2	04/14/22	SITE PLAN SUBMISSION	KH
1	03/29/22	50% DPs	KH

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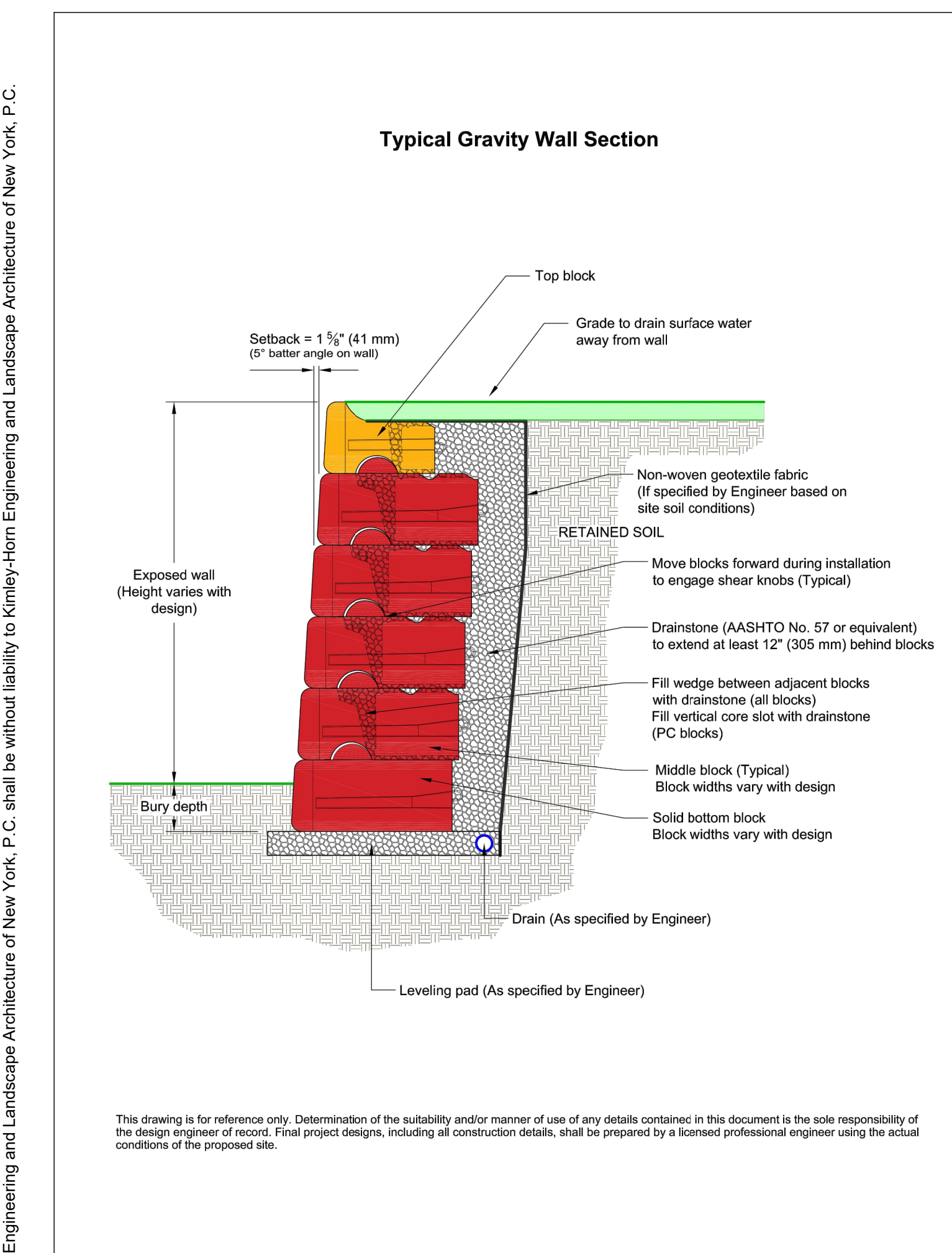
**SITE DETAILS**

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### CT4000 Level 2 Commercial Charging Station

Specifications and Ordering Information

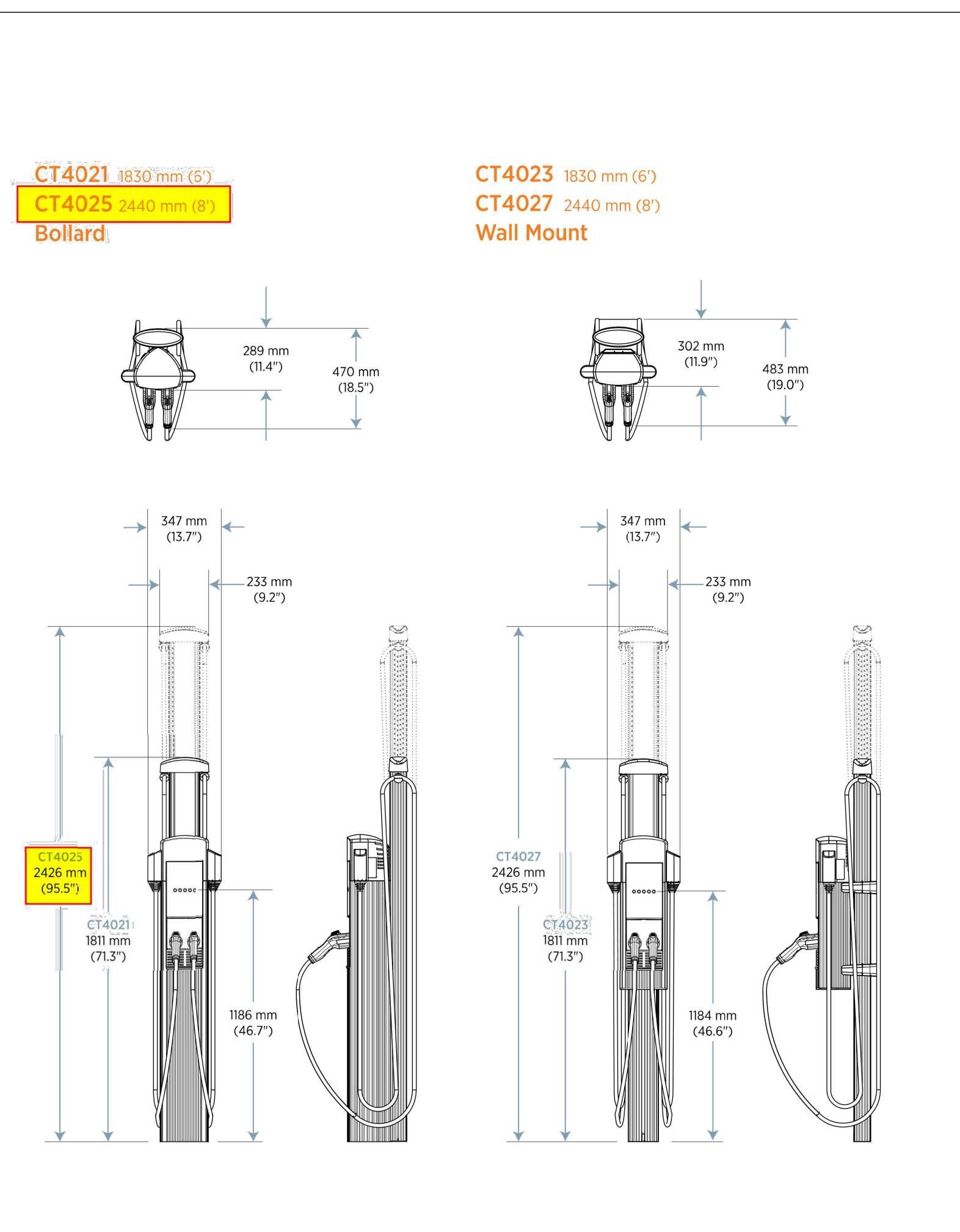
**Ordering Information**  
 Specify model number followed by the applicable code(s). The order code sequence is: **Model-Options. Software. Services and Misc** are ordered as separate line items.

Hardware		
Description	Order Code	
1830 mm (6') Single Port Bollard Mount	CT4001	
1830 mm (6') Dual Port Bollard Mount	CT4002	
1830 mm (6') Single Port Wall Mount	CT4013	
1830 mm (6') Dual Port Wall Mount	CT4023	
2440 mm (8') Dual Port Bollard Mount	CT4025	
2440 mm (8') Dual Port Wall Mount	CT4027	
Options		
Integral Gateway Modem - USA	-GW1	
Integral Gateway Modem - Canada	-GW2	
Misc		
Power Management Kit	CT4000-PMGMT	
Bollard Concrete Mounting Kit	CT4001-CCM	

Software & Services		
Description	Order Code	
ChargePoint Commercial Service Plan	CTSW-SAS-COMM-1*	
ChargePoint Service Provider Plan	CTSW-SAS-SP-1*	
ChargePoint Assure	CT4000-ASSURE-1*	
Station Activation and Configuration	CPSUPPORT-ACTIVE	
ChargePoint Station Installation and Validation	CT4000-INSTALLVALD	

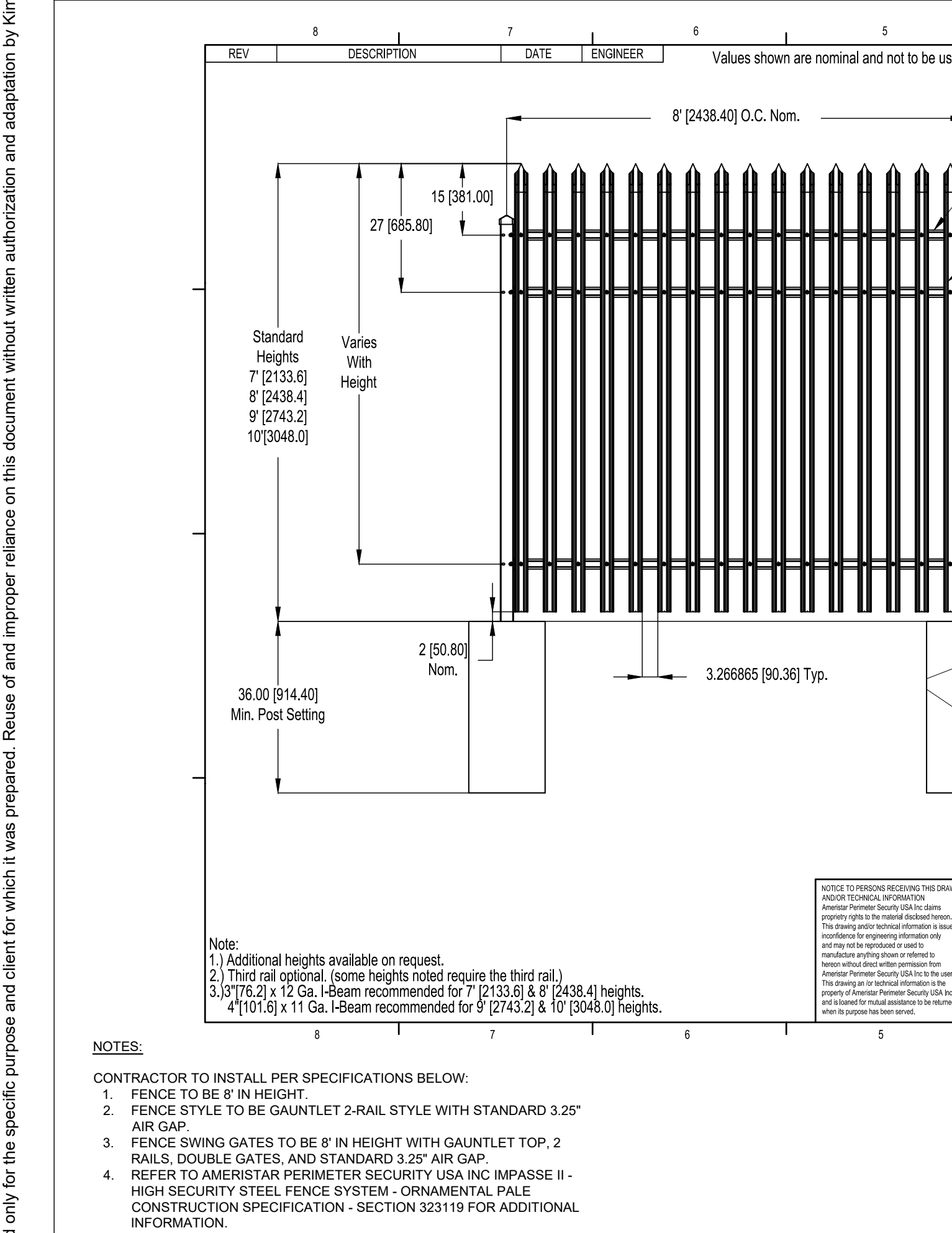
**Note:** All CT4000 stations require a network service plan.  
 \* Substitute n for desired years of service (1, 2, 3, 4, or 5 years).  
 † Substitute n for the duration of the coverage (1, 2, 3, 4, or 5 years).

If ordering this...	the order code is:
1830 mm (6') Dual Port Bollard/USA Gateway Station with Concrete Mounting Kit	CT4002-GW1-CT4001-CCM
ChargePoint Commercial Service Plan, 2 Year Subscription	CTSW-SAS-COMM-1
ChargePoint Station Installation and Validation	CT4000-INSTALLVALD
2 Years of Assure Coverage	CT4000-ASSURE2
1830 mm (6') Single Port Wall Mount Station	CT4013
ChargePoint Commercial Service Plan, 5 Year Subscription	CTSW-SAS-COMM-5
4 Years of Assure Coverage	CT4000-ASSURE4
Station Activation and Configuration	CPSUPPORT-ACTIVE

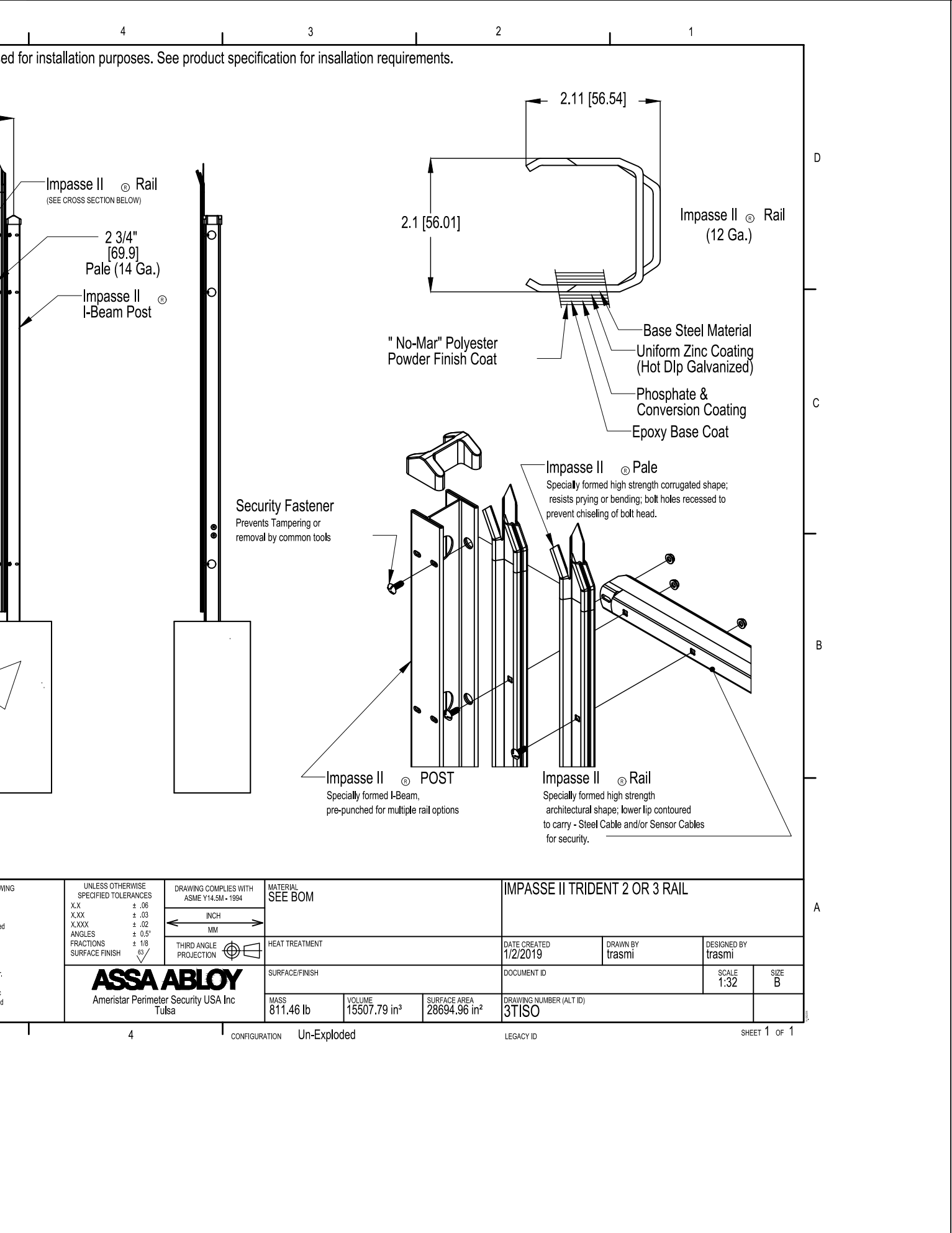


EV CHARGING STATION DETAIL  
 N.T.S. SOURCE: CHARGE POINT

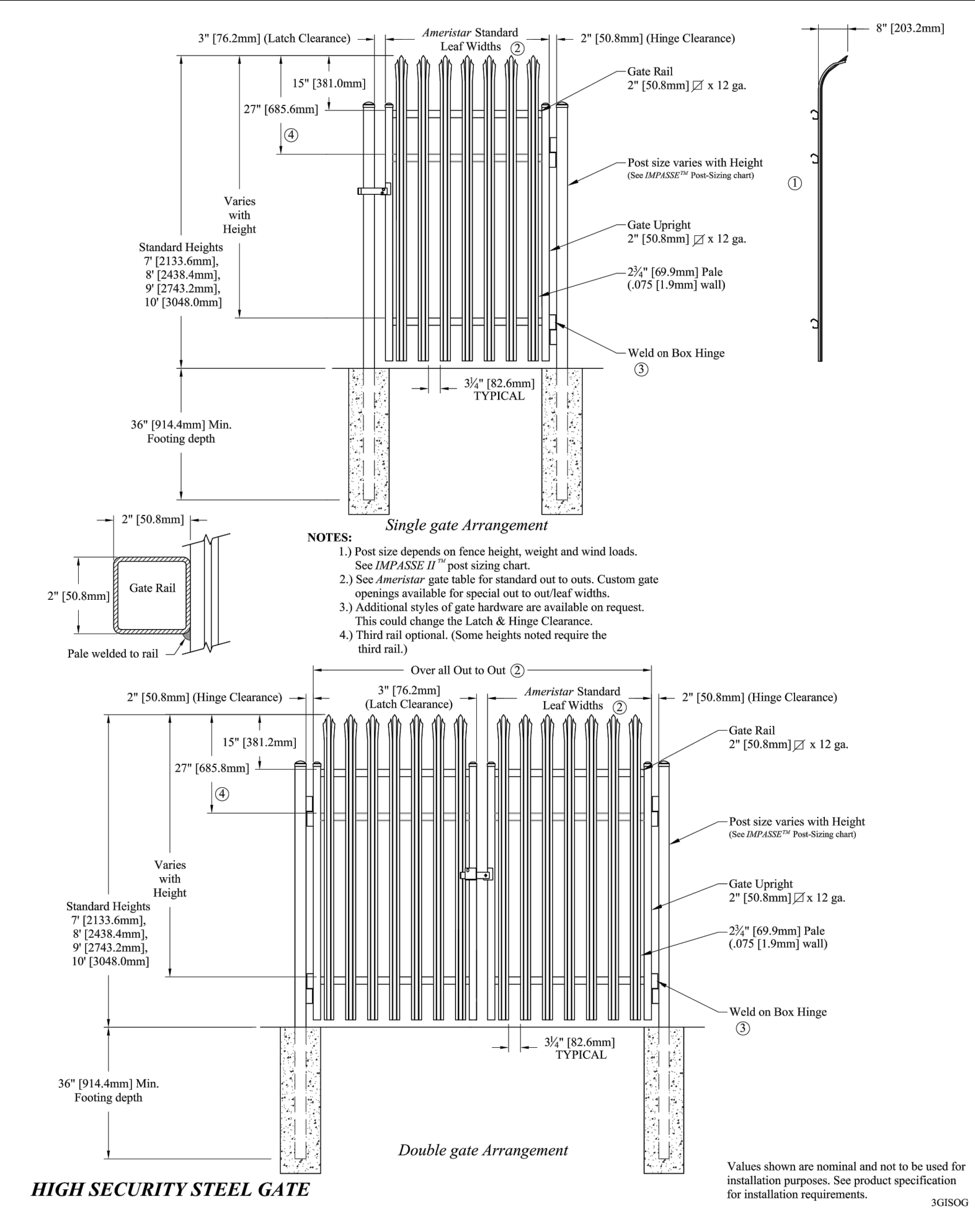
TYPICAL GRAVITY WALL DETAIL  
 N.T.S. SOURCE: REDI-ROCK



8' HIGH ORNAMENTAL SECURITY FENCE  
 N.T.S. SOURCE: AMERISTAR FENCE



8' HIGH IMPASSE II DOUBLE SWING GATE  
 N.T.S. SOURCE: AMERISTAR FENCE



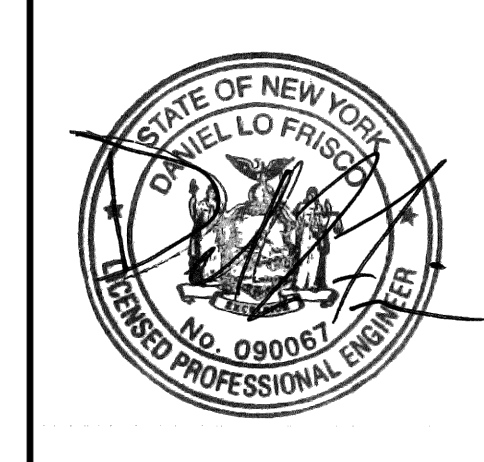
8' HIGH IMPASSE II DOUBLE SWING GATE  
 N.T.S. SOURCE: AMERISTAR FENCE

NO.	DATE	REVISIONS	BY
1	03/29/22	50% DPs	KH
2	04/14/22		KH
3	05/13/22	SITE PLAN REVISIONS	KH
4	09/20/22	ISSUED FOR ACABOR/PLANNING BOARD REVIEW	KH

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DRAWN BY:		CHECKED BY:						

**SITE DETAILS**

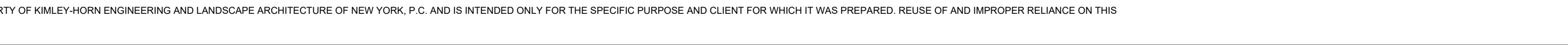
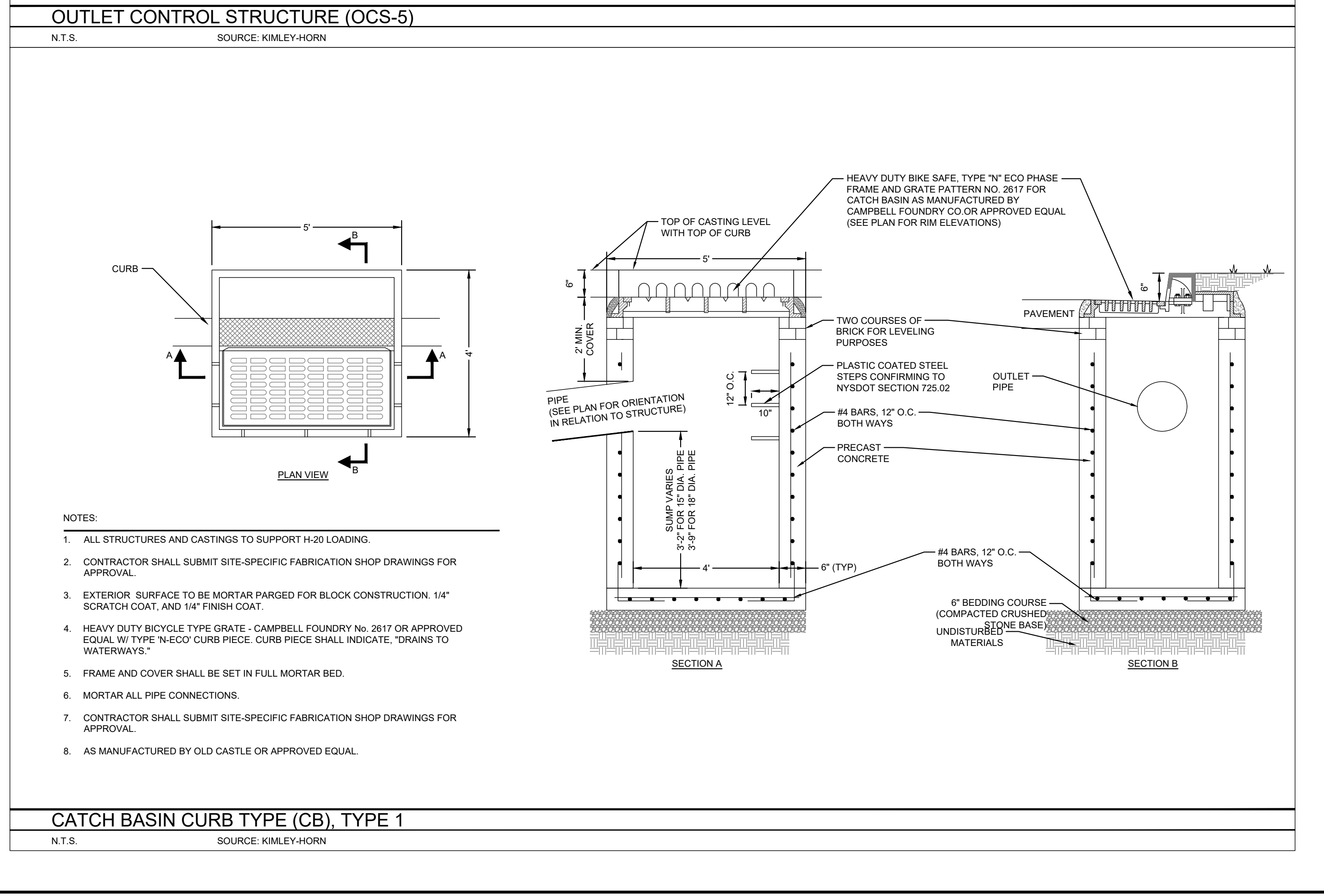
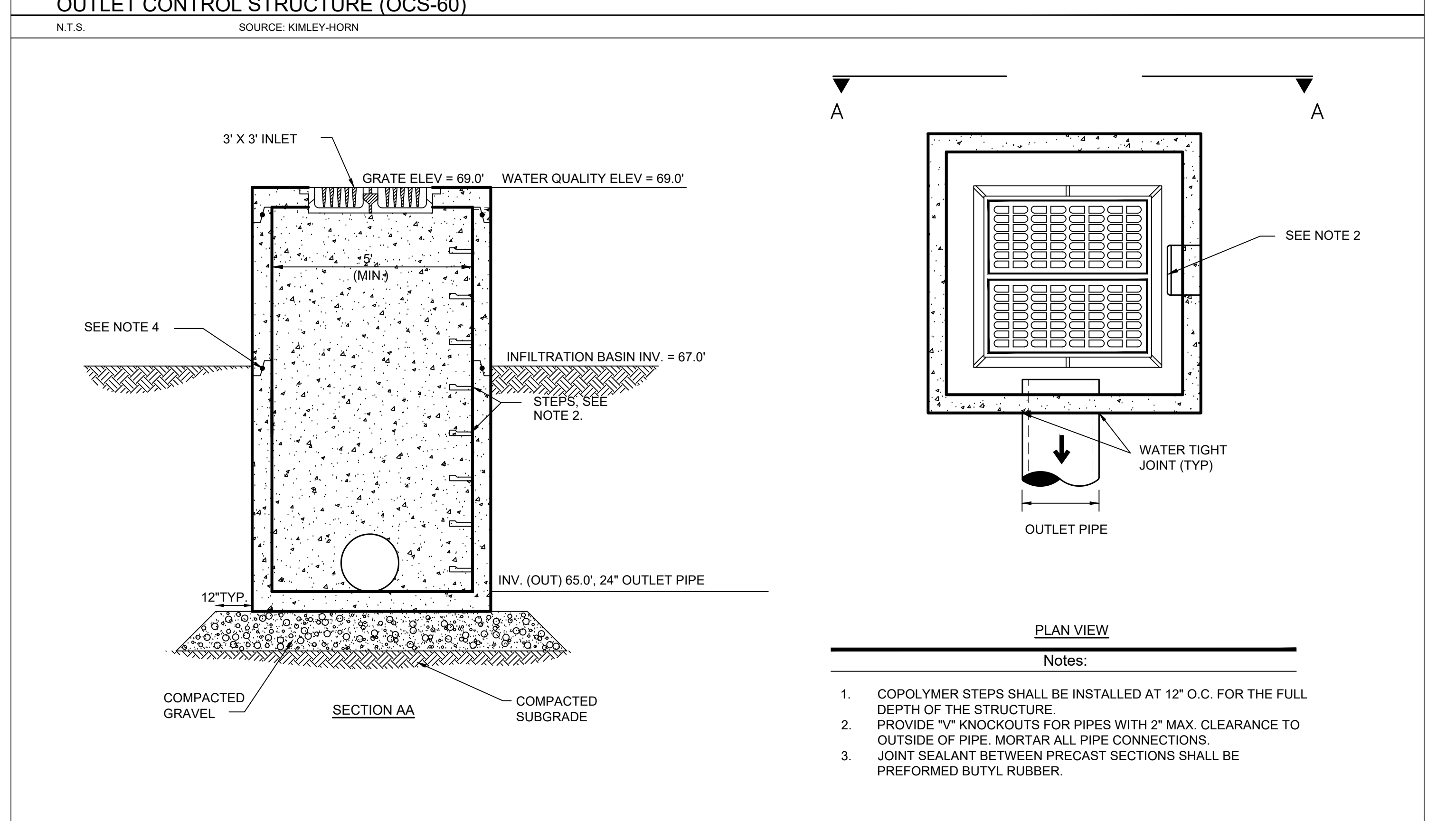
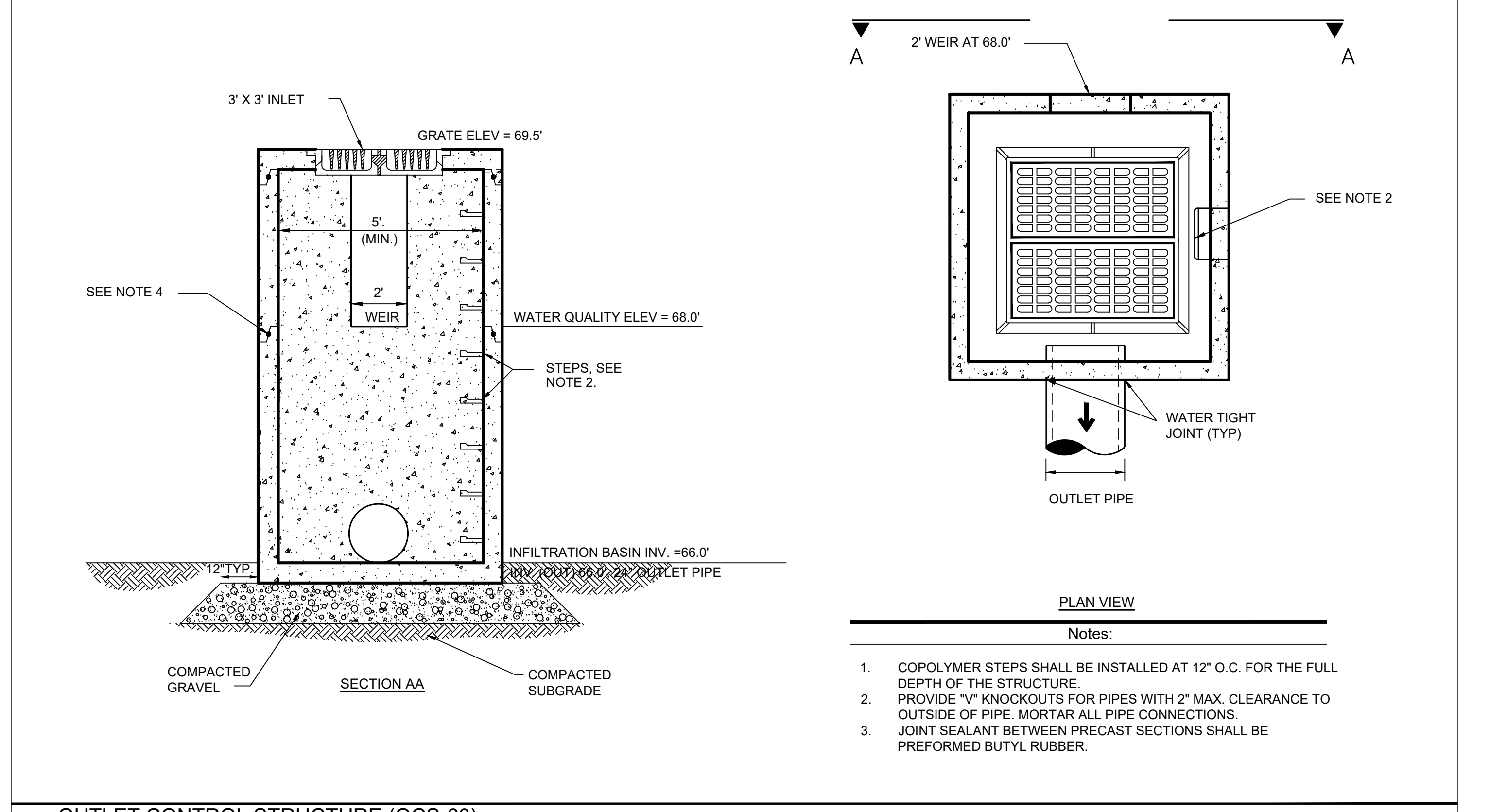
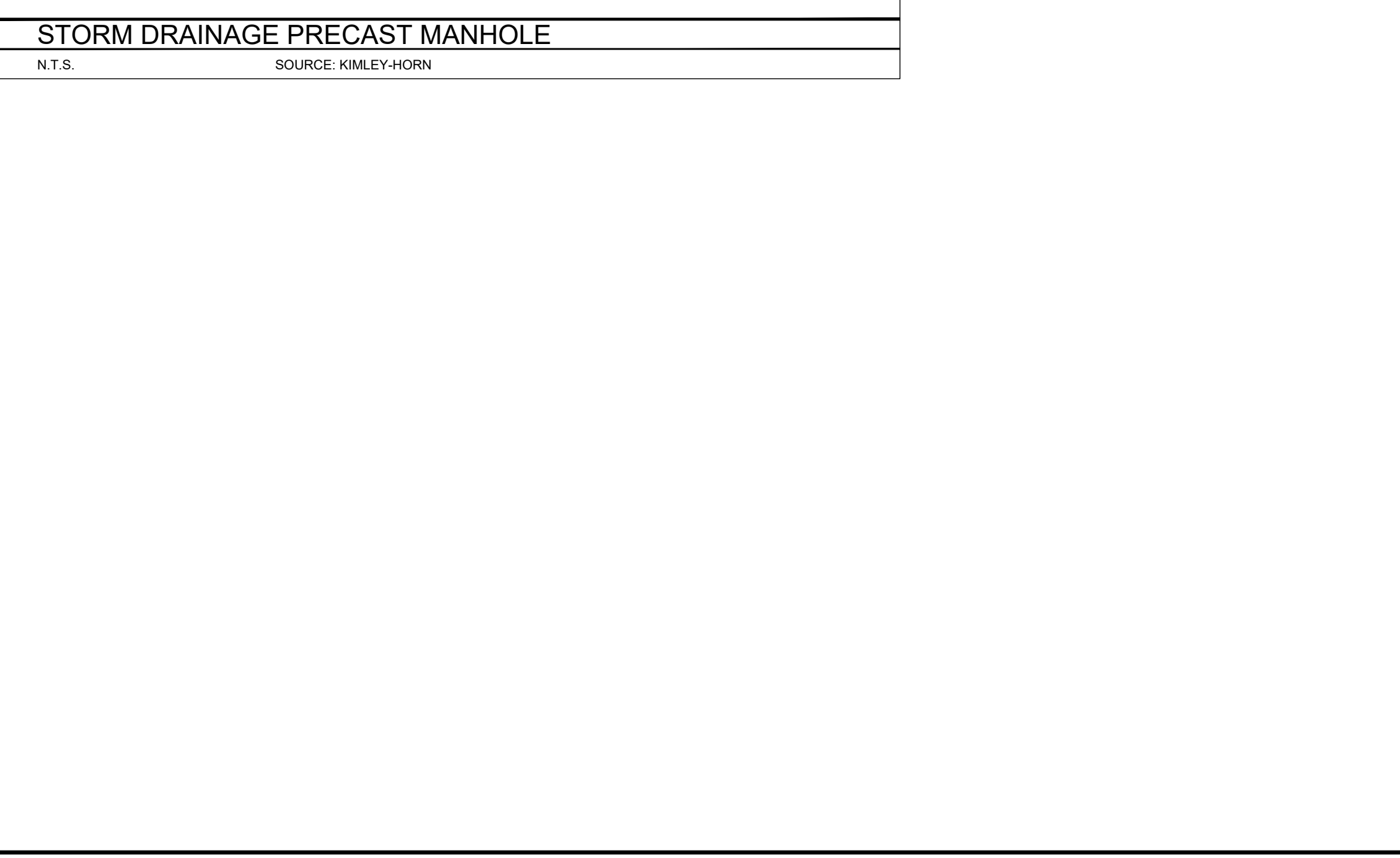
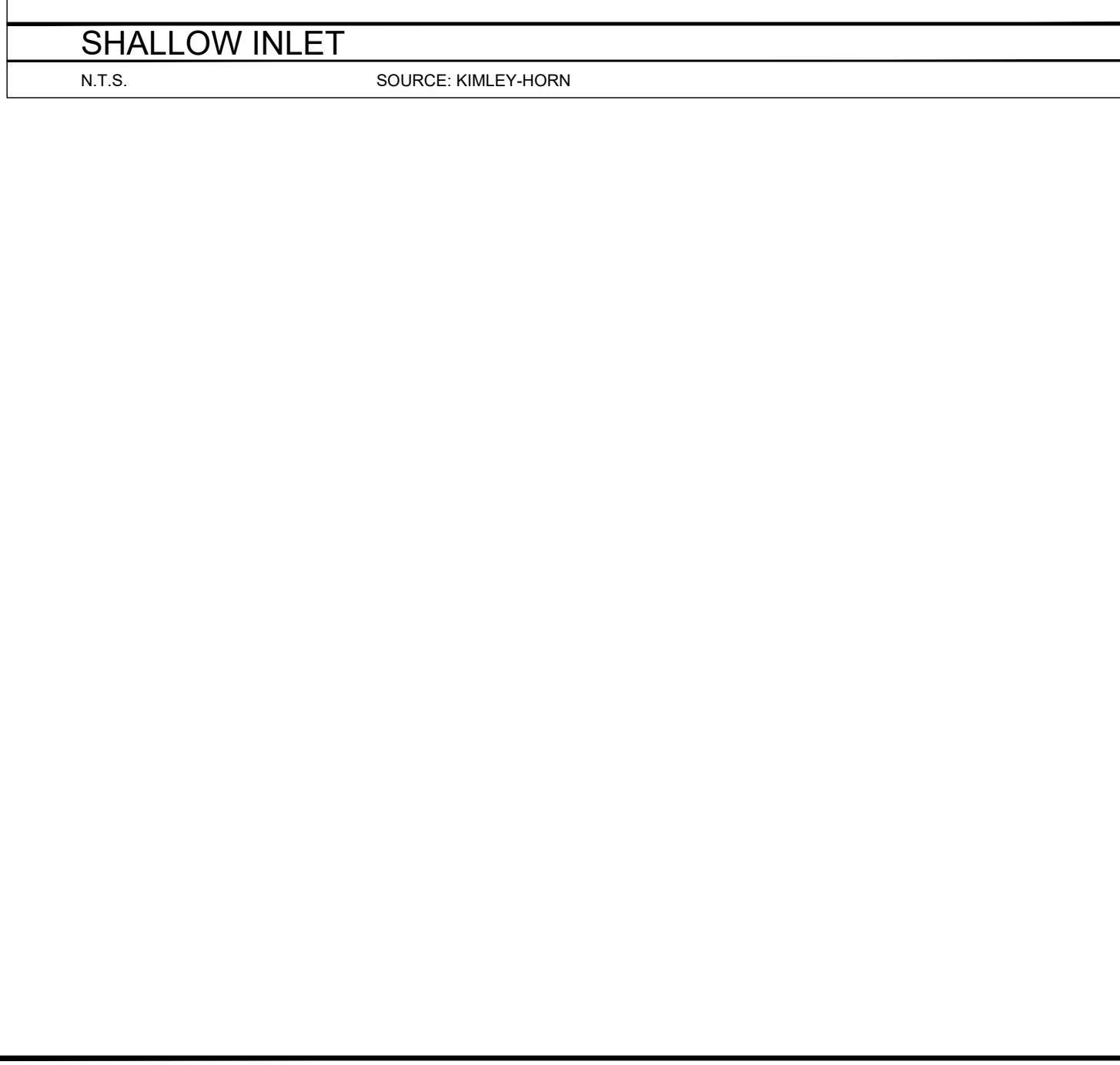
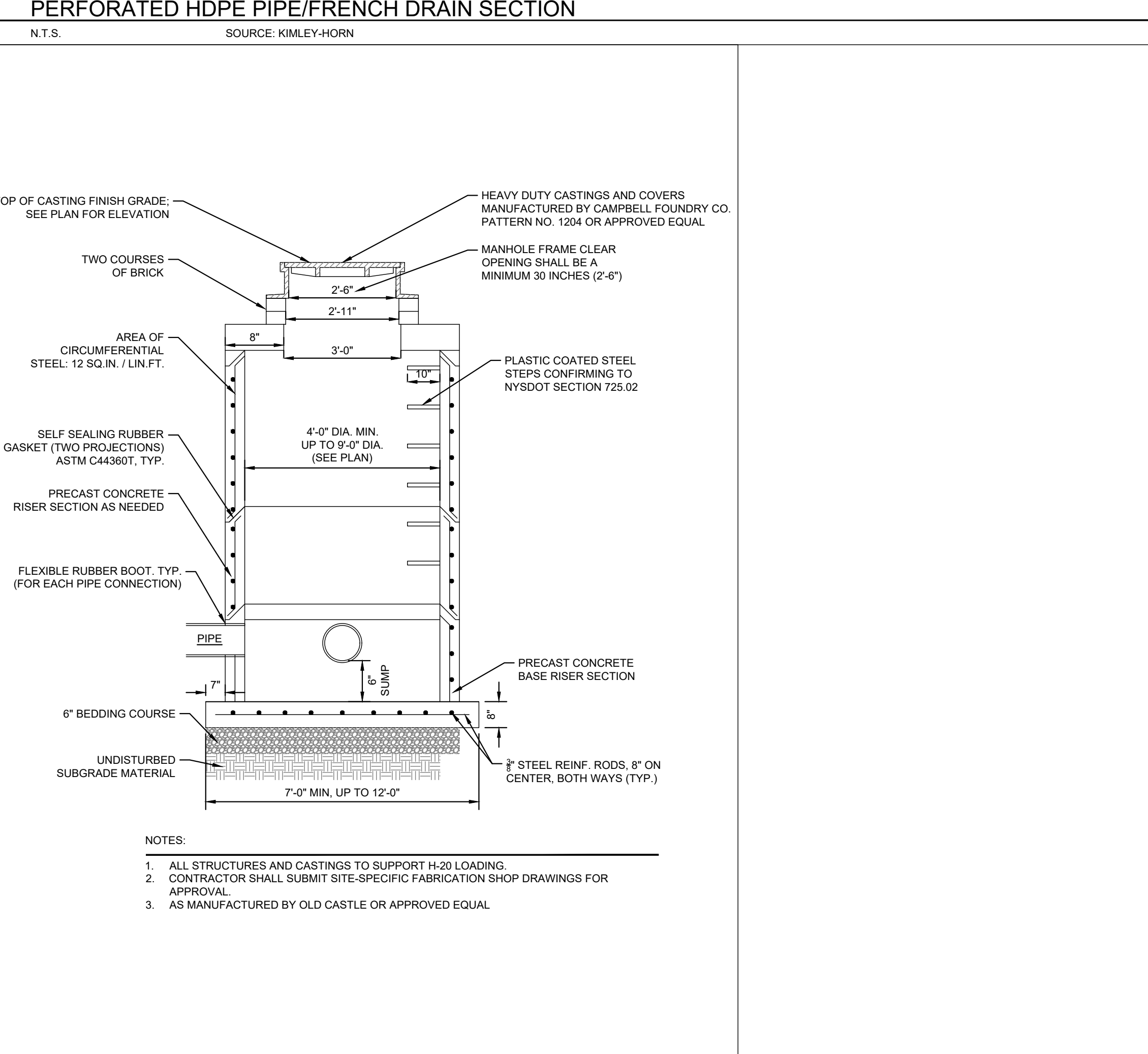
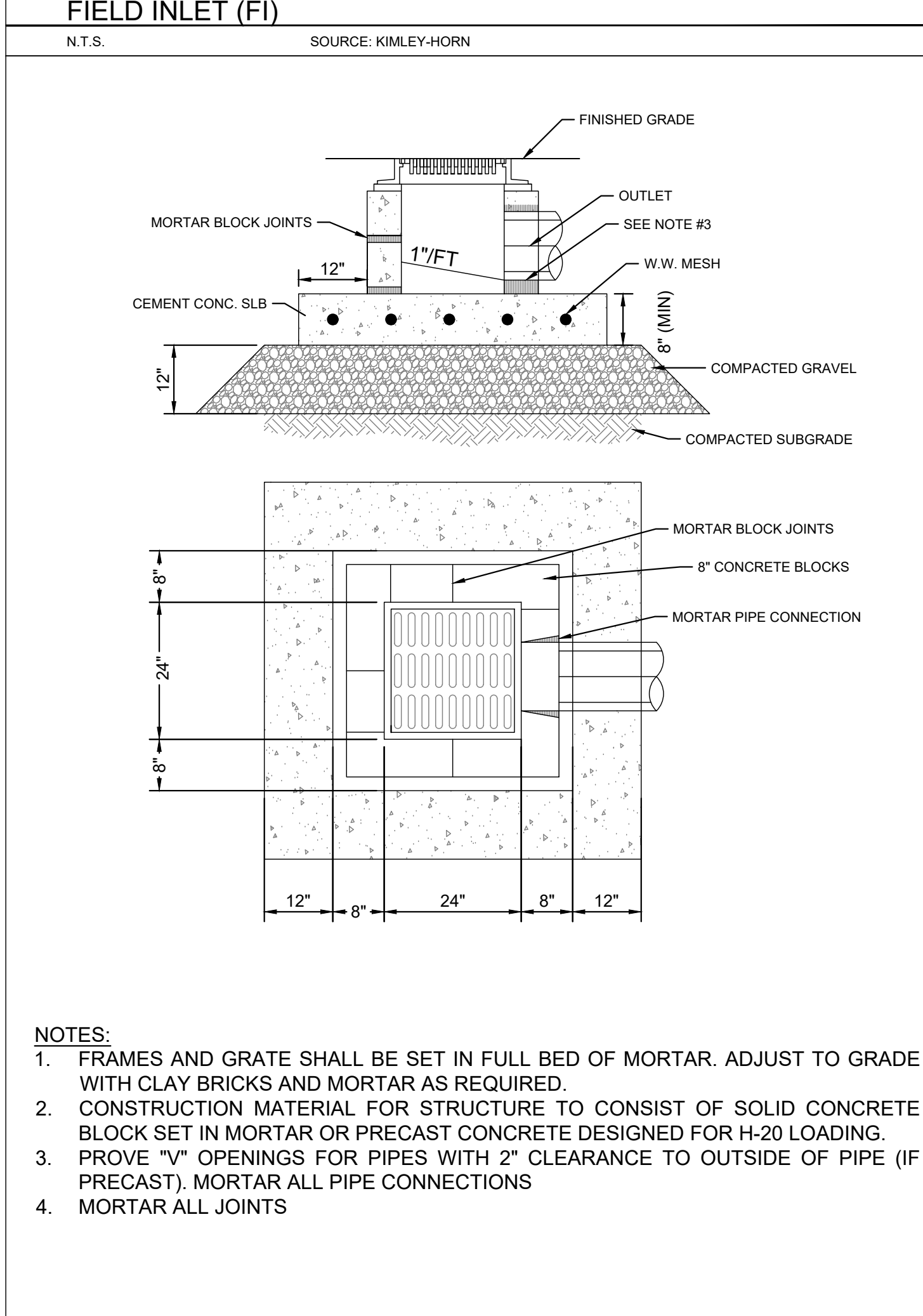
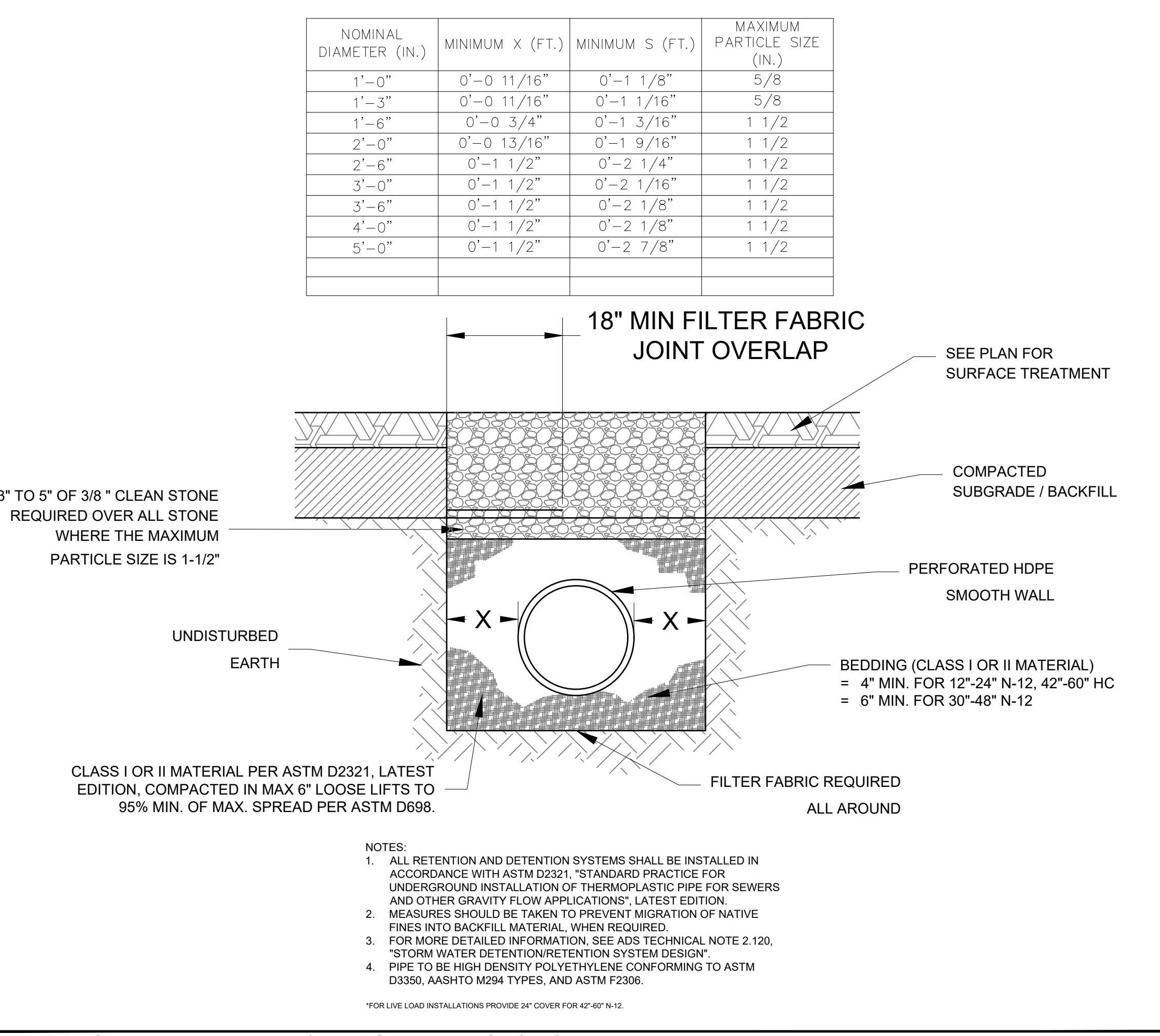
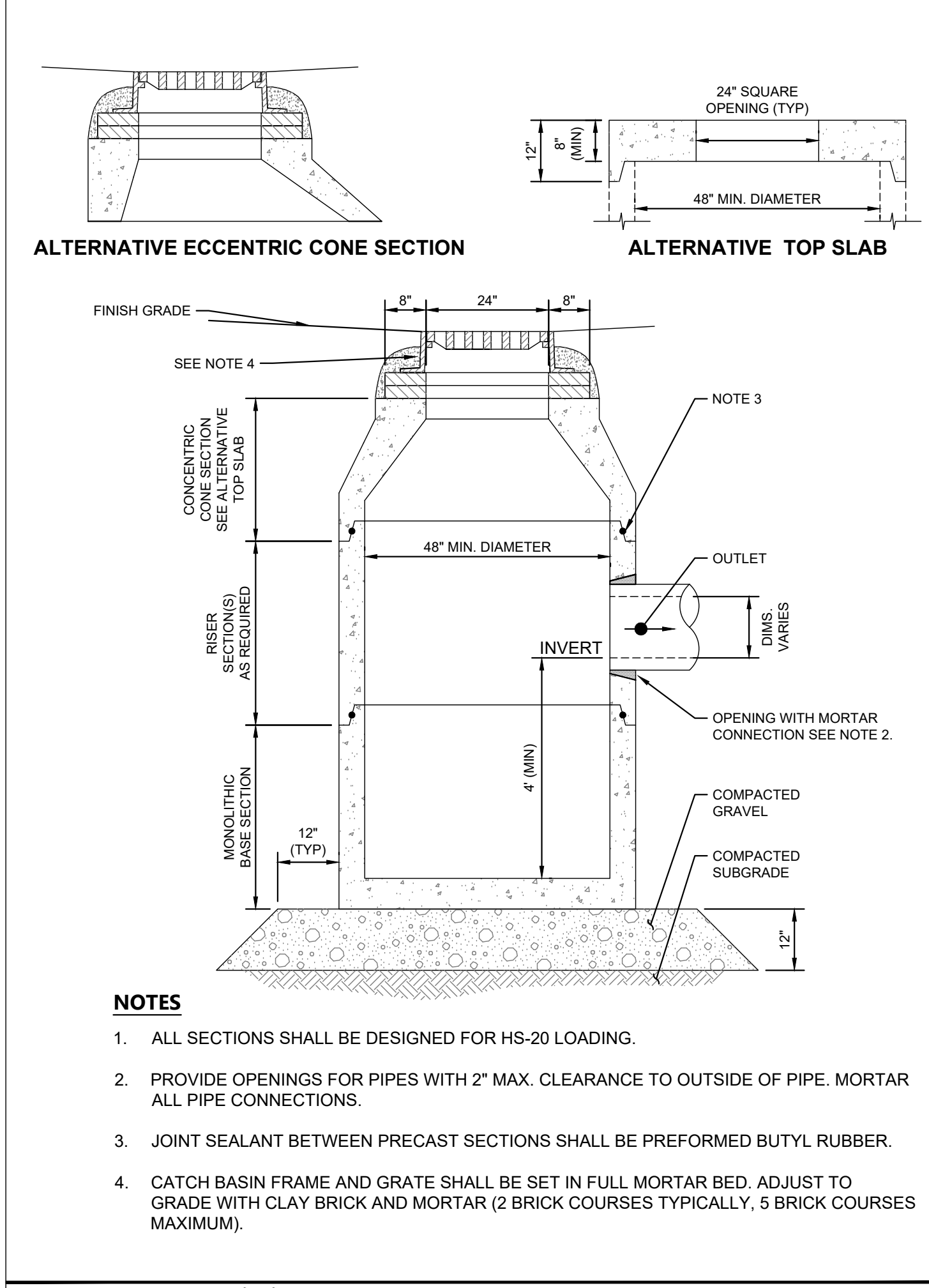
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1	03/29/22	KH
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SITE PLAN REVISIONS

SITE PLAN SUBMISSION

50% DPs

REVISIONS

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STATE OF NEW YORK  
SEAL OF PROFESSIONAL ENGINEER  
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KHA PROJECT: 112117011  
DATE: 01-27-2022  
SCALE: AS SHOWN  
DESIGNED BY: BMD  
DRAWN BY: DL  
CHECKED BY:

**SITE DETAILS**

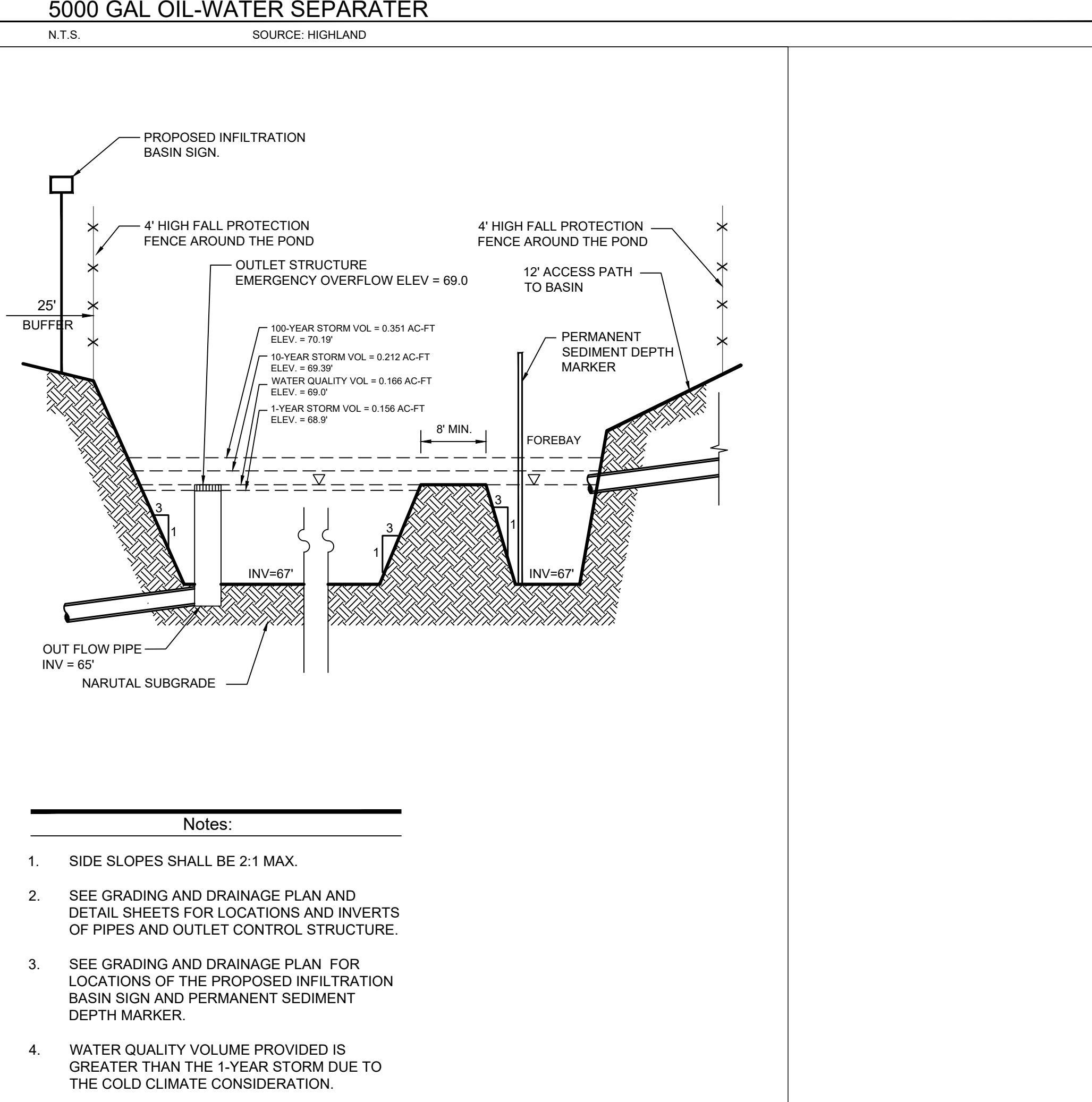
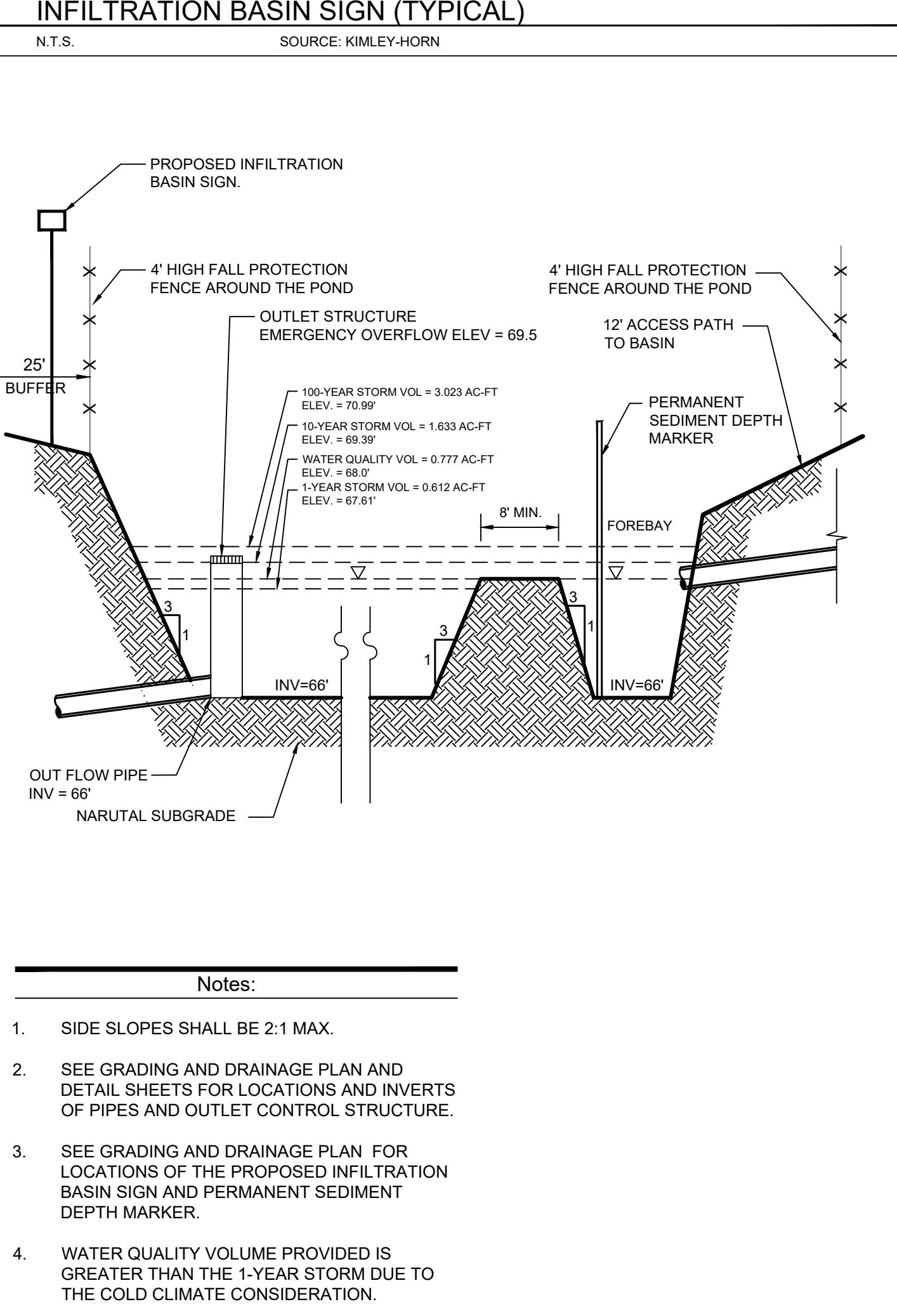
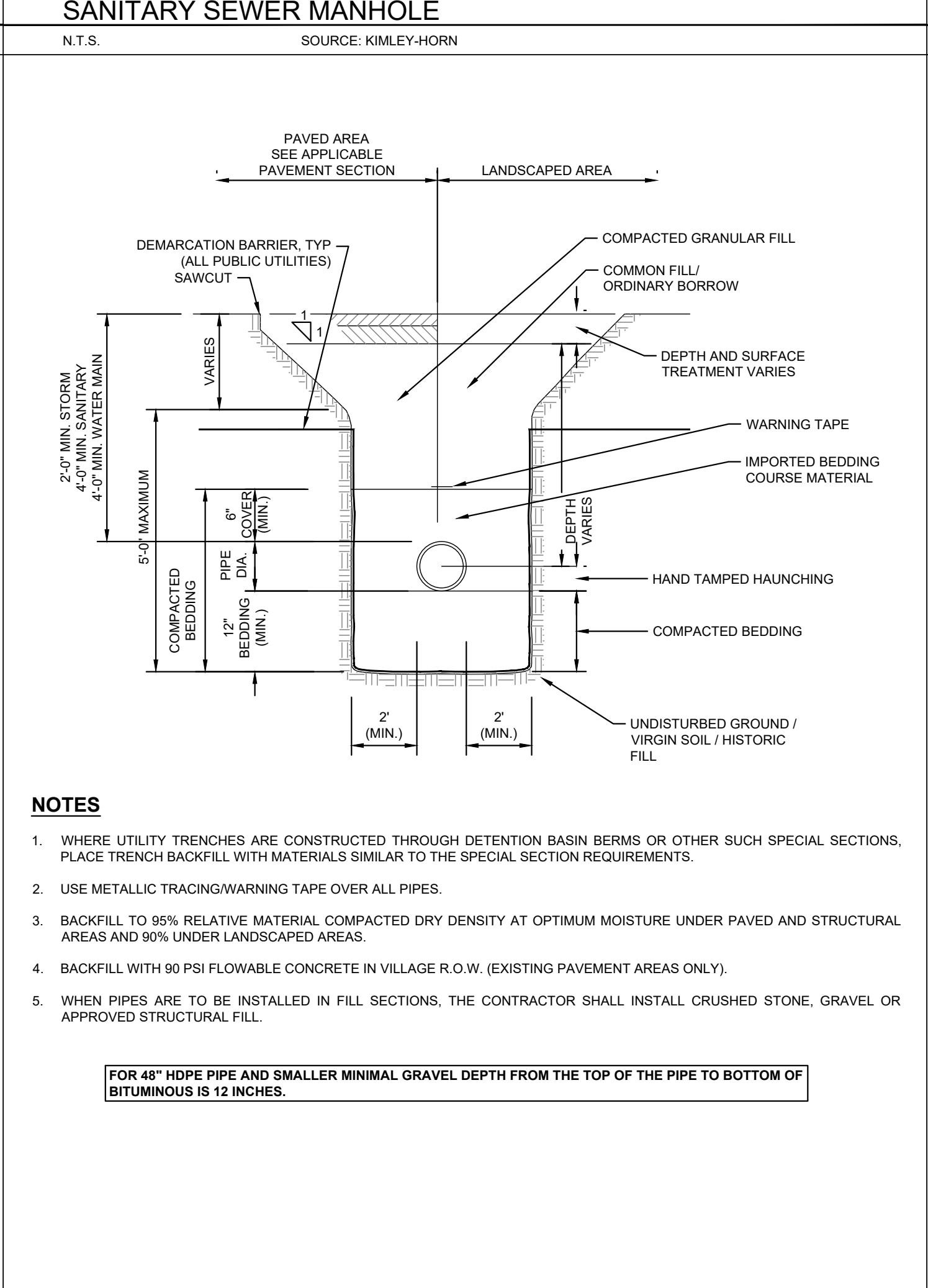
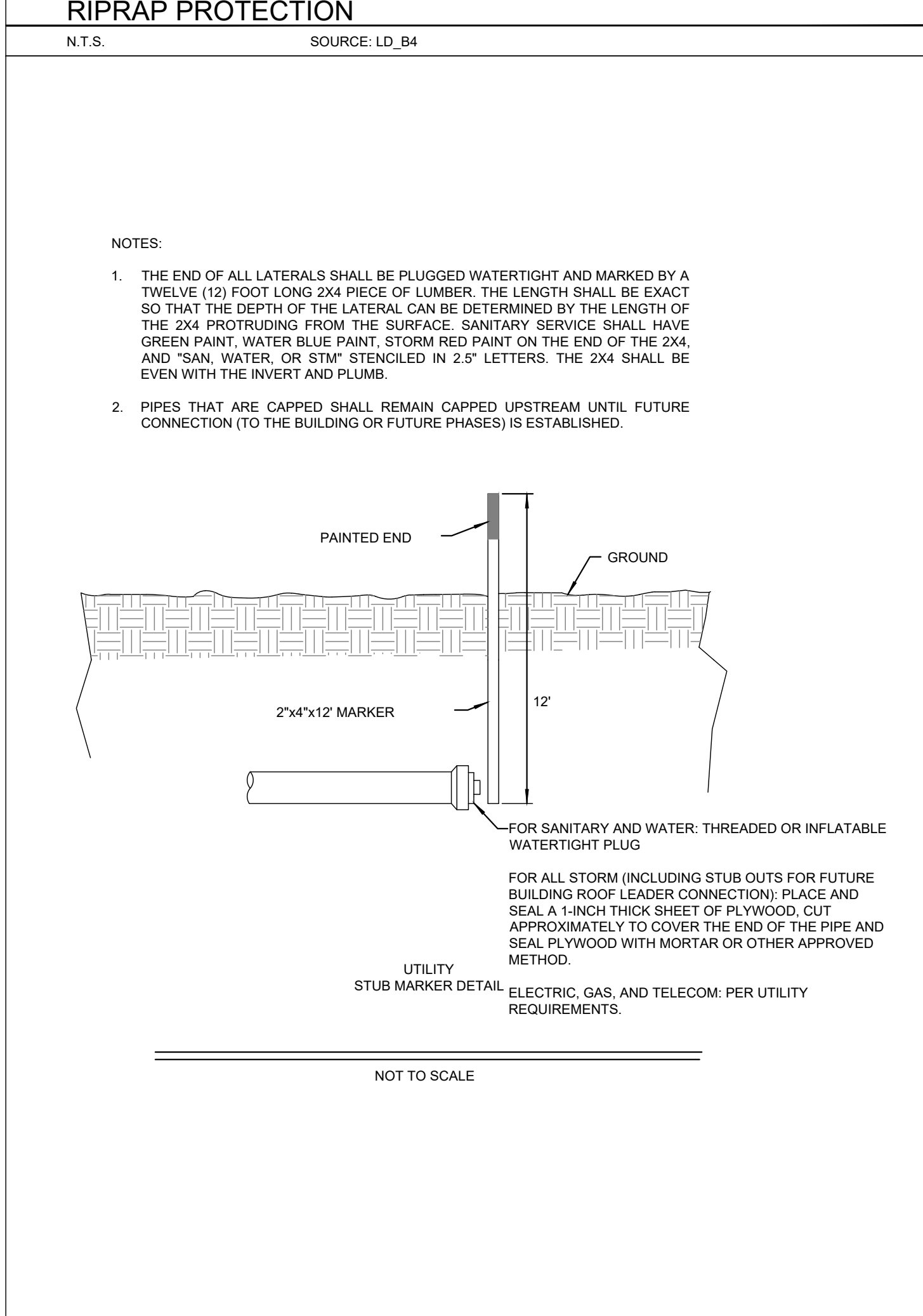
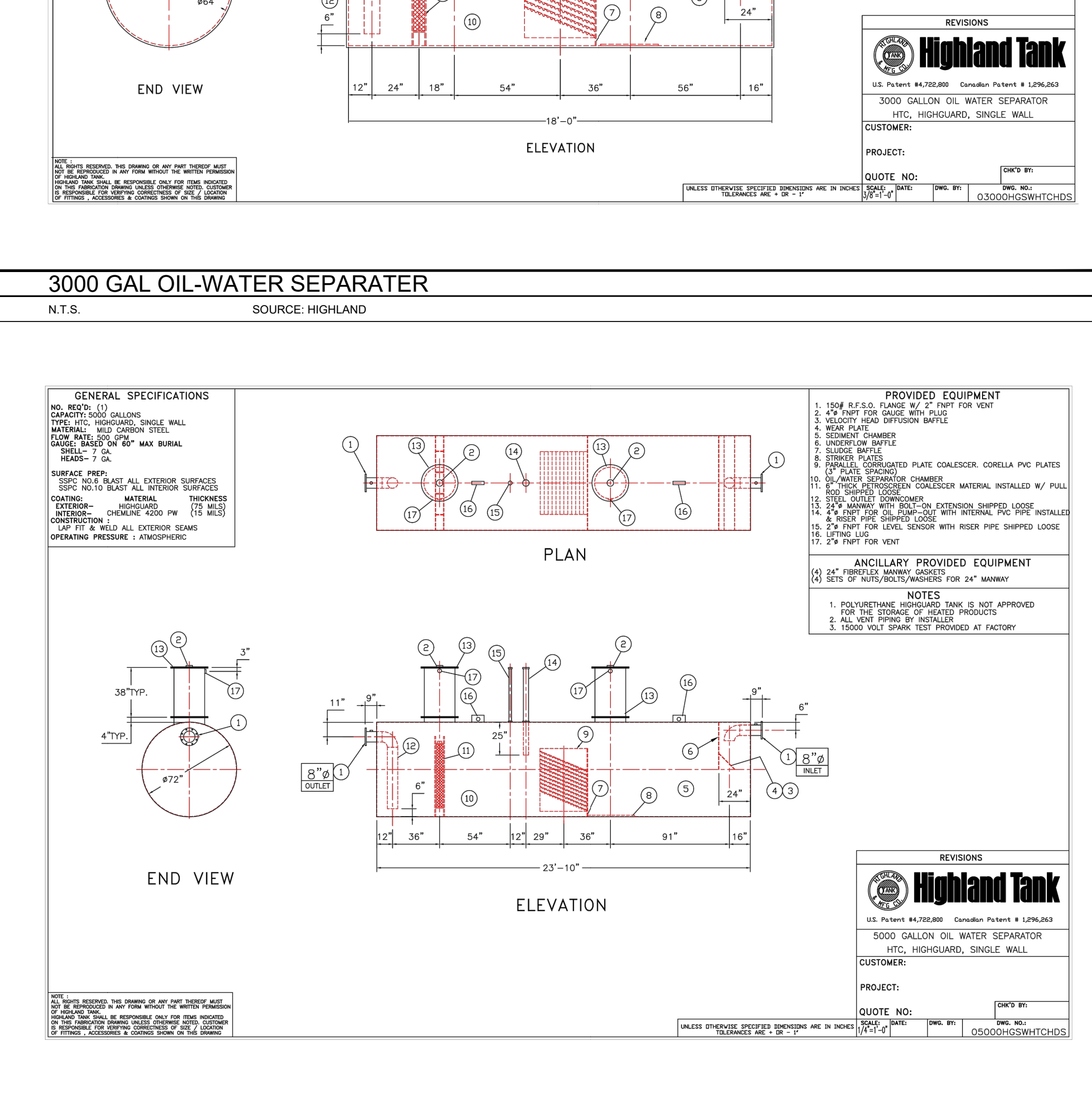
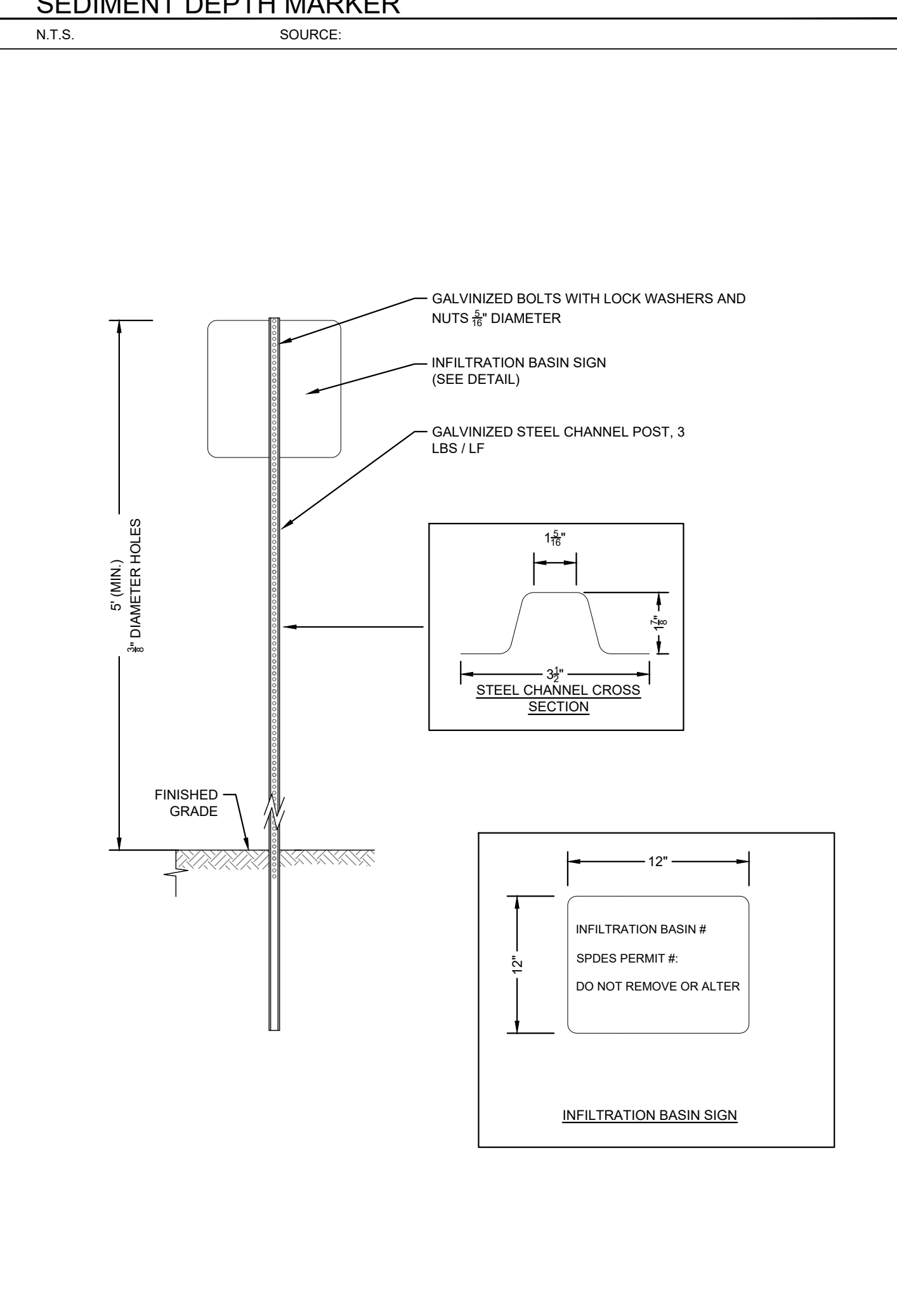
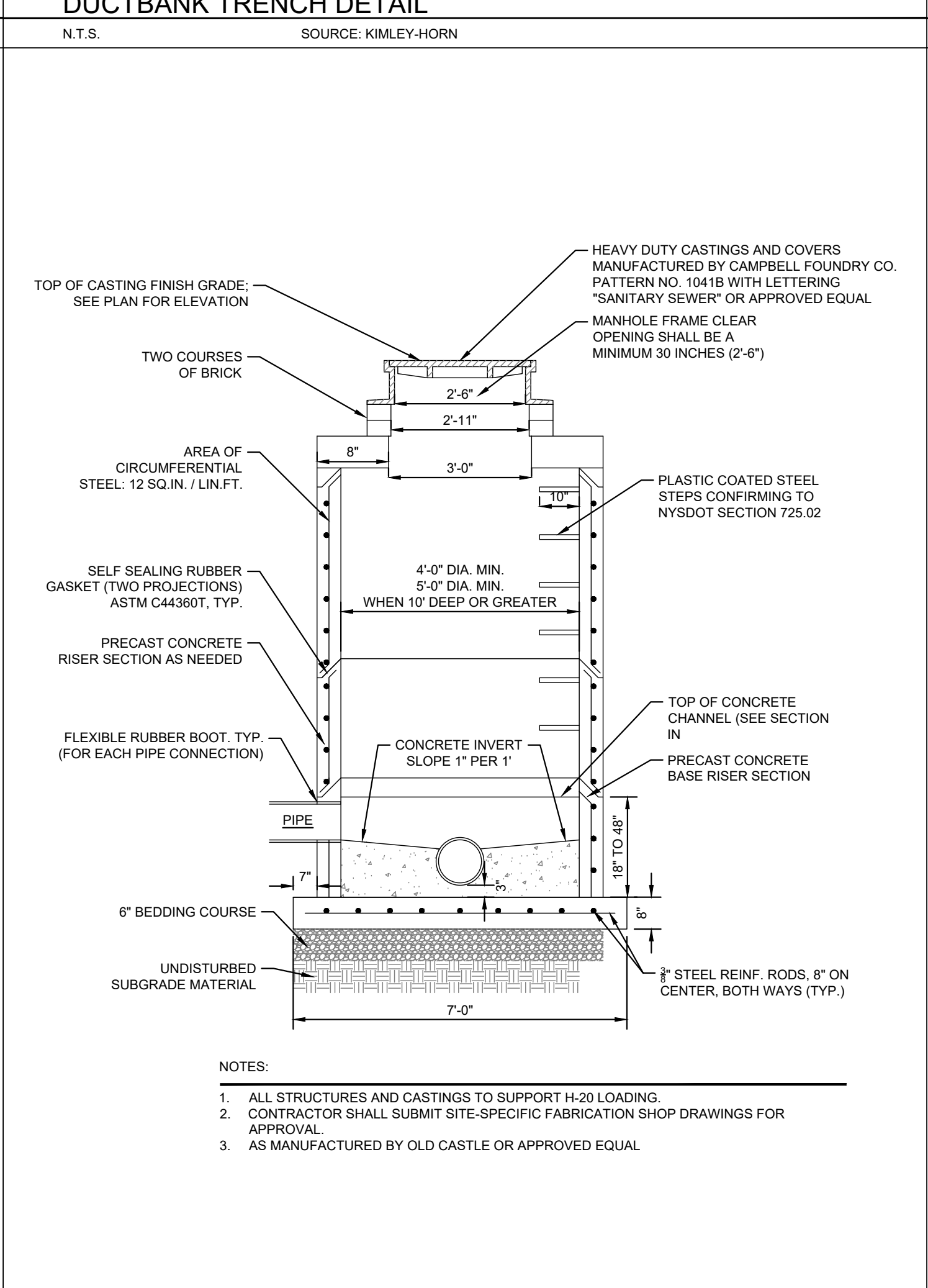
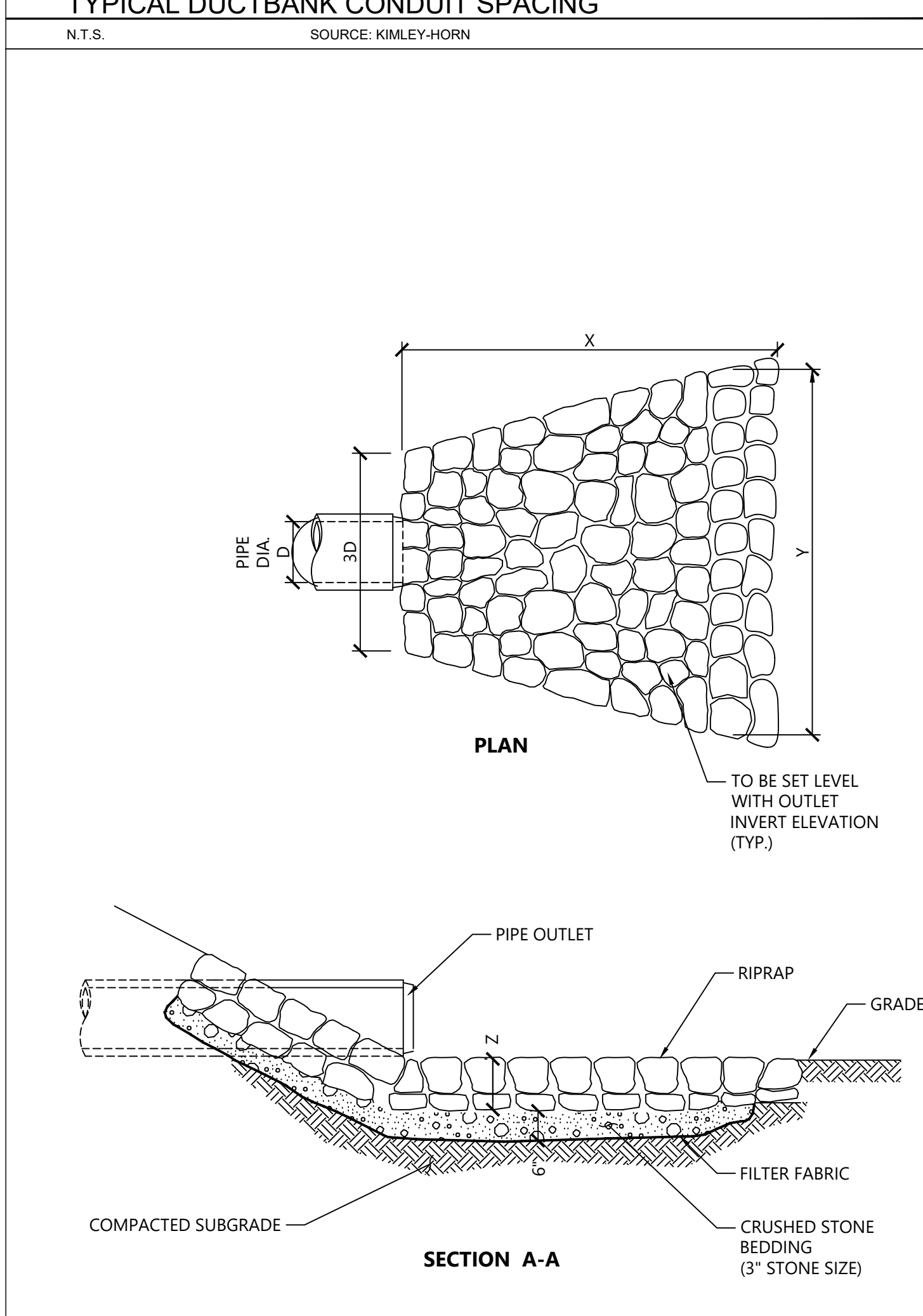
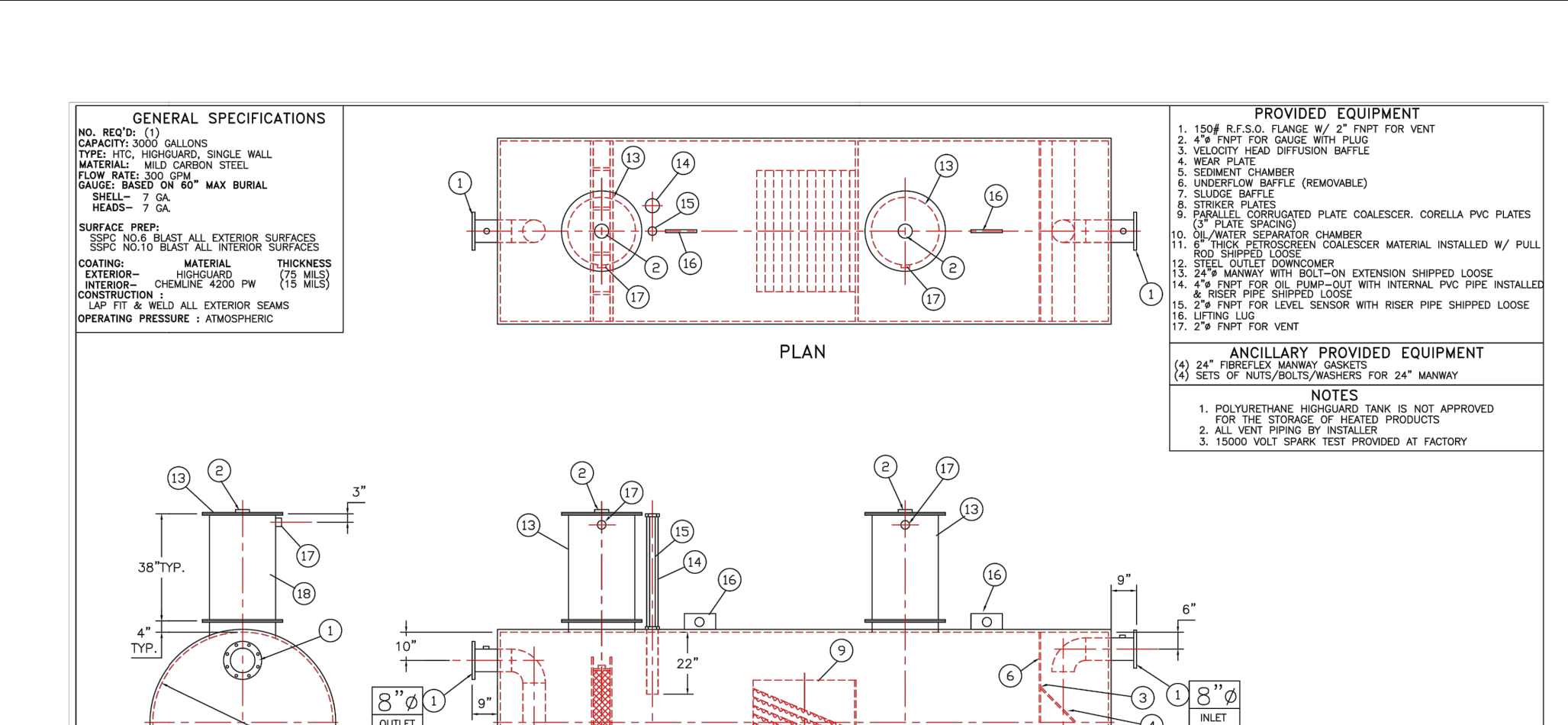
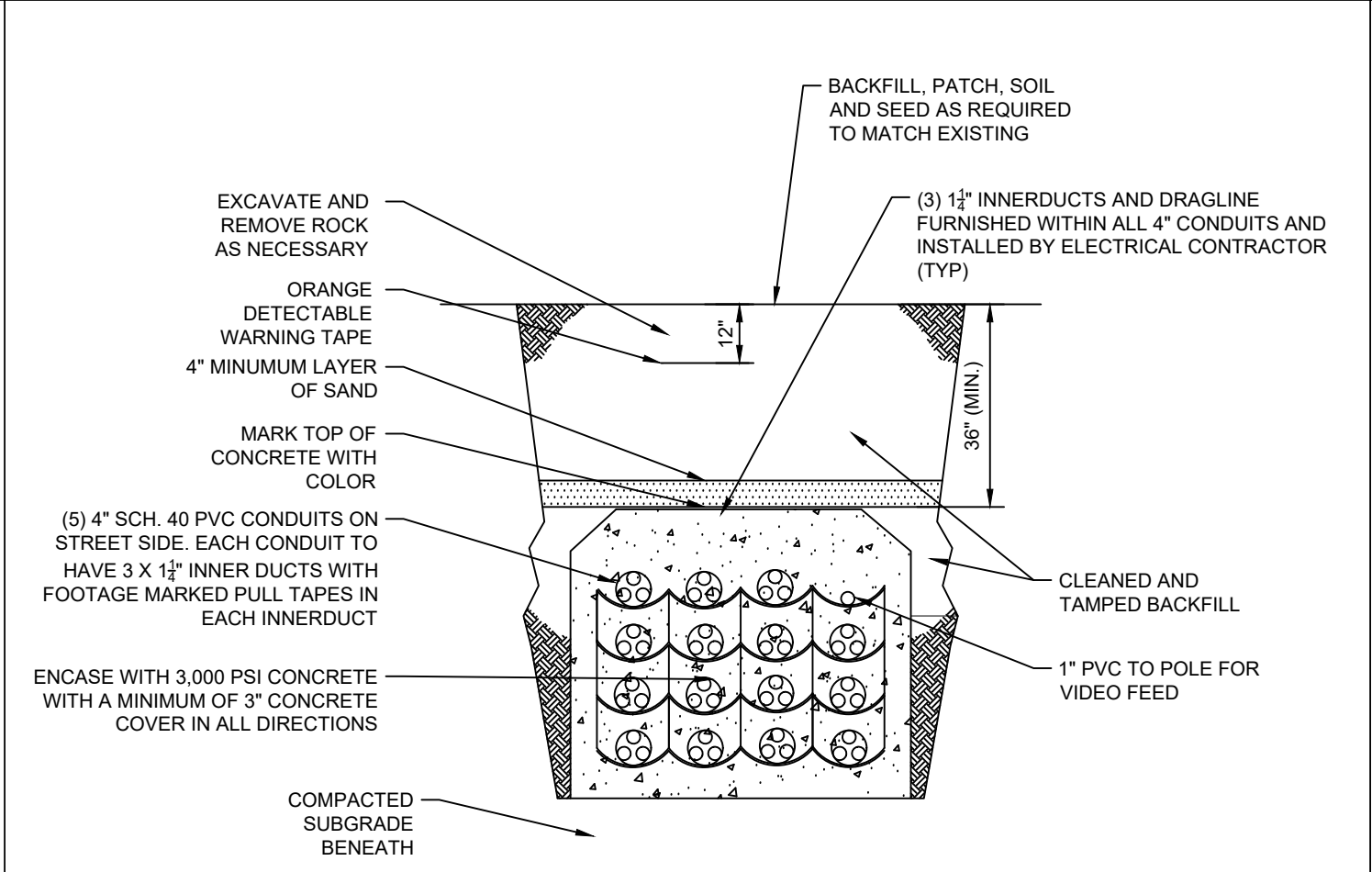
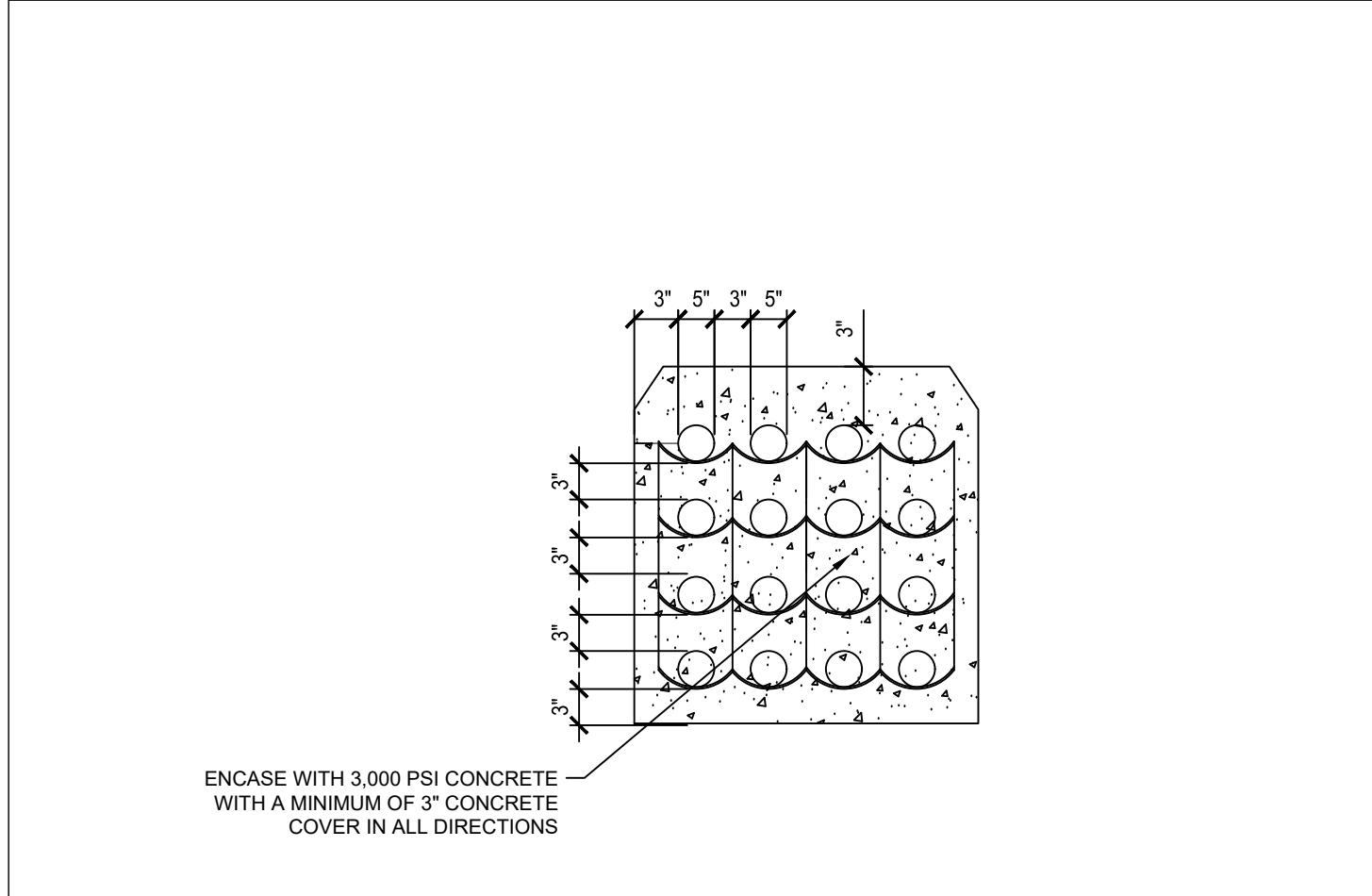
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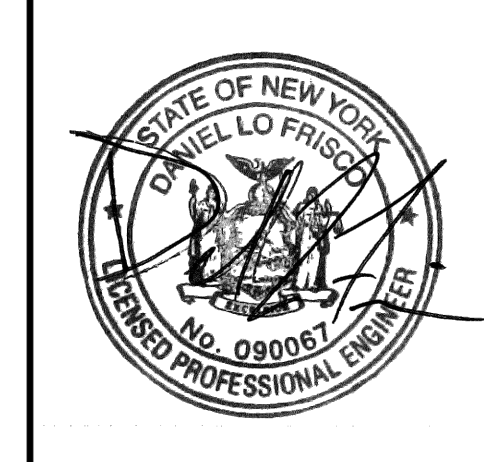


NO.	DATE	BY	REVISIONS
4	09/20/22	KH	ISSUED FOR ACABOR/PLANNING BOARD REVIEW
3	05/13/22	KH	SITE PLAN REVISIONS
2	04/14/22	KH	SITE PLAN SUBMISSION
1	03/29/22	KH	50% DPs
			NO.

**NOT FOR CONSTRUCTION**

**Kimley-Horn**  
 5000 ARLINGTON AVENUE, SUITE 505  
 LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.  
 1 NORTH LEXINGTON AVENUE, SUITE 505  
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**DATABANK**



KIM PROJECT	112117011	DATE	01-27-2022	SCALE	AS SHOWN	BMD	DL
DESIGNED BY:		DRAWN BY:		CHECKED BY:			

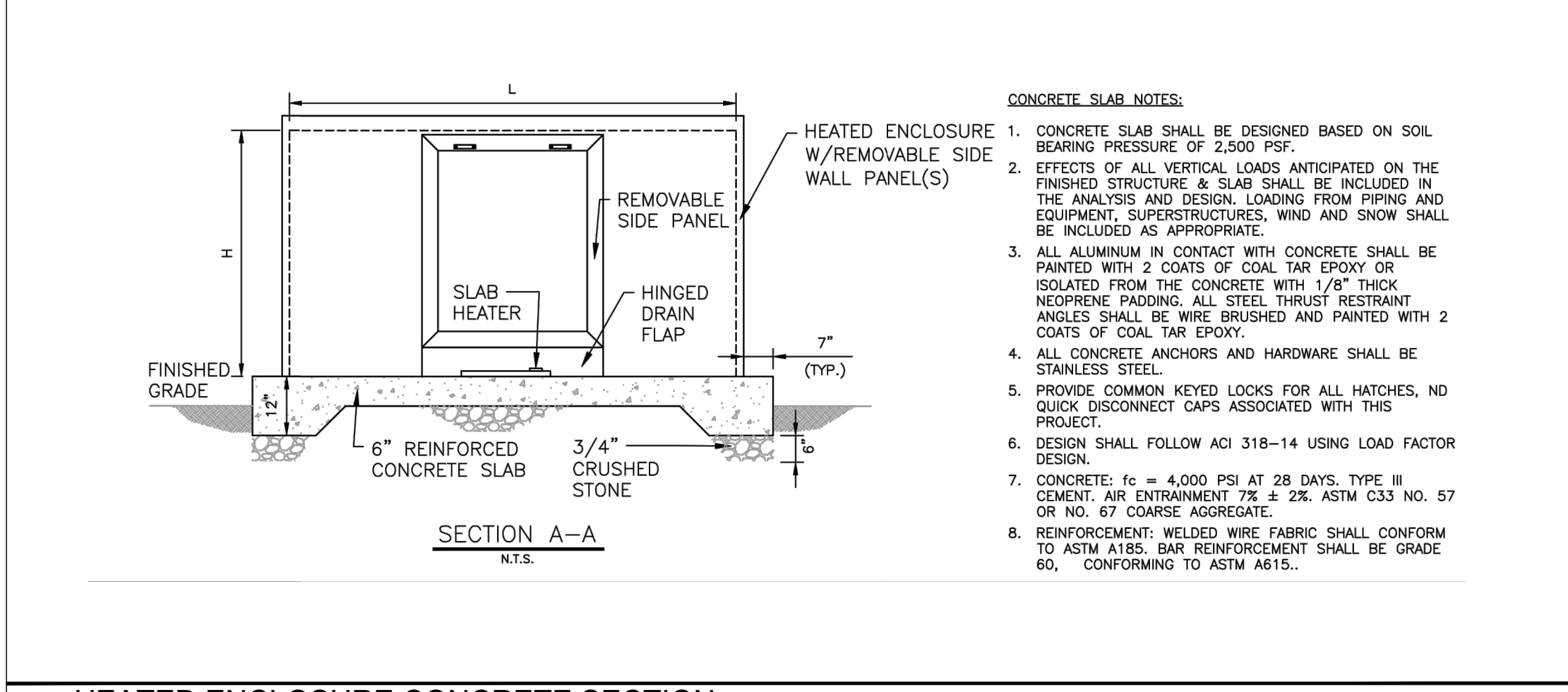
**SITE DETAILS**

**DATABANK ORANGEBURG**  
 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962

NEW YORK  
 TOWN OF ORANGEBURG

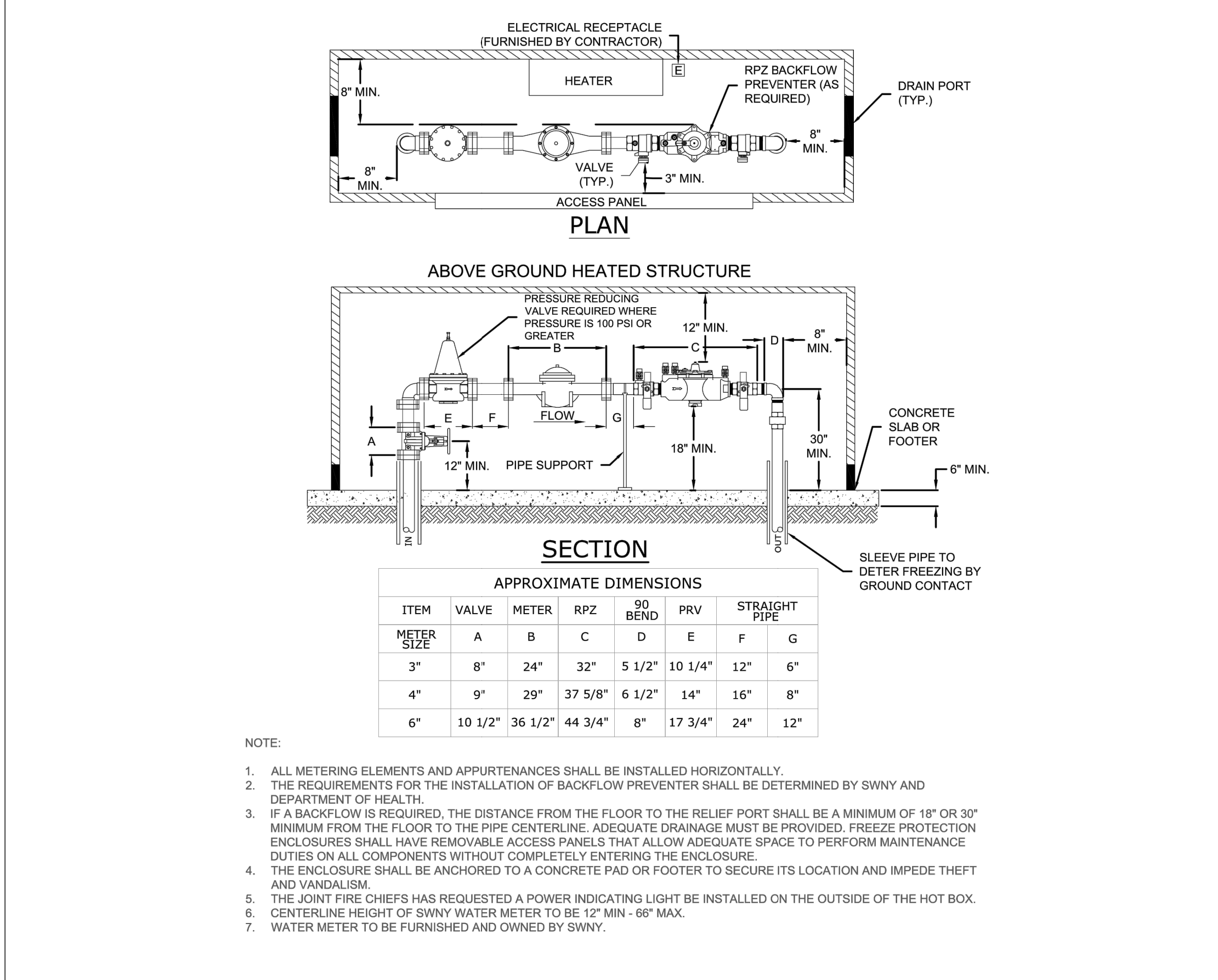
SHEET NUMBER  
**C-8.4**

Saved Thursday, September 15, 2022 9:19:42 PM KIMMY CHEN Plotted Monday, September 19, 2022 8:38:43 PM Chen, Kitty  
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- CONCRETE SLAB NOTES:**
1. CONCRETE SLAB SHALL BE DESIGNED BASED ON SOIL BEARING PRESSURE OF 2,500 PSF.
  2. EFFECTS OF ALL VERTICAL LOADS ANTICIPATED ON THE FINISHED STRUCTURE & SLAB SHALL BE INCLUDED IN THE ANALYSIS AND DESIGN. LOADING FROM PIPING AND EQUIPMENT, SUPERSTRUCTURES, WIND AND SNOW SHALL BE INCLUDED AS APPROPRIATE.
  3. ALL ALUMINUM IN CONTACT WITH CONCRETE SHALL BE PAINTED WITH 2 COATS OF COAL TAR EPOXY OR ISOLATED FROM THE CONCRETE WITH 1/4" THICK NEOPRENE PADDING. ALL STEEL THRUST RESTRAINT ANCHORS SHALL BE WIRE BRUSHED AND PAINTED WITH 2 COATS OF COAL TAR EPOXY.
  4. ALL CONCRETE ANCHORS AND HARDWARE SHALL BE STAINLESS STEEL.
  5. PROVIDE COMMON KEYS FOR ALL HATCHES, NO QUICK DISCONNECT CAPS ASSOCIATED WITH THIS PROJECT.
  6. DESIGN SHALL FOLLOW ACI 318-14 USING LOAD FACTOR DESIGN.
  7. CONCRETE: (f<sub>c</sub> = 4,000 PSI AT 28 DAYS, TYPE III CEMENT, AIR ENTRAINMENT, 7.5 ± .2% ASTM C33 NO. 57 OR NO. 67 COARSE AGGREGATE).
  8. REINFORCEMENT: WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. BAR REINFORCEMENT SHALL BE GRADE 60, CONFORMING TO ASTM A615.

**HEATED ENCLOSURE CONCRETE SECTION**  
N.T.S. SOURCE: AMERICAN WATER

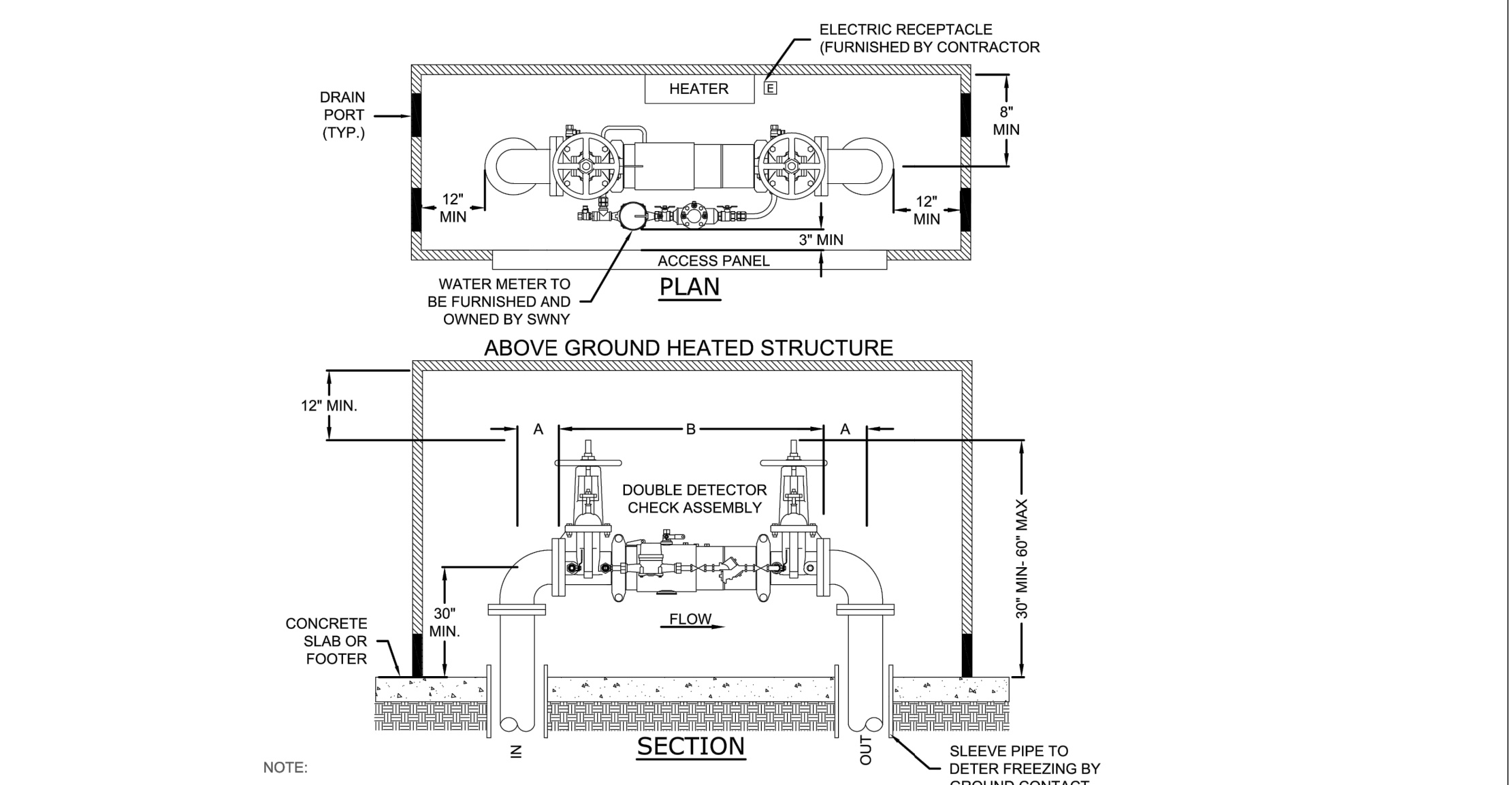


**APPROXIMATE DIMENSIONS**

ITEM	VALVE	METER	RPZ	90 DEG. BEND	PRV	STRAIGHT PIPE		
METER SIZE (IN.)	A	B	C	D	E	F	G	
3"	8"	24"	32"	5 1/2"	10 1/4"	12"	6"	
4"	9"	29"	37 5/8"	6 1/2"	14"	16"	8"	
6"	10 1/2"	36 1/2"	44 3/4"	8"	17 3/4"	24"	12"	

- NOTE:**
1. ALL METERING ELEMENTS AND APPURTENANCES SHALL BE INSTALLED HORIZONTALLY.
  2. THE REQUIREMENTS FOR THE INSTALLATION OF BACKFLOW PREVENTER SHALL BE DETERMINED BY SWNY AND DEPARTMENT OF HEALTH.
  3. IF A BACKFLOW IS REQUIRED, THE DISTANCE FROM THE FLOOR TO THE RELIEF PORT SHALL BE A MINIMUM OF 18" OR 30" MINIMUM FROM THE FLOOR TO THE PIPE CENTERLINE. ADEQUATE DRAINAGE MUST BE PROVIDED. FREEZE PROTECTION ENCLOSURES SHALL HAVE REMOVABLE ACCESS PANELS THAT ALLOW ADEQUATE SPACE TO PERFORM MAINTENANCE DUTIES ON ALL COMPONENTS WITHOUT COMPLETELY ENTERING THE ENCLOSURE.
  4. THE ENCLOSURE SHALL BE ANCHORED TO A CONCRETE PAD OR FOOTER TO SECURE ITS LOCATION AND IMPEDE THEFT AND VANDALISM.
  5. THE JOINT FIRE CHIEFS HAS REQUESTED A POWER INDICATING LIGHT BE INSTALLED ON THE OUTSIDE OF THE HOT BOX.
  6. CENTERLINE HEIGHT OF SWNY WATER METERS TO BE 12" MIN - 60" MAX.
  7. WATER METER TO BE FURNISHED AND OWNED BY SWNY.

**5.03B - 3" TO 6" DOMESTIC SERVICE WITH BACKFLOW ABOVE GROUND HEATED STRUCTURE**  
N.T.S. SOURCE: VEOLIA WATER

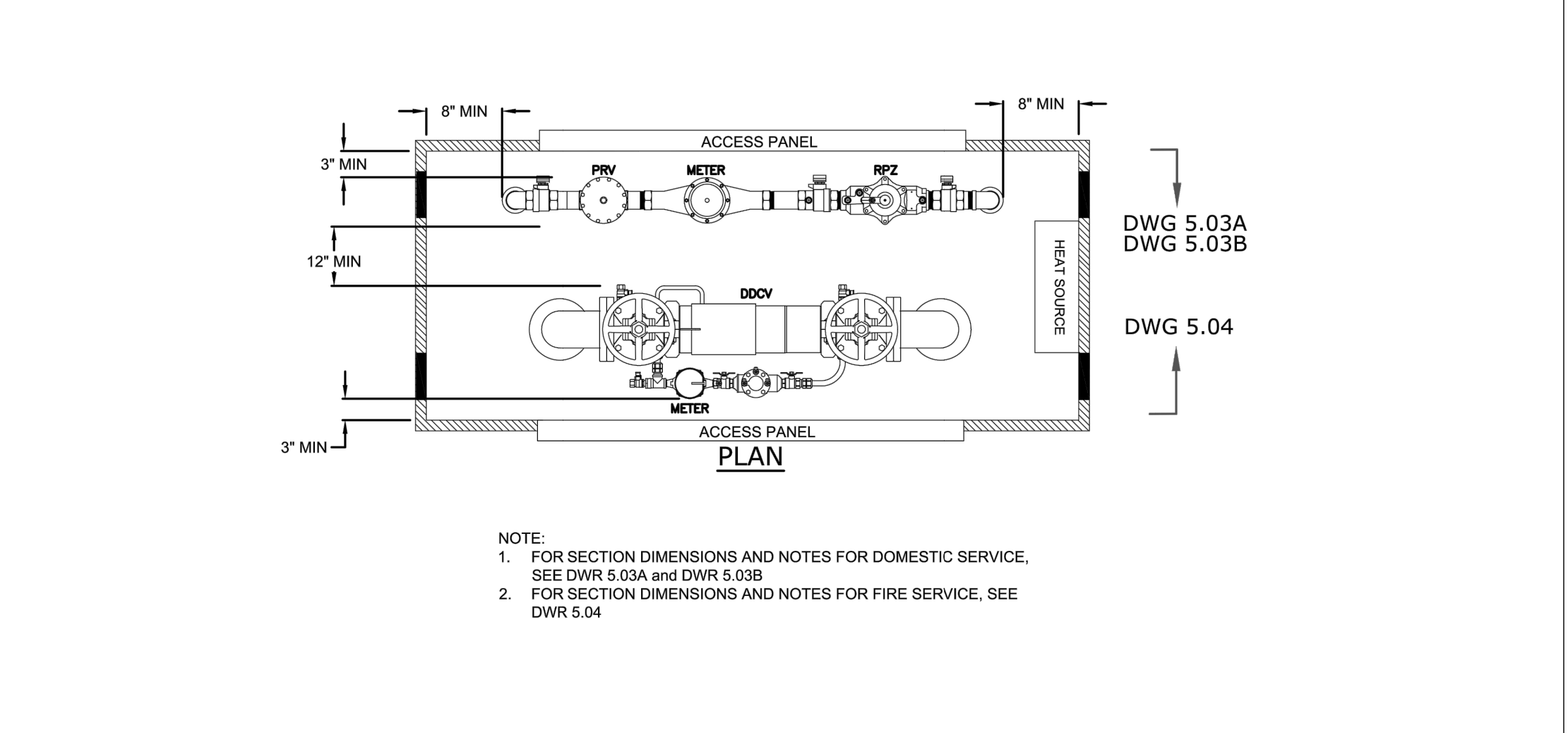


- NOTE:**
1. ALL METERING ELEMENTS AND APPURTENANCES SHALL BE INSTALLED HORIZONTALLY.
  2. THE BYPASS METER SHALL BE FURNISHED AND OWNED BY SWNY. ALL OTHER EQUIPMENT AND APPURTENANCES SHALL BE FURNISHED AND INSTALLED BY THE OWNER.
  3. THE DISTANCE FROM THE FLOOR TO THE PIPE CENTERLINE SHALL BE A 30" MINIMUM.
  4. FREEZE PROTECTION ENCLOSURES SHALL HAVE REMOVABLE ACCESS PANELS THAT ALLOW ADEQUATE SPACE TO PERFORM MAINTENANCE DUTIES ON ALL COMPONENTS WITHOUT COMPLETELY ENTERING THE ENCLOSURE.
  5. THE ENCLOSURE SHALL BE ANCHORED TO A CONCRETE PAD OR FOOTER TO SECURE ITS LOCATION AND IMPEDE THEFT AND VANDALISM.
  6. THE JOINT FIRE CHIEFS HAS REQUESTED A POWER INDICATING LIGHT BE INSTALLED ON THE OUTSIDE OF THE HOT BOX.

**APPROX. DIMENSIONS**

ITEM	90 DEG. BEND	DIAMETER	LENGTH
METER SIZE (IN.)	A	B	
2"	4 1/2"	2"	22 1/2"
3"	5 1/2"	3"	38"
4"	6 1/2"	4"	48"
6"	8"	6"	48 1/2"
8"	9"	8"	52 1/2"
10"	11"	10"	55 1/2"

**5.04 - UP TO 10" FIRE SERVICE ABOVE GROUND HEATED STRUCTURE**  
N.T.S. SOURCE: VEOLIA WATER



- NOTE:**
1. FOR SECTION DIMENSIONS AND NOTES FOR DOMESTIC SERVICE, SEE DWR 5.03A and DWR 5.03B
  2. FOR SECTION DIMENSIONS AND NOTES FOR FIRE SERVICE, SEE DWR 5.04

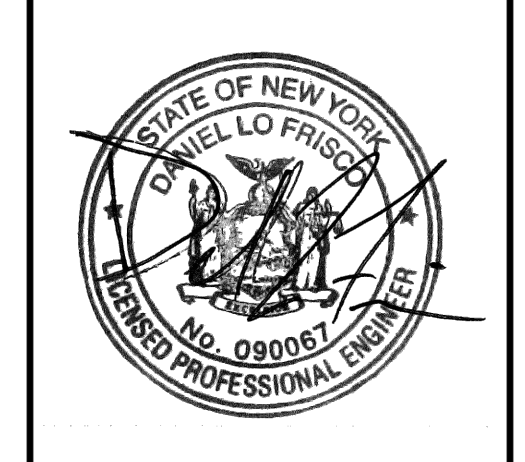
**5.05 DOMESTIC AND FIRE SERVICE ABOVE GROUND HEATED STRUCTURE**  
N.T.S. SOURCE: VEOLIA WATER

NO.	REVISIONS	DATE	BY
4	ISSUED FOR ACABOR/PLANNING BOARD REVIEW	09/20/22	KH
3	SITE PLAN REVISIONS	05/13/22	KH
2	SITE PLAN SUBMISSION	04/14/22	KH
1	50% DPs	03/29/22	KH
	NO.		

**NOT FOR CONSTRUCTION**

**Kimley Horn**  
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**DATABANK**



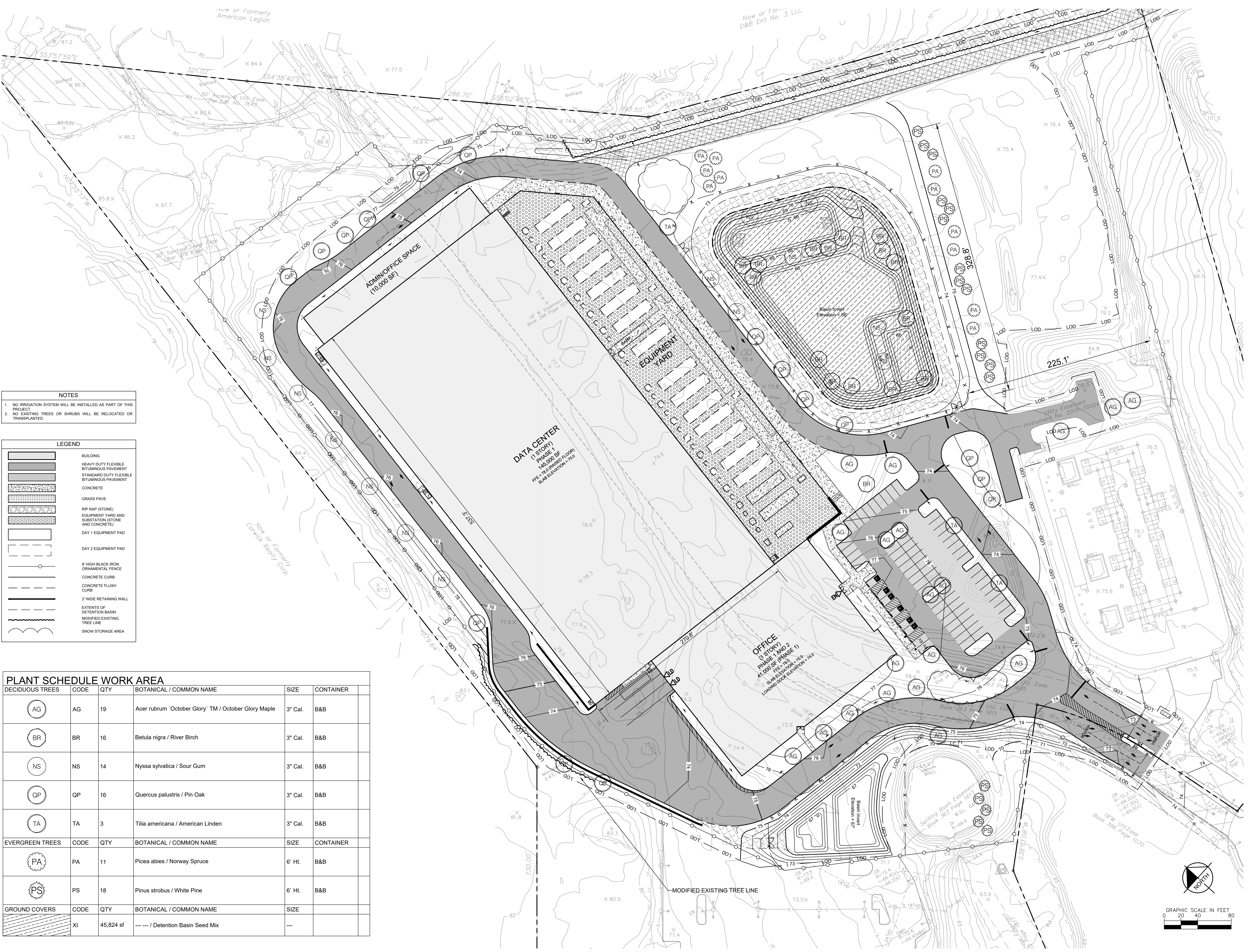
KHA PROJECT	112177011
DATE	01-27-2022
SCALE	AS SHOWN
DESIGNED BY:	
DRAWN BY:	BMD
CHECKED BY:	DL

**SITE DETAILS**

**DATABANK ORANGEBURG**  
 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962  
 TOWN OF ORANGEBURG NEW YORK

SHEET NUMBER  
**C-8.5**

Saved Monday, September 19, 2022 8:25:15 PM KITTY CHEN Plotted Monday, September 19, 2022 8:39:03 PM Chen, Kitty  
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**NOTES**

- NO IRRIGATION SYSTEM WILL BE INSTALLED AS PART OF THIS PROJECT.
- NO EXISTING TREES OR SHRUBS WILL BE RELOCATED OR TRANSPLANTED.

**LEGEND**

[Symbol]	BUILDING
[Symbol]	HEAVY DUTY FLEXIBLE BITUMINOUS PAVEMENT
[Symbol]	STANDARD DUTY FLEXIBLE BITUMINOUS PAVEMENT
[Symbol]	CONCRETE
[Symbol]	GRASS PAVE
[Symbol]	RIP RAP (STONE)
[Symbol]	EQUIPMENT YARD AND SUBSTATION (STONE AND CONCRETE)
[Symbol]	DAY 1 EQUIPMENT PAD
[Symbol]	DAY 2 EQUIPMENT PAD
[Symbol]	8" HIGH BLACK IRON ORNAMENTAL FENCE
[Symbol]	CONCRETE CURB
[Symbol]	CONCRETE FLUSH CURB
[Symbol]	2' WIDE RETAINING WALL
[Symbol]	EXTENTS OF DETENTION BASIN
[Symbol]	MODIFIED EXISTING TREE LINE
[Symbol]	SNOW STORAGE AREA

**PLANT SCHEDULE WORK AREA**

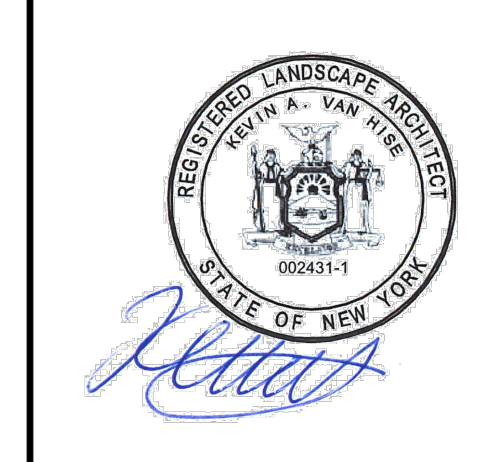
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
AG	AG	19	Acer rubrum 'October Glory' TM / October Glory Maple	3" Cal.	B&B
BR	BR	16	Betula nigra / River Birch	3" Cal.	B&B
NS	NS	14	Nyssa sylvatica / Sour Gum	3" Cal.	B&B
QP	QP	16	Quercus palustris / Pin Oak	3" Cal.	B&B
TA	TA	3	Tilia americana / American Linden	3" Cal.	B&B
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
PA	PA	11	Picea abies / Norway Spruce	6" Ht.	B&B
PS	PS	18	Pinus strobus / White Pine	6" Ht.	B&B
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	
XI	XI	45,824 sf	--- / Detention Basin Seed Mix	---	

NO.	REVISIONS	DATE	BY
4	ISSUED FOR ACABORPLANNING BOARD REVIEW	09/20/22	KH
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2	SITE PLAN SUBMISSION	04/14/22	KH
1	50% DPs	03/29/22	KH
NO.	REVISIONS		

NOT FOR CONSTRUCTION

**Kimley-Horn**  
 KIMLEY-HORN ENGINEERING AND LANDSCAPE ARCHITECTURE OF NEW YORK, P.C.  
 1 NORTH LEXINGTON AVENUE, SUITE 505  
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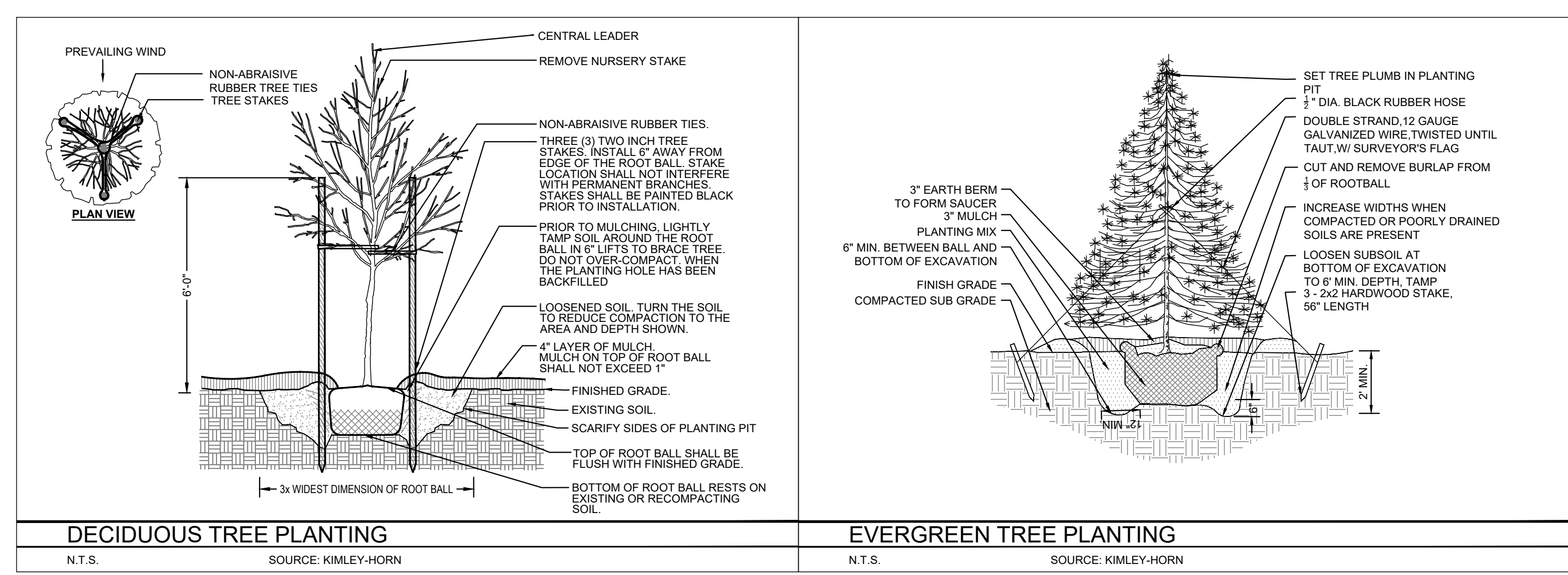
KHA PROJECT	112117011	DATE	01-27-2022	SCALE	AS SHOWN	DESIGNED BY:	BMD	DRAWN BY:	DL	CHECKED BY:	
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**LANDSCAPE PLAN**

**DATABANK ORANGEBURG**  
 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962  
 TOWN OF ORANGEBURG NEW YORK

SHEET NUMBER  
**LA-1.0**

LANDSCAPE NOTES:		SOIL MATERIAL NOTES:	
<p>1. THE LANDSCAPE SUBCONTRACTOR SHALL CERTIFY THAT THE TOPSOIL PROPOSED FOR PLANTING HAS NOT BEEN TREATED WITH PLANT GROWTH OR SEED GERMINATION INHIBITORS WITHIN THE PERIOD OF THE IMMEDIATE OR RESIDUAL EFFECTIVE LIFE OF THE INHIBITORS.</p> <p>2. TESTS AS REQUIRED TO PROVIDE THIS CERTIFICATION SHALL BE PAID FOR BY THE CONTRACTOR OR LANDSCAPE SUBCONTRACTOR.</p> <p>3. THE CERTIFICATION SHALL INCLUDE THE SOURCE OF THE TOPSOIL AND THAT THE MATERIAL DOES NOT CONTAIN RECYCLED MANMADE MATERIALS.</p> <p>4. TOPSOIL: TOPSOIL SHALL BE FERTILE, LOOSE, FRIABLE SOIL MEETING FOLLOWING CRITERIA:</p> <p>a. ANY IMPORTED TOPSOIL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR QUALITY AND USE.</p> <p>b. GRADATION/TEXTURE AS DEFINED BY USDA TRIANGLE OF PHYSICAL CHARACTERISTICS AS MEASURED BY HYDROMETER. SAND: 15 TO 60 PERCENT SILT: 10 TO 60 PERCENT CLAY: 0 TO 20 PERCENT</p> <p>c. STRUCTURE: GRANULAR, CRUMBS OR FINE SUBANGULAR BLOCKY</p> <p>d. SIZE: ONE HUNDRED PERCENT BY WEIGHT SHALL PASS A 1" OPENING AND A 97 TO 100 PERCENT SHALL PASS A 3/8" SIEVE. THERE SHALL NOT BE LESS THAN 20 PERCENT OR MORE THAN 85 PERCENT PASSING A NO. 200 MESH SIEVE AS DETERMINED BY A WASH TEST MADE IN ACCORDANCE WITH THE STANDARD TEST ASTM D1140. ALL TOPSOIL SHALL BE OF GOOD RICH, UNIFORM GRADE, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL.</p> <p>e. ACIDITY/ALKALINITY RANGE: -PH 5.8 TO 7.0</p> <p>f. SOLUBLE SALTS - LESS THAN 200 PPM</p> <p>g. SODIUM ABSORPTION RATIO (SAR) - LESS THAN 3.0</p> <p>h. ORGANIC MATTER: 1.5%-4% BY WEIGHT, 10%-20% BY VOLUME</p> <p>i. DRAINAGE: WELL DRAINED TO MODERATELY WELL DRAINED</p> <p>j. NUTRIENT CONTENT: NORMAL CONTENTS OF NITROGEN, PHOSPHORUS AND POTASSIUM; NO SEVERELY LIMITED NUTRIENTS OR MICRONUTRIENT; NO NUTRIENT OR MICRONUTRIENT IMBALANCE</p> <p>k. CONTAMINANTS: CLEAN AND FREE FROM TOXIC MINERALS AND CHEMICALS, AND NOXIOUS WEEDS, AND OTHER OBJECTIONABLE MATERIALS. NO CONSTRUCTION DEBRIS OR MANMADE RECYCLED MATERIALS.</p> <p>5. TOPSOIL AMENDMENT (LAWN AND PLANTING AREAS): INCORPORATE INTO THE EXISTING OR IMPORTED TOPSOIL AS RECOMMENDED BY THE LANDSCAPE ARCHITECT AND/OR REQUIRED TO REMEDY ANY DEFICIENCIES SHOWN IN SOIL TESTS ANY OF THE FOLLOWING AMENDMENTS TO MEET THE STANDARDS AS SPECIFIED FOR NEW TOPSOIL WITH SPECIFIED RANGES OF PH AS FOLLOWS: GENERAL PLANTING: 5.8- 7.0 LAWNS: 5.8- 6.3 ERICACEOUS PLANTING: 4.5-5.5</p> <p>ACCEPTABLE AMENDMENTS:</p> <p>a. COMMERCIAL FERTILIZER: COMMERCIAL-GRADE COMPLETE FERTILIZER OF NEUTRAL CHARACTER, CONSISTING OF FAST- AND SLOW-RELEASE NITROGEN, 50 PERCENT DERIVED FROM NATURAL ORGANIC SOURCES</p> <p>b. SLOW-RELEASE FERTILIZER: GRANULAR FERTILIZER CONSISTING OF 50 PERCENT FROM INSOLUBLE NITROGEN, PHOSPHORUS AND POTASSIUM.</p> <p>c. LIME: GROUND DOLOMITE LIMESTONE, 95 PERCENT PASSING THROUGH A 100-MESH SIEVE.</p> <p>d. ALUMINUM SULFATE: COMMERCIAL-GRADE UNULDERATED</p> <p>e. SUPER PHOSPHATE: FINELY GROUND PHOSPHATE ROCK AS COMMONLY USED FOR AGRICULTURAL PURPOSES; CONTAINING NOT LESS THAN 18 PERCENT AVAILABLE PHOSPHORIC ACID.</p> <p>f. BONE MEAL: COMMERCIAL RAW BONE MEAL, FINELY GROUND, MINIMUM ANALYSIS OF 1PERCENT NITROGEN AND 18 PERCENT PHOSPHORIC ACID.</p> <p>g. SAND: ASTM C 33, FINE AGGREGATE.</p> <p>6. AMENDED SOIL: FOR USE IN RAIN GARDENS AND GRASS SWALE AREAS. THIS SOIL MATERIAL SHALL BE A UNIFORM MIX OF TOPSOIL, SAND, AND LEAF COMPOST MATERIAL MEETING THE FOLLOWING MATERIAL SPECIFICATIONS: 20%-30% TOPSOIL WITH &lt;5% CLAY CONTENT 50% SAND 20%-30% LEAF COMPOST</p> <p>GRADATION/TEXTURE AS DEFINED BY USDA TRIANGLE OF PHYSICAL CHARACTERISTICS AS MEASURED BY HYDROMETER.</p> <p>7. BIORETENTION PLANTING I FILTER MEDIA: FOR USE IN STORMWATER BIORETENTION FILTERS. THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN 2 INCHES. THE PLANTING I FILTER MEDIA MATERIAL SHALL BE TESTED (1 TEST/PER 100 CY) AND SHALL MEET THE FOLLOWING CRITERIA: PH RANGE: 5.8- 7.0 ORGANIC MATTER: 1.5-4% MAGNESIUM: 35 LB./AC. PHOSPHORUS P205 75 LB./AC. POTASSIUM K20 85 LB./AC. SOLUBLE SALTS NOT TO EXCEED 500 PPM</p> <p>REFER ALSO TO THE PLANTING SOIL MATERIAL SPECIFICATIONS CONTAINED IN THE NYS STORMWATER MANAGEMENT DESIGN MANUAL, DATED AUGUST 2010 OR LATEST REVISION THERETO.</p> <p>8. DRAINAGE COURSE: AGGREGATE LAYER SUPPORTING THE COLLECTION AND TRANSPORTING OF WATER. THE MATERIAL IS TO BE INSTALLED AS DETAILED ON THE DRAWINGS, ABOVE THE PREPARED SUBGRADE IN STORMWATER</p>	<p>BIORETENTION FILTER AREAS AND/OR ABOVE THE SUBGRADE MATERIAL IN RAIN GARDENS, NARROWLY GRADED MIXTURE OF WASHED CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL; ASTM D 448, COARSE-AGGREGATE GRADING AASHTO SIZE 57, WITH 100 PERCENT PASSING A 1-1/2-INCH SIEVE AND 0 TO 5 PERCENT PASSING A NO.8 SIEVE.</p> <p>9. SUBBASE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; NYSDOT TYPE 1SUBBASE COURSE, ITEM 304.11. RECYCLED MATERIAL (BUILDING AND ROAD DEMOLITION MATERIAL AND RECYCLED MATERIAL CONSISTING OF BRICK, CEMENT CONCRETE, OR OTHER MATERIALS) MAY NOT BE USED.</p> <p>10. IMPORTED TOPSOIL - A SAMPLE OF IMPORTED TOPSOIL FROM THE SOURCE PROPOSED FOR USE SHALL BE TESTED AND THE RESULTS AND RECOMMENDATIONS FROM TESTING COPIED TO THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT. IMPORTED TOPSOIL SHALL BE TESTED FOR FERTILITY AND AGRICULTURAL SUITABILITY BY A LABORATORY SUCH AS RUTGERS SOIL TESTING LABORATORY'S TOPSOIL EVALUATION TEST OR OTHER TESTING LABORATORY APPROVED BY THE LANDSCAPE ARCHITECT AND STATE:</p> <p>a. IMPORTED TOPSOIL SHALL MEET MINIMUM SPECIFIED REQUIREMENTS AS SET FORTH IN PART 2 OF THIS SECTION AND BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO DELIVERY TO THE SITE.</p> <p>b. PERFORM A MINIMUM OF ONE (1) TOPSOIL TEST FOR EVERY 100 CY OF IMPORTED TOPSOIL MATERIAL PRIOR TO PLACEMENT OF THE MATERIAL IN THE FIELD.</p> <p>c. EACH ANALYSIS SHALL BE ACCOMPANIED BY THE TESTING AGENCY'S RECOMMENDATIONS FOR QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENTS AND ANY LIMESTONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL AMENDMENT FOR EACH TYPE OF PLANTING MATERIAL.</p> <p>d. SUBMIT REPORT STATING NAME AND LOCATION OF SOURCE OF IMPORTED TOPSOIL AND ACCOUNT OF RECENT USE.</p> <p>e. THE COST OF THE TESTING SHALL BE PAID FOR BY THE OWNER.</p> <p>9. UPON DELIVERY TO THE SITE AND PRIOR TO PLANTING, ALL PLANT MATERIALS SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S REPRESENTATIVE FOR SIZE, VARIETY, CONDITION, DEFECTS OR INJURY.</p> <p>10. ALL REJECTED PLANT MATERIALS SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND REPLACED WITH ACCEPTABLE PLANT MATERIALS.</p> <p>11. REQUESTS FOR SUBSTITUTIONS (INCLUDING PLANTS NOT AVAILABLE) FOR SPECIFIED PLANT MATERIALS WILL NOT BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT. LANDSCAPE SUBCONTRACTOR SHALL REQUEST ALL LANDSCAPING MATERIAL SUBSTITUTIONS IN WRITING.</p> <p>12. DELIVER SOIL, PLANTS, TREES, AND SHRUBS IN HEALTHY AND VIGOROUS CONDITION AND STORE IN LOCATION ON SITE WHERE THEY WILL NOT BE ENDANGERED AND WHERE THEY CAN BE ADEQUATELY WATERED AND KEPT IN HEALTHY AND VIGOROUS CONDITION.</p> <p>13. DO NOT PLANT TREES AND SHRUBS UNTIL MAJOR CONSTRUCTION OPERATIONS ARE COMPLETED AND APPROVED BY THE OWNER.</p> <p>14. COORDINATE INSTALLATION OF PLANTING MATERIALS DURING NORMAL PLANTING SEASONS FOR EACH TYPE OF PLANT MATERIAL REQUIRED. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICE.</p> <p>15. BEFORE PROCEEDING WITH WORK, VERIFY DIMENSIONS AND QUANTITIES. REPORT VARIATIONS BETWEEN THE DRAWINGS AND SITE CONDITIONS IMMEDIATELY TO THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH LANDSCAPE WORK. PLANT TOTALS ARE FOR CONVENIENCE OF CONTRACTOR ONLY AND ARE NOT GUARANTEED. VERIFY AMOUNTS SHOWN ON DRAWINGS.</p> <p>16. MACHINE AND HAND EXCAVATE AS REQUIRED TO PREPARE PLANTING AREAS. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL OR ADVERSE DRAINAGE CONDITIONS, NOTIFY LANDSCAPE ARCHITECT BEFORE PLANTING.</p> <p>17. PLANTS SHALL CONFORM TO REQUIREMENTS OF PLANT LIST AND KEY AS SHOWN ON CONTRACT DOCUMENTS; BE NURSERY GROWN; CONFORM TO THE RELATIONSHIP OF CALIPER, HEIGHT AND ROOT BALL SIZE PER ANSI Z601 STANDARD; BE HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT; BE TYPICAL OF THEIR SPECIES OR VARIETY, WITH A NORMAL HABIT OF GROWTH; BE SOUND, HEALTHY AND VIGOROUS; BE UNIFORMLY AND WELL BRANCHED; FREE OF LARGE Voids, AND DENSELY FOLIATED WHEN IN LEAF; BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE, AND HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS; THE TRUNK AND MAIN BRANCHES SHALL BE FREE OF WOUNDS AND DAMAGED AREAS. TREES WITH BARK INCLUDED WITHIN MAJOR BRANCH UNIONS WILL NOT BE ACCEPTED. TREES WITH ROOT BALLS THAT HAVE BOUND OR GIRDLED ROOTS SHALL BE</p>	<p>REJECTED.</p> <p>a. "NURSERY-GROWN" SHALL MEAN GROWN IN THE NURSERY FROM LINERS OR COLLECTED AND THEN GROWN IN A NURSERY NOT LESS THAN 2 YEARS.</p> <p>b. "HEALTHY, VIGOROUS CONDITION" SHALL MEAN LIVE FOLIAGE OUT TO THE TIPS OF ALL BRANCHES AND STEMS, AND A TRUNK CALIPER THAT IS BIGGER ONE YEAR AFTER PLANTING, THAN AT PLANTING.</p> <p>12. PROVIDE COPIES OF MATERIAL CERTIFICATES SIGNED BY THE SUPPLIER CERTIFYING THAT THE SEED MIXES COMPLY WITH SPECIFIED REQUIREMENTS. THE CERTIFICATE SHALL IDENTIFY BOTANICAL AND COMMON NAMES, PERCENT BY WEIGHT OF EACH SPECIES AND VARIETY, AND PERCENT OF PURITY, GERMINATION AND WEED SEED.</p> <p>13. LANDSCAPE SUBCONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT TO VISIT HORTICULTURAL NURSERIES PROPOSED TO SUPPLY PLANT MATERIAL FOR INSTALLATION AT PROJECT SITE WHERE THE LANDSCAPE ARCHITECT MAY VIEW THE QUALITY OF THE PLANTING MATERIAL AND STORAGE/HOLDING CONDITIONS. DURING THE NURSERY INSPECTION, THE LANDSCAPE ARCHITECT MAY FLAG, TAG OR PHOTOGRAPH SAMPLE THE SELECTED PLANT MATERIAL FOR INSTALLATION AT THE PROJECT SITE. LANDSCAPE ARCHITECT SHALL BE GIVEN A MINIMUM OF THREE (3) DAYS ADVANCED NOTICE OF PLANT DELIVERY TO SITE.</p> <p>14. ALL REJECTED PLANT MATERIALS SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND REPLACED WITH ACCEPTABLE PLANT MATERIALS AT NO ADDITIONAL COST TO THE OWNER. REPLACE DAMAGED PLANTINGS AT NO ADDITIONAL COST TO OWNER.</p> <p>15. THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TWO (2) COPIES OF WRITTEN INSTRUCTIONS RECOMMENDING PROCEDURES TO BE ESTABLISHED BY THE OWNER FOR THE MAINTENANCE OF THE LANDSCAPE WORK FOR ONE (1) FULL YEAR.</p> <p>16. UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT, DECIDUOUS MATERIAL SHALL BE PLANTED FROM MARCH 15 TO MAY 15 AND FROM OCTOBER 15 TO DECEMBER 15 AND EVERGREEN MATERIAL SHALL BE PLANTED FROM APRIL 15 TO MAY 15 AND FROM SEPTEMBER 15 TO NOVEMBER 1.</p> <p>17. WATERING SCHEDULE: LANDSCAPE SUBCONTRACTOR SHALL SUBMIT TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL A SCHEDULE AND METHODOLOGY FOR WATERING PLANTS DURING THE ONE (1) YEAR MAINTENANCE SCHEDULE.</p> <p>18. MAINTAIN WATER, AND PROTECT PLANTINGS UNTIL FINAL ACCEPTANCE BY OWNER.</p> <p>19. ALL PLANT MATERIALS SHALL BE WATERED IMMEDIATELY UPON PLANTING AND THEN WATERED, FERTILIZED, PRUNED, WEEDED, AND MAINTAINED AS REQUIRED TO KEEP PLANT MATERIAL IN A HEALTHY, VIGOROUS CONDITION.</p> <p>20. GUARANTEE TREES, SHRUBS, GROUND-COVER AND OTHER PLANTED MATERIAL AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE PLANTED MATERIAL, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE LANDSCAPE SUBCONTRACTOR'S CONTROL. FINAL DECISIONS REGARDING REPLACEMENT OF PLANTED MATERIAL SHALL BE MADE BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE SUBCONTRACTOR, IF NOT MAINTAINING THE PROPERTY DURING THE GUARANTEE PERIOD SHALL BE RESPONSIBLE FOR MAKING MONTHLY INSPECTIONS AND ISSUING WRITTEN REPORTS TO THE OWNER DETAILING ANY MAINTENANCE PRACTICES HE OBSERVES WHICH WOULD IN ANY WAY NEGATE HIS GUARANTEE OBLIGATION SO THAT CORRECTIVE MEASURES MAY BE TAKEN.</p> <p>21. REPLACEMENT PLANTS UNDER THIS GUARANTEE SHALL BE GUARANTEED FOR ONE (1) FULL GROWING SEASON FROM DATE OF INSTALLATION. PLANT MATERIAL REPLACEMENT, IF REQUIRED, DURING THE GUARANTEE PERIOD.</p> <p>22. ALL PLANT MATERIAL REQUIRED UNDER THIS CONTRACT, DEEMED BY THE LANDSCAPE ARCHITECT TO BE UNSIGHTLY, UNHEALTHY, OR EXCESSIVELY PRUNED, DURING AND AT THE END OF THE GUARANTEE PERIOD, SHALL BE REPLACED OR ADDED AS SOON AS CONDITIONS PERMIT.</p> <p>23. PROVIDE ALL EQUIPMENT AND MEANS FOR PROPER APPLICATION OF WATER TO INSTALLED PLANT MATERIAL FOR THE DURATION OF THE MAINTENANCE PERIOD.</p> <p>24. ALL SEEDED AREAS MUST HAVE 100% COVER OF SEEDED FORBS OR GRASSES AT END OF FIRST FULL GROWING SEASON.</p> <p>25. MULCH</p> <p>a. SEEDED AREAS- STALKS OF OATS, WHEAT, RYE OR OTHER APPROVED CROPS FREE FROM SEED OR NOXIOUS WEEDS.</p> <p>b. PLANT BEDS AND TREE PITS - 100% DOUBLE SHREDDED HARDWOOD BARK MULCH WITH FIBROUS TEXTURE, NATURAL (NO DYE) COLOR.</p> <p>c. BIORETENTION FILTER AREAS - 100% SHREDDED HARDWOOD MULCH AGED SIX (6) TO TWELVE (12) MONTHS.</p>	<p><b>SOIL MATERIAL NOTES:</b> <u>(REFER TO SPECIFICATIONS BY OTHERS FOR COMPLETE SOIL MATERIAL AND EARTHWORK INFORMATION)</u></p> <p>1. GENERAL: PROVIDE BORROW SOIL MATERIAL WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE FROM EXCAVATIONS.</p> <p>2. SATISFACTORY SOILS: SOIL CLASSIFICATION GROUPS GW, GM, SW, AND SP ACCORDING TO ASTM D 2487, OR A COMBINATION OF THESE SOIL GROUPS, FREE FROM ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER.</p> <p>3. UNSATISFACTORY SOILS: SOIL CLASSIFICATION GROUPS SM, SC, CL, ML, OL, CH, MH, OH, AND PT ACCORDING TO ASTM D 2487, OR A COMBINATION OF THESE SOIL GROUPS.</p> <p>3.1. UNSATISFACTORY SOILS ALSO INCLUDE SATISFACTORY SOILS NOT MAINTAINED WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT AT THE TIME OF COMPACTION.</p> <p>4. SUBBASE MATERIAL, NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940, WITH AT LEAST 90 PERCENT PASSING A 1-1/2" (37.5MM) SIEVE AND NOT MORE THAN 5 PERCENT PASSING A NO. 200 (0.075MM) SIEVE.</p> <p>5. BASE COURSE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; NYSDOT ITEM 304.11. RECYCLED MATERIAL (BUILDING AND ROAD DEMOLITION MATERIAL CONSISTING OF BRICK, CEMENT CONCRETE, OR OTHER MATERIALS) MAY NOT BE USED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER.</p> <p>6. ENGINEERED FILL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940, WITH AT LEAST 90 PERCENT PASSING A 1-1/2" (37.5MM) SIEVE AND NOT MORE THAN 12 PERCENT PASSING A NO. 200 (0.075MM) SIEVE.</p> <p>7. BEDDING COURSE: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND; ASTM D 2940, WITH 100 PERCENT PASSING A 1-INCH (25MM) SIEVE AND NOT MORE THAN 0 TO 5 PERCENT PASSING A NO. 8 (2.36MM) SIEVE.</p> <p>8. DRAINAGE COURSE: NARROWLY GRADED MIXTURE WASHED CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL; ASTM D 448; COURSE AGGREGATE GRADING SIZE 57 WITH 100 PERCENT PASSING A 1-1/2 INCH (37.5MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 4 (4.75MM) SIEVE.</p> <p>9. FILTER MATERIAL: NARROWLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL SAND; ASTM D 448; COURSE AGGREGATE GRADING SIZE 67 WITH 100 PERCENT PASSING A 1-INCH (25MM) SIEVE AND 0 TO 5 PERCENT PASSING A NO. 8 (2.36MM) SIEVE.</p> <p>10. TRAP ROCK: NARROWLY GRADED MIXTURE OF WASHED CRUSHED STONE; ASTM D 448; COURSE AGGREGATE GRADING SIZE 1 WITH 100 PERCENT PASSING A 4-INCH (100MM) SIEVE AND 0 TO 15 PERCENT PASSING A 1-1/2 INCH (37.5MM) SIEVE.</p> <p>11. SAND: ASTM C 33; FINE AGGREGATE.</p> <p>12. IMPERVIOUS FILL: CLAYEY GRAVEL AND SAND MIXTURE CAPABLE OF COMPACTING TO A DENSE STATE.</p> <p>13. TOPSOIL: SEE SPECIFICATIONS BY OTHERS</p>
<b>LANDSCAPE NOTES</b>		<b>SOIL MATERIAL NOTES</b>	
N.T.S. SOURCE: KIMLEY-HORN		N.T.S. SOURCE: KIMLEY-HORN	



<b>DECIDUOUS TREE PLANTING</b>	<b>EVERGREEN TREE PLANTING</b>
N.T.S. SOURCE: KIMLEY-HORN	N.T.S. SOURCE: KIMLEY-HORN

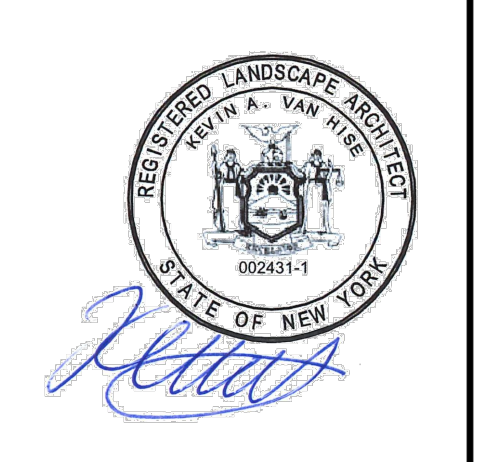
REV	DATE	BY
09/20/22		KH
05/13/22		KH
04/14/22		KH
03/29/22		KH

**NOT FOR CONSTRUCTION**

**Kimley-Horn**

500 WEST 14TH STREET, SUITE 500  
LANSCAPE ARCHITECTURE OF NEW YORK, P.C.  
1 NORTH LEXINGTON AVENUE, SUITE 505  
WHITE PLAINS, NY 10601  
WWW.KIMLEY-HORN.COM

**DATABANK**



KHIA PROJECT	112117011	DATE	01-27-2022	SCALE	AS SHOWN	DESIGNED BY:	BMD	DL
		DRAWN BY:		CHECKED BY:				

**LANDSCAPE DETAILS AND NOTES**

**DATABANK ORANGEBURG**  
2000 CORPORATE DRIVE  
ORANGEBURG, NY 10962

NEW YORK  
TOWN OF ORANGEBURG

NO.	DATE	DESCRIPTION
1	09/20/22	ISSUED FOR ACABOR/PLANNING BOARD REVIEW
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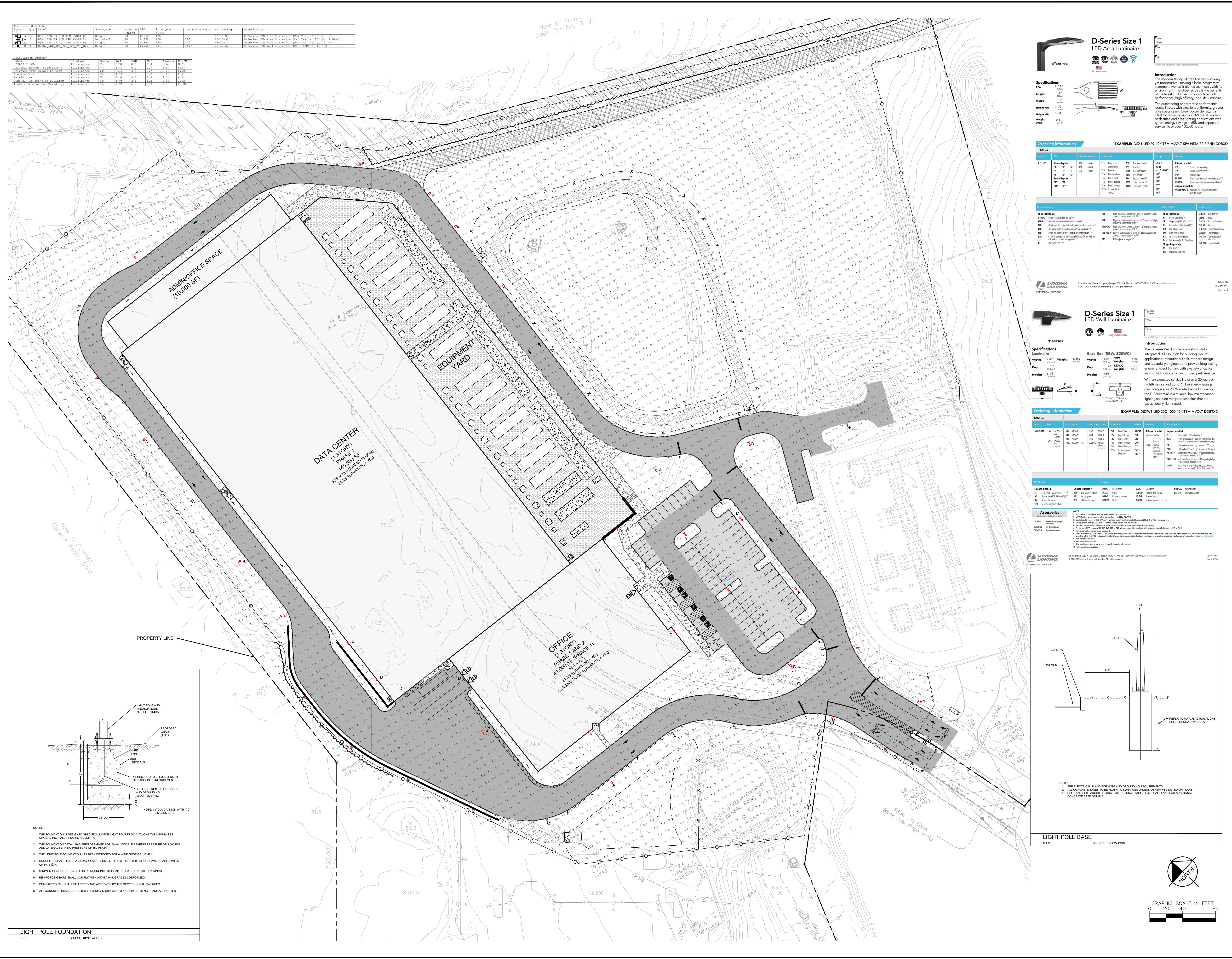
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### D-Series Size 1 LED Area Luminaire

**Specifications:**  
 Length: 35"  
 Width: 13"  
 Height: 13"  
 Weight: 13 lbs

**Ordering Information:**  
 EXAMPLE: DSX1 LED F7 40K T3M MVOLT SPA NITARI2 PIRH-N DDBD

Code	Qty	Part No.	Description	Notes
DSX1	1	DSX1	13" x 35" LED Area Luminaire	

### D-Series Size 1 LED Wall Luminaire

**Specifications:**  
 Length: 13"  
 Width: 13"  
 Height: 13"  
 Weight: 13 lbs

**Ordering Information:**  
 EXAMPLE: DSW1 LED 20C 1000 40K T3M MVOLT DDBD

Code	Qty	Part No.	Description	Notes
DSW1	1	DSW1	13" x 13" LED Wall Luminaire	

### Light Pole Foundation Detail

**Notes:**  
 1. SEE ELECTRICAL PLANS FOR WIRE AND GROUNDING REQUIREMENTS.  
 2. ALL CONCRETE BASES TO BE FLUSH TO SURFACES UNLESS OTHERWISE NOTED ON PLANS.  
 3. REFER TO ARCHITECTURAL, STRUCTURAL, AND ELECTRICAL PLANS FOR ADDITIONAL CONCRETE BASE DETAILS.

### Light Pole Base

**Notes:**  
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### Light Pole Foundation Detail

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### Light Pole Base

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**Kimley-Horn**  
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 1 NORTH LEXINGTON AVENUE, SUITE 505  
 WHITE PLAINS, NY 10601  
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Professional seal of a landscape architect.

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### LIGHTING PLAN

**SCALE:** AS SHOWN  
**DESIGNED BY:** BMD  
**DRAWN BY:** BMD  
**CHECKED BY:** DL

**DATABANK ORANGEBURG**  
 2000 CORPORATE DRIVE  
 ORANGEBURG, NY 10962

**TOWN OF ORANGEBURG**

**SHEET NUMBER**  
 LT-1.0