

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2022 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial <input type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use <input type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input checked="" type="checkbox"/> Residential <input checked="" type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input checked="" type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final <input type="checkbox"/> Interpretation
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PERMIT#: BLDR - 2029-22
ASSIGNED
INSPECTOR: Mike

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Comito - 656 Oak Tree Road (Pool and Cabana)

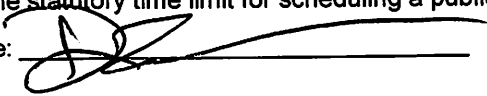
Street Address: 656 Oak Tree Road, Palisades, NY 10964

Tax Map Designation:
 Section: 78.17 Block: 2 Lot(s): 9
 Section: _____ Block: _____ Lot(s): _____

Directional Location:
 On the North side of Oak Tree Road, approximately
200 feet East of the intersection of Swan Street, in the
 Town of Orangetown in the hamlet/village of Palisades.

Acreage of Parcel <u>.52</u> School District <u>S. Orangetown</u> Ambulance District _____ Water District <u>Suez</u>	Zoning District <u>R-40</u> Postal District <u>Palisades</u> Fire District <u>Palisades</u> Sewer District <u>Orangetown</u>
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Project Description: *(If additional space required, please attach a narrative summary.)*
Installation of a 24' x 24' pool and 16' x 18' pool cabana to new single-family residence in process

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
 Date: 9/26/22 Applicant's Signature: 

APPLICATION REVIEW FORM

Applicant: Marc Comito, Comito Homes LLC Phone # 845-216-4001

Address: 87 Sixth Ave. Nyack NY 10960
Street Name & Number (Post Office) City State Zip Code

Property Owner: 656 Oak Tree Road LLC Phone # 845-512-1608

Address: PO Box 605 Palisades NY 10964
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Jay Greenwell Phone # 845-357-0830

Address: 85 Lafayette Ave. Suffern NY 10901
Street Name & Number (Post Office) City State Zip Code

Attorney: Robert S. Knoebel Phone # 845-358-1322

Address: 135 Main Street Nyack NY 10960
Street Name & Number (Post Office) City State Zip Code

Contact Person: Marc Comito Phone # 845-216-4001

Address: 87 Sixth Ave. Nyack NY 10960
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:

Referral Agencies:

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality _____ | |
| <input type="checkbox"/> Other _____ | |

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area No

Are there **streams** on the site? If yes, please provide the names. No

Are there **wetlands** on the site? If yes, please provide the names and type:

No

Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: September 23, 2022

Applicant: Comito

Address: 656 Oak Tree Rd, Palisades

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-40 District, Column 2 Group E, Column 3 SFR, Column 4 Max FAR
15% with 16.59% proposed
1 Variance Required

Section: 78.17

Block: 2

Lot: 9

Dear Comito:


Please be advised that the Building Permit Application, which you submitted on

September 16, 2022, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,


Richard Oliver
Deputy Building Inspector

9/23/22

Signature of Director

NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

Date

CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
 TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.
APPLICATION FOR BUILDING / DEMOLITION PERMIT

TOWN OF ORANGETOWN

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: R-40 OFFICIAL USE ONLY ACREAGE: .46
 Inspector: Mike Date App Received: 09/16/22 Received By: UZ
 Permit No. BLDR2029-22 Date Issued: _____
 CO No. _____ Date Issued: _____
 Permit Fee: 1,482 Ck# 3883 Paid By Comito Homes LLC
 GIS Fee: 20 Ck# _____ Paid By _____
 Stream Maintenance Fee Ck# _____ Paid By _____
 Total 1,502
 Additional Fee: _____ Ck# _____ Date Paid _____ Paid By RECEIVED
 1st 6 mo. Ext.: _____ Ck# _____ Exp. Date: _____ Paid By SEP 16
 2nd 6 mo. Ext.: _____ Ck# _____ Exp. Date: _____ Paid By _____

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application,
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

SCANNED

SEP 19 2022

TOWN OF ORANGETOWN
 BUILDING DEPARTMENT

Property Location: 656 Oak Tree Road, Palisades
 Section: 78.17 Block: 2 Lot: 9
 Property Owner: Comito Homes LLC
 Mailing Address: 87 Sixth Ave, Nyack, NY 10960
 Email: marc@comitohomes.com Phone #: 845-216-4001
 Lessee (Business Name): _____
 Mailing Address: _____
 Email: _____ Phone #: _____
 Type of Business / Use: Residential - New Construction
 Contact Person: Marc Comito Relation to Project: Builder
 Email: marc@comitohomes.com Phone#: 845-216-4001
 Architect/Engineer: George Palladino NYS Lic# 028058
 Address: 28 East St. West Nyack, NY Phone#: 201-240-5987
 Builder/General Contractor: Comito Homes LLC RC Lic # H-18206
 Address: 87 Sixth Ave, Nyack NY 10960 Phone#: 845-216-4001
 Plumber: EMFO Contractors RC Lic # P-804
 Address: 136 Orange Tpk, Sloatsburg Phone#: 845-753-6250
 Electrician: Bilco Electrical Contractors RC Lic #: E-313
 Address: 12 Sunrise Hwy, New City, NY Phone#: 845-638-9137
 Heat/Cooling: _____ RC Lic#: _____
 Address: _____ Phone#: _____
 Existing use of structure or land: Vacant Land / New Home In Process
 Proposed Project Description: Pool and cabana
 Proposed Square Footage: 288 Estimated Construction Value (\$): 75,000

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____

PERMIT REFERRED / DENIED FOR:

Chapter 12, Section 12-4 Paragraph A requires HABR approval
Chapter 43, Table 3.12, Column 1 = R-40, Column 2 = Group E, Column 3 =
SRP, Column 4 = Max PAD 15% with 16.59% proposed - 1 Variance Required

Aristoxia
B. Smith 9/29/22

FOR OFFICE USE ONLY SECTION BLOCK LOT NAME PERMIT#

APPLICATION REVIEW FORM

AFFIDAVIT

State of New York)

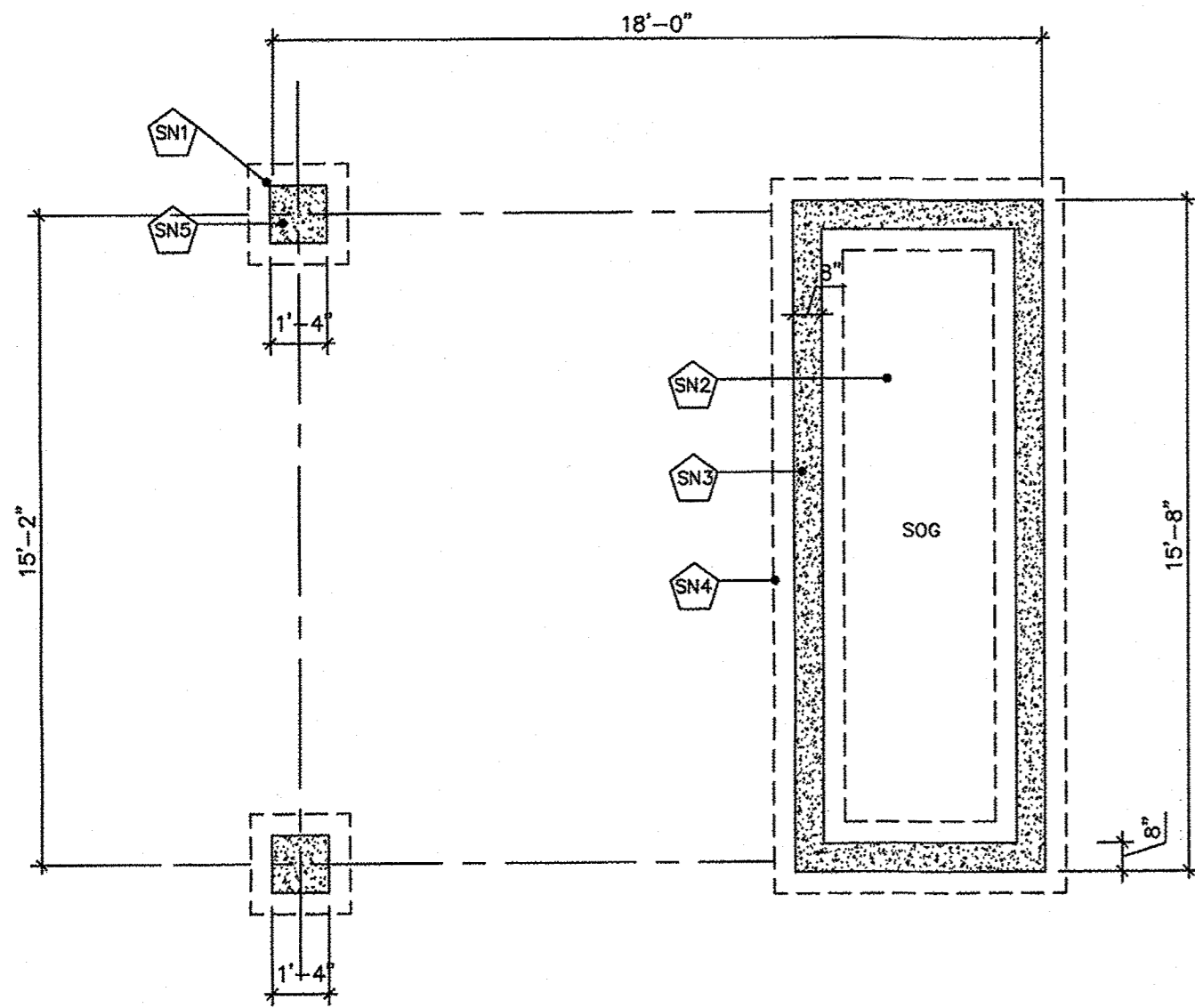
County of Rockland) SS.:

Town/Village of Orangetown/Palisades

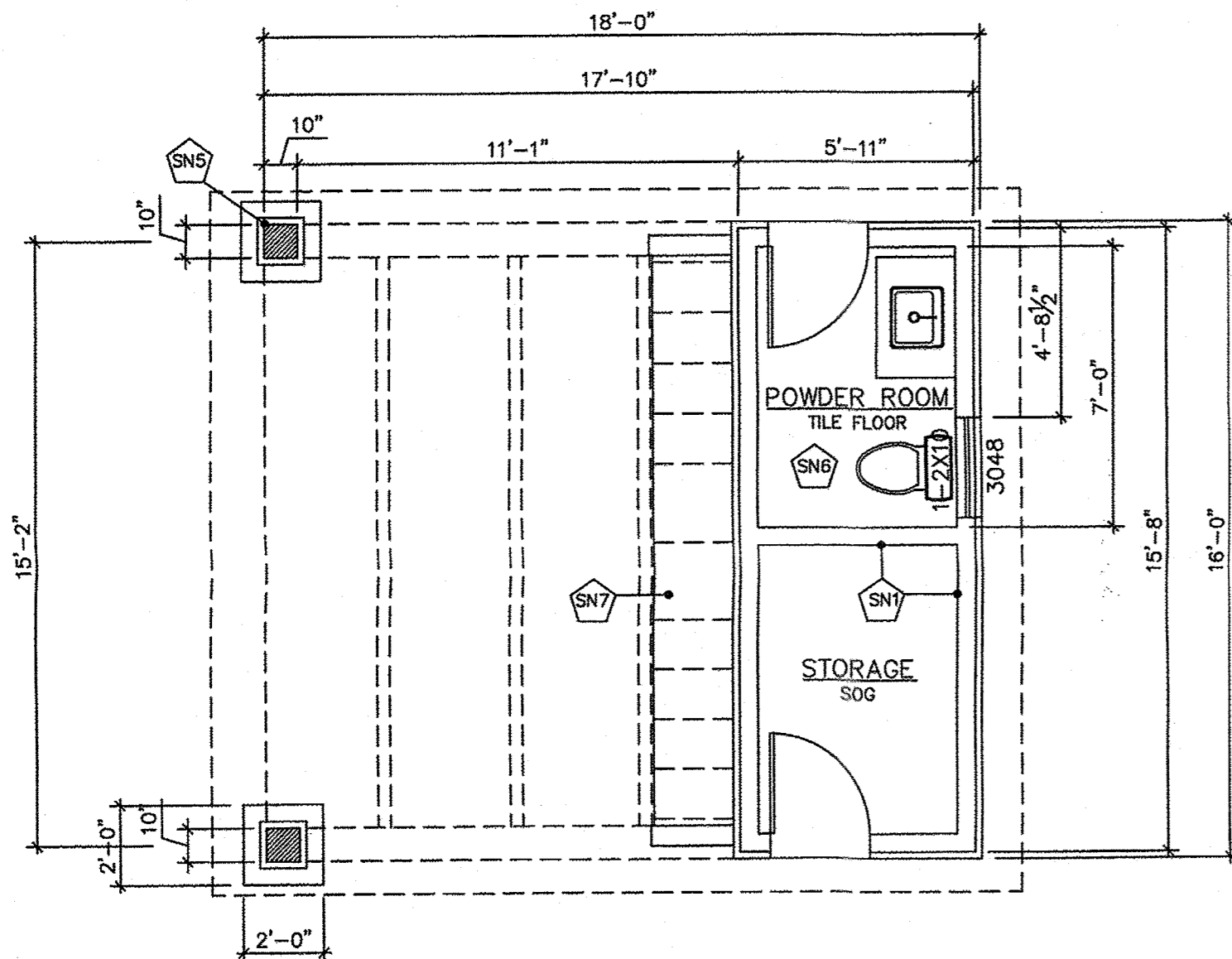
I, Dylen Comito being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the HABR(*board*) in the town/village of Orangetown/Palisades affecting property located at 656 Oak Tree Rd, Palisades, Rockland County, New York.

That the following are all of the owners of property 200 ft___(*distance*) from the premises as to which this application is being taken.

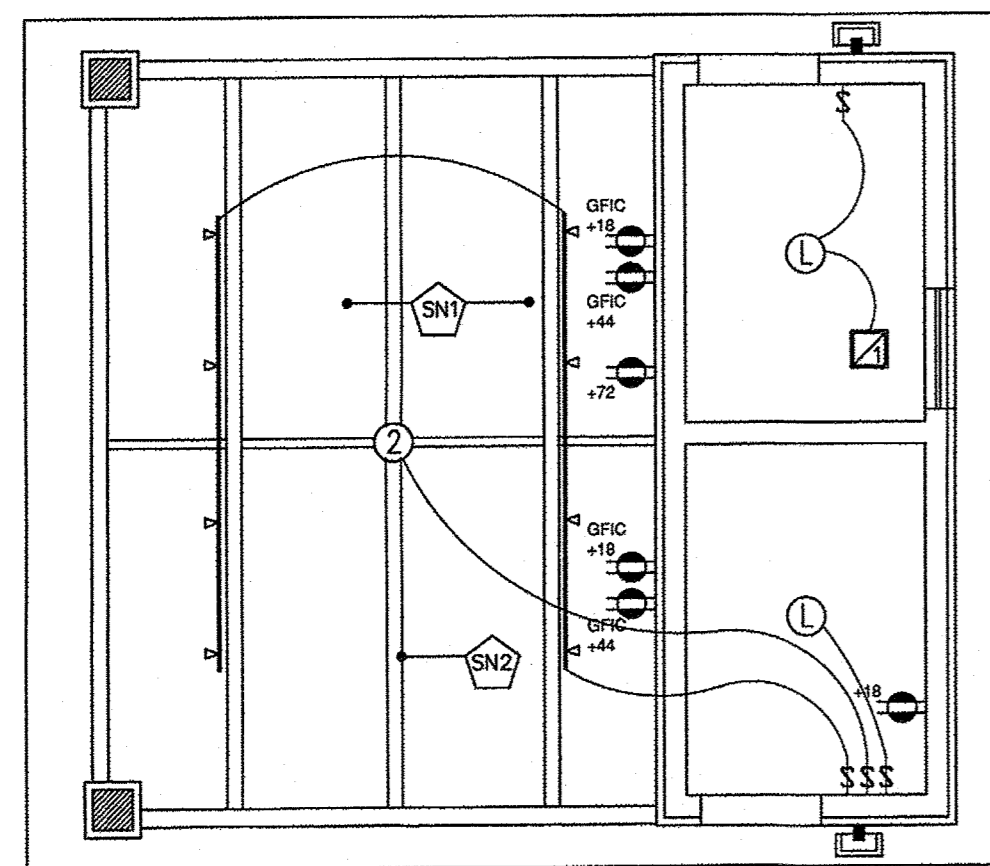
<u>SECTION-BLOCK-LOT</u>	<u>NAME</u>	<u>ADDRESS</u>
78.17-2-4	David Wolk	P.O. Box 65, Palisades, NY 10964
78.17-2-5	Sabrina Kraus	652 Oak Tree Rd, Palisades, NY 10964
78.17-2-6	Richard Rasmussen	644 Oak Tree Rd, Palisades, NY 10964
78.17-2-7	Eric Moser	P.O.. Box 679, Palisades, NY 10964
78.17-2-8	Hey Hoe Woods Residential Trust Kimberly Seaman	P.O.Box 646, Palisades, NY 10964
78.17-2-9	656 Oak Tree Rd LLC	P.O. Box 605, Palisades, NY 10964
78.17-2-10	Thomas F O'Connell	P.O. Box 605 Palisades, NY 10964
78.17-2-11	Michael Fox	664 Oak Tree Rd, Palisades, NY 10964
78.17-2-12	Guy Raoul	668 Oak Tree Rd, Palisades, NY 10964
78.17-2-14	Lyn Fowler	5 Heyhoe Woods Rd, Palisades, NY 10964
78.17-2-34	Dorian Tunell	P.O. Box 591, Palisades, NY 10964
78.17-2-35	Abhineet Soni	43 Carroll St, Brooklyn, NY 11231
78.17-2-36	Keizo Tsukada	639 Oak Tree Rd, Palisades, NY 10964
78.17-2-37	Roberta M Smith	645 Oak Tree Rd, Palisades, NY 10964
78.17-2-48	Sara Pir-Levesque	14 Swan St, Palisades, NY 10964
78.17-2-49	Eric Y Levesque	16 Swan St, Palisades, NY 10964
78.17-2-50	Amy Greenberg-Gordon	2 Post Ln, Palisades, NY 10964
78.17-2-60	Sean A Genovese	625 Oak Tree Rd, Palisades, NY 10964



(A) FOUNDATION PLAN
 AI 1/4" = 1'-0"



(B) FLOOR PLAN
 AI 1/4" = 1'-0"



(C) ELECTRICAL/RCP PLAN
 AI 1/4" = 1'-0"

FOUNDATION SHEET NOTES (SN):

1. NEW 28" WIDE X 12" DEEP CONCRETE FOOTING ON UNDISTURBED EARTH REINFORCED WITH 2 - #4 REBARS CONTINUOUS. SET FOOTING MINIMUM 36" BELOW GRADE. TYPICAL.
2. NEW 4" THICK 3000PSI CONCRETE SLAB REINFORCED WITH 6X6 #8 WWF OVER 4 MIN POLY VAPOR BARRIER OVER 4" CRUSHED STONE ON COMPACTED FILL.
3. NEW 8" CONCRETE FOUNDATION WALL ON CONCRETE FOOTING. SET FOOTING MINIMUM 36" BELOW GRADE. TYPICAL.
4. 24" W X 12" DEEP CONCRETE FOOTING ON UNDISTURBED SOIL. SET FOOTING MINIMUM OF 36" BELOW GRADE.
5. 16" X 16" CONCRETE FOUNDATION

FLOOR PLAN SHEET NOTES (SN):

1. 2X6 EXTERIOR STUD WALL. SPACE STUDS AT 16" OC. FINISH STUD WALLS WITH 3/8" GYPSUM BOARD THROUGHOUT.
2. INSTALL 3/8" GYPSUM BOARD OVER 2X4 STUDS 16" OC AT INTERIOR WALLS THROUGHOUT.
3. PRIME ALL EXTERIOR GYPSUM BOARD WALL & CEILING SURFACES WITH BENJAMIN MOORE VAPOR BARRIER PRIMER SEALER 2060.
4. PROVIDE AND INSTALL SIMPSON STRONG-TIE (SST) HANGERS FOR ALL JOIST TO BEAM CONNECTIONS.
5. 6X6 TREATED STRUCTURAL POST. INSTALL WITH SIMPSON STRONG TIE ABU POST BASES AND BCS POST CAPS AT POST TO GIRDER CONNECTION.
6. INSTALL MOLD RESISTANT GYPSUM BOARD IN BATHROOM WALLS AND CEILING.
7. WHITE QUARTZ COUNTER

FINISH NOTES

1. INSTALL NEW 3" PRIMED TRIM AROUND ALL WINDOWS AND DOORS.
2. INSTALL NEW INTERIOR 4" BASE TRIM.
3. CERAMIC AND STONE TILE FLOORS SHALL BE THIN-SET ON SOUND SUB-FLOORING. BATHROOM TILE FLOOR SHALL BE THIN SET ON CONCRETE SLAB.
4. BATHROOM WALL BASE SHALL BE TILE TO MATCH THE FLOOR.
5. ALL DOOR HARDWARE TO MATCH EXISTING UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL PURCHASE AND INSTALL ALL REQUIRED HARDWARE FOR A COMPLETE AND PROPER INSTALLATION.
6. FINISH HARDWARE, LIGHTING FIXTURES, AND SWITCH PLATES SHALL BE PROTECTED OR REMOVED BEFORE PAINTING IS STARTED AND SHALL BE REPLACED AFTER PAINTING IS COMPLETED.
7. ALL NEW SURFACES TO RECEIVE FINISHES SHALL BE PROPERLY PREPPED IN STRICT ACCORDANCE TO THE PAINT AND FINISH MANUFACTURERS SPECIFICATIONS.
8. ALL PAINTING SHALL CONSIST OF ONE PRIME COAT OVER NEW MATERIAL AND TWO FINISH COATS. WALLS AND CEILINGS ARE TO RECEIVE A FLAT FINISH. ALL DOORS, WOODWORK AND TRIM TO BE PAINTED SHALL RECEIVE A SEMI-GLOSS ENAMEL. ALL PAINTING SHALL BE SANDED BETWEEN COATS. COLORS TO BE SELECTED BY OWNER.
9. ALL KITCHEN CABINETS AND SHELVING TO BE PROPERLY SUPPORTED.

REFLECTED CEILING PLAN SHEET NOTES (SN):

1. AZEK BEADBOARD CEILING 3/4" X 6-1/8"
2. (2) 2X8 COLLAR BEAMS W/AZEK TRIM

PLUMBING NOTES:

1. ALL PLUMBING WORK SHALL CONFORM TO THE STANDARDS OF NEW YORK BUILDING CODE AND NEW YORK STATE WATER SUPPLY, GAS, AND ELECTRICITY AND ALL OTHER AGENCIES HAVING JURISDICTION.
2. THE PLUMBER SHALL OBTAIN ALL PERMITS, INSURANCE ETC RELATED TO HIS WORK UNDER THIS APPLICATION AS REQUIRED FOR COMPLETION OF WORK.
3. ALL WORK TO BE DONE BY A PLUMBER LICENSED IN NEW YORK.
4. ALL PIPING IS TO BE CONCEALED IN WALLS, SOFFITS OR HUNG CEILINGS AND SHALL NOT BE EXPOSED TO VIEWS, UNLESS SO NOTED.
5. SANITARY WASTE AND VENT PIPING SHALL BE HUB-LESS CAST IRON, SERVICE WEIGHT ASTM-A-74 MANUFACTURED AND INSTALLED IN ACCORDANCE WITH C.I.S.P.I.
6. WATER PIPING SHALL BE TYPE "K" OR "L" COPPER ASTM-B-88 WITH (95-5) SOLDERED JOINTS.
7. ALL PIPING THROUGH FIRE-RATED WALLS, SLABS, ETC SHALL HAVE STEEL SLEEVES EXTENDING 2" ABOVE THE FLOOR. THE SPACE BETWEEN THE PIPES AND THE SLEEVES SHALL BE PACKED TO A DEPTH OF NOT LESS THAN 1" FROM EITHER SIDE WITH ROCK WOOL, AFTER ROCK WOOL HAS BEEN INSTALLED AROUND THE PIPES, A 26 GAUGE SHEET METAL COLLAR SHALL BE SECURED AROUND THE PIPE TO INSURE TIGHTNESS.
8. COLD WATER AND HOT WATER PIPING SHALL BE INSULATED WITH FIBERGLASS INSULATION WITH FACTORY APPLIED ALL-SERVICE JACKET SECURED IN PLACE WITH SELF SEATING LAPS. FITTINGS SHALL BE INSURED WITH PREMOULDED PVC COVERS SECURED IN PLACE WITH STAINLESS STEEL TACKS.
9. COLD WATER: 3/4"
10. HOT WATER & HOT RETURN: 1/2"
11. CONTRACTOR SHALL REMOVE ALL UNUSED AND UNNECESSARY PIPING AND SHALL PROVIDE NEW AS SHOWN ON PLANS.
12. EXISTING PIPING SHALL BE MODIFIED AS REQUIRED TO PROVIDE A COMPLETE SYSTEM.
13. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND APPROVALS ON ALL OF HIS WORK FROM ALL LOCAL AUTHORITIES AND COMPLY WITH ALL STATE AND LOCAL REQUIREMENTS.
14. ALL INTERIOR WATER PIPES SHALL BE TYPE L COPPER PIPE WITH HARD DRAWN PLAIN ENDS. IN ACCORDANCE WITH ASTM SPECIFICATIONS, OR PEX INSTALLED ACCORDING TO THE MANUFACTURERS SPECIFICATIONS. FITTINGS FOR COPPER PIPES SHALL BE THOROUGHLY CLEANED AND FITTED. SOLDERING AND PRESSURE TESTED BEFORE BLOCKING OVER OR BURYING. ALL COPPER WATER SERVICE PIPING PLACED BELOW CONCRETE SLABS OR IN CRAWL SPACES SHALL BE INSULATED AND PROTECTED FROM ADJACENT MATERIALS.

NOTE:

SUBSTITUTIONS OR CHANGES OF ANY SORT WITHOUT THE APPROVAL OF THE DEPARTMENT OF BUILDINGS MAY EFFECT LIFE SAFETY AND THE ABILITY TO OBTAIN SIGNOFFS AND A CERTIFICATE OF OCCUPANCY.

MASONRY AND CONCRETE

1. ALL CONCRETE SHALL BE PLACED FOLLOWING THE ACI PROCEDURES. CONCRETE FOR FOOTINGS AND WALLS SHALL BE 3000 PSI DESIGN MIX IN ACCORDANCE WITH ACI. THE CONCRETE SHALL ATTAIN ITS MAXIMUM STRENGTH AT 28 DAYS. SLUMP SHALL BE 4" FOR FOOTINGS AND FOUNDATION WALLS.
2. CONCRETE FOR SLABS SHALL BE 4000 PSI DESIGN MIX IN ACCORDANCE WITH ACI. PROVIDE 6X6 WWF REINFORCING IN 4" SLABS.
3. NO CONCRETE SHALL BE PLACED WHEN THE AMBIENT TEMPERATURE IS BELOW 35 DEGREES F OR BELOW 40 DEGREES ON A FALLING TEMPERATURE, UNLESS SPECIAL PROVISIONS ARE MADE AND APPROVED FOR TEMPORARY HEAT THAT WILL MAINTAIN A TEMPERATURE OF 40 DEGREES F, DURING AND AFTER PLACEMENT FOR A PERIOD OF 48 HOURS. NO FROZEN WORK WILL BE ACCEPTED.
4. CONCRETE THAT IS PLACED IN TEMPERATURES ABOVE 60 DEGREES F SHALL BE PROTECTED AGAINST RAPID DRYING AND MOISTURE LOSS IN ACCORDANCE WITH ACI.
5. REINFORCING RODS SHALL CONFORM TO ASTM SERIAL DESIGNATION #615-80; DEFORMED AND ROLLED FORM NEW BILLET STEEL. SET ALL REINFORCING FOR INSPECTION BEFORE PLACING CONCRETE.
6. ALL FORMS SHALL BE PROPERLY BRACED, TIED AND SUPPORTED DURING AND AFTER PLACEMENT OF CONCRETE. USE FORM RELEASE AGENTS WHICH WILL NOT TRANSFER TO THE CONCRETE. THE CONCRETE FORMS SHALL NOT BE STRIPPED UNTIL 48 HOURS AFTER PLACING CONCRETE.
7. BACKFILL MAY PROCEED WHEN THE CONCRETE HAS ATTAINED 75% OF ITS FINAL STRENGTH.
8. ALL CONCRETE BLOCK SHALL BE LOAD BEARING UNITS OF 1500 PSI MINIMUM. HORIZONTAL REINFORCING SHALL BE TRUSS TYPE PLACED EVERY SECOND COURSE.
9. STORE ALL UNITS OFF OF THE GROUND TO PREVENT CONTAMINATION.
10. BLOCK CONSTRUCTION SHALL BE PROTECTED IN HOT AND COLD WEATHER IN ACCORDANCE WITH THE NATIONAL CONCRETE MASONRY ASSOCIATION STANDARDS.
11. CONCRETE BLOCK FOR FIREPLACE CHIMNEYS SHALL BE LOAD BEARING UNITS AS REQUIRED. ALL CLAY TILE FLUES SHALL BE INSTALLED ACCORDANCE TO CODE WITH THE PROPER MASONRY COVER.
12. MORTAR SHALL BE TYPE M OR S. MIX ONE PART PORTLAND CEMENT, 3/4 TO 1/2 PART HYDRATED LIME AND 1 1/2 TO 3 PARTS SAND; MIX ON SITE WITH POTABLE WATER.
13. NO AIR ENTRAINING ADMIXTURE ANTIFREEZE COMPOUNDS, SUCH AS CALCIUM CHLORIDE SHALL BE ADDED TO THE MORTAR.
14. ALL MASONRY IS TO BE THOROUGHLY MOISTENED WITH CLEAN WATER, THEN CLEANED WITH AN APPROVED MASONRY CLEANING AGENT.
15. ALL WORKMEN SHALL BE EXPERIENCED TRADESMEN, TRAINED AND QUALIFIED TO DO THE WORK AT HAND.
16. INSTALL CULTURED STONE CONCRETE STONE VENEER WHERE INDICATED ON THE DRAWINGS. OWNER TO CHOOSE STYLE AND COLOR. AT STUD WALLS, INSTALL AS SPECIFIED BY THE MANUFACTURER OVER CAV CLEAR MASONRY MATT 3/8" THICK ON 30# BUILDING FELT OVER 1/2" R-6.5 POLYISO CONTINUOUS RIGID INSULATION ON 3/4" CDX PLYWOOD SHEATHING ON 2X6 STUDS AT 16" OC.
17. INSTALL CULTURED STONE CONCRETE VENEER AT THE CMU AND/OR CONCRETE RETAINING WALLS AS SPECIFIED BY THE MANUFACTURER FOR INSTALLATION OVER THE CMU. STYLE AND COLOR TO BE SELECTED.

ELECTRIC SYMBOL LEGEND	
Ⓛ	SURFACE MOUNTED CEILING LIGHT FIXTURE TO BE CHOSEN BY OWNER
Ⓜ	HALOGEN PENDANT FIXTURE CHOSEN BY OWNER
Ⓢ	SURFACE MOUNTED TRACK LIGHT
Ⓜ	FAN/EXH VENT EXHAUST VENT. INSTALL AT EACH BATHROOM & WHERE INDICATED. NUMBER DESIGNATES WHICH EXH VENT.
Ⓜ	JUNCTION BOX INSTALL LIGHT FIXTURE OR FAN AS CHOSEN BY OWNER
Ⓜ	EXTERIOR FLOOR LIGHTS NO INDICATES MOTION DETECTOR SWITCH
Ⓜ	EXTERIOR WALL SCONCE TO BE CHOSEN BY OWNER
Ⓜ	BATHROOM VANITY WALL SCONCE TO BE CHOSEN BY OWNER
Ⓜ	DUPLEX RECEPTACLE
Ⓜ	QUADRUPLX RECEPTACLE
Ⓜ	HARDWIRED SMOKE DETECTOR. INSTALL NEW SMOKE DETECTORS IN ALL NEW & EXISTING BEDROOMS AS REQD BY CODE
Ⓜ	TOILET EXHAUST FAN W/ LIGHT. 75cfm MINIMUM
Ⓜ	CARBON MONOXIDE DETECTOR
Ⓜ	3 POLE SWITCH
Ⓜ	3 POLE DIMMER SWITCH
Ⓜ	CABLE TELEVISION/ COMPUTER JACK LOCATION. SET WALL HEIGHT AS NOTED.
Ⓜ	RG 6 CABLE: HOMERUN ALL WIRES INDIVIDUALLY TO CENTRAL LOCATION
Ⓜ	CABLE, DATA & STRUCTURED WIRING HOME-RUN PANEL.

ELECTRICAL NOTES:

1. IF DIMMER SWITCHES ARE ADDED TO CIRCUITS WITH LED LIGHTING, VERIFY WITH LED MANUFACTURERS APPROVED DIMMER LIST THAT FIXTURE WILL TO OPERATE CORRECTLY PRIOR TO INSTALLATION.
2. FIELD VERIFY SCONCE HEIGHTS ON WALL WITH OWNER AND FIXTURE CHOSEN.
3. PER RCNY'S R313.1 & APPENDIX J504.2 INSTALL INTERCONNECTED HARDWIRED SMOKE DETECTORS IN ALL SLEEPING ROOMS AND OUTSIDE OF SLEEPING ROOMS, AND 1 ON EACH FLOOR. PER J504.2 EXCEPTIONS: WHERE CEILINGS AND WALL FINISHES ARE NOT REMOVED AND ARE NOT ACCESSIBLE FROM ATTICS, BATTERY OPERATE DETECTORS MAY BE INSTALLED IN LIEU OF HARDWIRED.
3. COORDINATE LIGHT LOCATIONS WITH FRAMING CONTRACTOR TO AVOID CONFLICTS WITH FRAMING.

ELECTRICAL SPECIFICATIONS:

1. INSTALL CREE LED RECESSED DOWN LIGHTS AND LAMPS AS SPECIFIED AND AS REQUIRED BY OWNER. CREE LED LIGHTING, MORRISVILLE, NC 1-919-287-7700.

ELECTRIC AND LIGHTING NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS ON ALL HIS WORK FROM LOCAL AUTHORITIES AND COMPLY WITH ALL NEW YORK STATE AND LOCAL CODE REQUIREMENTS.
2. ALL ELECTRICAL WORK SHALL BE EXECUTED BY A LICENSED ELECTRICIAN AND IN ACCORDANCE WITH APPLICABLE CODES.
3. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR TO INSTALL SERVICE REQUIREMENTS FROM THE UTILITY COMPANY'S TRANSFORMER AS REQUIRED BY CODE.
4. ALL FEEDERS AND LINES SHALL BE ON A SIZE AS REQUIRED BY THE LOCAL AND STATE CODE, AND THE POWER COMPANIES DIRECTIVES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, AND THE STATE OF NEW YORK.
6. THE ELECTRICAL CONTRACTOR SHALL MAINTAIN AND INSTALL ALL OUTLETS, SWITCHES AND COVER PLATES TO COMPLETE THE JOB. SUBMIT ALL SAMPLES OF PROPOSED MATERIALS.
7. SMOKE DETECTORS SHALL BE INSTALLED IN LOCATIONS REQUIRED BY CODE AND AS INDICATED ON THE DRAWINGS.
8. AT THE COMPLETION OF THE JOB, THE ELECTRICAL CONTRACTOR SHALL SECURE ALL REQUIRED CERTIFICATIONS AS REQUIRED BY THE LOCAL AUTHORITIES.
9. REVIEW ALL LIGHTING AND SWITCH LOCATIONS WITH THE OWNER.
10. NEW LIGHT FIXTURES SHALL BE HALO OR EQUAL. SUBMIT CUTS OF ALL PROPOSED LIGHT FIXTURES PRIOR TO PURCHASE TO THE OWNER FOR APPROVAL.
11. THE CONTRACTOR SHALL VERIFY THAT THE REQUIRED SPACE IS AVAILABLE FOR ALL RECESSED LIGHT FIXTURES, AND SHALL INFORM THE ARCHITECT OF ANY OBSTRUCTION WHICH WOULD INTERFERE WITH THE PROPER INSTALLATION OF THE FIXTURES AS SHOWN. RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILINGS SHALL BE PROVIDED WITH AN AIR-SEALED, INSULATION CONTACT HOUSING FROM THE MANUFACTURER.
12. PROVIDE WIRING FOR ALL NEW RESIDENTIAL APPLIANCES AS REQUIRED.
13. ALL WIRING SHALL RUN CONCEALED.
14. LOCATION OF ALL OUTLETS, SWITCHES, RECEPTACLES, CEILING LIGHTS, BELL SYSTEMS AS PER PLANS OR AS DIRECTED BY THE OWNER/CONTRACTOR.
15. NEW ELECTRICAL OUTLETS, TELEPHONE OUTLETS, ETC. MUST BE INSTALLED IN COMPLIANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) PUBLICATION A117.1. NON OF THESE ITEMS "EXCEPT WHERE THE USE OF SPECIAL EQUIPMENT DICTATES OTHERWISE" SHALL BE MOUNTED LESS THAN 15" ABOVE FINISHED FLOOR.

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS, USE INDICATED DIMENSIONS ONLY.
2. ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT.
3. ALL NEW EXTERIOR WALL ARE 2X6 STUDS AT 16" OC UNLESS OTHERWISE NOTED. ALL INTERIOR STUDS ARE 2X4 STUDS AT 16" OC UNLESS OTHERWISE NOTED.
4. DOUBLE UP JOISTS UNDER PARALLEL PARTITIONS.
5. ALL WOOD IN CONTACT WITH MASONRY & CONCRETE SHALL BE PRESSURE TREATED WITH WOOD PRESERVATIVE.
6. ALL WALL BASE PLATES SHALL BE IN A MINIMUM 3/8" BEAD OF CAULK OR SEALANT. ALL PENETRATIONS THROUGH THE CEILING AND EXTERIOR WALLS SHALL BE AIR SEALED WITH EXPANDING FOAM AND/OR SILICONE CAULK.
7. WINDOWS ARE 200 SERIES ANDERSON. UNITS TO BE LOW-E COATED WITH INSULATING GLASS & ARGON GAS. PROVIDE ALL OPERATING UNITS WITH SCREENS. UNIT NUMBERS ARE INDICATED ON PLANS.
8. FLASH ALL WINDOW ROUGH OPENINGS WITH A PEE & STICK TYPE MEMBRANE FLASHING. FLASH SHALL TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE.
9. SEAL AROUND ALL DOOR AND WINDOW ROUGH OPENINGS WITH MINIMALLY EXPANDING FOAM. FOLLOW MANUFACTURERS PRECAUTIONS.
10. ALL FASTENERS, NAILS AND HANGERS WHICH COME IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED STAINLESS STEEL.
11. INSTALL HANGERS AND CONNECTORS BY SIMPSON STRONG-TIE (SST) AS NOTED ON THE DRAWINGS. INSTALL ALL CONNECTORS WITH NAILS OR SCREWS AS SPECIFIED BY SIMPSON STRONG-TIE. DO NOT SUBSTITUTE CONNECTORS OR FASTENERS. ALL FASTENER COATINGS SHALL MATCH THE EXTERIOR COATING OF THE SPECIFIED HANGER. HDG TO HDG AND STAINLESS TO STAINLESS.
12. INSTALL BETTER HEADER (BH) SANDWICH PLATE SYSTEM STEEL FLITCH PLATE GIRDERS WHERE INDICATED ON THE DRAWINGS. BEAR BETTER HEADER GIRDERS ON STRUCTURAL COLUMNS AT EACH END AS INDICATED ON THE DRAWINGS.
13. REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

CONSTRUCTION LEGEND	
—	NEW CONSTRUCTION
▨	NEW CONCRETE FOUNDATION
Ⓜ	SHEET NOTES: SEE NOTES THIS SHEET
Ⓜ	HARDWIRED SMOKE DETECTOR
Ⓜ	CARBON MONOXIDE DETECTOR

COMITO HOMES LLC

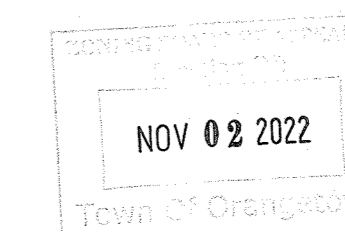
656 OAK TREE ROAD
 PALISADES, NY 10964

G.PALLADINO LLC
 ARCHITECTURE
 28 EAST STREET
 WEST NYACK, NEW YORK
 10994
 201-240-5987

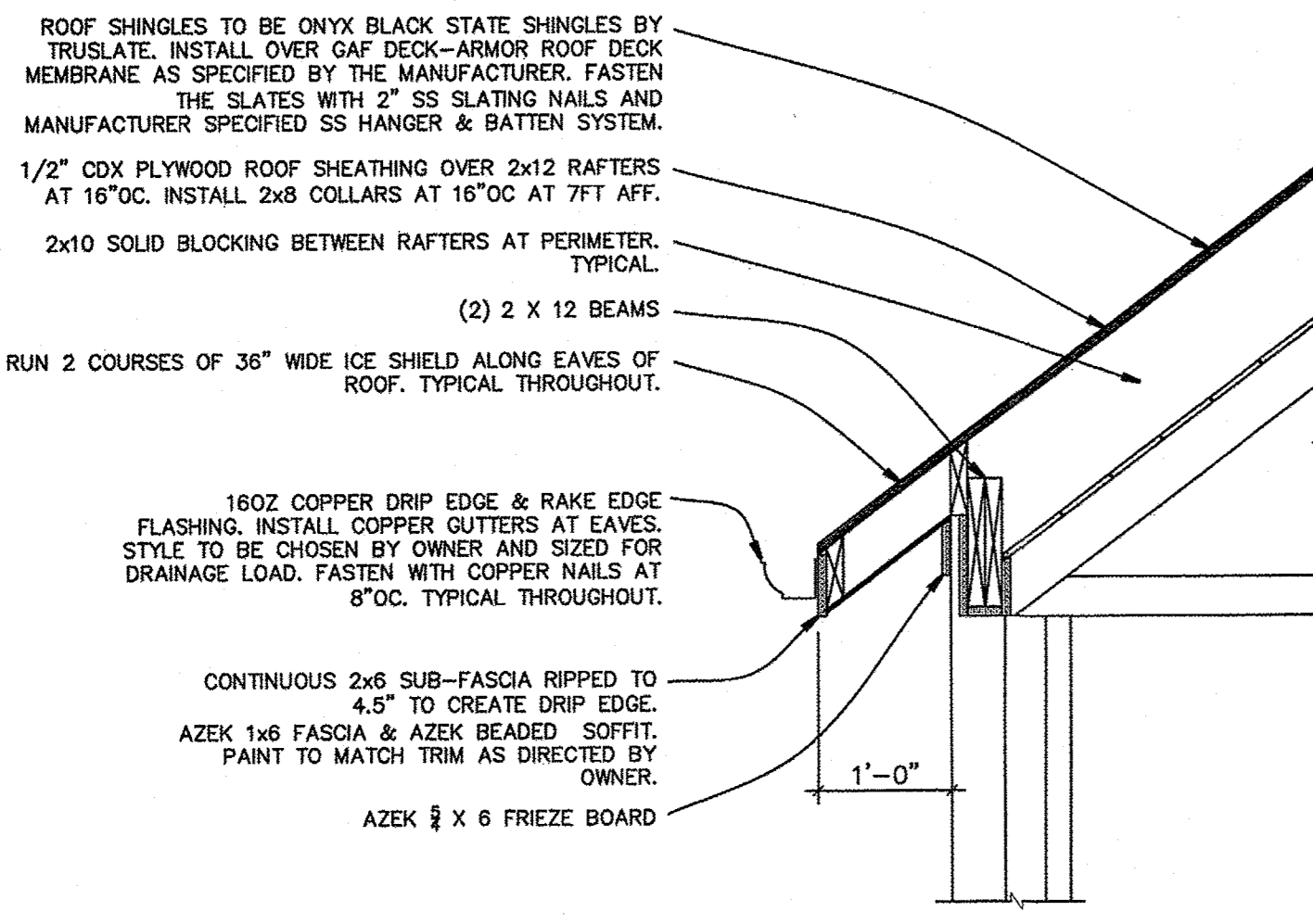
POOL CABANA
FLOOR PLANS

SCALE AS SHOWN
 DATE SEPTEMBER 9, 2022
 JOB NO. 1019
 REVISIONS: SHEET NO.
 CONST. ISSUE

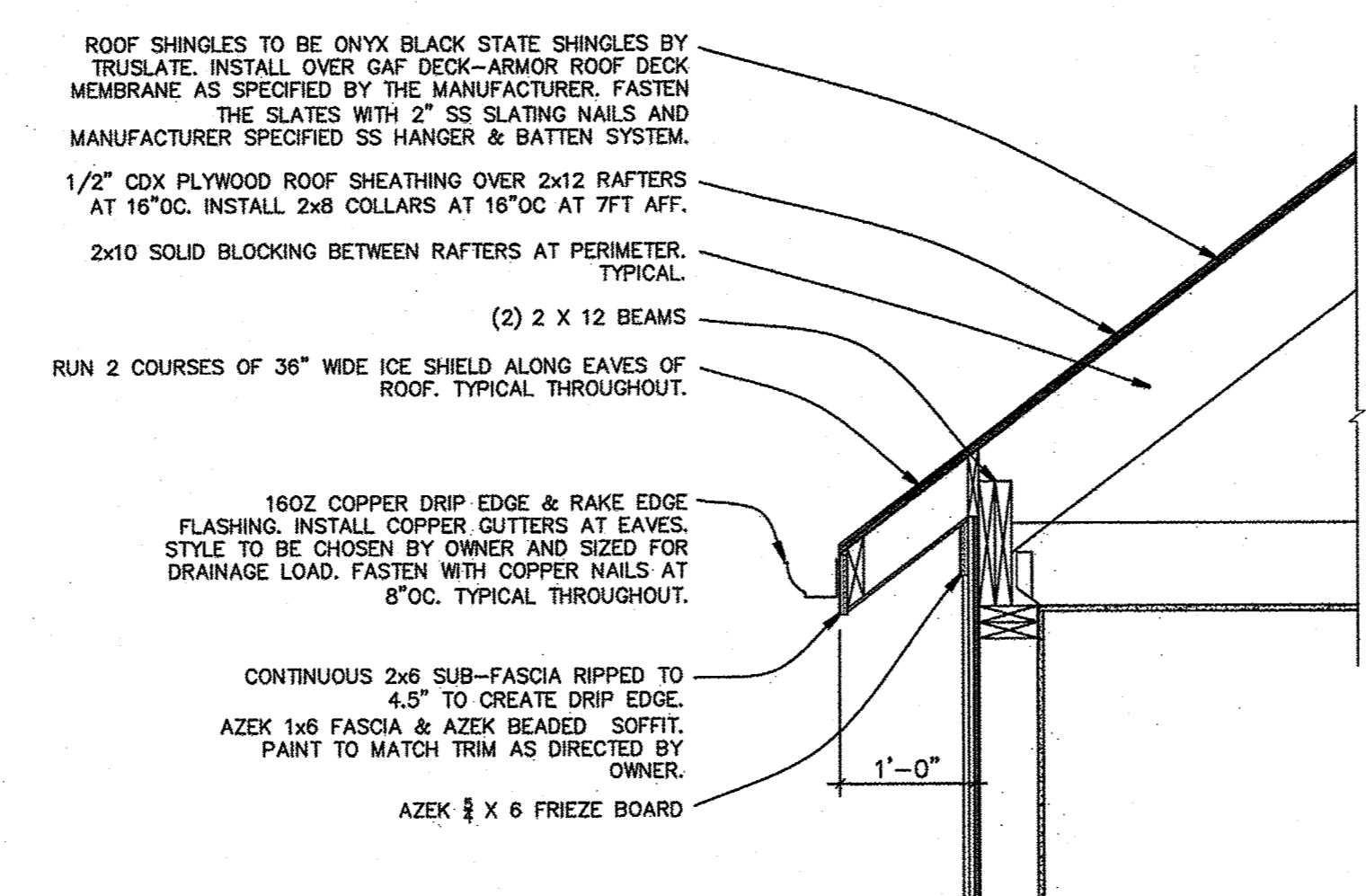
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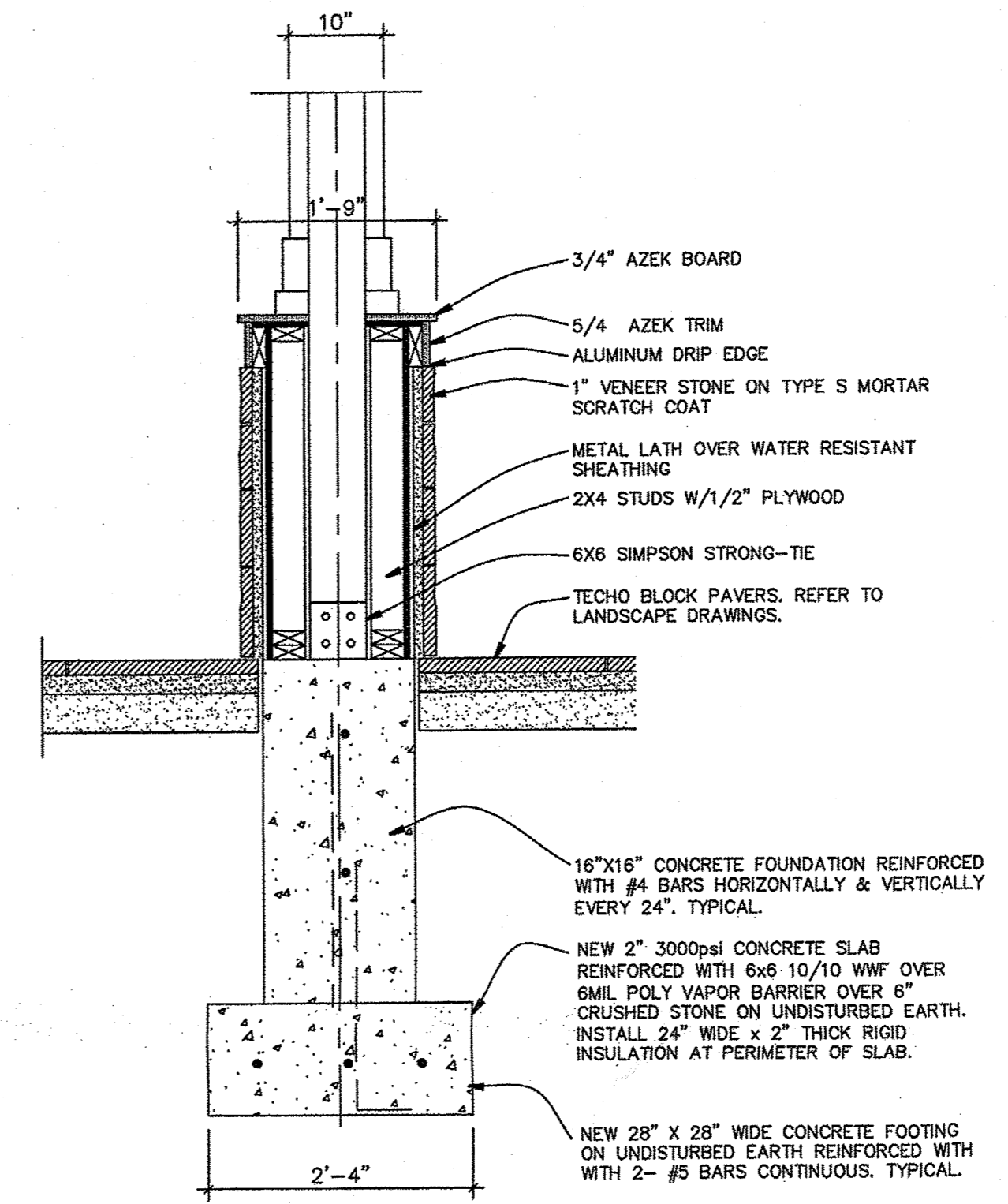
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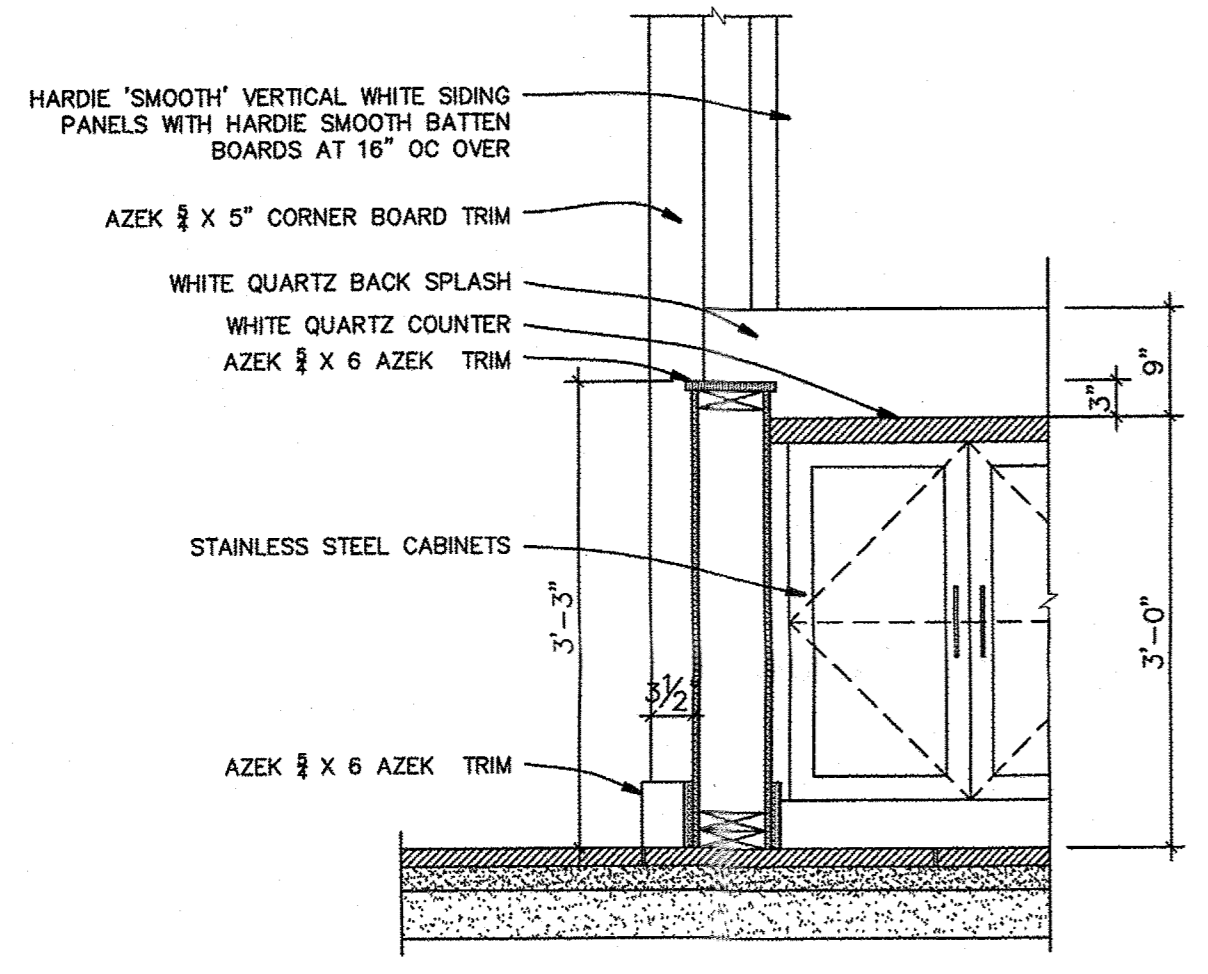
A SECTION
 A2 3/4" = 1' - 0"



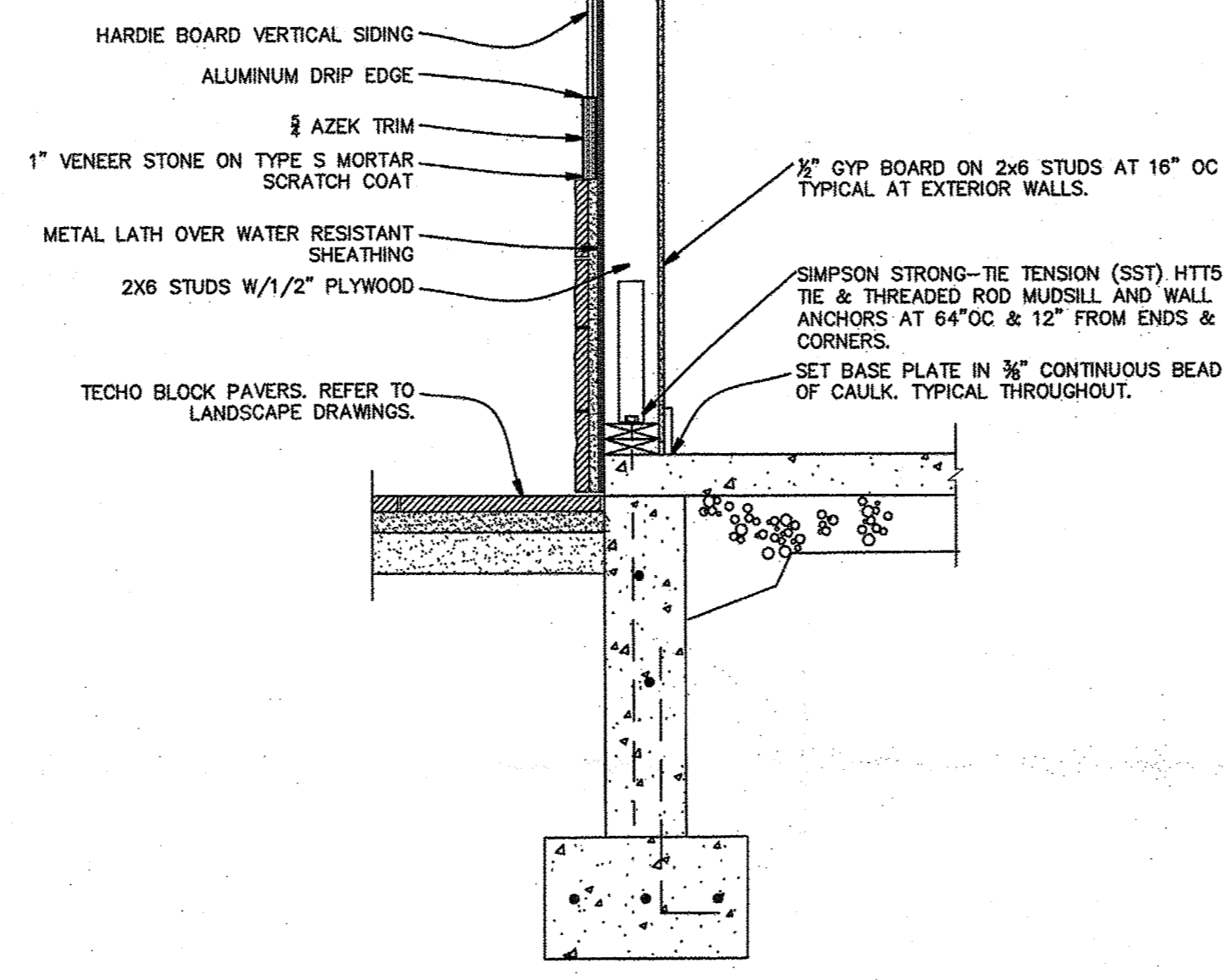
C SECTION
 A2 3/4" = 1' - 0"



D SECTION
 A2 3/4" = 1' - 0"

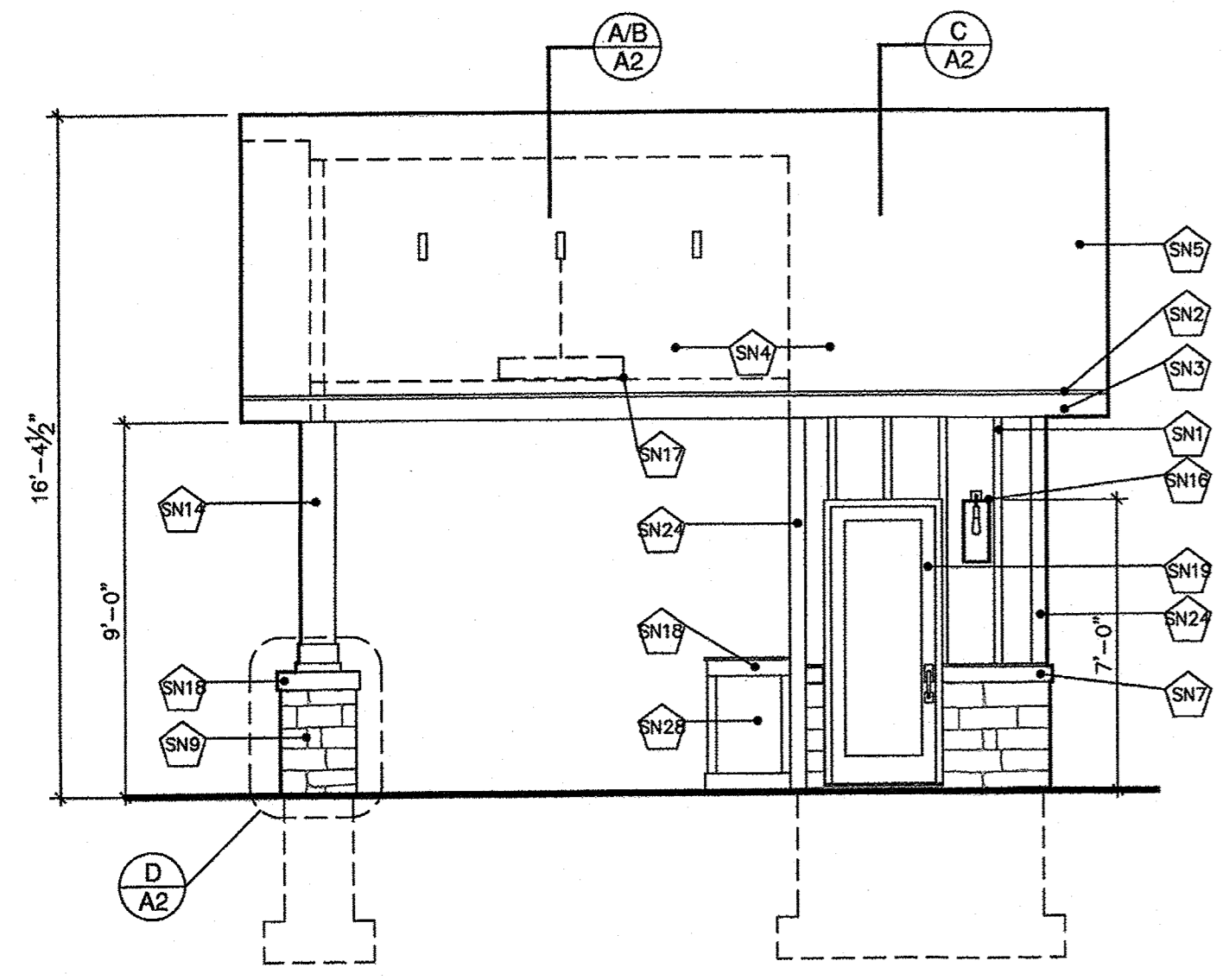


B SECTION
 A2 3/4" = 1' - 0"

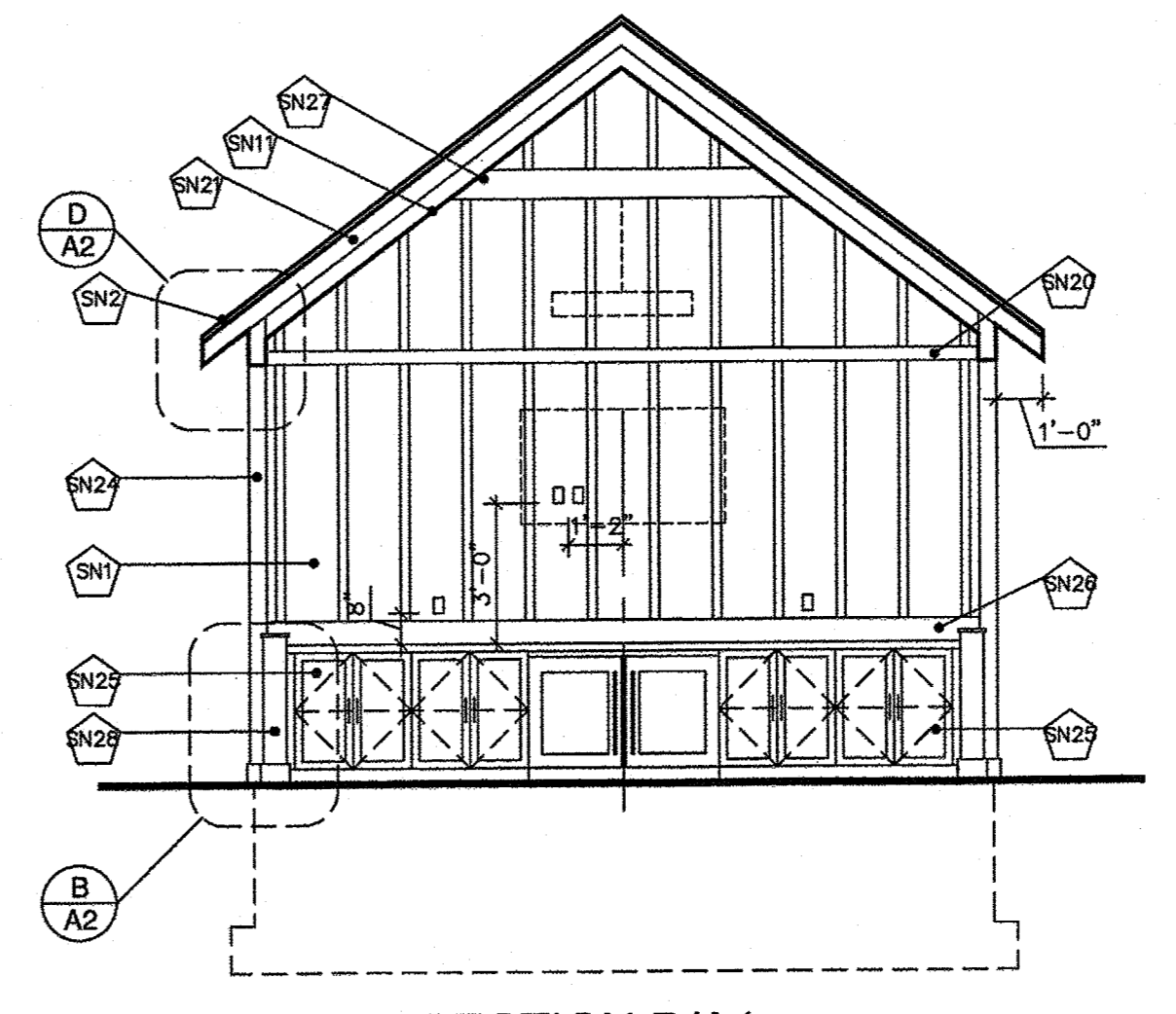
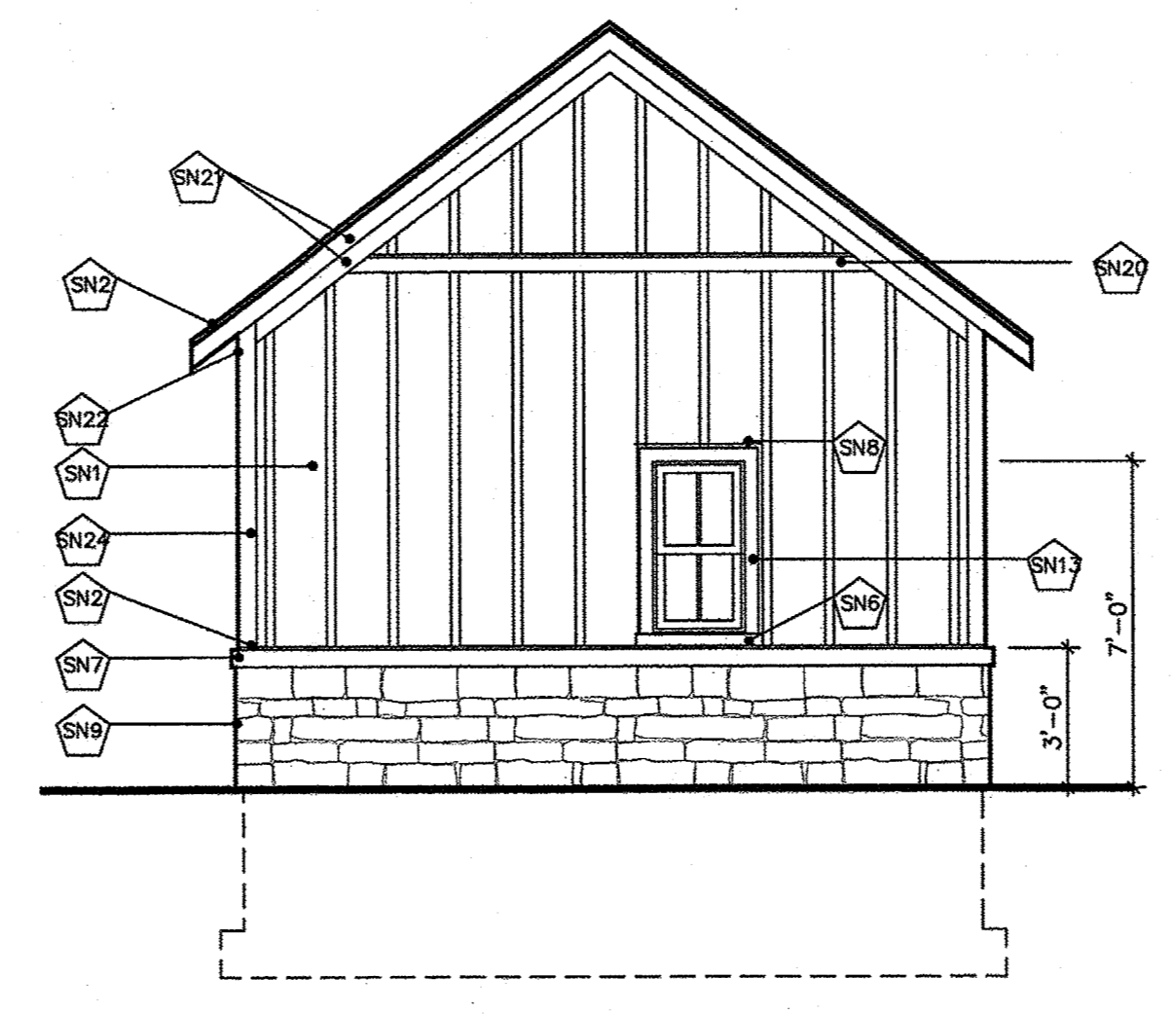
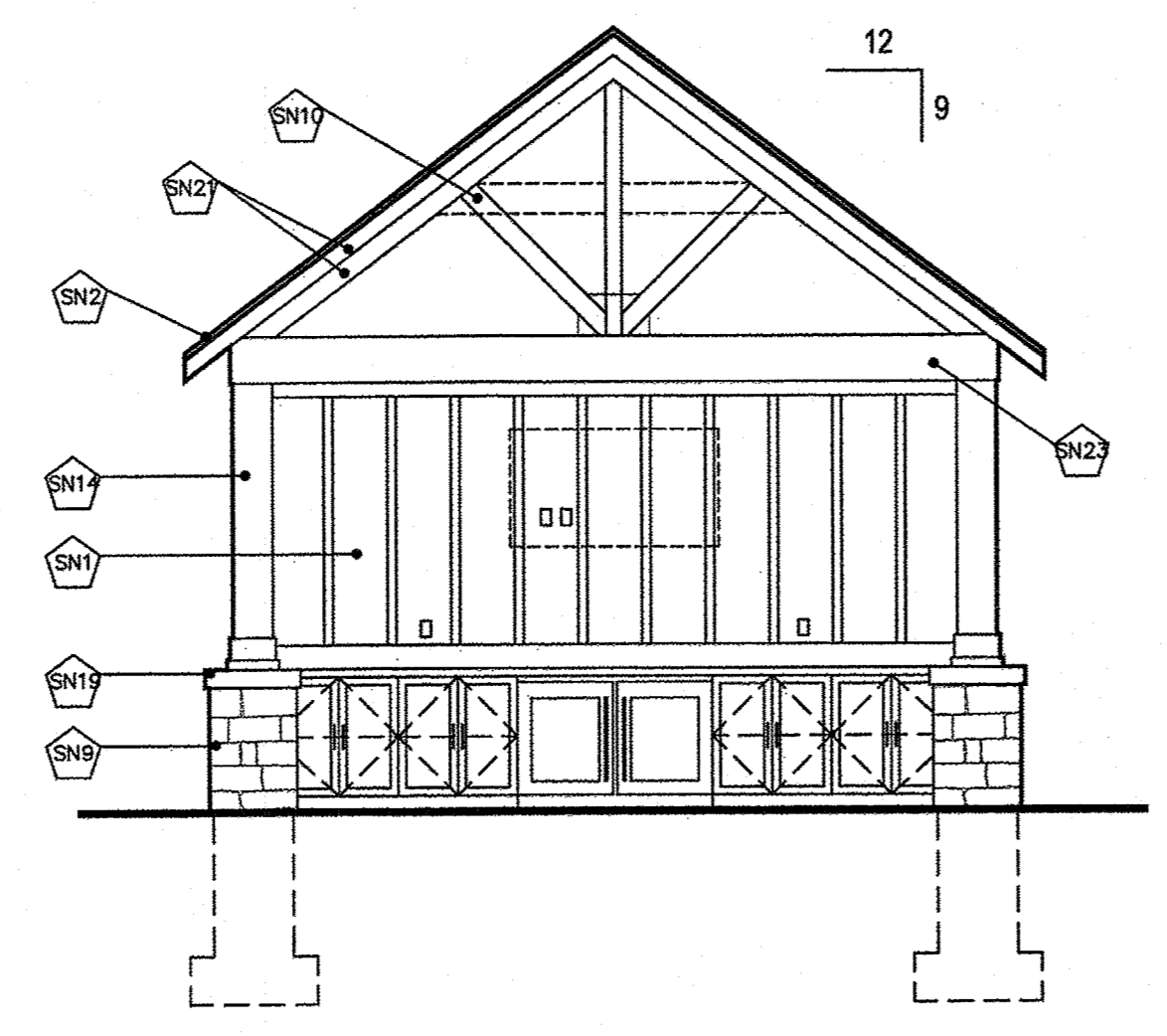


ELEVATION SHEET NOTES (SN):

- HARDIE "SMOOTH" VERTICAL WHITE SIDING PANELS WITH HARDIE SMOOTH BATTEN BOARDS AT 16" OC OVER HOUSEWRAP ON 1/2" OSB SHEATHING. INSTALL 2" FLASHING AT ALL HORIZONTAL JOINTS IN SIDING. TYPICAL.
- CONTINUOUS ALUMINUM DRIP EDGE AT ALL ROOF EDGES. PROVIDE GUTTERS AT EAVES.
- AZEK 1/2" X 6 FASCIA OVER CONTINUOUS 2x6 SUB-FASCIA RIPPED TO 5" TO CREATE RECESS FOR SOFFIT.
- RUN 2 COURSES OF 36" WIDE ICE SHIELD ALONG EAVES OF ROOF. TYPICAL THROUGHOUT.
- GAF TIMBERLINE HDZ CHARCOAL HIGH DEFINITION SHINGLES OVER 15# ROOFING FELT ON 1/2" CDX SHEATHING OVER 2X12 RAFTERS AT 16" OC.
- AZEK 1/2" X 5" SYNTHETIC WINDOW TRIM AT SILL. PAINT ALL TRIM IN COLOR AS CHOSEN BY OWNER.
- AZEK 1/2" X 5" SYNTHETIC WATER TABLE TRIM.
- FLASH ALL WINDOW ROUGH OPENINGS WITH A BUTYL PEEL & STICK TYPE FLEX MEMBRANE WRAP TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE. FLASH THE WINDOW SILLS AND JAMBS TO THE EXTERIOR HOUSEWRAP. TYPICAL THROUGHOUT.
- 1" FLAGSTONE VENEER
- 4X4 PRESSURE TREATED BRACKET. WRAP W/ SYNTHETIC AZEK TRIM.
- AZEK BEADBOARD CEILING 1/2" X 6-1/8"
- 1X4 AZEK TRIM AT WINDOW JAMBS AND DOOR.
- PELLA, LIFESTYLE SDL, BLACK DOUBLE HUNG WINDOWS WITH SIMULATED DIVIDED LIGHTS WITH WHITE TRIM.
- HB&G PERMACAST 10" PLAIN, SQUARE COLUMN WITH TUSCAN CAP BASE. PRIME & PAINT AS SPECIFIED BY MANUFACTURER.
- PATIO LIGHT. REFER TO ELECTRICAL SHEETS.
- TECHO BLOC. REFER TO LANDSCAPE PLANS.
- PENDANT FIXTURE. REFER TO ELECTRICAL SHEETS.
- AZEK 1/2" X 5 TRIM.
- STEVE'S DOOR - BLACK, MODEL: DIRECT GLAZED SMOOTH FIBERGLASS 1/2 LITE 4 LITE.
- AZEK 1/2" X 4 SPAN BREAKERS.
- AZEK 1/2" X 6 RAKER.
- AZEK 1/2" X 6 FRIEZE BOARD UNDER SOFFITS.
- BEAM AND POST WRAPPED WITH AZEK TRIM.
- AZEK 1/2" X 5" TRIM ON ALL CORNERS
- STAINLESS STEEL CABINETRY
- CARRERA WHITE QUARTZ COUNTER AND BACKSPLASH.
- 2 X 8 COLLAR BEAM WRAPPED WITH AZEK TRIM
- 1/2" AZEK BOARD



E ELEVATIONS
 A2 1/4" = 1' - 0"



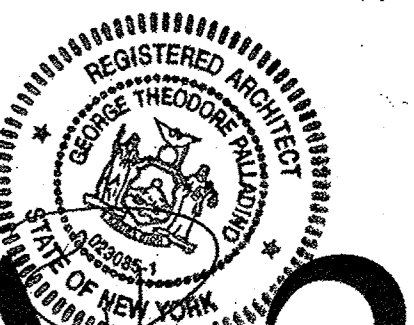
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POOL CABANA
 ELEVATIONS/SECTIONS

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A-2

