Name of Municipality: <u>TOWN OF ORANGETOWN</u>

Date Submitted:	
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2022 LAND USE BOARD APPLICATION

Ple	ease check all the	at apply:
Planning Board	nerciai	✓ Historical Board
Zoning Board of A	ppeals	Residential
	, -	Consultation
Subdivision Number of Lots		Pre-Preliminary/Sketch
Site Plan		✓ Preliminary
Conditional Use		✓ Final
Special Permit		Interpretation
Special Permit Variance		PERMIT#: BLDR - 2029-22
Performance Standards	Review	ASSIGNED INSPECTOR: MIKE
Use Variance		INSPECTOR: // II/L
Ose variance Other (specify):		Referred from Planning Board: YES / NO
		If yes provide date of Planning
		Board meeting:
Project Name: Comito - 656 Oak Tree Ro	oad (Pool and Cabar	na)
Street Address: 656 Oak Tree Road, Pali	isades, NY 10964	
Street Address		
Tour Many Designations		
Tax Map Designation:	Block: 2	l ot(s) ^{.9}
Section.		Lot(s): ⁹ Lot(s):
Section:	block	Lot(3)
Directional Location:		
—	D 1	
On the North side of Oak Tre	e Road	, approximately
200 feet East	of the intersection	on of Swan Street, approximately
Town of Orangetown in the ha	mlet/village of Pa	alisades
Acreage of Parcel .52		Zoning District R-40
School District S. Orangetown		Postal District Palisades
-		Fire District Palisades
Water District		<u></u>
Ambulance District Water District Suez		Fire District Palisades Sewer District Orangetown
Project Description: (If additional sp	oace required, pl	ease attach a narrative summary.)
Installation of a 24' x 24' pool and 16' x 18' po	ol cabana to new sir	ngle-family residence in process
The undersigned agrees to an extension o	f the statutory time	e limit for scheduling a public hearing.
~ 1		
Date: 924 22 Applicant's Signal	ture:	

APPLICATION REVIEW FORM

	mito, Comito Homes LL	.C Pho	one # <u>845-216-4001</u>		
• •			NY	10960	
Address:	/C. eet Name & Number (Post	Office) City	State	Zip Code	
Property Owner: ⁶	556 Oak Tree Road LLC	Ph	one # <u>845-512-1608</u>		
			NY	10964	
Address:str	eet Name & Number (Post	Office) City	State	Zip Code	
Engineer/Archited	:t/Surveyor:	enwell	Phone #	357-0830	
_			NY	10901	
Address: Os Dalayou	e Ave. reet Name & Number (Post	Office) City	State	Zip Code	
Attorney: Robert S. Knoebel		Phone #	5-358-1322		
-			NY	10960	
Address: Str	Street eet Name & Number (Post	Office) City	State	Zip Code	
Contact Person:	Marc Comito	Phone #Phone #			
Address: 87 Sixth A	ve.		NY	10960	
Address: 87 Sixth A	LVC. treet Name & Number (Pos	Nyack t Office) City	NY State	10960 Zip Code	
	GENERAI This	Nyack t Office) City L MUNICIPAL LA s property is within 500 (Check all that appli	NY State AW REVIEW: 0 feet of:	Zip Code	
IE ANV ITEM IS CL	GENERAL This	Nyack City L MUNICIPAL LA property is within 500	NY State AW REVIEW: 0 feet of: (by) EROCKLAND COUNT	Zip Code Y COMMISSIONER OF	
IF ANY ITEM IS CH PLANNING U	GENERAI This HECKED, A REVIEW N NDER THE STATE GI	Nyack TOMICIPAL LA Sproperty is within 500 (Check all that apple SUBJECT BE DONE BY THE ENERAL MUNICIPAL LA	NY State AW REVIEW: 0 feet of: (y) E ROCKLAND COUNT. AW, SECTIONS 239 State or County Park	Zip Code Y COMMISSIONER OF L, M, N, AND NN.	
IF ANY ITEM IS CHE PLANNING U	GENERAL This HECKED, A REVIEW N NDER THE STATE GI County Road th	Nyack TOMICIPAL LA TOMICIPAL	NY State AW REVIEW: 0 feet of: (y) E ROCKLAND COUNT AW, SECTIONS 239 State or County Park County Stream	Zip Code Y COMMISSIONER OF L, M, N, AND NN.	
IF ANY ITEM IS CHE PLANNING U	GENERAL This HECKED, A REVIEW N NDER THE STATE GI County Road	Nyack TOMICIPAL LA TOMICIPAL	NY State AW REVIEW: 0 feet of: (y) E ROCKLAND COUNT. AW, SECTIONS 239 State or County Park	Zip Code Y COMMISSIONER OF L, M, N, AND NN.	
IF ANY ITEM IS CHE PLANNING U	GENERAL This HECKED, A REVIEW N NDER THE STATE GI County Road th	Nyack TOMICIPAL LA Seproperty is within 500 (Check all that apple ENERAL MUNICIPAL L CONTROL CON	NY State AW REVIEW: 0 feet of: (y) E ROCKLAND COUNT AW, SECTIONS 239 State or County Park County Stream	Zip Code Y COMMISSIONER OF L, M, N, AND NN.	
IF ANY ITEM IS CHE PLANNING USE State or ELONG Part Municipal List name(s) of face	GENERAL This HECKED, A REVIEW N NDER THE STATE GI County Road th Il Boundary cility checked above	Nyack TOMICIPAL LA Seproperty is within 500 (Check all that apple ENERAL MUNICIPAL L CONTROL CON	NY State AW REVIEW: 0 feet of: (y) E ROCKLAND COUNT AW, SECTIONS 239 State or County Park County Stream	Zip Code Y COMMISSIONER OF L, M, N, AND NN.	
IF ANY ITEM IS CHE PLANNING UP State or Long Pair Municipal List name(s) of face Referral Agencies:	GENERAL This HECKED, A REVIEW IN NDER THE STATE GI County Road th Il Boundary cility checked above	Nyack TOMICIPAL LA TOMICIPAL	NY State AW REVIEW: 0 feet of: (y) E ROCKLAND COUNT. AW, SECTIONS 239 State or County Park County Stream County Facility	Zip Code Y COMMISSIONER OI L, M, N, AND NN.	
IF ANY ITEM IS CHE PLANNING USE State or Long Pair Municipal List name(s) of factors Referral Agencies: RC Highway	GENERAL This HECKED, A REVIEW N NDER THE STATE GI County Road th Il Boundary cility checked above:	Nyack TOffice) City L MUNICIPAL LA S property is within 500 (Check all that apple SUST BE DONE BY THE ENERAL MUNICIPAL L	NY State AW REVIEW: 0 feet of: (y) E ROCKLAND COUNT. AW, SECTIONS 239 State or County Park County Stream County Facility ision of Environmental	Zip Code Y COMMISSIONER OF L, M, N, AND NN.	
IF ANY ITEM IS CHE PLANNING USE State or Long Past Municipa List name(s) of factors Referral Agencies: RC Highwall RC Draina	GENERAL This HECKED, A REVIEW N NDER THE STATE GI County Road th al Boundary cility checked above:	Nyack TOffice) City L MUNICIPAL LA Sproperty is within 500 (Check all that appl SUST BE DONE BY THE ENERAL MUNICIPAL L C C RC Divi RC Deg NYS De	NY State AW REVIEW: 0 feet of: (y) E ROCKLAND COUNT. AW, SECTIONS 239 State or County Park County Stream County Facility ision of Environmental ot. of Health ept. of Environmental O	Zip Code Y COMMISSIONER OF L, M, N, AND NN. Resources Conservation	
IF ANY ITEM IS CHE PLANNING USE State or ELONG Pate Municipal List name(s) of factors Referral Agencies: RC Highwater RC Drainare NYS Dept.	GENERAL This HECKED, A REVIEW N NDER THE STATE GI County Road th al Boundary cility checked above: ay Department ge Agency of Transportation	Nyack TOffice) City L MUNICIPAL LA Sproperty is within 500 (Check all that appl SUST BE DONE BY THE ENERAL MUNICIPAL L C C RC Divi RC Deg NYS De	NY State AW REVIEW: 0 feet of: (y) E ROCKLAND COUNT. AW, SECTIONS 239 State or County Park County Stream County Facility ision of Environmental ot. of Health	Zip Code Y COMMISSIONER OI L, M, N, AND NN. Resources Conservation	
IF ANY ITEM IS CHE PLANNING USE State or ELONG Pair Municipal List name(s) of factors Referral Agencies: Referral Agencies: RC Highwat RC Drainate NYS Dept. NYS Thrus	GENERAL This HECKED, A REVIEW IN NDER THE STATE GI County Road th al Boundary cility checked above: ay Department ge Agency of Transportation way Authority	Nyack TOffice) City L MUNICIPAL LA Sproperty is within 500 (Check all that appl SUST BE DONE BY THE ENERAL MUNICIPAL L C C RC Divi RC Deg NYS De	NY State AW REVIEW: 0 feet of: (y) E ROCKLAND COUNT. AW, SECTIONS 239 State or County Park County Stream County Facility ision of Environmental ot. of Health ept. of Environmental (les Interstate Park Con	Zip Code Y COMMISSIONER OF L, M, N, AND NN. Resources Conservation	

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE. (IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

f subdiv	ision:
1) Is any variance from the subdivision regulations required?
2) Is any open space being offered? If so, what amount?
3	s) Is this a standard or average density subdivision?
If site pla	·
•	1) Existing square footage
	2) Total square footage
	3) Number of dwelling units
	l permit, list special permit use and what the property will be used for.
-	
Environ	mental Constraints:
Are there s	slopes greater than 25%? If yes, please indicate the amount and show the gross
and net are	ea No
	streams on the site? If yes, please provide the names.No
Are there v	vetlands on the site? If yes, please provide the names and type:
No	
•	History:
Has this p	roject ever been reviewed before? No
If so, provi	de a narrative, including the list case number, name, date, and the board(s) you appeared
before, an	d the status of any previous approvals.
List tax ma	ap section, block & lot numbers for all other abutting properties in the same ownership as
this projec	
p. 5) • •	None



OFFICE OF BUILDING, ZONING, PLANNING, ADMINISTRATION AND ENFORCEMENT TOWN OF ORANGETOWN

20 Greenbush Road Orangeburg, N.Y. 10962

Jane Slavin, R.A. Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: September 23, 2022	
Applicant: Comito	
Address: 656 Oak Tree Rd, Palisades	
RE: Application Made at: same	
Chapter 43, Table 3.12, Column 1 R-40 District, Column 15% with 16.59% proposed 1 Variance Required	a 2 Group E, Column 3 SFR, Column 4 Max FAR
Section: 78.17 Block: 2	Lot:9
Dear Comito :	
September 16, 2022, has been denied. I have enclosed a X at the bottom the reason for denial. In Accordance with Zoning, Chapter 43 Section 10.3: Building Inspector or Similar administrative office is determination with the Town Clerk.	22 the time to appeal a determination of a
The Clerk to the Zoning Board of Appeals, Debbie Arbo appear before the board.	olino, will assist you in the preparation necessary to
Richard Oliver Depty Building Inspector	
1/0/1 Minney // 1/10	
Signature of Director NOTE: PLEASE KEEP FOR YOUR RECORDS	Date CC: Rosanna Sfraga Liz Decort

Debbie Arbolino

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE. TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE. APPLICATION FOR BUILDING / DEMOLITION PERMIT

	TOWN OF ORANGETOWN 20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526	Y CE
	20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526 ZONE:	
	Inspector: Date App Received: 09 10 28 Received By: UZ	(0
		SECTION
	Permit No. <u>BLDR 2029-27</u> Date Issued:	
	CO No Date Issued:	ĕ
	Permit Fee: 1482 Ck# 3883 Paid By Convit 6 Horres UC	
	GIS Fee: 20 Ck# Paid By	
	Stream Maintenance Fee Ck # Paid By	
	Total 1,502	<u> </u>
ጓ	Additional Fee: Ck# Date Paid Paid By Sile (1) Paid By	ВГОСК
	1st 6 mp. Ext.: Ck # Exp. Date: Paid By	
	29 th 6 mlo. Ext.: Ck # Exp. Date: Paid By	
Z	TOYMAN	
7	APPLICANT COMPLETES: Note: See inside for instructions for completing this application,	
ũ	PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.	5
	operty Location: 656 Oak Tree Road, Palisades	
	ction: 78.17 Block: 2 Lot: 9	
	operty Owner: Comito Homes LLC	
Pr	Mailing Address: 87 Sixth Ave, Nyack, NY 10960	1 1
	Email: Marc C. Comitohomes. Com Phone #: 845-216-4001	
		NAME
Le	ssee (Business Name):	_, ≅
	Mailing Address: Phone #:	
Ψ.	pe of Business /Use: Residential - New Construction	
1)	ontact Person: Marc Comito Relation to Project: Builder	
G	Email: Marc C Canitohomes, Can Phone#: 845-216-4001	
Α.	chitect/Engineer: GCOrge Palladino NYS Lic # 028058	
A	Address: 28 ECKT St., WestNyack, Nohone#: 201-240-5987	
B	uilder/General Contractor: Comito Homes LLC RC Lic # H - 18206	
_	Address: 87 Sixth Ave Nyack NY10960Phone#: 845-246-4001	
Р	umber: EMFO Contractors RC Lic # P-804	
•	Address: 136 Orange Tok, Sloatsburg Phone#: 845-753-6250	l i
E	ectrician: Bilco Electrical Contractors RC Lic # E-313	
_	Address: 12 Sunrise Hwy, New City, NY Phone#: 845-638-9137	
н	eat/Cooling: RC Lic#:	
	Address:Phone#:	
E	xisting use of structure or land: Vacant Land / New Home In Process	
P	roposed Project Description: Pool and Cabana	ַן ו
_		ERMIT
_		
P	roposed Square Footage: <u>288</u> Estimated Construction Value (\$): 15,000	**
_	BUILDING DEPARTMENT COMPLETES BELOW	-
P	LANS REVIEWED:	
_		
F	ERMIT REFERRED / DENIED FOR:	
4	hafu 12. Section 12-4 Paragraph A requires HABR approval	
6	hopter 43, Table 3.12, Column 1 = R-40, Column 22 Group E, Column 32	
_	SPR. Column 4 = plax pan 15% with 16.59% proposed- I Variance Kep	esperal.
	Page Page	1
	In a market	1

APPLICATION REVIEW FORM

AFFIDAVIT

_78.17-2-49

<u>78.17-2-50</u>

78.17-2-60

State of New York)
County of Rockland) SS.:
Town/Village of Oran	getown/Palisades

SECTION-BLOCK-LOT

I, Dylen Comito being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the HABR(board) in the town/village of Orangetown/Palisades affecting property located at 656 Oak Tree Rd, Palisades, Rockland County, New York.

That the following are all of the owners of property 200 ft__(distance) from the premises as to which this application is being taken.

ADDRESS

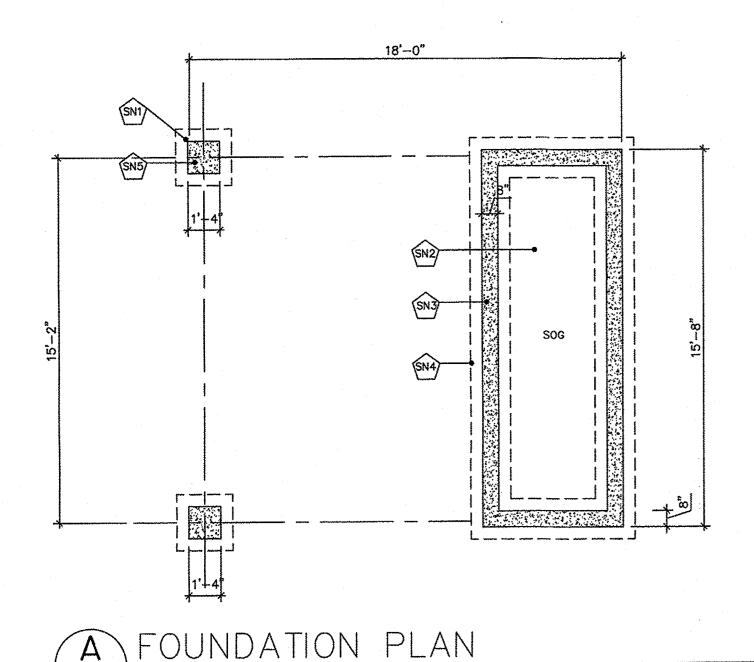
NAME

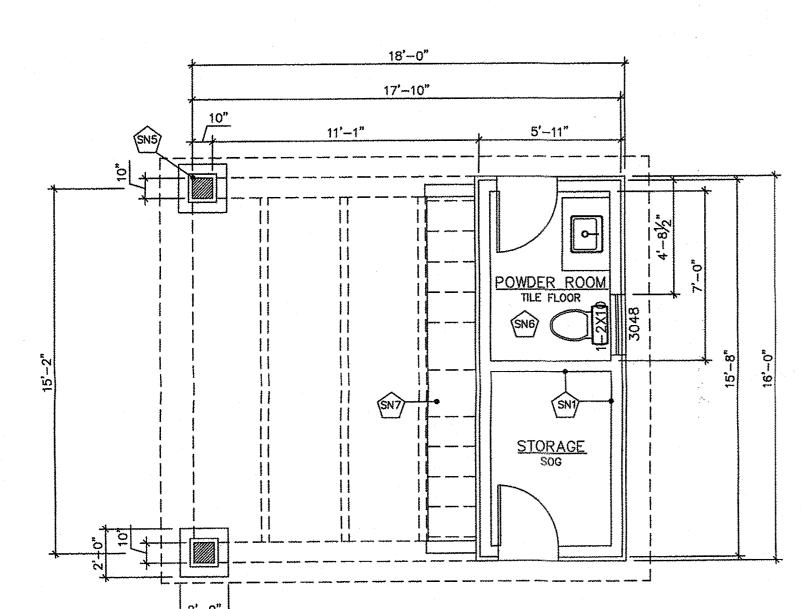
78.17-2-4	David Wolk	P.O. Box 65, Palisades, NY 10964
78.17-2-5	Sabrina Kraus	652 Oak Tree Rd, Palisades, NY 10964
78.17-2-6	Richard Rasmusse	en_644 Oak Tree Rd, Palisades, NY 10964
78.17-2-7	Eric Moser	P.O., Box 679, Palisades, NY 10964
78.17-2-8 Hey H	oe Woods Residential ⁻	Trust Kimberly Seaman P.O.Box 646, Palisades, NY 10964
78.17-2-9		LC P.O. Box 605, Palisades, NY 10964
78.17-2-10	Thomas F O'Conne	
78.17-2-11	Michael Fox	664 Oak Tree Rd, Palisades, NY 10964
78.17-2-12	Guy Raoul	668 Oak Tree Rd, Palisades, NY 10964
78.17-2-14	Lyn Fowler	5 Heyhoe Woods Rd, Palisades, NY 10964
78.17-2-34	Dorian Tunell	P.O. Box 591, Palisades, NY 10964
78.17-2-35	Abhineet Soni	43 Carroll St, Brooklyn, NY 11231
78.17-2-36	Keizo Tsukada	639 Oak Tree Rd, Palisades, NY 10964
78.17-2-37	Roberta M Smith	645 Oak Tree Rd, Palisades, NY 10964
78.17-2-48	Sara Pir-Levesque	
70 47 0 45		···

Eric Y Levesque 16 Swan St, Palisades, NY 10964

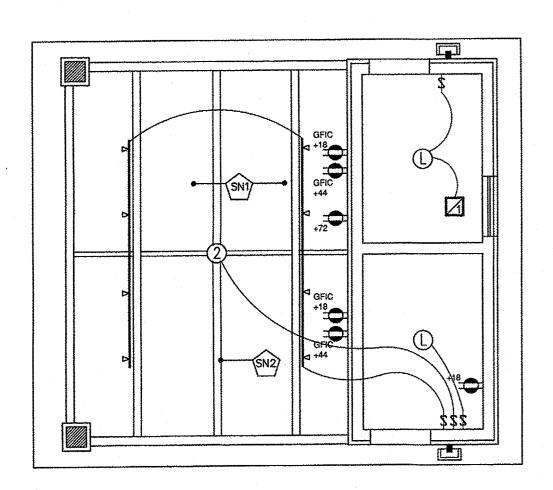
Amy Greenberg-Gordon 2 Post Ln, Palisades, NY 10964

Sean A Genovese 625 Oak Tree Rd, Palisades, NY 10964_____









FOUNDATION SHEET NOTES (SN):

- 1. NEW 28" WIDE X 12" DEEP CONCRETE FOOTING ON UNDISTURBED EARTH REINFORCED WITH 2 - #4 REBARS CONTINUOUS. SET FOOTING MINIMUM 36" BELOW GRADE, TYPICAL.
- 2. NEW 4" THICK 3000PSI CONCRETE SLAB REINFORCED WITH 6X6 器 WWF OVER 4 MIN POLY VAPOR BARRIER OVER 4" CRUSHED STONE ON
- NEW 8" CONCRETE FOUNDATION WALL ON CONCRETE FOOTING. SET FOOTING MINIMUM 36" BELOW GRADE, TYPICAL.
- 4. 24" W X 12" DEEP CONCRETE FOOTING ON UNDISTURBED SOIL. SET FOOTING MINIMUM OF 36" BELOW GRADE.
- 5. 16" X 16" CONCRETE FOUNDATION

FLOOR PLAN SHEET NOTES (SN):

- 1. 2X6 EXTERIOR STUD WALL. SPACE STUDS AT 16" OC. FINISH STUD WALLS WITH 1 GYPSUM BOARD THROUGHOUT.
- 2. INSTALL ¹/₂" GYPSUM BOARD OVER 2X4 STUDS 16" OC AT INTERIOR WALLS
- 3. PRIME ALL EXTERIOR GYPSUM BOARD WALL & CEILING SURFACES WITH
- BENJAMIN MOORE VAPOR BARRIER PRIMER SEALER 2060. 4. PROVIDE AND INSTALL SIMPSON STRONG-TIE (SST) HANGERS FOR ALL
- JOIST TO BEAM CONNECTIONS. 6X6 TREATED STRUCTURAL POST. INSTALL WITH SIMPSON STRONG TIE
- ABU POST BASES AND BCS POST CAPS AT POST TO GIRDER CONNECTION. INSTALL MOLD RESISTANT GYPSUM BOARD IN BATHROOM WALLS AND
- 7. WHITE QUARTZ COUNTER

- 1. INSTALL NEW 3" PRIMED TRIM AROUND ALL WINDOWS AND DOORS.
- 2. INSTALL NEW INTERIOR 4" BASE TRIM.
- 3. CERAMIC AND STONE TILE FLOORS SHALL BE THIN-SET ON SOUND SUB-FLOORING. BATHROOM TILE FLOOR SHALL BE THIN SET ON CONCRETE SLAB.
- 4. BATHROOM WALL BASE SHALL BE TILE TO MATCH THE FLOOR.
- 5. ALL DOOR HARDWARE TO MATCH EXISTING UNLESS OTHERWISE INDICATED, THE CONTRACTOR SHALL PURCHASE AND INSTALL ALL REQUIRED HARDWARE FOR A COMPLETE AND PROPER INSTALLATION.
- FINISH HARDWARE, LIGHTING FIXTURES, AND SWITCH PLATES SHALL BE PROTECTED OR REMOVED BEFORE PAINTING IS STARTED AND SHALL BE REPLACED AFTER PAINTING IS COMPLETED
- 7. ALL NEW SURFACES TO RECEIVE FINISHES SHALL BE PROPERLY PREPPED IN STRICT ACCORDANCE TO THE PAINT AND FINISH MANUFACTURERS SPECIFICATIONS.
- 8. ALL PAINTING SHALL CONSIST OF ONE PRIME COAT OVER NEW MATERIAL AND TWO FINISH COATS. WALLS AND CEILINGS ARE TO RECEIVE A FLAT FINISH. ALL DOORS, WOODWORK AND TRIM TO BE PAINTED SHALL RECEIVE A SEMI-GLOSS ENAMEL. ALL PAINTING SHALL BE SANDED BETWEEN COATS. COLORS TO BE SELECTED BY OWNER.
- 9. ALL KITCHEN CABINETS AND SHELVING TO BE PROPERLY SUPPORTED.

REFLECTED CEILING PLAN SHEET NOTES (SN):

- 1. AZEK BEADBOARD CEILING ¹/₂" X 6-1/8"
- 2. (2) 2X8 COLLAR BEAMS WIAZEK TRIM

PLUMBING NOTES:

- 1. ALL PLUMBING WORK SHALL CONFORM TO THE STANDARDS OF NEW YORK BUILDING CODE AND NEW YORK STATE WATER SUPPLY, GAS, AND ELECTRICITY AND ALL OTHER AGENCIES HAVING JURISDICTION.
- 2. THE PLUMBER SHALL OBTAIN ALL PERMITS, INSPECTION ETC RELATED TO HIS WORK UNDER THIS APPLICATION AS REQUIRED FOR COMPLETION OF WORK.
- 3. ALL WORK TO BE DONE BY A PLUMBER LICENSED IN NEW YORK.
- 4. ALL PIPING IS TO BE CONCEALED IN WALLS, SOFFITS OR HUNG CEILINGS AND SHALL NOT BE EXPOSED TO VIEWS, UNLESS SO NOTED.
- SANITARY WASTE AND VENT PIPING SHALL BE HUB-LESS CAST IRON, SERVICE WEIGHT ASTM-A-74 MANUFACTURED AND INSTALLED IN ACCORDANCE WITH C.I.S.P.I.
- WATER PIPING SHALL BE TYPE "K" OR "L" COPPER ASTM-B-88 WITH (95-5) SOLDERED JOINTS.
- ALL PIPING THROUGH FIRE-RATED WALLS, SLABS, ETC SHALL HAVE STEEL SLEEVES EXTENDING 2" ABOVE THE FLOOR. THE SPACE BETWEEN THE PIPES AND THE SLEEVES SHALL BE PACKED TO A DEPTH OF NOT LESS THAN 1" FROM EITHER SIDE WITH ROCK WOOL, AFTER ROCK WOOL HAS BEEN INSTALLED AROUND THE PIPES, A 26 GAUGE SHEET METAL COLLAR SHALL BE SECURED AROUND THE PIPE TO INSURE TIGHTNESS.
- COLD WATER AND HOT WATER PIPING SHALL BE INSULATED WITH FIBERGLASS INSULATION WITH FACTORY APPLIED ALL-SERVICE JACKET SECURED IN PLACE WITH SELF SEATING LAPS. FITTINGS SHALL BE INSURED WITH PREMOLDED PVC COVERS SECURED IN PLACE WITH STAINLESS STEEL TACKS.
- 9. COLD WATER: ½"
- 10. HOT WATER & HOT RETURN: ₹"
- 11. CONTRACTOR SHALL REMOVE ALL UNUSED AND UNNECESSARY PIPING AND SHALL PROVIDE NEW AS SHOWN ON PLANS.
- 12. EXISTING PIPING SHALL BE MODIFIED AS REQUIRED TO PROVIDE A COMPLETE SYSTEM.
- 13. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND APPROVALS ON ALL OF HIS WORK FROM ALL LOCAL AUTHORITIES AND COMPLY WITH ALL STATE AND LOCAL REQUIREMENTS.
- 14. ALL INTERIOR WATER PIPES SHALL BE TYPE L COPPER PIPE WITH HARD DRAWN PLAIN ENDS, IN ACCORDANCE WITH ASTM SPECIFICATIONS, OR PEX INSTALLED ACCORDING TO THE MANUFACTURERS SPECIFICATIONS, FITTINGS FOR COPPER PIPES SHALL BE THOROUGHLY CLEANED AND FITTED. SOLDERING AND PRESSURE TESTED BEFORE BLOCKING OVER OR BURYING. ALL COPPER WATER SERVICE PIPING PLACED BELOW CONCRETE SLABS OR IN CRAWL SPACES SHALL BE INSULATED AND PROTECTED FROM ADJACENT MATERIALS.

SUBSTITUTIONS OR CHANGES OF ANY SORT WITHOUT THE APPROVAL OF THE DEPARTMENT OF BUILDINGS MAY EFFECT LIFE SAFETY AND THE ABILITY TO OBTAIN SIGNOFFS AND A CERTIFICATE OF OCCUPANCY.

MASONRY AND CONCRETE

- ALL CONCRETE SHALL BE PLACED FOLLOWING THE ACI PROCEDURES CONCRETE FOR FOOTINGS AND WALLS SHALL BE 3000 PSI DESIGN MIX IN ACCORDANCE WITH ACI. THE CONCRETE SHALL ATTAIN ITS MAXIMUM STRENGTH AT 28 DAYS. SLUMP SHALL BE 4" FOR FOOTINGS AND FOUNDATION WALLS:
- CONCRETE FOR SLABS SHALL BE 4000 PSI DESIGN MIX IN ACCORDANCE WITH ACI, PROVIDE 6X6 WWF REINFORCING IN 4" SLABS.
- 3. NO CONCRETE SHALL BE PLACED WHEN THE AMBIENT TEMPERATURE IS BELOW 35 DEGREES F OR BELOW 40 DEGREES ON A FALLING TEMPERATURE, UNLESS SPECIAL PROVISIONS ARE MADE AND APPROVED FOR TEMPORARY HEAT THAT WILL MAINTAIN A TEMPERATURE OF 40 DEGREES F, DURING AND AFTER PLACEMENT FOR A PERIOD OF 48 HOURS. NO FROZEN WORK WILL BE ACCEPTED
- 4. CONCRETE THAT IS PLACED IN TEMPERATURES ABOVE 60 DEGREES F SHALL BE PROTECTED AGAINST RAPID DRYING AND MOISTURE LOSS IN ACCORDANCE WITH ACI.
- REINFORCING RODS SHALL CONFORM TO ASTM SERIAL DESIGNATION #615-60: DEFORMED AND ROLLED FORM NEW BILLET STEEL. SET ALL REINFORCING FOR INSPECTION BEFORE PLACING CONCRETE.
- 6. ALL FORMS SHALL BE PROPERLY BRACED, TIED AND SUPPORTED DURING AND AFTER PLACEMENT OF CONCRETE. USE FORM RELEASE AGENTS WHICH WILL NOT TRANSFER TO THE CONCRETE. THE CONCRETE FORMS SHALL NOT BE STRIPPED UNTIL 48 HOURS AFTER PLACING CONCRETE.
- BACKFILL MAY PROCEED WHEN THE CONCRETE HAS ATTAINED 75% OF ITS FINAL STRENGTH.
- 8. ALL CONCRETE BLOCK SHALL BE LOAD BEARING UNITS OF 1500 PSI MINIMUM. HORIZONTAL REINFORCING SHALL BE TRUSS TYPE PLACED EVERY SECOND COURSE.
- 9. STORE ALL UNITS OFF OF THE GROUND TO PREVENT CONTAMINATION.
- 10. BLOCK CONSTRUCTION SHALL BE PROTECTED IN HOT AND COLD WEATHER IN ACCORDANCE WITH THE NATIONAL CONCRETE MASONRY ASSOCIATION STANDARDS
- 11. CONCRETE BLOCK FOR FIREPLACE CHIMNEYS SHALL BE LOAD BEARING UNITS AS REQUIRED. ALL CLAY TILE FLUES SHALL BE INSTALLED ACCORDANCE TO CODE WITH THE PROPER MASONRY COVER.
- 12. MORTAR SHALL BE TYPE M OR S. MIX ONE PART PORTLAND CEMENT, 1 TO 3 PART HYDRATED LIME AND 1 1 TO 3 PARTS SAND; MIX ON SITE WITH POTABLE WATER.
- 13. NO AIR ENTRAINING ADMIXTURE ANTIFREEZE COMPOUNDS, SUCH AS CALCIUM CHLORIDE SHALL BE ADDED TO THE MORTAR.
- 14. ALL MASONRY IS TO BE THOROUGHLY MOISTENED WITH CLEAN WATER, THEN CLEANED WITH AN APPROVED MASONRY CLEANING AGENT.
- 15. ALL WORKMEN SHALL BE EXPERIENCED TRADEMEN, TRAINED AND QUALIFIED TO DO THE WORK AT HAND.
- 16. INSTALL CULTURED STONE CONCRETE STONE VENEER WHERE INDICATED ON THE DRAWINGS. OWNER TO CHOOSE STYLE AND COLOR AT STUD WALLS, INSTALL AS SPECIFIED BY THE MANUFACTURER OVER CAV CLEAR MASONRY MATT 3" THICK ON 30# BUILDING FELT OVER 1"/R-6.5 POLYISO CONTINUOUS RIGID INSULATION ON 3" CDX PLYWOOD SHEATHING ON 2X6 STUDS AT 16" OC.
- 17. INSTALL CULTURED STONE CONCRETE VENEER AT THE CMU AND/OR CONCRETE RETAINING WALLS AS SPECIFIED BY THE MANUFACTURER FOR INSTALLATION OVER THE CMU. STYLE AND COLOR TO BE

ELE	CTRIC SYMBOL LEGEND
(L)	SURFACE MOUNTED CEILING LIGHT FIXTURE TO BE CHOSEN BY OWNER
2	HALOGEN PENDANT FIXTURE CHOSEN CHOSEN BY OWNER
ΔΔΔ	SURFACE MOUNTED TRACK LIGHT
A	FANTECH ERV EXHAUST VENT. INSTALL AT EACH BATHROOM & WHERE INDICATED. NUMBER DESIGNATES WHICH ERV UNIT.
(JB)	JUNCTION BOX INSTALL LIGHT FIXTURE OR FAN AS CHOSEN BY OWNER
4	EXTERIOR FLOOD LIGHTS MD INDICATES MOTION DETECTOR SWITCH
G	EXTERIOR WALL SCONCE TO BE CHOSEN BY OWNER
-)	BATHROOM VANITY WALL SCONCE TO BE CHOSEN BY OWNER
-	DUPLEX RECEPTACLE
+	QUADRUPLEX RECEPTACLE
S	HARDWIRED SMOKE DETECTOR, INSTALL NEW SMOKE DETECTORS IN ALL NEW & EXISTING BEDROOMS AS REQ'D BY CODE
88	TOILET EXHAUST FAN W/ LIGHT- 75cfm MINIMUM
<u></u>	CARBON MONOXIDE DETECTOR
64	3 POLE SWITCH
_{∞Ω}	3 POLE DIMMER SWITCH
怛	CABLE TELEVISION/ COMPUTER JACK LOCATION. SET WALL HEIGHT AS NOTED. RG 6 CABLE: HOMERUN ALL WIRES INDIVIDUALLY TO CENTRAL LOCATION
CABLE	CABLE, DATA & STRUCTURED WIRING HOME-RUN PANEL

ELECTRICAL NOTES:

1. IF DIMMER SWITCHES ARE ADDED TO CIRCUITS WITH LED LIGHTING; VERIFY WITH LED MANUFACTUER'S APPROVED DIMMER LIST THAT FIXTURE WILL TO OPERATE CORRECTLY PRIOR TO INSTALLATION.

2. FIELD VERIFY SCONCE HEIGHTS ON WALL WITH OWNER AND FIXTURE CHOSEN.

3. PER RCNYS R313.1 & APPENDEX J504.2 INSTALL INTERCONNECTED HARDWIRED SMOKE DETECTORS IN ALL SLEEPING ROOMS AND OUTSIDE OF SLEEPING ROOMS, AND 1 ON EACH FLOOR. PER J504.2 EXCEPTIONS: WHERE CEILINGS AND WALL FINISHES ARE NOT REMOVED AND ARE NOT ACCESSIBLE FROM ATTICS, BATTERY OPERATE DETECTORS MAY BE INSTALLED IN LIEU OF HARDWIRED.

3. COORDINATE LIGHT LOCATIONS WITH FRAMING CONTRACTOR TO AVOID CONFLICTS WITH FRAMING.

ELECTRICAL SPECIFICATIONS:

1. INSTALL CREE LED RECESSED DOWN LIGHTS AND LAMPS AS SPECIFIED AND AS REQUIRED BY OWNER. CREE LED LIGHTING, MORRISVILLE, NC 1-919-287-7700.

ELECTRIC AND LIGHTING NOTES:

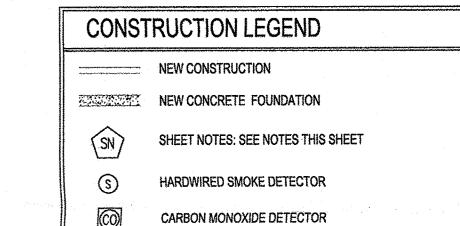
- 1. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS ON ALL HIS WORK FROM LOCAL AUTHORITIES AND COMPLY WITH AL NEW YORK STATE AND LOCAL CODE REQUIREMENTS.
- 2. ALL ELECTRICAL WORK SHALL BE EXECUTED BY A LICENSED ELECTRICIAN AND IN ACCORDANCE WITH APPLICABLE CODES.
- 3. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR TO INSTALL SERVICE REQUIREMENTS FROM THE UTILITY COMPANY'S TRANSFORMER AS REQUIRED BY CODE.
- 4. ALL FEEDERS AND LINES SHALL BE ON A SIZE AS REQUIRED BY THE LOCAL AND STATE CODE, AND THE POWER COMPANIES DIRECTIVES.
- 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, AND THE STATE OF NEW YORK.
- 6. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL OUTLETS, SWITCHES AND COVER PLATES TO COMPLETE THE JOB. SUBMIT ALL SAMPLES OF PROPOSED MATERIALS.
- 7. SMOKE DETECTORS SHALL BE INSTALLED IN LOCATIONS REQUIRED BY CODE AND AS INDICATED ON THE DRAWINGS.
- 8. AT THE COMPLETION OF THE JOB, THE ELECTRICAL CONTRACTOR SHALL SECURE ALL REQUIRED CERTIFICATIONS AS REQUIRED BY THE LOCAL AUTHORITIES.
- 9. REVIEW ALL LIGHTING AND SWITCH LOCATIONS WITH THE OWNER.
- 10. NEW LIGHT FIXTURES SHALL BE HALO OR EQUAL. SUBMIT CUTS OF ALL PROPOSED LIGHT FIXTURES PRIOR TO PURCHASE TO THE OWNER FOR APPROVAL.
- 11. THE CONTRACTOR SHALL VERIFY THAT THE REQUIRED SPACE IS AVAILABLE FOR ALL RECESSED LIGHT FIXTURES, AND SHALL INFORM THE ARCHITECT OF ANY OBSTRUCTION WHICH WOULD INTERFERE WITH THE PROPER INSTALLATION OF THE FIXTURES AS SHOWN, RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILINGS SHALL BE PROVIDED WITH AN AIR-SEALED, INSULATION CONTACT HOUSING FROM THE MANUFACTURER.
- 12. PROVIDE WIRING FOR ALL NEW RESIDENTIAL APPLIANCES AS
- REQUIRED.
- 13. ALL WIRING SHALL RUN CONCEALED.
- 14. LOCATION OF ALL OUTLETS, SWITCHES, RECEPTACLES, CEILING LIGHTS, BELL SYSTEMS AS PER PLANS OR AS DIRECTED BY THE OWNER/CONTRACTOR.
- 15. NEW ELECTRICAL OUTLETS, TELEPHONE OUTLETS, ETC. MUST BE INSTALLED IN COMPLIANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) PUBLICATION A117.1. NON OF THESE ITEMS "EXCEPT WHERE THE USE OF SPECIAL EQUIPMENT DICTATES OTHERWISE" SHALL BE MOUNTED LESS THAN 15" ABOVE FINISHED FLOOR.

GENERAL NOTES:

- 1. DO NOT SCALE DRAWINGS, USE INDICATED DIMENSIONS
- 2. ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED AS REQUIRED
- BY THE LOCAL BUILDING DEPARTMENT. 3. ALL NEW EXTERIOR WALL ARE 2X6 STUDS AT 16" OC UNLESS OTHERWISE NOTED. ALL INTERIOR STUDS ARE 2X4 STUDS AT 16" OC UNLESS OTHERWISE NOTED.
- DOUBLE UP JOISTS UNDER PARALLEL PARTITIONS.

EXPANDING FOAM AND/OR SILCONE CAULK.

- ALL WOOD IN CONTACT WITH MASONRY & CONCRETE SHALL BE PRESSURE TREATED WITH WOOD PRESERVATIVE.
- 6. ALL WALL BASE PLATES SHALL BE IN A MINIMUM 3" BEAD OF CAULK OR SEALANT. ALL PENETRATIONS THROUGH THE CEILING AND EXTERIOR WALLS SHALL BE AIR SEALED WITH
- WINDOWS ARE 200 SERIES ANDERSON. UNITS TO BE LOW-E COATED WITH INSULATING GLASS & ARGON GAS. PROVIDE ALL OPERATING UNITS WITH SCREENS. UNIT NUMBERS ARE INDICATED ON PLANS.
- 8. FLASH ALL WINDOW ROUGH OPENINGS WITH A PEE & STICK TYPE MEMBRANE FLASHING. FLASH SILLS TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE.
- 9. SEAL AROUND ALL DOOR AND WINDOW ROUGH OPENINGS WITH MINIMALLY EXPANDING FOAM. FOLLOW MANUFACTURERS PRECAUTIONS.
- 10. ALL FASTENERS, NAILS AND HANGERS WHICH COME IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED STAINLESS STEEL
- 11. INSTALL HANGERS AND CONNECTORS BY SIMPSON STRONG-TIE (SST) AS NOTED ON THE DRAWINGS. INSTALL ALL CONNECTORS WITH NAILS OR SCREWS AS SPECIFIED BY SIMPSON STRONG-TIE. DO NOT SUBSTITUTE CONNECTORS OR FASTENERS. ALL FASTENER COATINGS SHALL MATCH THE EXTERIOR COATING OF THE SPECIFIED HANGER. HDG TO HDG AND STAINLESS TO STAINLESS.
- 12. INSTALL BETTER HEADER (BH) SANDWICH PLATE SYSTEM STEEL FLITCH PLATE GIRDERS WHERE INDICATED ON THE DRAWINGS. BEAR BETTER HEADER GIRDERS ON STRUCTURAL COLUMNS AT EACH END AS INDICATED ON THE DRAWINGS
- 13. REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



COMITO HOMES LLC

656 OAK TREE ROAD PALISADES, NY 10964

201-240-5987

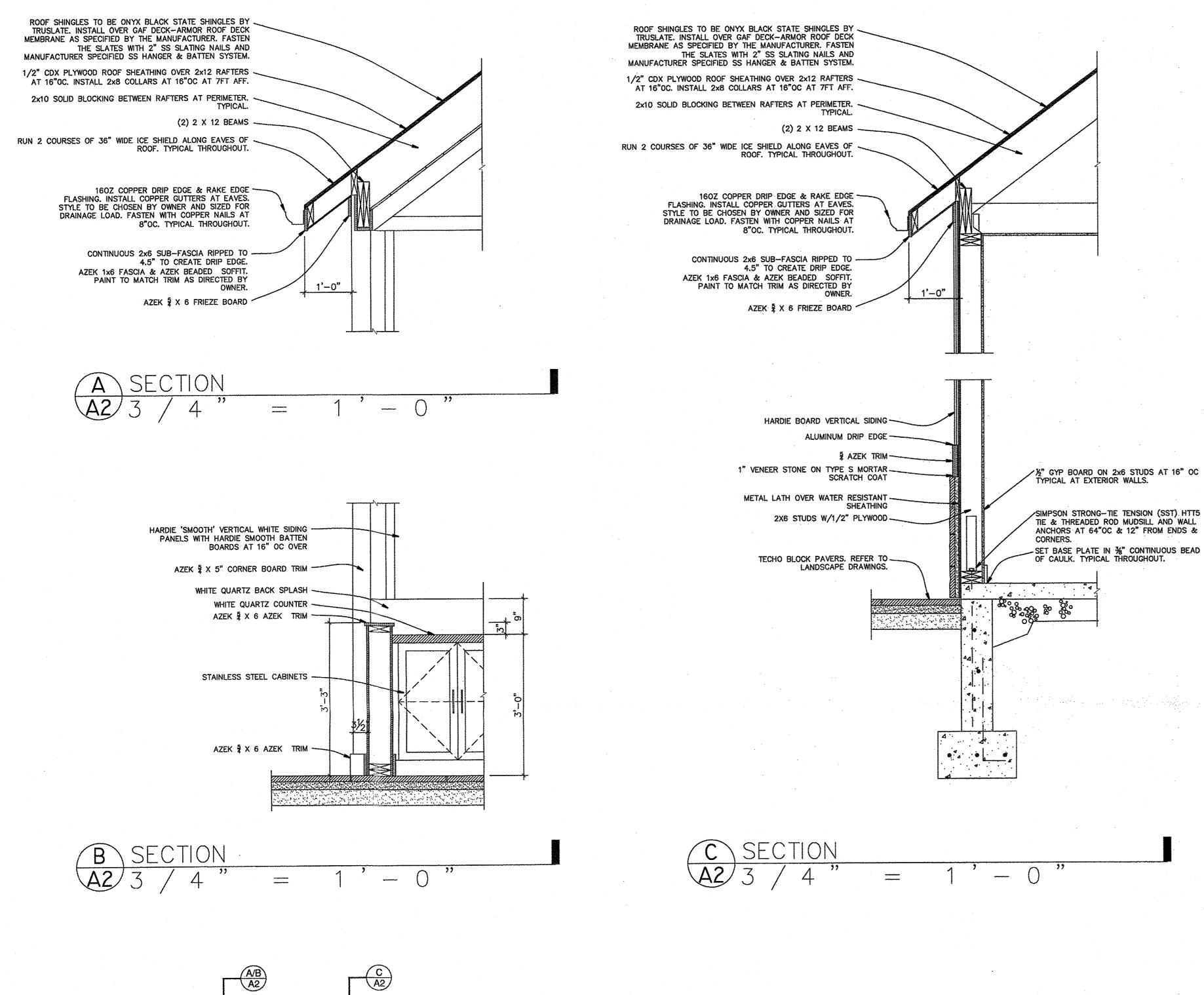
G.PALLADINO LLC ARCHITECTURE 28 EAST STREET WEST NYACK, NEW YORK 10994

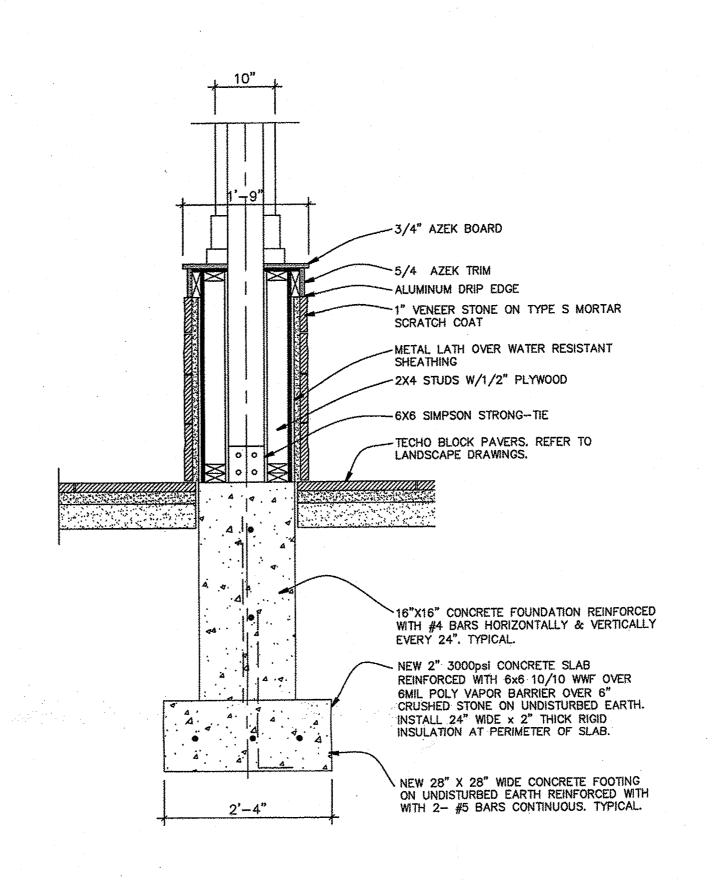
POOL CABANA **FLOOR PLANS**

SCALE AS SHOWN DATE SEPTEMBER 9, 2022 JOB NO. 1019 SHEET NO. **REVISIONS:**

CONST. ISSUE

NOV 02 2022





ELEVATION SHEET NOTES (SN):

- 1. HARDIE 'SMOOTH' VERTICAL WHITE SIDING PANELS WITH HARDIE SMOOTH BATTEN BOARDS AT 16" OC OVER HOUSEWRAP ON 76" OSB SHEATHING. INSTALL 'Z' FLASHING AT
- ALL HORIZONTAL JOINTS IN SIDING. TYPICAL.

 2. CONTINUOUS ALUMINUM DRIP EDGE AT ALL ROOF EDGES. PROVIDE GUTTERS AT EAVES.
- 3. AZEK \$\frac{5}{4}\$ X6 FASCIA OVER CONTINUOUS 2X6 SUB-FASCIA RIPPED TO 5" TO CREATE RECESS FOR SOFFIT.
- 4. RUN 2 COURSES OF 36" WIDE ICE SHIELD ALONG EAVES OF ROOF, TYPICAL THROUGHOUT.
- 5. GAF TIMBERLINE HDZ CHARCOAL HIGH DEFINITION SHINGLES OVER 15# ROOFING FELT ON 1/2" CDX SHEATHING OVER 2X12
- 6. AZEK \$ X5 SYNTHETIC WINDOW TRIM AT SILL. PAINT ALL TRIM IN COLOR AS CHOSEN BY OWNER.
- 7. AZEK ⁵/₄ X 5 SYNTHETIC WATER TABLE TRIM.
- 8. FLASH ALL WINDOW ROUGH OPENINGS WITH A BUTYL PEEL & STICK TYPE FLEX MEMBRANE WRAP TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE. FLASH THE WINDOW SILLS AND JAMBS TO THE EXTERIOR HOUSEWRAP. TYPICAL THROUGHOUT.
- 9. 1" FLAGSTONE VENEER

RAFTERS AT 16"OC.

- 10. 4X4 PRESSURE TREATED BRACKET. WRAP W/ SYNTHETIC AZEK TRIM.
- 11. AZEK BEADBOARD CEILING 1 X 6-1/8"
- 12. 1X4 AZEK TRIM AT WINDOW JAMBS AND DOOR.
- 13. PELLA, LIFESTYLE SDL, BLACK DOUBLE HUNG WINDOWS WITH
- SIMULATED DIVIDED LIGHTS WITH WHITE TRIM.

 14. HB&G PERMACAST 10" PLAIN, SQUARE COLUMN WITH TUSCAN
- CAP BASE, PRIME & PAINT AS SPECIFIED BY MANUFACTURER.
- 15. PATIO LIGHT. REFER TO ELECTRICAL SHEETS.
- 16. TECHO BLOC. REFER TO LANDSCAPE PLANS.
- 17. PENDANT FIXTURE. REFER TO ELECTRICAL SHEETS.
- 18. AZEK ⁵/₄ X 5 TRIM.
- 19. STEVE'S DOOR BLACK, MODEL: DIRECT GLAZED SMOOTH FIBERGLASS ½ LITE 4 LITE.
- 20. AZEK ¼ X 4 SPAN BREAKERS.
- 21. AZEK ½ X 6 RAKER.
- 22. AZEK ½ X 6 FRIEZE BOARD UNDER SOFFITS.
- 23. BEAM AND POST WRAPPED WITH AZEK TRIM.
- 24. AZEK \$\frac{5}{4} \times 5" TRIM ON ALL CORNERS
- 25. STAINLESS STEEL CABINETRY
- 26. CARRERA WHITE QUARTZ COUNTER AND BACKSPLASH.
- 27. 2 X 8 COLLAR BEAM WRAPPED WITH AZEK TRIM
- 28. ½" AZEK BOARD

COMITO HOMES LLC

656 OAK TREE ROAD PALISADES, NY 10964

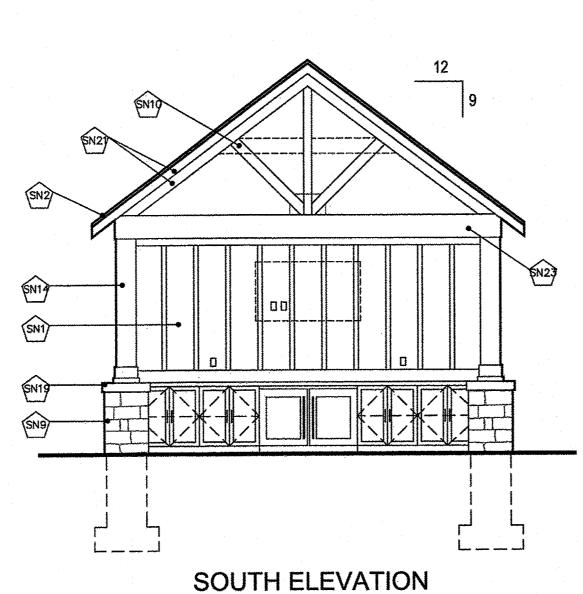
G.PALLADINO LLC ARCHITECTURE 28 EAST STREET

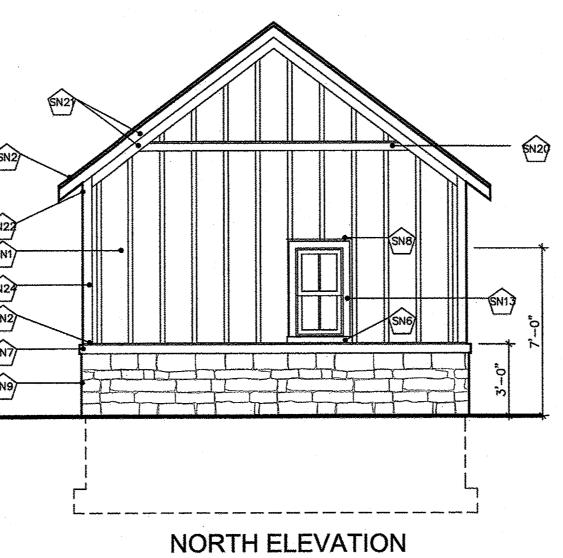
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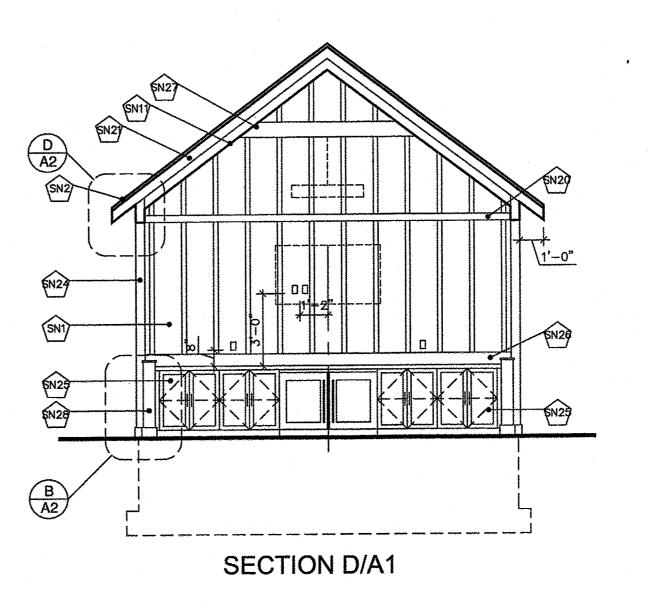
POOL CABANA ELEVATIONS/SECTIONS

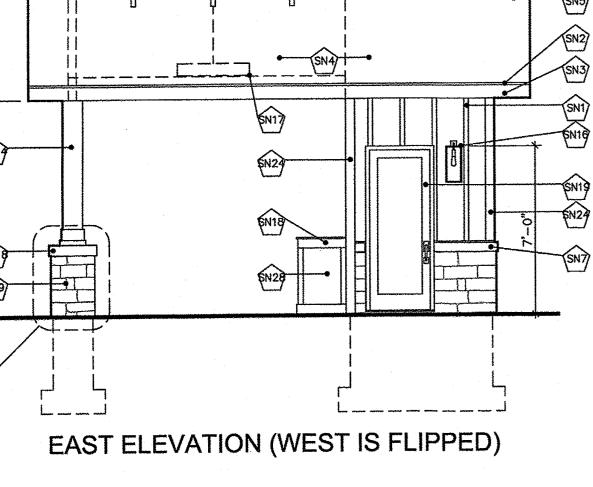
SCALE AS SHOWN
DATE SEPTEMBER 9, 2022
JOB NO. 1019
REVISIONS: SHEET NO
CONST. ISSUE

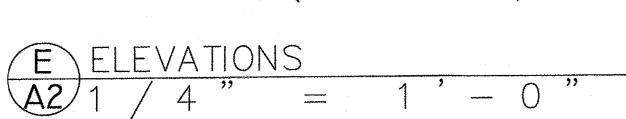


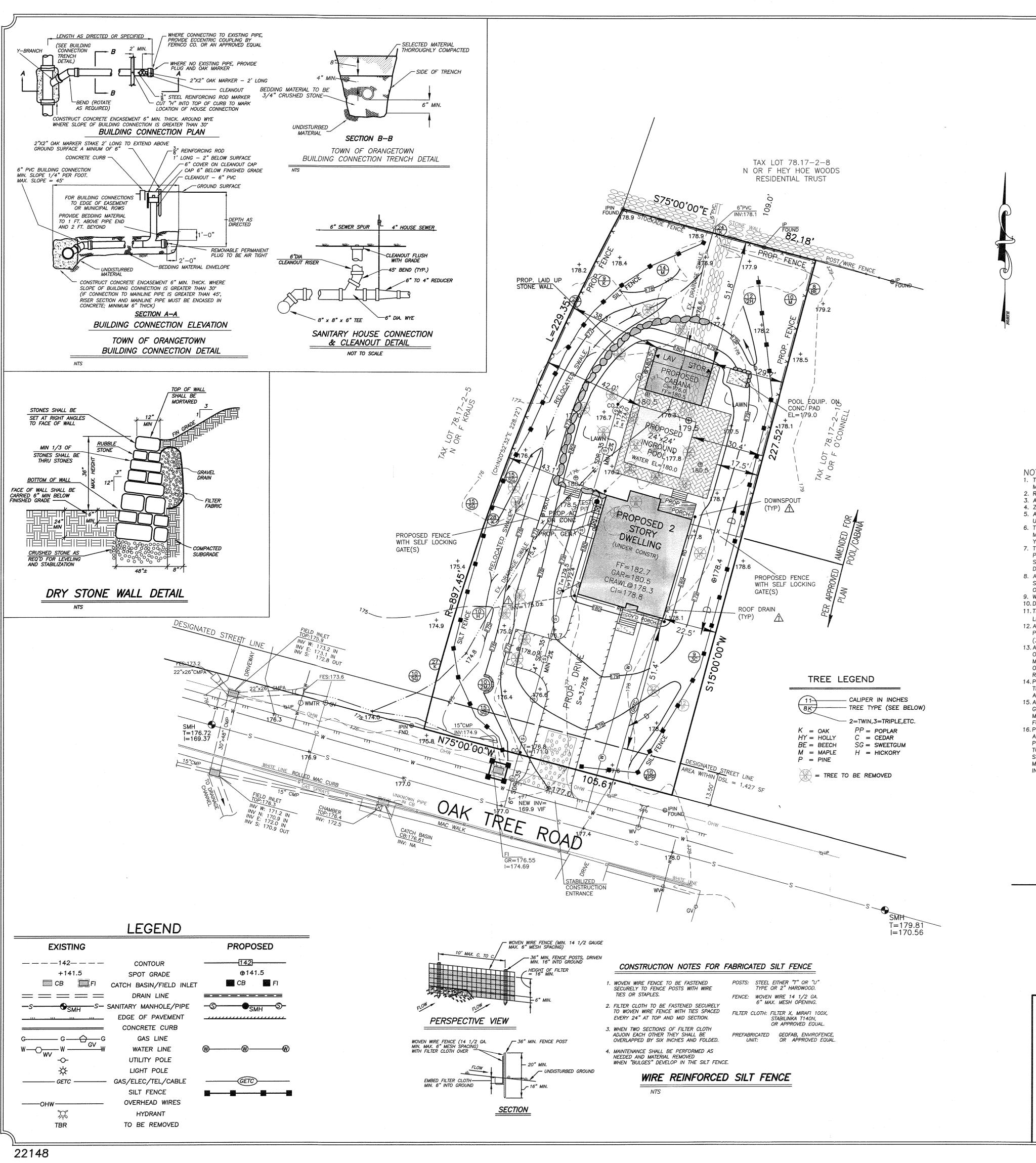


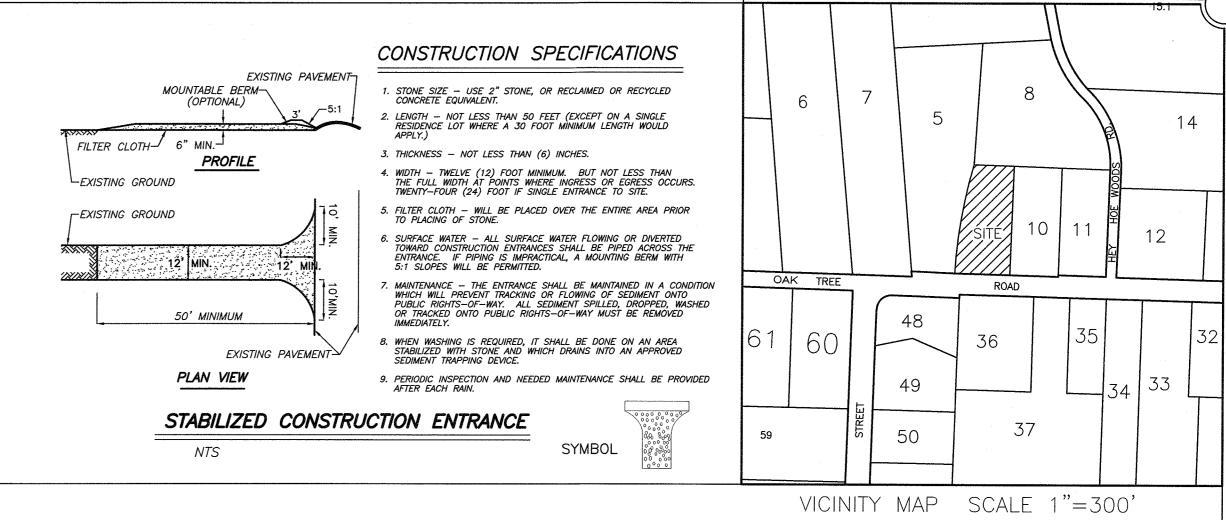












CONSTRUCTION SPECIFICATIONS

- 1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- 2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE
- 3. STAKE MATERIALS WILL BE STANDARD 2"X4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
- 4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC
- 5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW THE GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES
- 6. A 2"X4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

DROP INLET PROTECTION

1. THIS IS A SITE PLAN OF TAX LOT 78.17-2-9 AS SHOWN ON THE TOWN OF ORANGETOWN TAX

- 2. RECORD OWNER: 656 OAK TREE ROAD LLC, PO BOX 605, PALISADES NY 10964
- 3. APPLICANT: MARC COMITO, COMITO HOMES LLC, 87 SIXTH AVE, NYACK, NY 10960 4. ZONE: R-40
- 5. ALL NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
- 6. THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L&M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW
- 7. THIS PLAT IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION PLANS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK. LOT DRAINAGE SHOWN ON SUCH PLANS SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND & SHALL NOT BE
- 8. ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.

9. WATER SUPPLY: SUEZ 10. DATUM: NAVD 88

- 11.THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER & AT LEAST 30" IN LENGTH. TO BE INSTALLED AFTER FINAL GRADING.
- 12. ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING. PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN (30) DAYS OF THE COMPLETION OF CONSTRUCTION
- 13. AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES & VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEME, SUPT. OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING & PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE
- RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING. 14. PLANS COMPLY WITH STORMWATER MANAGEMENT PHASE II REGULATIONS FOR PROJECTS WITH LESS THAN ONE ACRE OF DISTURBANCE. AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED,
- AND NO NOI FILING IS REQUIRED. 15. ALL LANDSCAPING SHOWN ON THE SUBDIVISION PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
- 16. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION & SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD, PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN D.E.M.E. SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION & SEDIMENTATION CONTROL MEASURES THE APPLICANT SHALL CONTACT DEME AT LEAST 48 HOURS IN ADVANCE FOR AN

- 17. THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES ARE AS
 - a. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY. b. THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH TREES. c. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL
 - SIDES AT A 5 TO 10 FOOT HEIGHT. d. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE BY ONE OF THE FOLLOWING METHODS:

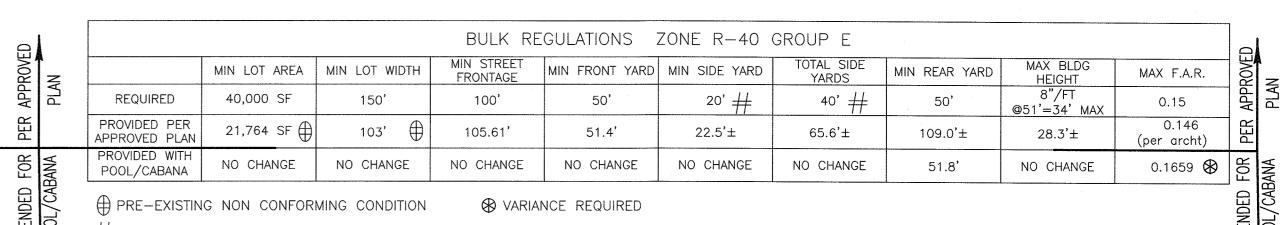
1. ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH 2. DRIP LINE OF THE TREE CANOPY

THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:

1. LIGHT TO HEAVY IMPACTS- MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK 2. LIGHT IMPACTS ONLY- INSTALLATION OF 3/4 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED. THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR

PRESERVED IN A RAISED BED, WITH THE TREE WELL RADIUS OF THREE (3) FEET LARGER THAN THE

- 18. IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORSEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO DEME. THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND SATISFACTORY CONSTRUCTION. DEME SHALL INVESTIGATE THE CONDITION(SO, AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITIONS, OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF DEME, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SUBDIVISION PLAN OR SITE PLAN OR ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA, THE
- MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA (ie WETLAND-US ARMY CORPS OF ENGINEERS) 19. THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE
- PLANNING BOARD.
- 20.THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS AND REFUSE CONTROL.



#SIDE YARD OF 30' AND 80' TOTAL REDUCED PER SECTION 5.21(a), FOR LOTS WITH LESS THAN 110 FEET IN LOT WIDTH, SIDE YARDS SHALL BE NO LESS THAN 20 FEET.

AREA BREAKDOWN AREA = 22,478 SF GROSS- 714 SF 50% ROAD WIDENING

AMENDED PLOT PLAN

NOV **02** 2022 21,764 SF NET FOR ZONING

TAX LOT ;

DATE

JOB NO.

22148

10/07/21

GDANSKI CONSULTANTS, INC.	DATE	REVISIONS	
633 WOODMONT LANE	12/21/21	REV DWLG	
SLOATSBURG, NEW YORK, 10974	01/06/22	REV DWIG	
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WITH POOL & CABANA 78.17-2-9 COMITO 656 OAK TREE ROAD PALISADES, TOWN OF ORANGETOWN 22148P00L ROCKLAND COUNTY, NEW YORK SCALE 1"= 20' IAY A. GREENWELL, PLS, LLC

LAND PLANNING - LAND SURVEYING LAFAYETTE AVENUE, SUFFERN, NEW YORK 10901 NE 845-357-0830 FAX 845-357-0756 © 2021 JAY A GREENWELL, PLS, LLC