

Historical Areas Board of Review(HABR)

Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 656 Oak Tree Road Section/Block/Lot: 78.17-2-9

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:	Charcoal	Asphalt	GAF Timberline
Siding:	White	Hardie Board & Batten	James Hardie
Shed roof brackets Decorative Siding:	White	PVC	Azek
Soffits & Fascia:	White	Vinyl/Aluminum	Certainteed
Gutters & Leaders:	na	na	na
Windows:	Black	Lifestyle, SDL	Pella
Trim:	White	PVC	Azek
Shutters:	na	na	na
Front Door:	na	na	na
Back Door:	na	na	na
Garage Door(s):	na	na	na
Side doors Other Door(s):	Black	Painted, SDL	Steves Doors and Sons
Front Porch, hanging Lighting:	na	na	na
Exterior Wall Sconces Lighting:	Black	Metal/Glass	George Oliver
Stone or Rock being used on Structure:	Oxford	Stone veneer	Pangea
Stone or Rock being used on walkway(s):	Shale Gray	Pattern paver stones	Techo Bloc
Porch Columns Other:	White	10" Square, Permacast	HB&G

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

2022 LAND USE BOARD APPLICATION

<i>Please check all that apply:</i>	
<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-2029-22

ASSIGNED

INSPECTOR: Mike

Referred from Planning Board: YES / NO

If yes provide date of Planning Board meeting: _____

Project Name: Comito - 656 Oak Tree Road (Pool and Cabana)

Street Address: 656 Oak Tree Road, Palisades, NY 10964

Tax Map Designation:

Section: 78.17 Block: 2 Lot(s): 9

Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the North side of Oak Tree Road, approximately
200 feet East of the intersection of Swan Street, in the
Town of Orangetown in the hamlet/village of Palisades.

Acreage of Parcel .52

School District S. Orangetown

Ambulance District _____

Water District Suez

Zoning District R-40

Postal District Palisades

Fire District Palisades

Sewer District Orangetown

Project Description: (If additional space required, please attach a narrative summary.)

Installation of a 24' x 24' pool and 16' x 18' pool cabana to new single-family residence in process

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 9/26/22 Applicant's Signature: _____

APPLICATION REVIEW FORM

Applicant: Marc Comito, Comito Homes LLC **Phone #** 845-216-4001

Address: 87 Sixth Ave. Nyack NY 10960
Street Name & Number (Post Office) City State Zip Code

Property Owner: 656 Oak Tree Road LLC **Phone #** 845-512-1608

Address: PO Box 605 Palisades NY 10964
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Jay Greenwell **Phone #** 845-357-0830

Address: 85 Lafayette Ave. Suffern NY 10901
Street Name & Number (Post Office) City State Zip Code

Attorney: Robert S. Knoebel **Phone #** 845-358-1322

Address: 135 Main Street Nyack NY 10960
Street Name & Number (Post Office) City State Zip Code

Contact Person: Marc Comito **Phone #** 845-216-4001

Address: 87 Sixth Ave. Nyack NY 10960
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

☐ State or County Road
☐ Long Path
☐ Municipal Boundary

☐ State or County Park
☐ County Stream
☐ County Facility

List name(s) of facility checked above:

Referral Agencies:

☐ RC Highway Department
☐ RC Drainage Agency
☐ NYS Dept. of Transportation
☐ NYS Thruway Authority

☐ RC Division of Environmental Resources
☐ RC Dept. of Health
☐ NYS Dept. of Environmental Conservation
☐ Palisades Interstate Park Commission

☐ Adjacent Municipality _____
☐ Other _____

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area No

Are there **streams** on the site? If yes, please provide the names No

Are there **wetlands** on the site? If yes, please provide the names and type:

No

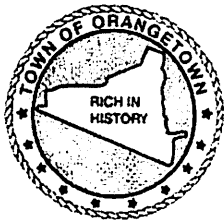
Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT

TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

HISTORICAL AREAS BOARD OF REVIEW REFERRAL LETTER

Date: September 23, 2022

Applicant: Comito

Address: 656 Oak Tree Rd, Palisades, NY

RE: Application Made at: same

Subject Referral for: Chapter 12 Section 12-4 Paragraph A requires HABR Approval

Section: 78.17 Block: 2 Lot: 9

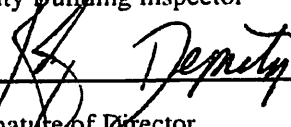
Dear Comito:

Please be advised that the Building Permit Application, which you submitted on
September 16, 2022, has been referred to appear before the H.A.B.R. I have enclosed a copy of your
application, where you will find at the bottom the reason for denial.

The Clerk to the Historical Areas Board of Review, Debbie Arbolino, can assist you in the
preparation necessary to appear before the board. Please contact her at 845-359-8410 ext. 4331 or
darbolino@orangetown.com

Sincerely,


Richard Oliver
Deputy Building Inspector


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: September 23, 2022

Applicant: Comito

Address: 656 Oak Tree Rd. Palisades

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-40 District, Column 2 Group E, Column 3 SFR, Column 4 Max FAR
15% with 16.59% proposed
1 Variance Required

Section: 78.17

Block: 2

Lot: 9

Dear Comito:

Please be advised that the Building Permit Application, which you submitted on

September 16, 2022, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

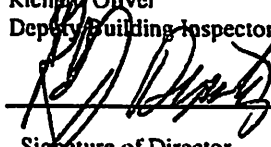
In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,


Richard Oliver
Deputy Building Inspector

9/23/22


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

9/23/22

Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.
APPLICATION FOR BUILDING / DEMOLITION PERMIT

TOWN OF ORANGETOWN

20 Greenbush Road, Orangetown, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: R-40 OFFICIAL USE ONLY ACREAGE: .46
Inspector: M. Mc Date App Received: 09/16/22 Received By: U2
Permit No. BDR2024-22 Date Issued: _____
CO No. _____ Date Issued: _____
Permit Fee: 1,482 Ck# 3883 Paid By Comito Homes LLC
GIS Fee: 20 Ck# _____ Paid By _____
Stream Maintenance Fee Ck# _____ Paid By _____
Total 1,502
Additional Fee: _____ Ck# _____ Date Paid _____ Paid By RECEIVED
1st 6 mo. Ext.: _____ Ck# _____ Exp. Date: _____ Paid By _____
2nd 6 mo. Ext.: _____ Ck# _____ Exp. Date: _____ Paid By SEP 16

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application.

PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 656 Oak Tree Road, Palisades
Section: 78.17 Block: 2 Lot: 9
Property Owner: Comito Homes LLC
Mailing Address: 87 Sixth Ave, Nyack, NY 10960
Email: marc@comitohomes.com Phone #: 845-216-4001
Lessee (Business Name): _____
Mailing Address: _____
Email: _____ Phone #: _____
Type of Business / Use: Residential - New Construction
Contact Person: Marc Comito Relation to Project: Builder
Email: marc@comitohomes.com Phone#: 845-216-4001
Architect/Engineer: George Palladino NYS Lic # 028058
Address: 28 Eckst St. West Nyack, NY Phone#: 201-240-5987
Builder/General Contractor: Comito Homes LLC RC Lic # H-18206
Address: 87 Sixth Ave, Nyack, NY 10960 Phone#: 845-216-4001
Plumber: EMFO Contractors RC Lic # P-804
Address: 136 Orange Tpk, Sloatsburg Phone#: 845-753-6250
Electrician: Bilco Electrical Contractors RC Lic # E-313
Address: 12 Sunrise Hwy, New City, NY Phone#: 845-638-9137
Heat/Cooling: _____ RC Lic#: _____
Address: _____ Phone#: _____
Existing use of structure or land: Vacant Land / New Home In Process
Proposed Project Description: Pool and Cabana

Proposed Square Footage: 288 Estimated Construction Value (\$): 75,000

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____

PERMIT REFERRED / DENIED FOR:

Chapter 12, Section 12-4 Paragraph A requires NABR approval
Chapter 43, Table 3.12, Column 1 = R-40, Column 2 = Group E, Column 3 =
SFR, Column 4 = Max FAR 15% with 16.5% proposed - 1 Variance Request

Historic

9/29/22

FOR OFFICE
USE ONLY

SECTION

BLOCK

LOT

NAME

PERMIT #

SCANNED

SEP 16 2022

APPLICATION REVIEW FORM

AFFIDAVIT

State of New York)

County of Rockland) SS.:

Town/Village of Orangetown/Palisades

I, Dylen Comito being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the HABR(*board*) in the town/village of Orangetown/Palisades affecting property located at 656 Oak Tree Rd, Palisades, Rockland County, New York.

That the following are all of the owners of property 200 ft____(*distance*) from the premises as to which this application is being taken.

<u>SECTION-BLOCK-LOT</u>	<u>NAME</u>	<u>ADDRESS</u>
78.17-2-4	David Wolk	P.O. Box 65, Palisades, NY 10964
78.17-2-5	Sabrina Kraus	652 Oak Tree Rd, Palisades, NY 10964
78.17-2-6	Richard Rasmussen	644 Oak Tree Rd, Palisades, NY 10964
78.17-2-7	Eric Moser	P.O.. Box 679, Palisades, NY 10964
78.17-2-8	Hey Hoe Woods Residential Trust Kimberly Seaman	P.O.Box 646, Palisades, NY 10964
78.17-2-9	656 Oak Tree Rd LLC	P.O. Box 605, Palisades, NY 10964
78.17-2-10	Thomas F O'Connell	P.O. Box 605 Palisades, NY 10964
78.17-2-11	Michael Fox	664 Oak Tree Rd, Palisades, NY 10964
78.17-2-12	Guy Raoul	668 Oak Tree Rd, Palisades, NY 10964
78.17-2-14	Lyn Fowler	5 Heyhoe Woods Rd, Palisades, NY 10964
78.17-2-34	Dorian Tunell	P.O. Box 591, Palisades, NY 10964
78.17-2-35	Abhineet Soni	43 Carroll St, Brooklyn, NY 11231
78.17-2-36	Keizo Tsukada	639 Oak Tree Rd, Palisades, NY 10964
78.17-2-37	Roberta M Smith	645 Oak Tree Rd, Palisades, NY 10964
78.17-2-48	Sara Pir-Levesque	14 Swan St, Palisades, NY 10964
78.17-2-49	Eric Y Levesque	16 Swan St, Palisades, NY 10964
78.17-2-50	Amy Greenberg-Gordon	2 Post Ln, Palisades, NY 10964
78.17-2-60	Sean A Genovese	625 Oak Tree Rd, Palisades, NY 10964

SURVEYOR:

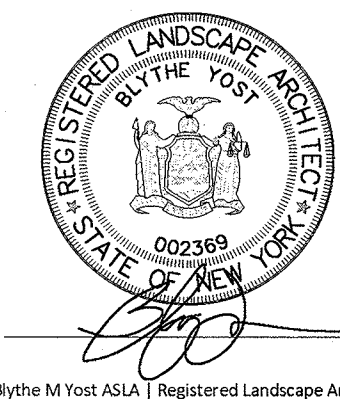
COMITO HOMES

656 OAK TREE ROAD
PALISADES, NY, 10964

DATE: JANUARY 28, 2022
DRAWN BY: AVM
JOB NO: 012822
SCALE: 1"=10'
FILENAME: 2022_0923 Oak Tree Rd Phase II

REVISIONS:
9/23/2022

NOV 08 2022

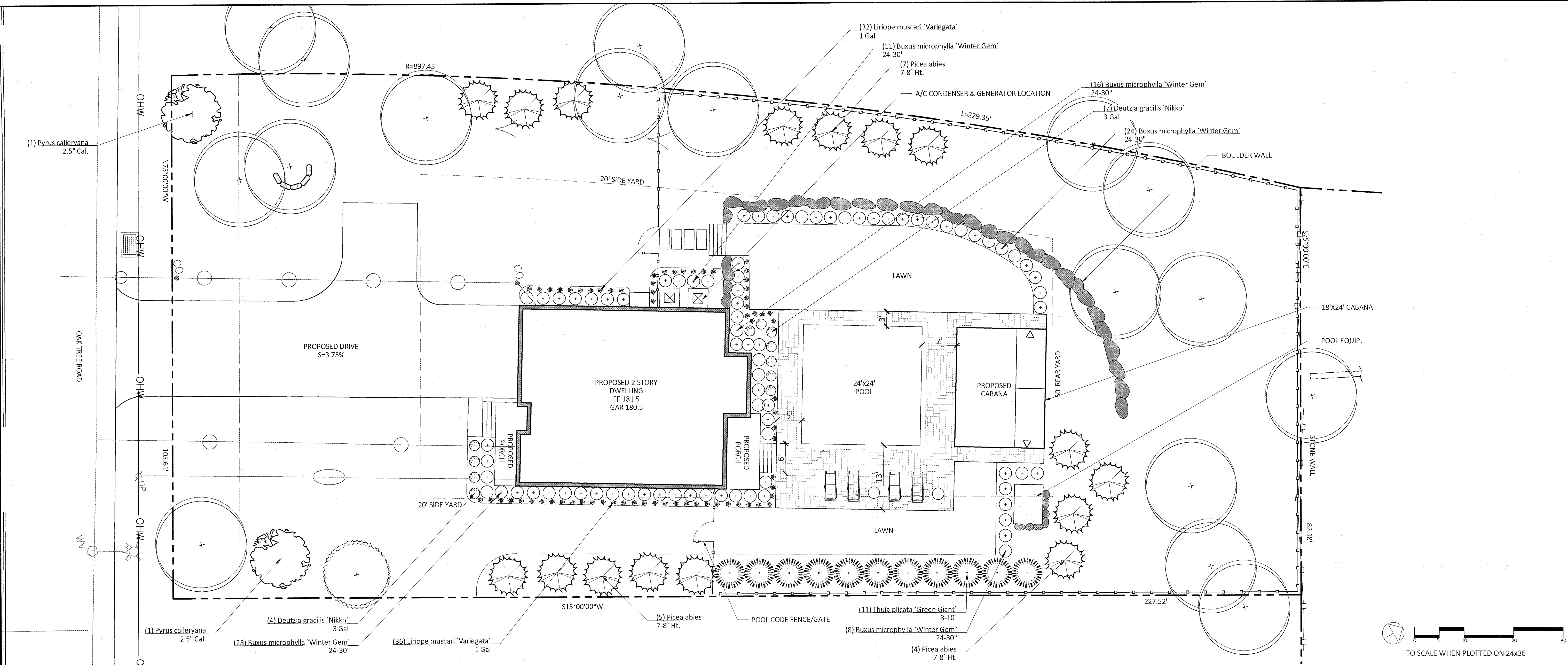


PLANTING
PLAN

SHEET NO.

L-701

SHEET: 1 of 1



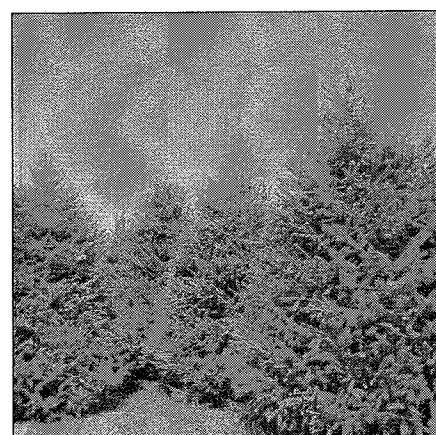
GENERAL NOTES

1. SURVEY PROVIDED BY JAY A. GREENWELL, PLS, LLC SURVEYING - LAND PLANNING, 85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901.
2. YOST DESIGN LLC TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE SURVEY. IF THE CONTRACTOR DETERMINES INACCURACIES ON SITE, THE CONTRACTOR SHALL ALERT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF ANY PART OF THE DESIGN AFFECTED BY THE PERCEIVED INACCURACY.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR TAKES FULL RESPONSIBILITY FOR ANY UTILITIES DAMAGED DUE TO NOT VERIFYING UTILITY LOCATIONS, AND WILL REPAIR ANY DAMAGE AT THE CONTRACTORS OWN EXPENSE.
4. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR CONSTRUCTION ACTIVITIES AS REQUIRED BY THE LOCAL MUNICIPALITY, STATE AND FEDERAL REGULATIONS. ALL PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF THE WORK ASSOCIATED WITH THE PERMIT. THE CONTRACTOR SHALL ABIDE BY ALL RULES AND REGULATIONS SET FORTH BY THE PERMITS REQUIRED FOR CONSTRUCTION ACTIVITIES.
5. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE CONSTRUCTION SITE IN AN ORDERLY CONDITION, STORE MATERIALS IN A PRE-DETERMINED LOCATION, MINIMIZE SITE DISTURBANCE, AND REMOVE ALL DEBRIS AND EXCESS MATERIAL FROM THE SITE.
6. THE CONTRACTOR SHALL MAINTAIN ANY EROSION CONTROL MEASURES UTILIZED ON SITE.
7. THESE PLANS ARE FOR APPROVAL PURPOSES ONLY. NO CONSTRUCTION MAY BEGIN PRIOR TO OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
8. FINAL PLANS ARE SUBJECT TO REQUIREMENTS OF CITY OF NYACK ENGINEERING DEPT, STATE REGULATORY REQUIREMENTS, D.O.T. AND ANY OTHER COMMENTS OR REQUIREMENTS OF LOCAL STATE AND/OR OTHER GOVERNMENTAL AGENCIES WITH JURISDICTION OVER THIS PROPERTY.
9. SURVEY DATA, INCLUDING BOUNDARY LINES, TOPOGRAPHY, BUILDING LOCATIONS, UTILITIES, ETC. HAVE BEEN TAKEN FROM MAPPING PROVIDED TO YOST DESIGN, LLC BY OUTSIDE PARTIES WHICH MAY INCLUDE: LAND SURVEYORS, ARCHITECTS, SOIL SCIENTISTS, PROFESSIONAL ENGINEERS OR OTHER INDIVIDUALS WITH SPECIFIC INFORMATION PERTAINING TO THIS PROJECT. ADDITIONALLY, INFORMATION MAY HAVE BEEN COMPILED FROM SITE OBSERVATIONS AND/OR INFORMATION PROVIDED DIRECTLY BY THE PROPERTY OWNER. THIS DRAWING IS INTENDED FOR OVERVIEW REFERENCE PURPOSES OF LANDSCAPE FEATURES ONLY. IT MAY NOT DEPICT EXACT EXISTING CONDITIONS AND DOES NOT CONTAIN ADEQUATE INFORMATION FOR CONSTRUCTION PURPOSES.
10. THE DATA SET THAT THIS INFORMATION REPRESENTS HAS BEEN PROVIDED TO YOST DESIGN, LLC FOR THE EXPLICIT PURPOSE OF DEVELOPING THESE PLANS AND PERFORMING THE WORK ASSOCIATED WITH THIS PROJECT. IT MAY NOT BE USED FOR ANY OTHER REASON WITHOUT THE EXPRESS CONSENT OF THE INDIVIDUALS WHO HAVE PREPARED THIS DATA. YOST DESIGN, LLC TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE DATA WHICH HAS BEEN PROVIDED.
11. IN ADDITION TO INFORMATION ON THIS SHEET, CONSULT DRAWINGS PREPARED BY THE SITE ENGINEER FOR ADDITIONAL INFORMATION RELATED TO SITE PREPARATION, DRAINAGE, UNDERGROUND UTILITIES AND OTHER SITE SPECIFIC INFORMATION. THIS PROJECT MAY INCLUDE SURFACE AND SUB-SURFACE STRUCTURES RELATING TO DRAINAGE, AND/OR SITE UTILITIES. IT WILL BE NECESSARY TO COORDINATE WITH PLANS PREPARED BY THE SITE ENGINEER FOR INFORMATION REQUIRED TO PROTECT, INSTALL, WORK WITH AND/OR MAINTAIN THESE SYSTEMS.
12. ANY STRUCTURAL WORK, UTILITY WORK, ARCHITECTURAL WORK OR DRAINAGE WORK SHALL BE UNDER THE DIRECTION AND AUTHORITY OF THE RESPECTIVE PROFESSIONALS DESIGNING AND COORDINATING THOSE ASPECTS OF THE PROJECT.
13. RETAINING WALLS ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. WHERE REQUIRED BY CODE, RETAINING WALLS SHALL BE DESIGNED BY A STATE LICENSED STRUCTURAL ENGINEER AND SUBMITTED TO THE TOWN FOR APPROVAL PRIOR TO CONSTRUCTION.

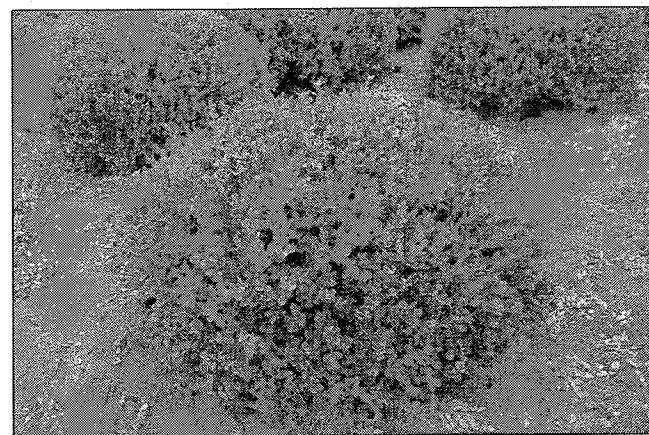
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	16	Picea abies	Norway Spruce	7-8' Ht.
	2	Pyrus calleryana	Ornamental Pear	2.5" Cal.
	11	Thuja plicata 'Green Giant'	Western Red Cedar	8-10'
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	82	Buxus microphylla 'Winter Gem'	Globe Winter Gem Boxwood	24-30"
	11	Deutzia gracilis 'Nikko'	Slender Deutzia	3 Gal
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	68	Liriope muscari 'Variegata'	Variegated Lily Turf	1 Gal

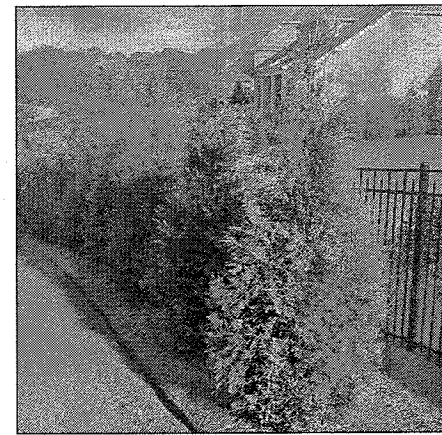
PLANT IMAGES



Picea abies



Buxus 'Winter Gem'



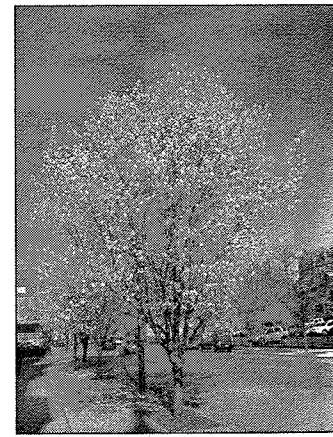
Thuja 'Green Giant'



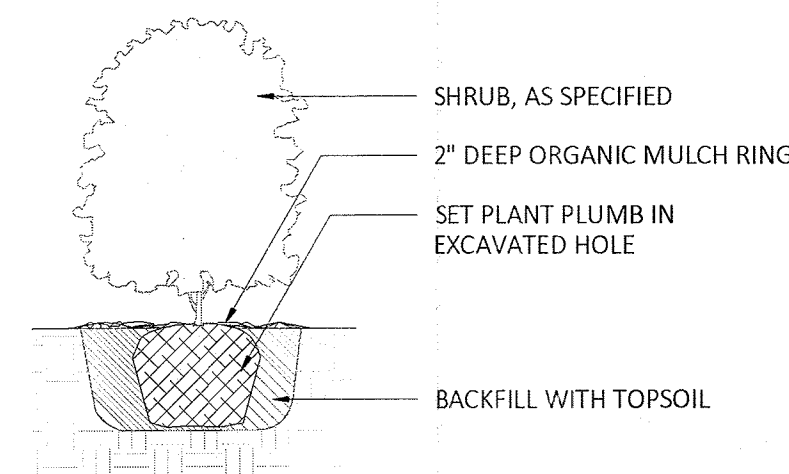
Deutzia 'Nikko'



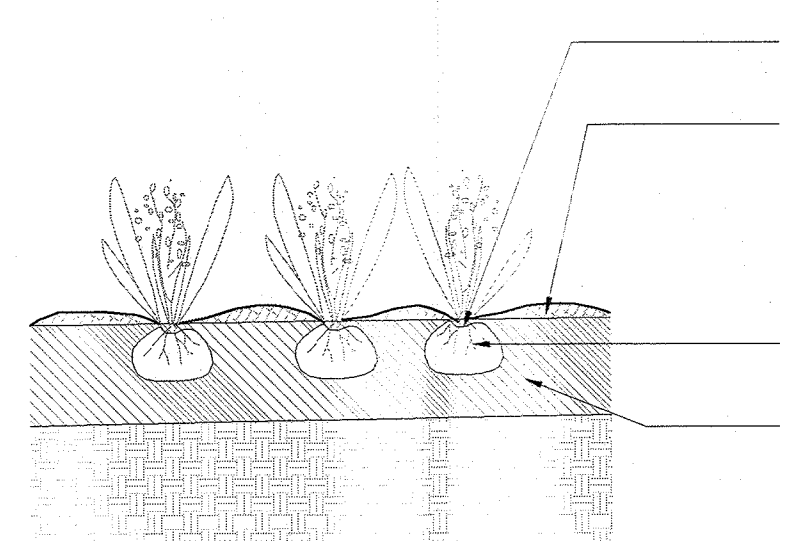
Liriope 'Variegata'



Pyrus calleryana



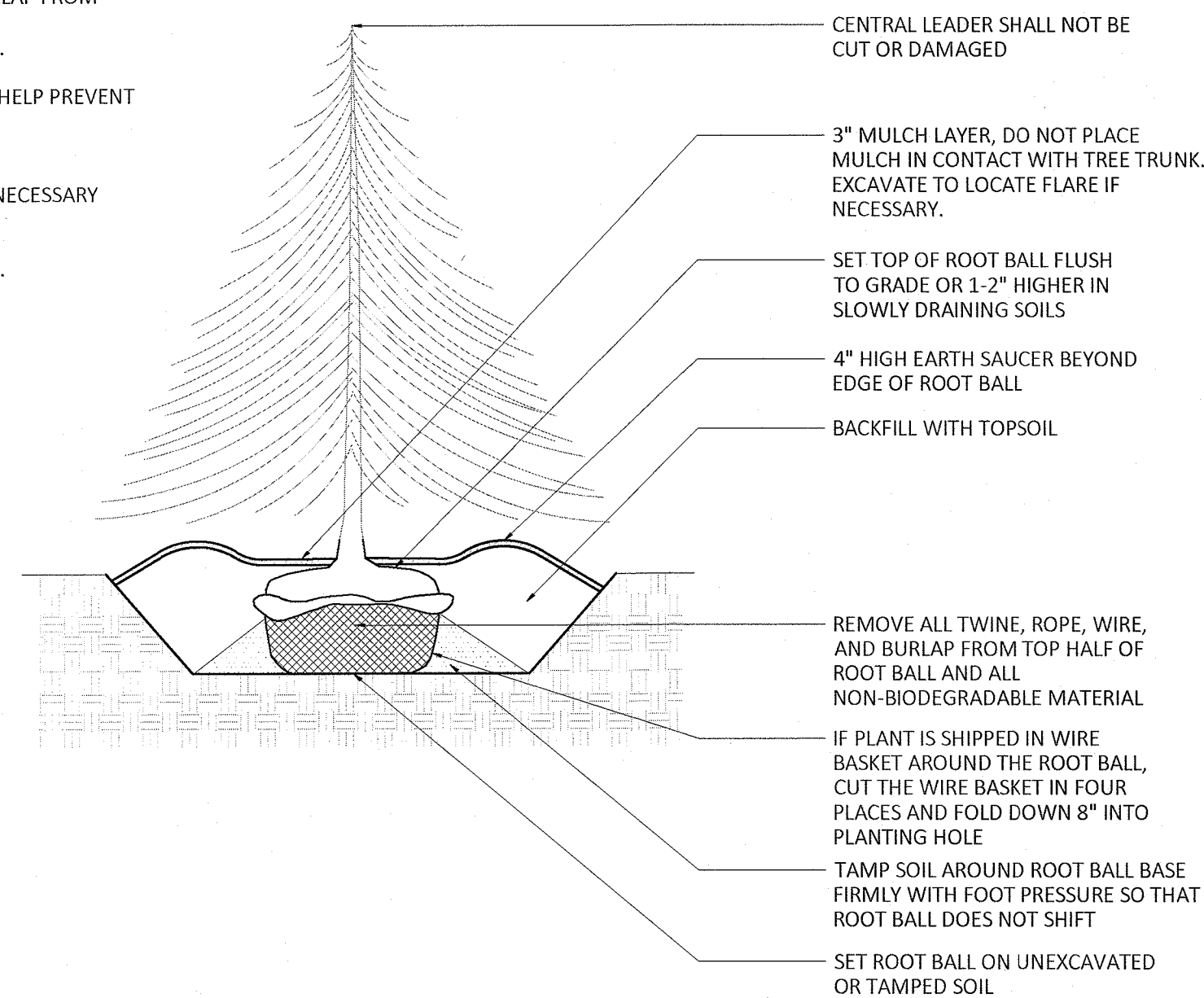
1 SHRUB PLANTING
SCALE: 1/2"=1'



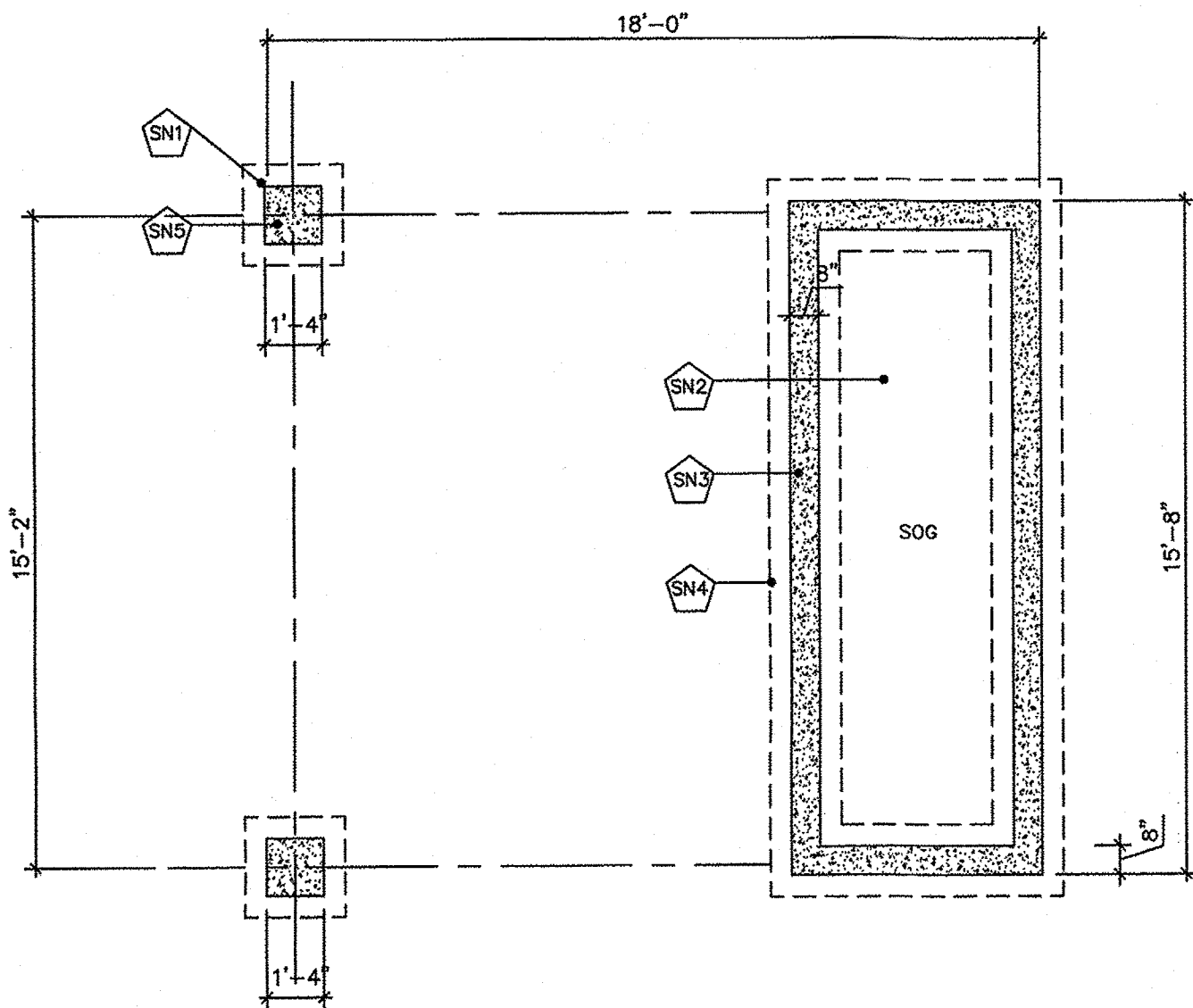
2 GROUNDCOVER PLANTING
SCALE: 1/2"=1'

NOTES:

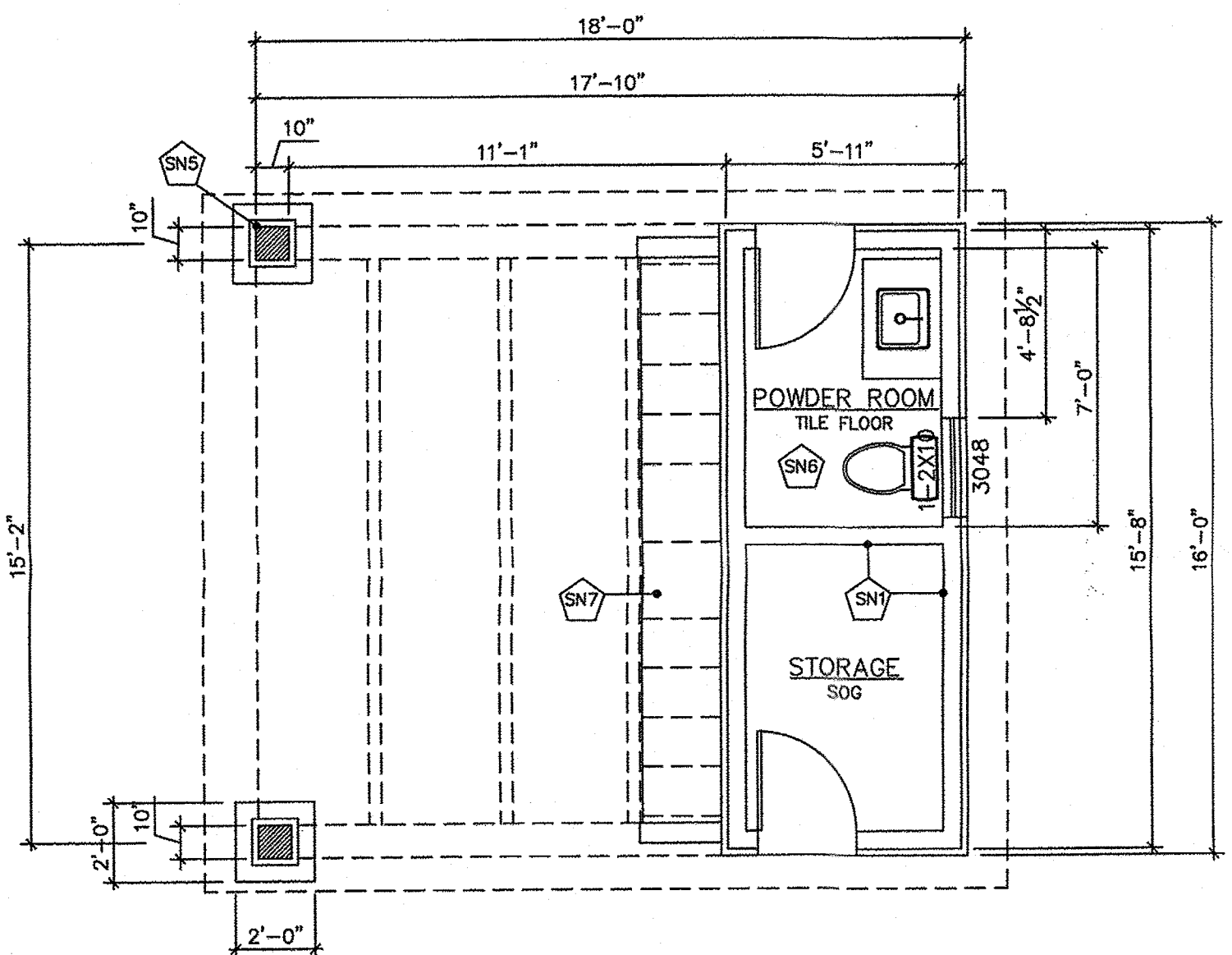
1. FOR B & B PLANT MATERIAL, REMOVE ALL TWINE AND ROLL BACK BURLAP FROM TOP 1/2 OF BALL. IF ANY MATERIALS USED TO BIND THE ROOTBALL ARE NON-BIODEGRADABLE, REMOVE COMPLETELY INCLUDING WIRE BASKET.
2. FOR CONTAINER GROWN PLANT MATERIAL, REMOVE CONTAINER. TO HELP PREVENT LOOSENING OF SOIL AND SCARIFY BALL TO HELP PREVENT GIRDLING ROOTS.
3. SATURATE SOIL WITHIN SIX (6) HOURS OF PLANTING, AND WATER AS NECESSARY UNTIL IRRIGATION INSTALLED.
4. NO MULCH OR SOIL SHOULD BE PLACED AGAINST THE PLANT'S TRUNK.



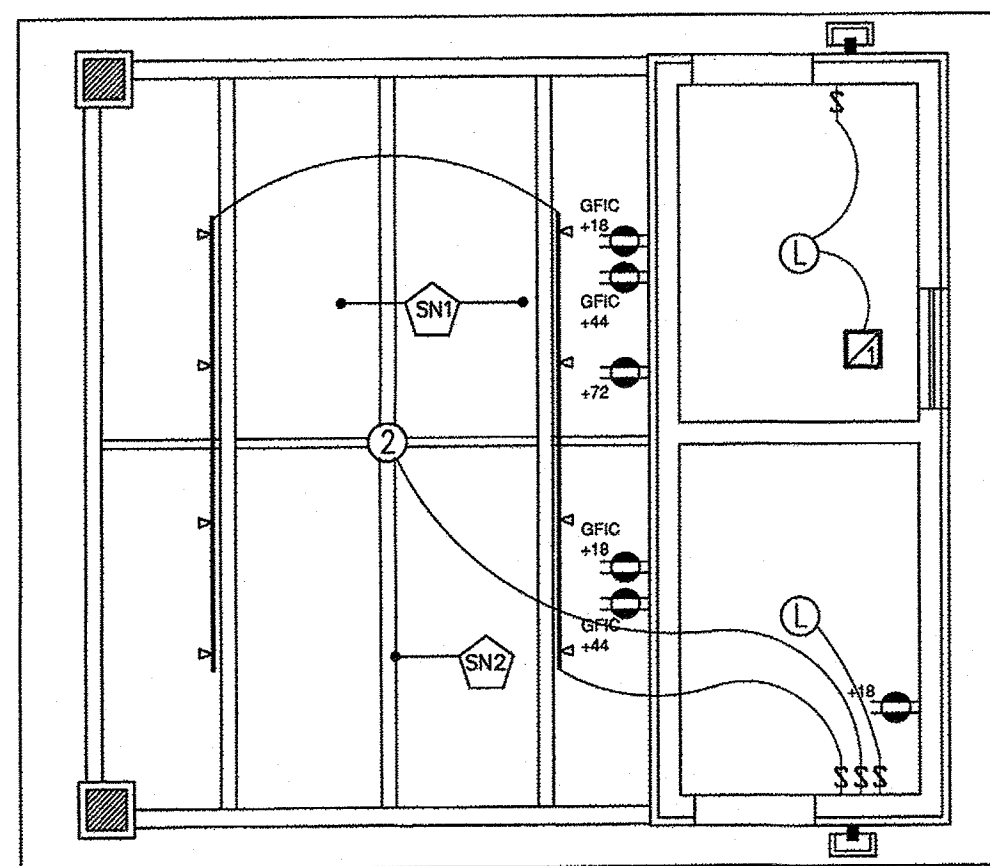
3 EVERGREEN TREE PLANTING
SCALE: 1/4"=1'



(A) FOUNDATION PLAN
AI 1 / 4 " = 1 ' - 0 "



(B) FLOOR PLAN
AI 1 / 4 " = 1 ' - 0 "



(C) ELECTRICAL/RCP PLAN
AI 1 / 4 " = 1 ' - 0 "

FOUNDATION SHEET NOTES (SN):

1. NEW 28" WIDE X 12" DEEP CONCRETE FOOTING ON UNDISTURBED EARTH REINFORCED WITH 2 - #4 REBARS CONTINUOUS. SET FOOTING MINIMUM 36" BELOW GRADE. TYPICAL.
2. NEW 4" THICK 3000PSI CONCRETE SLAB REINFORCED WITH 6X6 #10 WWF OVER 4 MIN POLY VAPOR BARRIER OVER 4" CRUSHED STONE ON COMPACTED FILL.
3. NEW 8" CONCRETE FOUNDATION WALL ON CONCRETE FOOTING. SET FOOTING MINIMUM 36" BELOW GRADE. TYPICAL.
4. 24" W X 12" DEEP CONCRETE FOOTING ON UNDISTURBED SOIL. SET FOOTING MINIMUM OF 36" BELOW GRADE.
5. 16" X 16" CONCRETE FOUNDATION

FLOOR PLAN SHEET NOTES (SN):

1. 2X6 EXTERIOR STUD WALL. SPACE STUDS AT 16" OC. FINISH STUD WALLS WITH 3/4" GYPSUM BOARD THROUGHOUT.
2. INSTALL 3/4" GYPSUM BOARD OVER 2X4 STUDS 16" OC AT INTERIOR WALLS THROUGHOUT.
3. PRIME ALL EXTERIOR GYPSUM BOARD WALL & CEILING SURFACES WITH BENJAMIN MOORE VAPOR BARRIER PRIMER SEALER 2060.
4. PROVIDE AND INSTALL SIMPSON STRONG-TIE (SST) HANGERS FOR ALL JOIST TO BEAM CONNECTIONS.
5. 6X6 TREATED STRUCTURAL POST. INSTALL WITH SIMPSON STRONG TIE ABU POST BASES AND BCS POST CAPS AT POST TO GIRDER CONNECTION.
6. INSTALL MOLD RESISTANT GYPSUM BOARD IN BATHROOM WALLS AND CEILING.
7. WHITE QUARTZ COUNTER

FINISH NOTES

1. INSTALL NEW 3" PRIMED TRIM AROUND ALL WINDOWS AND DOORS.
2. INSTALL NEW INTERIOR 4" BASE TRIM.
3. CERAMIC AND STONE TILE FLOORS SHALL BE THIN-SET ON SOUND SUB-FLOORING. BATHROOM TILE FLOOR SHALL BE THIN SET ON CONCRETE SLAB.
4. BATHROOM WALL BASE SHALL BE TILE TO MATCH THE FLOOR.
5. ALL DOOR HARDWARE TO MATCH EXISTING UNLESS OTHERWISE INDICATED. THE CONTRACTOR SHALL PURCHASE AND INSTALL ALL REQUIRED HARDWARE FOR A COMPLETE AND PROPER INSTALLATION.
6. FINISH HARDWARE, LIGHTING FIXTURES, AND SWITCH PLATES SHALL BE PROTECTED OR REMOVED BEFORE PAINTING IS STARTED AND SHALL BE REPLACED AFTER PAINTING IS COMPLETED.
7. ALL NEW SURFACES TO RECEIVE FINISHES SHALL BE PROPERLY PREPPED IN STRICT ACCORDANCE TO THE PAINT AND FINISH MANUFACTURERS SPECIFICATIONS.
8. ALL PAINTING SHALL CONSIST OF ONE PRIME COAT OVER NEW MATERIAL AND TWO FINISH COATS. WALLS AND CEILINGS ARE TO RECEIVE A FLAT FINISH. ALL DOORS, WOODWORK AND TRIM TO BE PAINTED SHALL RECEIVE A SEMI-GLOSS ENAMEL. ALL PAINTING SHALL BE SANDED BETWEEN COATS. COLORS TO BE SELECTED BY OWNER.
9. ALL KITCHEN CABINETS AND SHELVING TO BE PROPERLY SUPPORTED.

REFLECTED CEILING PLAN SHEET NOTES (SN):

1. AZEK BEADBOARD CEILING 3/4" X 6-1/8"
2. (2) 2X8 COLLAR BEAMS W/AZEK TRIM

PLUMBING NOTES:

1. ALL PLUMBING WORK SHALL CONFORM TO THE STANDARDS OF NEW YORK BUILDING CODE AND NEW YORK STATE WATER SUPPLY, GAS, AND ELECTRICITY AND ALL OTHER AGENCIES HAVING JURISDICTION.
2. THE PLUMBER SHALL OBTAIN ALL PERMITS, INSPECTION ETC RELATED TO HIS WORK UNDER THIS APPLICATION AS REQUIRED FOR COMPLETION OF WORK.
3. ALL WORK TO BE DONE BY A PLUMBER LICENSED IN NEW YORK.
4. ALL PIPING IS TO BE CONCEALED IN WALLS, SOFFITS OR HUNG CEILINGS AND SHALL NOT BE EXPOSED TO VIEWS, UNLESS SO NOTED.
5. SANITARY WASTE AND VENT PIPING SHALL BE HUB-LESS CAST IRON, SERVICE WEIGHT ASTM-A-74 MANUFACTURED AND INSTALLED IN ACCORDANCE WITH C.I.S.P.I.
6. WATER PIPING SHALL BE TYPE "K" OR "L" COPPER ASTM-B-88 WITH (85-5) SOLDERED JOINTS.
7. ALL PIPING THROUGH FIRE-RATED WALLS, SLABS, ETC SHALL HAVE STEEL SLEEVES EXTENDING 2" ABOVE THE FLOOR. THE SPACE BETWEEN THE PIPES AND THE SLEEVES SHALL BE PACKED TO A DEPTH OF NOT LESS THAN 1" FROM EITHER SIDE WITH ROCK WOOL, AFTER ROCK WOOL HAS BEEN INSTALLED AROUND THE PIPES, A 26 GAUGE SHEET METAL COLLAR SHALL BE SECURED AROUND THE PIPE TO INSURE TIGHTNESS.
8. COLD WATER AND HOT WATER PIPING SHALL BE INSULATED WITH FIBERGLASS INSULATION WITH FACTORY APPLIED ALL-SERVICE JACKET SECURED IN PLACE WITH SELF SEATING LAPS. FITTINGS SHALL BE INSURED WITH PREMOULDED PVC COVERS SECURED IN PLACE WITH STAINLESS STEEL TACKS.
9. COLD WATER: 3/4"
10. HOT WATER & HOT RETURN: 1/2"
11. CONTRACTOR SHALL REMOVE ALL UNUSED AND UNNECESSARY PIPING AND SHALL PROVIDE NEW AS SHOWN ON PLANS.
12. EXISTING PIPING SHALL BE MODIFIED AS REQUIRED TO PROVIDE A COMPLETE SYSTEM.
13. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND APPROVALS ON ALL OF HIS WORK FROM ALL LOCAL AUTHORITIES AND COMPLY WITH ALL STATE AND LOCAL REQUIREMENTS.
14. ALL INTERIOR WATER PIPES SHALL BE TYPE L COPPER PIPE WITH HARD DRAWN PLAIN ENDS, IN ACCORDANCE WITH ASTM SPECIFICATIONS, OR PEX INSTALLED ACCORDING TO THE MANUFACTURERS SPECIFICATIONS. FITTINGS FOR COPPER PIPES SHALL BE THOROUGHLY CLEANED AND FITTED. SOLDERING AND PRESSURE TESTED BEFORE BLOCKING OVER OR BURYING. ALL COPPER WATER SERVICE PIPING PLACED BELOW CONCRETE SLABS OR IN CRAWL SPACES SHALL BE INSULATED AND PROTECTED FROM ADJACENT MATERIALS.

NOTE:

SUBSTITUTIONS OR CHANGES OF ANY SORT WITHOUT THE APPROVAL OF THE DEPARTMENT OF BUILDINGS MAY EFFECT LIFE SAFETY AND THE ABILITY TO OBTAIN SIGNOFFS AND A CERTIFICATE OF OCCUPANCY.

MASONRY AND CONCRETE

1. ALL CONCRETE SHALL BE PLACED FOLLOWING THE ACI PROCEDURES. CONCRETE FOR FOOTINGS AND WALLS SHALL BE 3000 PSI DESIGN MIX IN ACCORDANCE WITH ACI. THE CONCRETE SHALL ATTAIN ITS MAXIMUM STRENGTH AT 28 DAYS. SLUMP SHALL BE 4" FOR FOOTINGS AND FOUNDATION WALLS.
2. CONCRETE FOR SLABS SHALL BE 4000 PSI DESIGN MIX IN ACCORDANCE WITH ACI. PROVIDE 6X6 WWF REINFORCING IN 4" SLABS.
3. NO CONCRETE SHALL BE PLACED WHEN THE AMBIENT TEMPERATURE IS BELOW 35 DEGREES F OR BELOW 40 DEGREES ON A FALLING TEMPERATURE, UNLESS SPECIAL PROVISIONS ARE MADE AND APPROVED FOR TEMPORARY HEAT THAT WILL MAINTAIN A TEMPERATURE OF 40 DEGREES F, DURING AND AFTER PLACEMENT FOR A PERIOD OF 48 HOURS. NO FROZEN WORK WILL BE ACCEPTED.
4. CONCRETE THAT IS PLACED IN TEMPERATURES ABOVE 60 DEGREES F SHALL BE PROTECTED AGAINST RAPID DRYING AND MOISTURE LOSS IN ACCORDANCE WITH ACI.
5. REINFORCING RODS SHALL CONFORM TO ASTM SERIAL DESIGNATION #615-60; DEFORMED AND ROLLED FORM NEW BILLET STEEL. SET ALL REINFORCING FOR INSPECTION BEFORE PLACING CONCRETE.
6. ALL FORMS SHALL BE PROPERLY BRACED, TIED AND SUPPORTED DURING AND AFTER PLACEMENT OF CONCRETE. USE FORM RELEASE AGENTS WHICH WILL NOT TRANSFER TO THE CONCRETE. THE CONCRETE FORMS SHALL NOT BE STRIPPED UNTIL 48 HOURS AFTER PLACING CONCRETE.
7. BACKFILL MAY PROCEED WHEN THE CONCRETE HAS ATTAINED 75% OF ITS FINAL STRENGTH.
8. ALL CONCRETE BLOCK SHALL BE LOAD BEARING UNITS OF 1500 PSI MINIMUM. HORIZONTAL REINFORCING SHALL BE TRUSS TYPE PLACED EVERY SECOND COURSE.
9. STORE ALL UNITS OFF OF THE GROUND TO PREVENT CONTAMINATION.
10. BLOCK CONSTRUCTION SHALL BE PROTECTED IN HOT AND COLD WEATHER IN ACCORDANCE WITH THE NATIONAL CONCRETE MASONRY ASSOCIATION STANDARDS.
11. CONCRETE BLOCK FOR FIREPLACE CHIMNEYS SHALL BE LOAD BEARING UNITS AS REQUIRED. ALL CLAY TILE FLUES SHALL BE INSTALLED ACCORDANCE TO CODE WITH THE PROPER MASONRY COVER.
12. MORTAR SHALL BE TYPE M OR S. MIX ONE PART PORTLAND CEMENT, 1/2 TO 3/4 PART HYDRATED LIME AND 1 1/2 TO 3 PARTS SAND; MIX ON SITE WITH POTABLE WATER.
13. NO AIR ENTRAINING ADMIXTURE ANTIFREEZE COMPOUNDS, SUCH AS CALCIUM CHLORIDE SHALL BE ADDED TO THE MORTAR.
14. ALL MASONRY IS TO BE THOROUGHLY MOISTENED WITH CLEAN WATER, THEN CLEANED WITH AN APPROVED MASONRY CLEANING AGENT.
15. ALL WORKMEN SHALL BE EXPERIENCED TRADEMEN, TRAINED AND QUALIFIED TO DO THE WORK AT HAND.
16. INSTALL CULTURED STONE CONCRETE STONE VENEER WHERE INDICATED ON THE DRAWINGS. OWNER TO CHOOSE STYLE AND COLOR. AT STUD WALLS, INSTALL AS SPECIFIED BY THE MANUFACTURER OVER CAV CLEAR MASONRY MATT 3/8" THICK ON 30# BUILDING FELT OVER 1/2" R-6.5 POLYISO CONTINUOUS RIGID INSULATION ON 3/4" CDX PLYWOOD SHEATHING ON 2X6 STUDS AT 16" OC.
17. INSTALL CULTURED STONE CONCRETE VENEER AT THE CMU AND/OR CONCRETE RETAINING WALLS AS SPECIFIED BY THE MANUFACTURER FOR INSTALLATION OVER THE CMU. STYLE AND COLOR TO BE SELECTED.

ELECTRIC SYMBOL LEGEND	
①	SURFACE MOUNTED CEILING LIGHT FIXTURE TO BE CHOSEN BY OWNER
②	HALOGEN PENDANT FIXTURE CHOSEN CHOSEN BY OWNER
A A A	SURFACE MOUNTED TRACK LIGHT
4	FAN/TECH EXH VENT. INSTALL AT EACH BATHROOM & WHERE INDICATED. NUMBER DESIGNATES WHICH EXH UNIT.
15	JUNCTION BOX INSTALL LIGHT FIXTURE OR FAN AS CHOSEN BY OWNER
16	EXTERIOR FLOOR LIGHTS NO INDICATES MOTION DETECTOR SWITCH
17	EXTERIOR WALL SCONCE TO BE CHOSEN BY OWNER
18	BATHROOM VANITY WALL SCONCE TO BE CHOSEN BY OWNER
19	DUPLEX RECEPTACLE
20	QUADRUPLEX RECEPTACLE
21	HARDWIRED SMOKE DETECTOR. INSTALL NEW SMOKE DETECTORS IN ALL NEW & EXISTING BEDROOMS AS REQD BY CODE
22	TOILET EXHAUST FAN W/ LIGHT. 75cfm MINIMUM
23	CARBON MONOXIDE DETECTOR
24	3 POLE SWITCH
25	3 POLE DIMMER SWITCH
26	CABLE TELEVISION/ COMPUTER JACK LOCATION. SET WALL HEIGHT AS NOTED. RG 6 CABLE: HOMERUN ALL WIRES INDIVIDUALLY TO CENTRAL LOCATION
CABLE DATA	CABLE, DATA & STRUCTURED WIRING HOME-RUN PANEL

ELECTRICAL NOTES:

1. IF DIMMER SWITCHES ARE ADDED TO CIRCUITS WITH LED LIGHTING, VERIFY WITH LED MANUFACTURERS APPROVED DIMMER LIST THAT FIXTURE WILL TO OPERATE CORRECTLY PRIOR TO INSTALLATION.
2. FIELD VERIFY SCONCE HEIGHTS ON WALL WITH OWNER AND FIXTURE CHOSEN.
3. PER RCNYS R313.1 & APPENDIX J504.2 INSTALL INTERCONNECTED HARDWIRED SMOKE DETECTORS IN ALL SLEEPING ROOMS AND OUTSIDE OF SLEEPING ROOMS, AND 1 ON EACH FLOOR. PER J504.2 EXCEPTIONS: WHERE CEILINGS AND WALL FINISHES ARE NOT REMOVED AND ARE NOT ACCESSIBLE FROM ATTICS, BATTERY OPERATE DETECTORS MAY BE INSTALLED IN LIEU OF HARDWIRED.
3. COORDINATE LIGHT LOCATIONS WITH FRAMING CONTRACTOR TO AVOID CONFLICTS WITH FRAMING.

ELECTRICAL SPECIFICATIONS:

1. INSTALL CREE LED RECESSED DOWN LIGHTS AND LAMPS AS SPECIFIED AND AS REQUIRED BY OWNER. CREE LED LIGHTING, MORRISVILLE, NC 1-919-287-7700.

ELECTRIC AND LIGHTING NOTES:

1. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS ON ALL HIS WORK FROM LOCAL AUTHORITIES AND COMPLY WITH ALL NEW YORK STATE AND LOCAL CODE REQUIREMENTS.
2. ALL ELECTRICAL WORK SHALL BE EXECUTED BY A LICENSED ELECTRICIAN AND IN ACCORDANCE WITH APPLICABLE CODES.
3. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR TO INSTALL SERVICE REQUIREMENTS FROM THE UTILITY COMPANY'S TRANSFORMER AS REQUIRED BY CODE.
4. ALL FEEDERS AND LINES SHALL BE ON A SIZE AS REQUIRED BY THE LOCAL AND STATE CODE, AND THE POWER COMPANIES DIRECTIVES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, AND THE STATE OF NEW YORK.
6. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL OUTLETS, SWITCHES AND COVER PLATES TO COMPLETE THE JOB. SUBMIT ALL SAMPLES OF PROPOSED MATERIALS.
7. SMOKE DETECTORS SHALL BE INSTALLED IN LOCATIONS REQUIRED BY CODE AND AS INDICATED ON THE DRAWINGS.
8. AT THE COMPLETION OF THE JOB, THE ELECTRICAL CONTRACTOR SHALL SECURE ALL REQUIRED CERTIFICATIONS AS REQUIRED BY THE LOCAL AUTHORITIES.
9. REVIEW ALL LIGHTING AND SWITCH LOCATIONS WITH THE OWNER.
10. NEW LIGHT FIXTURES SHALL BE HALO OR EQUAL. SUBMIT CUTS OF ALL PROPOSED LIGHT FIXTURES PRIOR TO PURCHASE TO THE OWNER FOR APPROVAL.
11. THE CONTRACTOR SHALL VERIFY THAT THE REQUIRED SPACE IS AVAILABLE FOR ALL RECESSED LIGHT FIXTURES, AND SHALL INFORM THE ARCHITECT OF ANY OBSTRUCTION WHICH WOULD INTERFERE WITH THE PROPER INSTALLATION OF THE FIXTURES AS SHOWN. RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILINGS SHALL BE PROVIDED WITH AN AIR-SEALED, INSULATION CONTACT HOUSING FROM THE MANUFACTURER.
12. PROVIDE WIRING FOR ALL NEW RESIDENTIAL APPLIANCES AS REQUIRED.
13. ALL WIRING SHALL RUN CONCEALED.
14. LOCATION OF ALL OUTLETS, SWITCHES, RECEPTACLES, CEILING LIGHTS, BELL SYSTEMS AS PER PLANS OR AS DIRECTED BY THE OWNER/CONTRACTOR.
15. NEW ELECTRICAL OUTLETS, TELEPHONE OUTLETS, ETC. MUST BE INSTALLED IN COMPLIANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) PUBLICATION A117.1. NON OF THESE ITEMS "EXCEPT WHERE THE USE OF SPECIAL EQUIPMENT DICTATES OTHERWISE" SHALL BE MOUNTED LESS THAN 15" ABOVE FINISHED FLOOR.

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS, USE INDICATED DIMENSIONS ONLY.
2. ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT.
3. ALL NEW EXTERIOR WALL ARE 2X6 STUDS AT 16" OC UNLESS OTHERWISE NOTED. ALL INTERIOR STUDS ARE 2X4 STUDS AT 16" OC UNLESS OTHERWISE NOTED.
4. DOUBLE UP JOISTS UNDER PARALLEL PARTITIONS.
5. ALL WOOD IN CONTACT WITH MASONRY & CONCRETE SHALL BE PRESSURE TREATED WITH WOOD PRESERVATIVE.
6. ALL WALL BASE PLATES SHALL BE IN A MINIMUM 3/8" BEAD OF CAULK OR SEALANT. ALL PENETRATIONS THROUGH THE CEILING AND EXTERIOR WALLS SHALL BE AIR SEALED WITH EXPANDING FOAM AND/OR SILICONE CAULK.
7. WINDOWS ARE 200 SERIES ANDERSON. UNITS TO BE LOW-E COATED WITH INSULATING GLASS & ARGON GAS. PROVIDE ALL OPERATING UNITS WITH SCREENS. UNIT NUMBERS ARE INDICATED ON PLANS.
8. FLASH ALL WINDOW ROUGH OPENINGS WITH A PEE & STICK TYPE MEMBRANE FLASHING. FLASH SHALL TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE.
9. SEAL AROUND ALL DOOR AND WINDOW ROUGH OPENINGS WITH MINIMALLY EXPANDING FOAM. FOLLOW MANUFACTURERS PRECAUTIONS.
10. ALL FASTENERS, NAILS AND HANGERS WHICH COME IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED STAINLESS STEEL.
11. INSTALL HANGERS AND CONNECTORS BY SIMPSON STRONG-TIE (SST) AS NOTED ON THE DRAWINGS. INSTALL ALL CONNECTORS WITH NAILS OR SCREWS AS SPECIFIED BY SIMPSON STRONG-TIE. DO NOT SUBSTITUTE CONNECTORS OR FASTENERS. ALL FASTENER COATINGS SHALL MATCH THE EXTERIOR COATING OF THE SPECIFIED HANGER. HDG TO HDG AND STAINLESS TO STAINLESS.
12. INSTALL BETTER HEADER (BH) SANDWICH PLATE SYSTEM STEEL FLITCH PLATE GIRDERS WHERE INDICATED ON THE DRAWINGS. BEAR BETTER HEADER GIRDERS ON STRUCTURAL COLUMNS AT EACH END AS INDICATED ON THE DRAWINGS.
13. REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

CONSTRUCTION LEGEND

- NEW CONSTRUCTION
- NEW CONCRETE FOUNDATION
- SHEET NOTES: SEE NOTES THIS SHEET
- HARDWIRED SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR

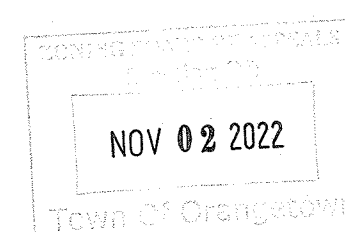
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POOL CABANA
FLOOR PLANS

SCALE AS SHOWN
DATE SEPTEMBER 9, 2022
JOB NO. 1019
REVISIONS: SHEET NO.
CONST. ISSUE



A-1

ROOF SHINGLES TO BE ONYX BLACK STATE SHINGLES BY TRUSLATE. INSTALL OVER GAF DECK-ARMOR ROOF DECK MEMBRANE AS SPECIFIED BY THE MANUFACTURER. FASTEN THE SLATES WITH 2" SS SLATING NAILS AND MANUFACTURER SPECIFIED SS HANGER & BATTEN SYSTEM.

1/2" CDX PLYWOOD ROOF SHEATHING OVER 2x12 RAFTERS AT 16"OC. INSTALL 2x8 COLLARS AT 16"OC AT 7FT AFF.

2x10 SOLID BLOCKING BETWEEN RAFTERS AT PERIMETER. TYPICAL.

(2) 2 X 12 BEAMS

RUN 2 COURSES OF 36" WIDE ICE SHIELD ALONG EAVES OF ROOF. TYPICAL THROUGHOUT.

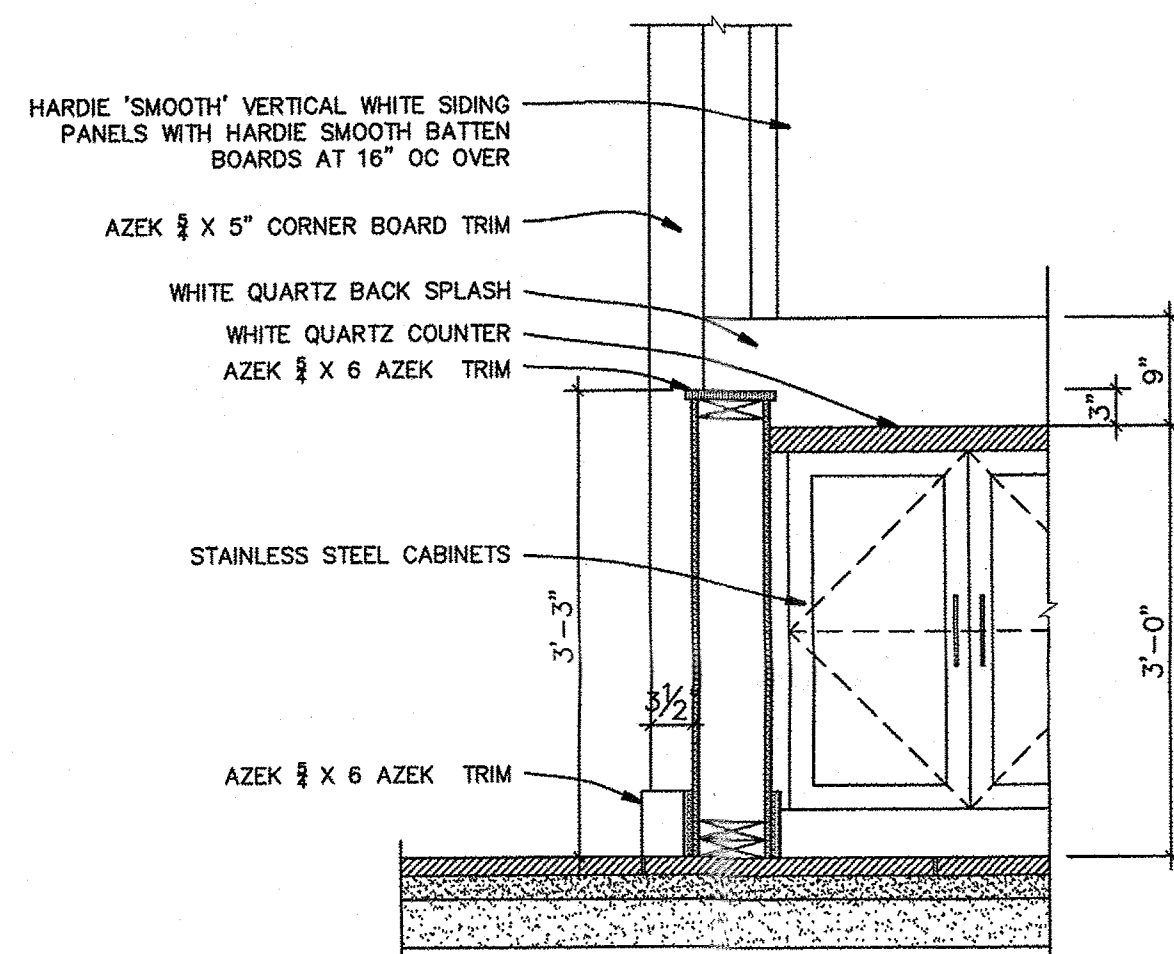
160Z COPPER DRIP EDGE & RAKE EDGE FLASHING. INSTALL COPPER GUTTERS AT EAVES. STYLE TO BE CHOSEN BY OWNER AND SIZED FOR DRAINAGE LOAD. FASTEN WITH COPPER NAILS AT 8"OC. TYPICAL THROUGHOUT.

CONTINUOUS 2x6 SUB-FASCIA RIPPED TO 4.5" TO CREATE DRIP EDGE.

AZEK 1x6 FASCIA & AZEK BEADED SOFFIT. PAINT TO MATCH TRIM AS DIRECTED BY OWNER.

AZEK 3/4" X 6 FRIEZE BOARD

A SECTION
A2 3/4" = 1' - 0"



B SECTION
A2 3/4" = 1' - 0"

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(2) 2 X 12 BEAMS

RUN 2 COURSES OF 36" WIDE ICE SHIELD ALONG EAVES OF ROOF. TYPICAL THROUGHOUT.

160Z COPPER DRIP EDGE & RAKE EDGE FLASHING. INSTALL COPPER GUTTERS AT EAVES. STYLE TO BE CHOSEN BY OWNER AND SIZED FOR DRAINAGE LOAD. FASTEN WITH COPPER NAILS AT 8"OC. TYPICAL THROUGHOUT.

CONTINUOUS 2x6 SUB-FASCIA RIPPED TO 4.5" TO CREATE DRIP EDGE.

AZEK 1x6 FASCIA & AZEK BEADED SOFFIT. PAINT TO MATCH TRIM AS DIRECTED BY OWNER.

AZEK 3/4" X 6 FRIEZE BOARD

HARDIE BOARD VERTICAL SIDING

ALUMINUM DRIP EDGE

3/4" AZEK TRIM

1" VENEER STONE ON TYPE S MORTAR SCRATCH COAT

METAL LATH OVER WATER RESISTANT SHEATHING

2X6 STUDS W/1/2" PLYWOOD

TECHO BLOCK PAVERS. REFER TO LANDSCAPE DRAWINGS.

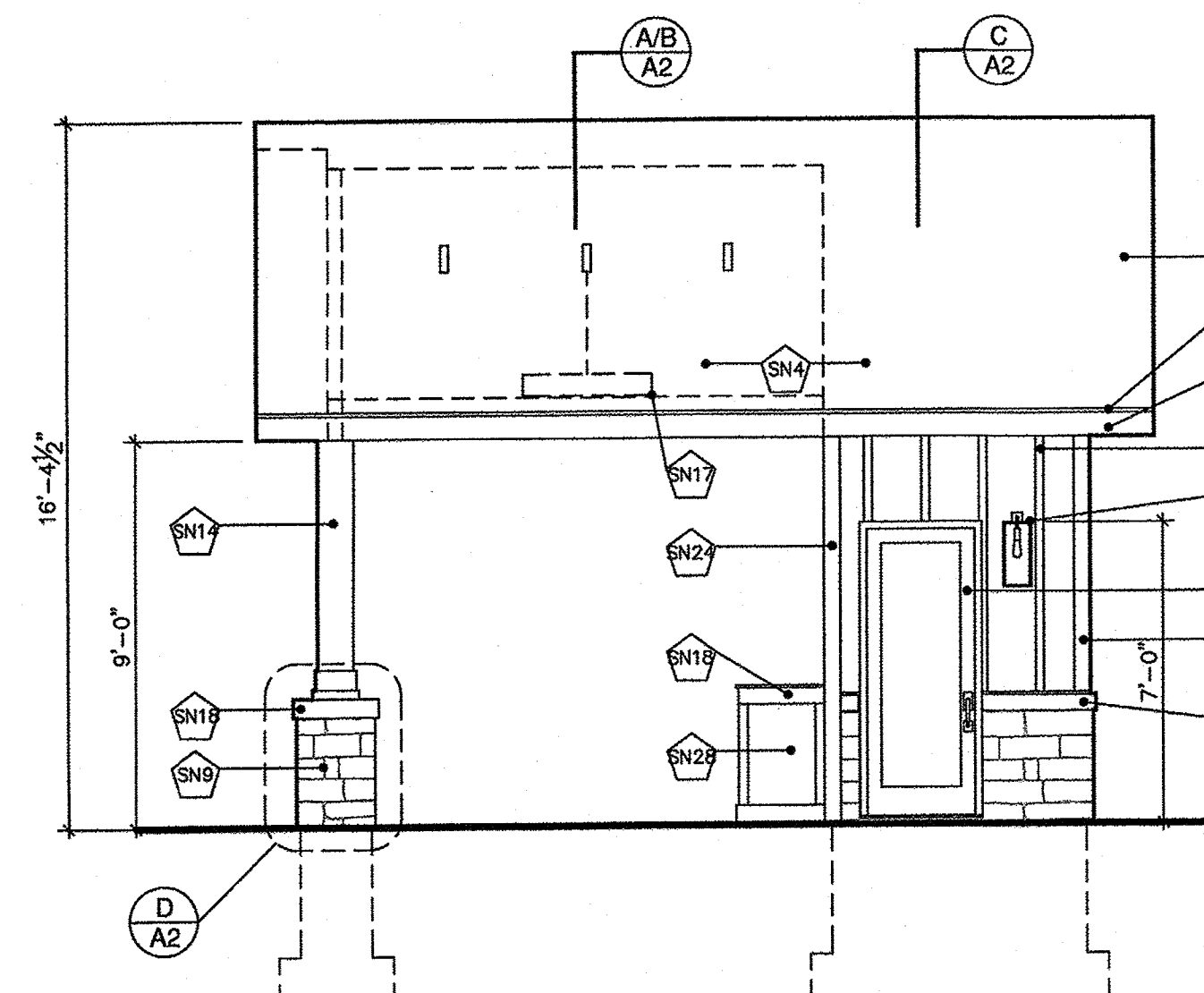
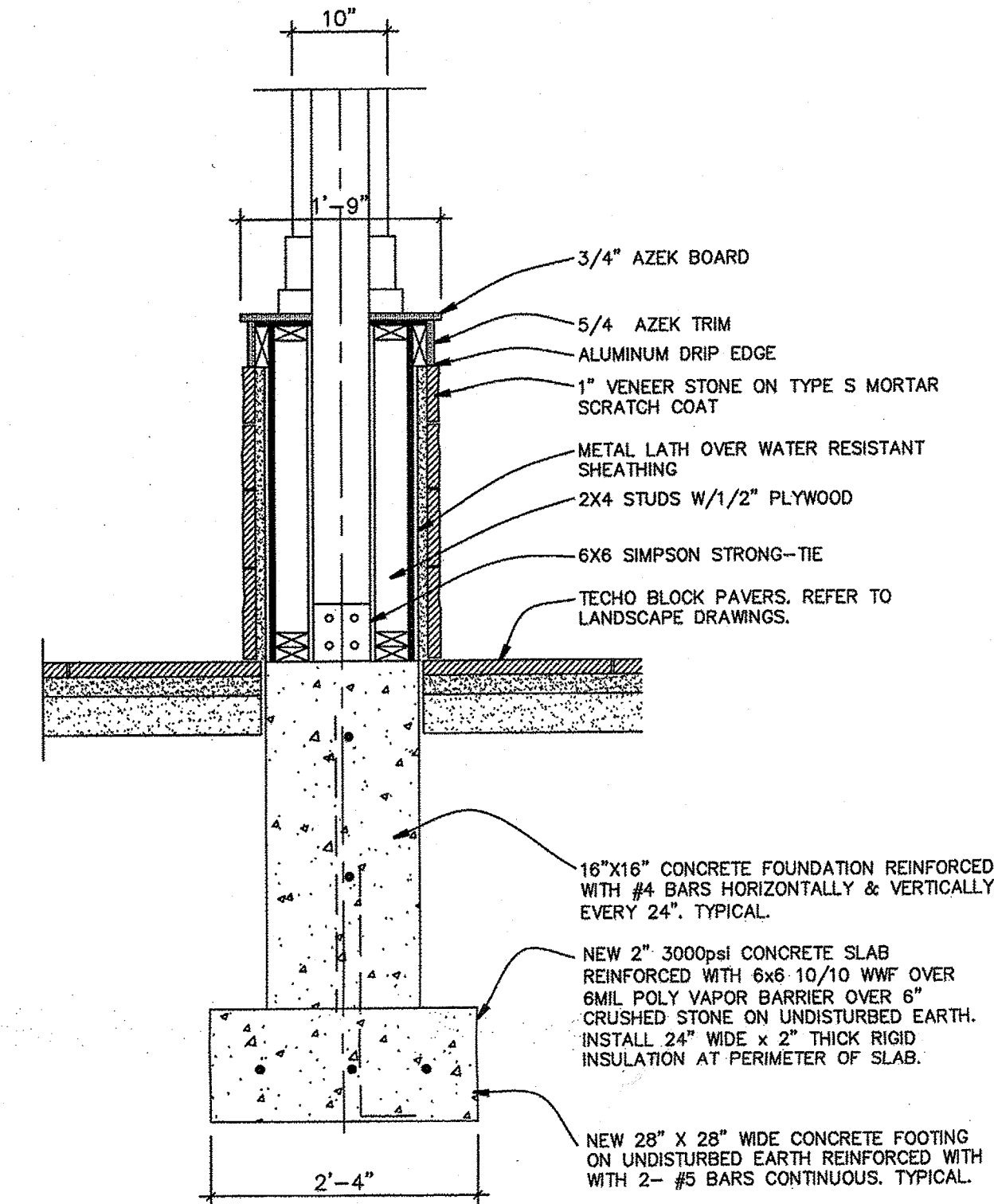
3/4" GYP BOARD ON 2x6 STUDS AT 16" OC TYPICAL AT EXTERIOR WALLS.

SIMPSON STRONG-TIE TENSION (SST) HTTS TIE & THREADED ROD MUDSILL AND WALL ANCHORS AT 64"OC & 12" FROM ENDS & CORNERS.

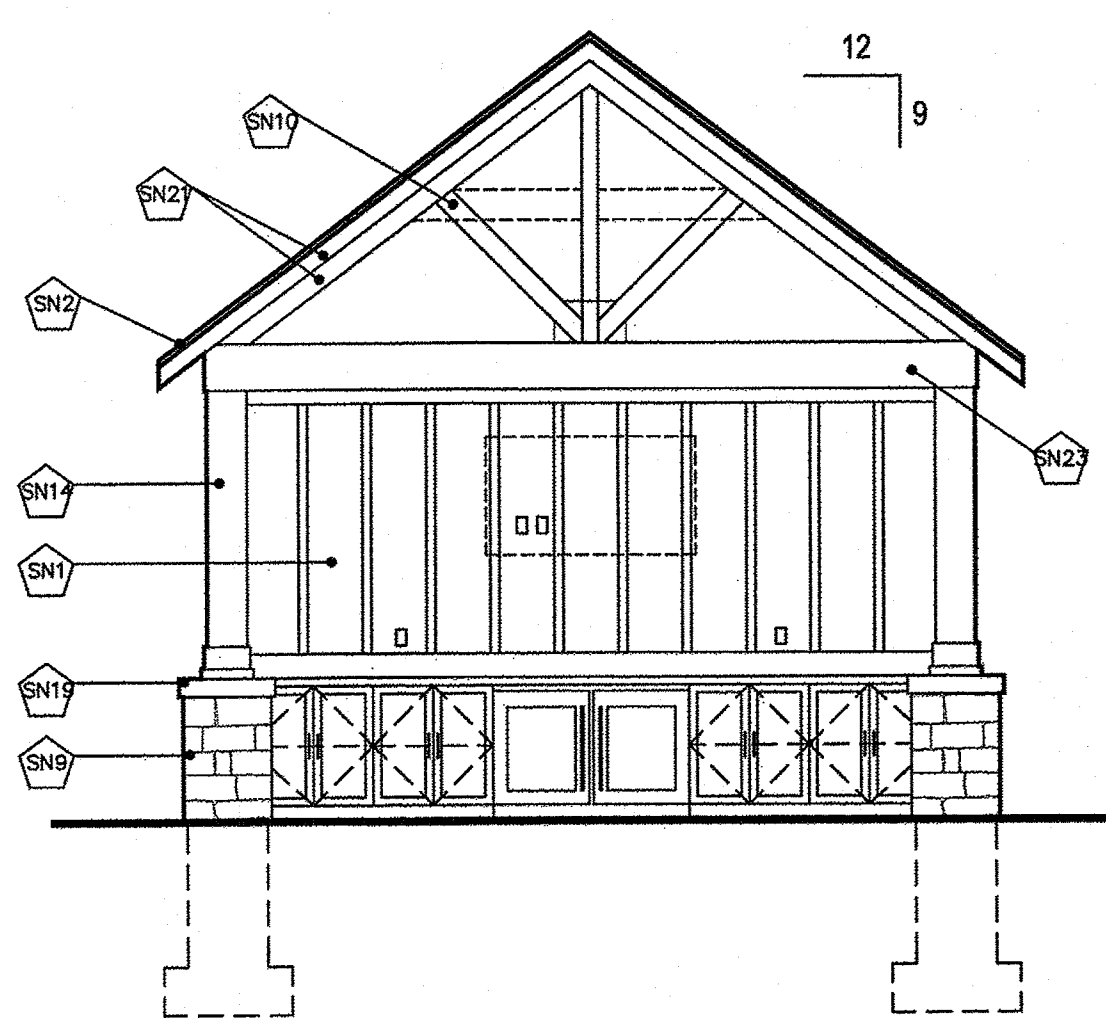
SET BASE PLATE IN 3/8" CONTINUOUS BEAD OF CAULK. TYPICAL THROUGHOUT.

C SECTION
A2 3/4" = 1' - 0"

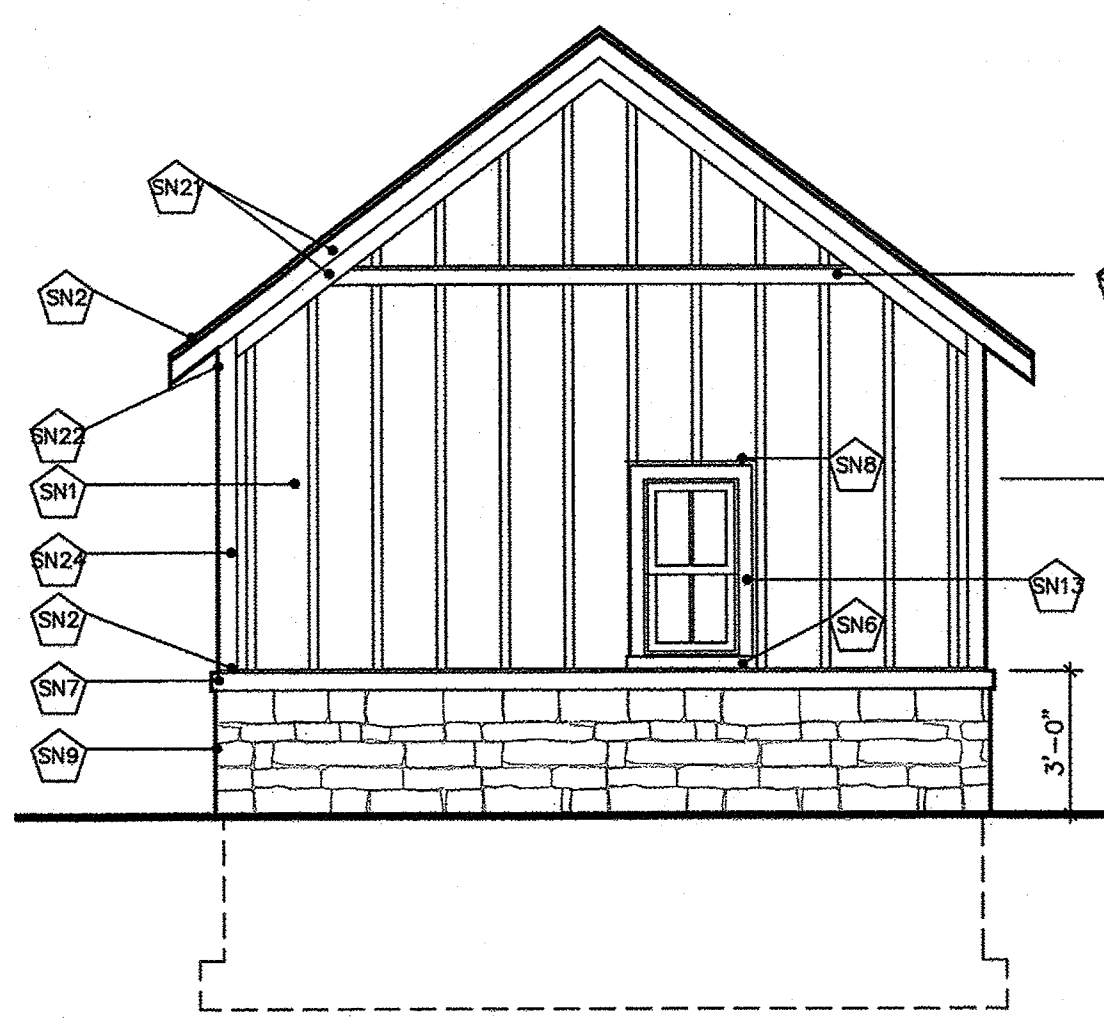
D SECTION
A2 3/4" = 1' - 0"



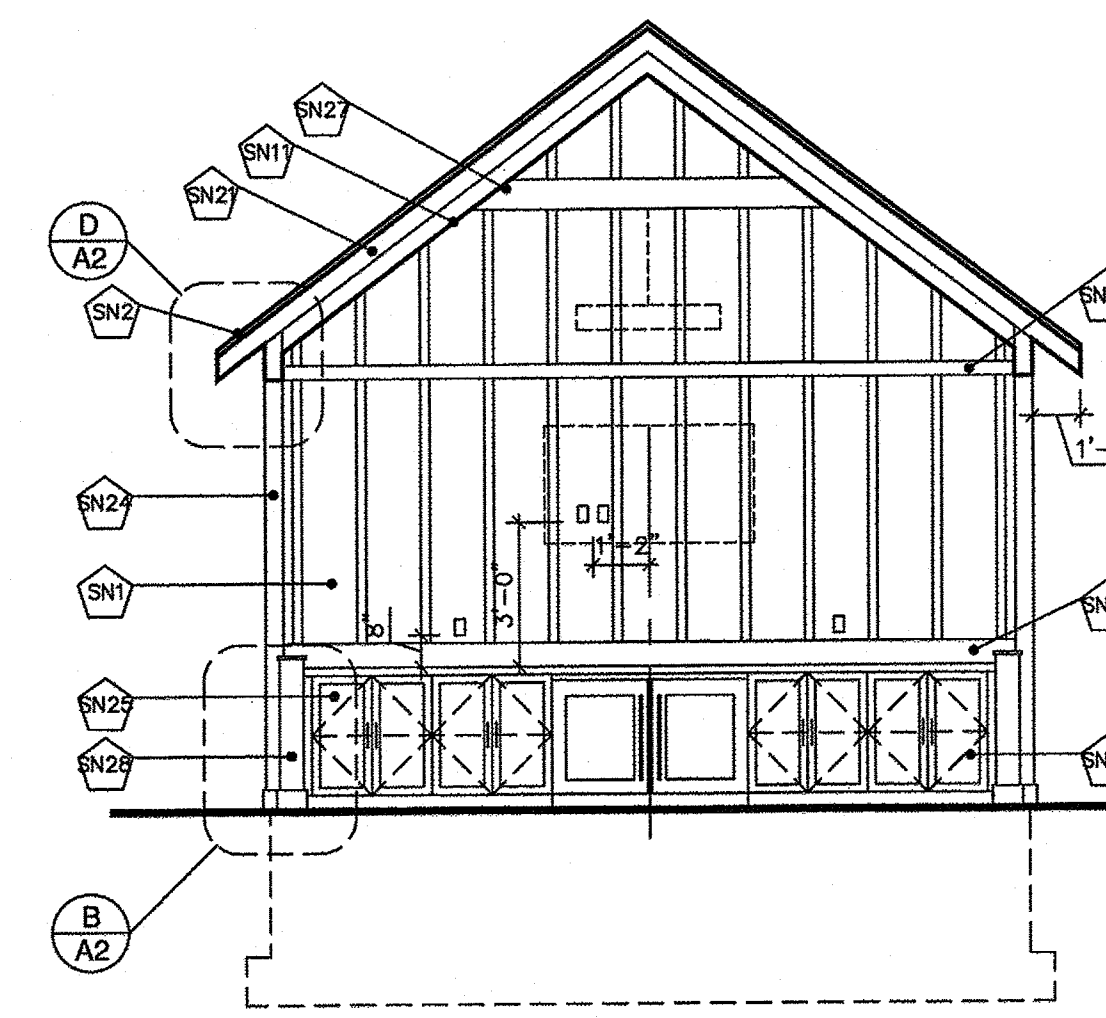
EAST ELEVATION (WEST IS FLIPPED)



SOUTH ELEVATION



NORTH ELEVATION



SECTION D/A1

E ELEVATIONS
A2 1/4" = 1' - 0"

ELEVATION SHEET NOTES (SN):

- HARDIE 'SMOOTH' VERTICAL WHITE SIDING PANELS WITH HARDIE SMOOTH BATTEN BOARDS AT 16" OC OVER HOUSEWRAP ON 1/2" OSB SHEATHING. INSTALL 'Z' FLASHING AT ALL HORIZONTAL JOINTS IN SIDING. TYPICAL.
- CONTINUOUS ALUMINUM DRIP EDGE AT ALL ROOF EDGES. PROVIDE GUTTERS AT EAVES.
- AZEK 3/4" X 6 FASCIA OVER CONTINUOUS 2X6 SUB-FASCIA RIPPED TO 5" TO CREATE RECESS FOR SOFFIT.
- RUN 2 COURSES OF 36" WIDE ICE SHIELD ALONG EAVES OF ROOF. TYPICAL THROUGHOUT.
- GAF TIMBERLINE HDZ CHARCOAL HIGH DEFINITION SHINGLES OVER 15# ROOFING FELT ON 1/2" CDX SHEATHING OVER 2X12 RAFTERS AT 16"OC.
- AZEK 3/4" X 5 SYNTHETIC WINDOW TRIM AT SILL. PAINT ALL TRIM IN COLOR AS CHOSEN BY OWNER.
- AZEK 3/4" X 5 SYNTHETIC WATER TABLE TRIM.
- FLASH ALL WINDOW ROUGH OPENINGS WITH A BUTYL PEEL & STICK TYPE FLEX MEMBRANE WRAP TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE. FLASH THE WINDOW SILLS AND JAMBS TO THE EXTERIOR HOUSEWRAP. TYPICAL THROUGHOUT.
- 1" FLAGSTONE VENEER
- 4X4 PRESSURE TREATED BRACKET. WRAP W/ SYNTHETIC AZEK TRIM.
- AZEK BEADBOARD CEILING 3/4" X 6-1/8"
- 1X4 AZEK TRIM AT WINDOW JAMBS AND DOOR.
- PELLA, LIFESTYLE SDL, BLACK DOUBLE HUNG WINDOWS WITH SIMULATED DIVIDED LIGHTS WITH WHITE TRIM.
- HB&G PERMACAST 10" PLAIN, SQUARE COLUMN WITH TUSCAN CAP BASE. PRIME & PAINT AS SPECIFIED BY MANUFACTURER.
- PATIO LIGHT. REFER TO ELECTRICAL SHEETS.
- TECHO BLOC. REFER TO LANDSCAPE PLANS.
- PENDANT FIXTURE. REFER TO ELECTRICAL SHEETS.
- AZEK 3/4" X 5 TRIM.
- STEVE'S DOOR - BLACK, MODEL: DIRECT GLAZED SMOOTH FIBERGLASS 1/2 LITE 4 LITE.
- AZEK 3/4" X 4 SPAN BREAKERS.
- AZEK 3/4" X 6 RAKER.
- AZEK 3/4" X 6 FRIEZE BOARD UNDER SOFFITS.
- BEAM AND POST WRAPPED WITH AZEK TRIM.
- AZEK 3/4" X 5" TRIM ON ALL CORNERS
- STAINLESS STEEL CABINETRY
- CARRERA WHITE QUARTZ COUNTER AND BACKSPLASH.
- 2 X 8 COLLAR BEAM WRAPPED WITH AZEK TRIM
- 3/4" AZEK BOARD

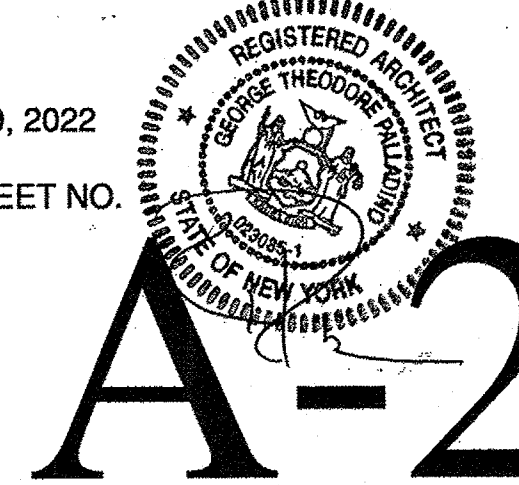
COMITO HOMES LLC

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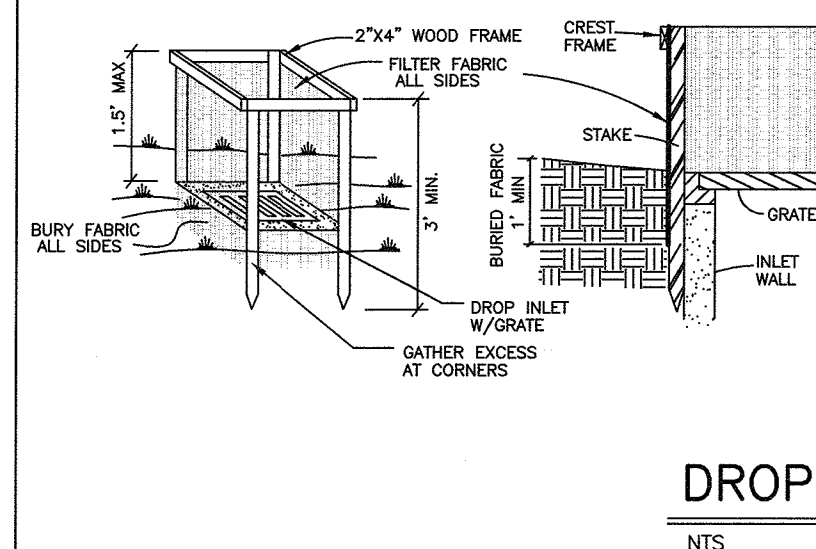
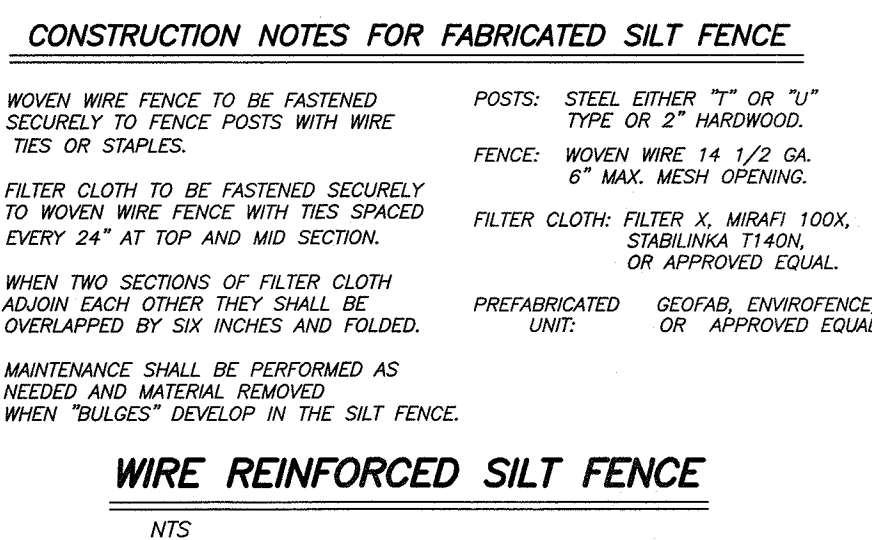
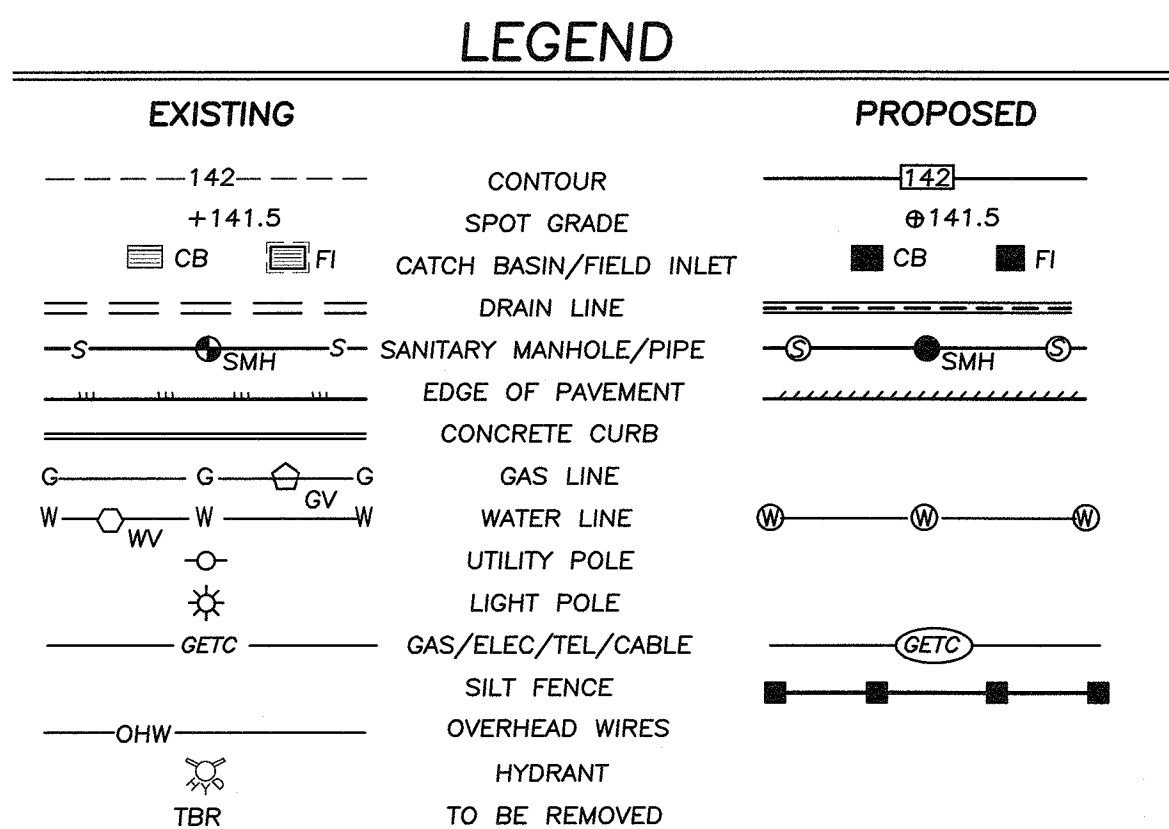
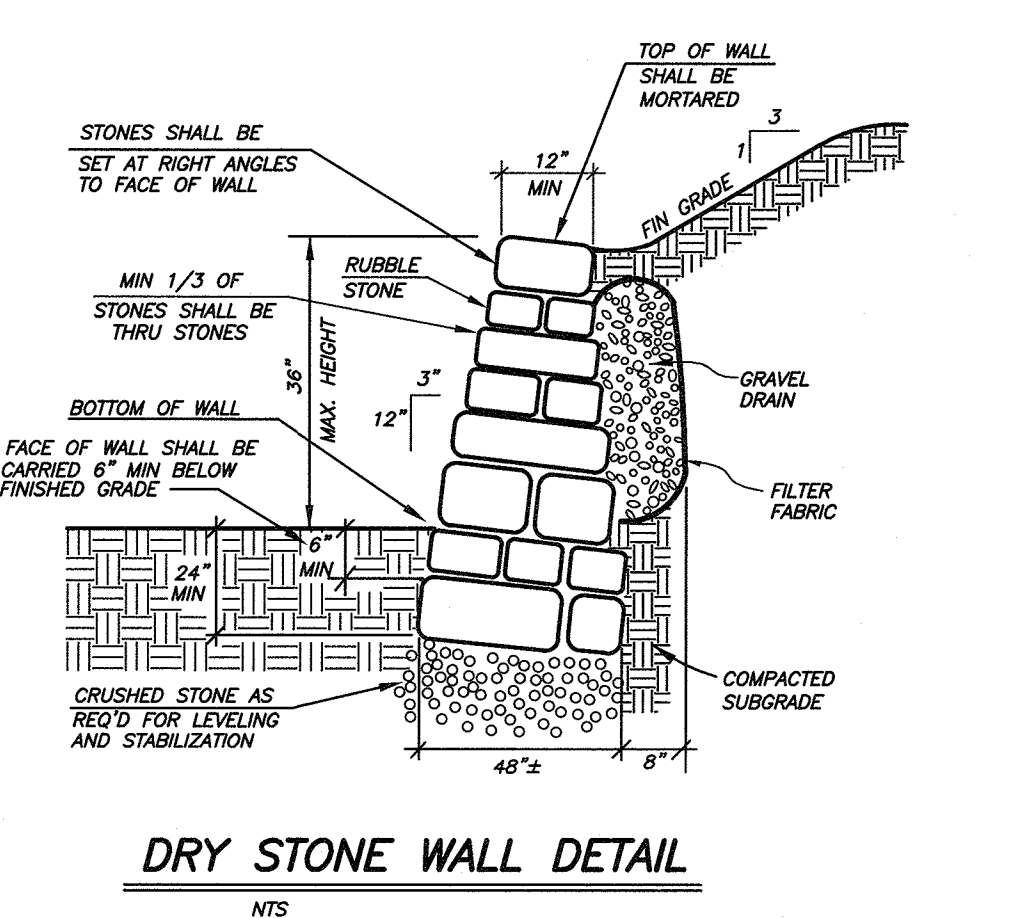
G.PALLADINO LLC
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WEST NYACK, NEW YORK
10994
201-240-5987

POOL CABANA
ELEVATIONS/SECTIONS

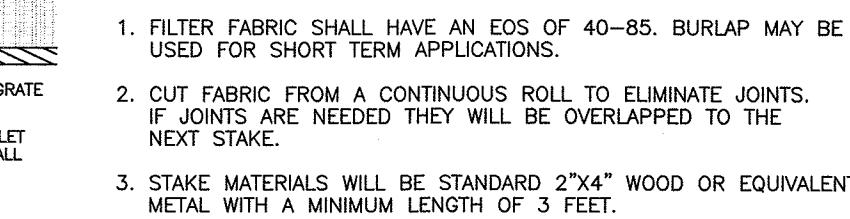
SCALE AS SHOWN
DATE SEPTEMBER 9, 2022
JOB NO. 1019
REVISIONS: SHEET NO.
CONST. ISSUE



A-2



1. **STONE SIZE** – USE "2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. **LENGTH** – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESURFACING LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. **THICKNESS** – NOT LESS THAN (6) INCHES.
4. **WIDTH** – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE WATER CROSSING OCCURS. PROVIDE FOUR (4) FEET SINGLE ENTRANCE TO SITE.
5. **FILTER CLOTH** – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. **SURFACE WATER** – ALL SURFACE WATER FLOWING OR INVERTED FLOWING THROUGH ENTRANCES SHALL BE PAVED ACROSS THE ENTRANCE. IF PAVING IS IMPRACTICAL, A MOUNTING BERM WITH A 6" RAMP SHALL BE PROVIDED.
7. **MAINTENANCE** – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SLOTTED, DROPPED, WASHED OR FLOWING ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. **WHEN WASHING IS REQUIRED**, IT SHALL BE DONE ON AN AREA SEPARATE FROM THE STONE WHICH DRAINAGE INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. **PERIODIC INSPECTION AND NEEDED MAINTENANCE** SHALL BE PROVIDED



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- NOTES:
1. THIS IS A SITE PLAN OF TAX LOT 78.17-2-9 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
 2. RECORD OWNER: 656 K ORTH ROAD LLC, PO BOX 605, PALISADES NY 10964
 3. APPLICANT: MARC COMITO, COMITO HOMES LLC, 87 SIXTH AVE, NYACK, NY 10960
 4. ZONE: R-40
 5. ALL NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
 6. THIS SITE DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L&M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 7. THIS PLAT IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION PLANS, INCLUDING DRAINAGE PLANNING AND RELATED WITH THE TOWN CLERK'S DRAINAGE RECORDS. ANY CHANGES TO SUCH PLANS SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND & SHALL NOT BE SHOWN.
 8. ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
 9. WATER SUPPLY: SUEZ
 10. DATUM: NAAD 88
 11. THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER & AT LEAST 30' IN LENGTH, TO BE INSTALLED AFTER ALL GRADING.
 12. ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING. PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
 13. AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF DRAINAGE CONTROL DEVICES OR THE REMOVAL OF TREES & VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEMO, SUPT. OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING & PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
 14. CONSTRUCTION SHALL BE UNDER THE CLOSE MANAGEMENT OF THE TOWN ENGINEER WITH LESS THAN ONE ACRE OF DISTURBANCE. AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED AND NO NOILING IS REQUIRED.
 15. ALL LANDSCAPING SHOWN ON THE SUBDIVISION PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
 16. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION & SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN D.E.M.E. TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN D.E.M.E. SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION & SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEMO AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.

17. THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGE/TOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES ARE AS FOLLOWS:
 - a. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - b. THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH TREES.
 - c. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT DISTANCE.
 - d. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 1. ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
 2. ONE LINE OF THE TREE CANOPY
18. THE METHOD CHOSEN SHALL BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
 1. LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 2. LIGHT IMPACTS ONLY - INSTALLATION OF 3/4 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
19. WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD, IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL RADIUS OF THREE (3) FEET LARGER THAN THE TREE WELL.
20. IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN. SUCH AREAS TO SECURE THE ADEQUATE, PERMANENT AND SUFFICIENT CONSTRUCTION, DEME SHALL INVESTIGATE THE CONDITION(S), AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITIONS, OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF DEME, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SUBDIVISION PLAN OR SITE PLAN, OR ANY CHANGE THAT INVOLVES A LAND REGULATED AREA, THE MATTER SHALL BE DECIDED BY THE AUTHORITY WITH JURISDICTION IN THAT AREA (IE WETLAND-US ARMY CORPS OF ENGINEERS)
21. THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.
22. THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS AND REUSE/CONTROL.

BULK REGULATIONS ZONE R-40 GROUP E									
	MIN LOT AREA	MIN LOT WIDTH	MIN STREET FRONTAGE	MIN FRONT YARD	MIN SIDE YARD	TOTAL SIDE YARDS	MIN REAR YARD	MAX BLDG HEIGHT	MAX F.A.R.
REQUIRED	40,000' SF	150'	100'	50'	20' #	40' #	50'	27' FT @51'-34" MAX	0.15
PROVIDED PER APPROVED PLAN	21,764' SF	103' #	105.61'	51.4'	22.5'	65.6'	109.0'	28.3'	0.146 (per arch)
PROVIDED WITH POOL/CABANA	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE	51.8'	NO CHANGE	1.1592 #

PRE-EXISTING NON CONFORMING CONDITION

SIDE YARD OF 30' AND 80' TOTAL REDUCED PER SECTION 5.21(a), FOR LOTS WITH LESS THAN 110 FEET IN LOT WIDTH, SIDE YARDS SHALL BE NO LESS THAN 20 FEET.

AREA BREAKDOWN
AREA = 22,478 SF GROSS
- 714 SF 50% ROAD WIDENING

21,764 SF NET FOR ZONING

AMENDED PLOT PLAN
WITH POOL & CABANA
COMITO
656 OAK TREE ROAD
PALISADES, TOWN OF ORANGETO
ROCKLAND COUNTY, NEW YORK

JAY A. GREENWELL, PLS, LLC
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TAX LOT #
78.17-2-9

FILE
22148P001

SCALE
1" = 20'

DATE

JOB NO.
22148