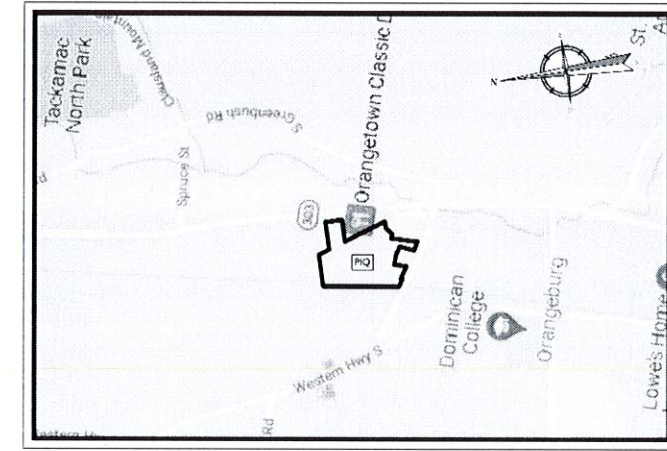
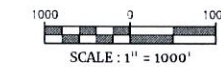


PRELIMINARY SITE PLAN
FOR
WPT ACQUISITIONS, LLC
PROPOSED WAREHOUSE
SECTION 74.07, BLOCK 1, LOTS 2, 33, & 36
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

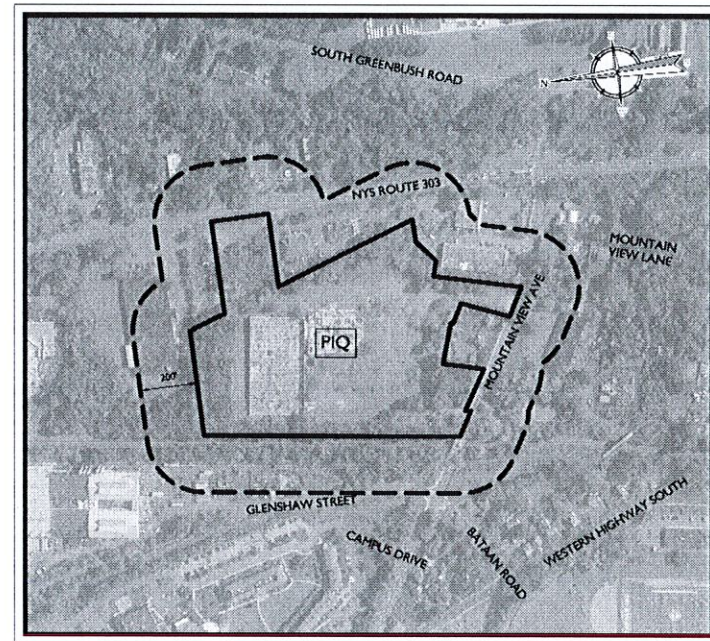


VICINITY MAP

SOURCE: GOOGLE MAPS

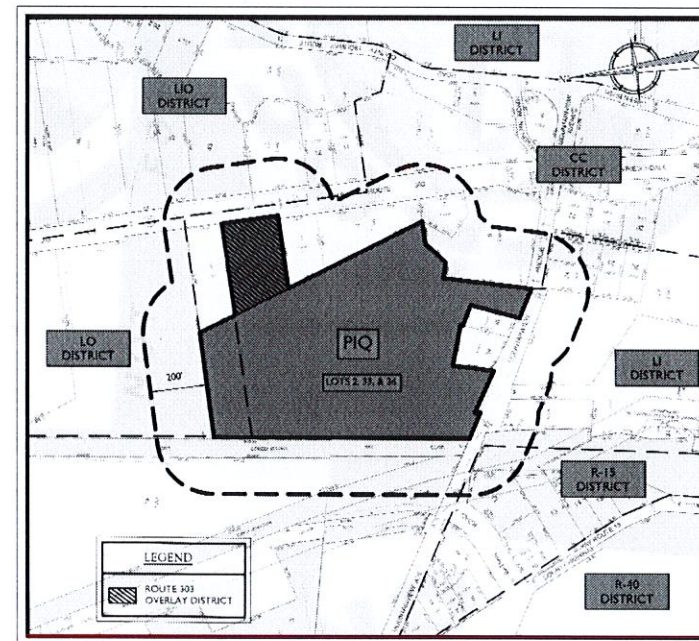
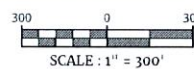


PROPERTY OWNERS WITHIN 200'	
PARCEL ID NO.	OWNER'S NAME/ADDRESS
70.19.1.41	Mark DeFuss 525 Rte 303, Orangetown, NY 10962
70.19.1.42	523 Route 303 Real Estate LLC, 523 Rte 303, Orangetown, NY 10962
70.19.1.43	Brian DiGirolamo, 70 S. Greenbush Rd, Orangetown, NY 10962
70.19.1.44	300 North Main LLC, 3 South Post Ln, Armonk, NY 10952
74.06.3.9	Christopher M. Meyers, 30 Mountainview Ave, Orangetown, NY 10962
74.06.3.11	Neil D. Leberberger, 489 Western Hwy, Orangetown, NY 10962
74.06.3.12	Assokanta Grlfo, 21 Baran Rd, Orangetown, NY 10962
74.06.3.13	James E. McCluskey, 487 Western Hwy, Orangetown, NY 10962
74.07.1.1	LMAM Properties LLC, 45 Wolfe Cir, W. Nyack, NY 10994
74.07.1.2	Eastcoast BLR, 1993 LLC, 3 Reuten Dr, Closter, NJ 07624
74.07.1.3	BCK Realty LLC, Robert Stabic, 16 Lark St, Pearl River, NY 10965
74.07.1.4	Classic North Realty LLC, 512 Route 303, Orangetown, NY 10962
74.07.1.6	Town Plaza II LLC, The Azarian Group LLC, 6 Prospect St 2A, Midvale Park, NJ 07432
74.07.1.7	Nolan Monuments Inc, 508 Route 303, Orangetown, NY 10962
74.07.1.10	125 Greenbush LLC, 4 Squadron Blvd Ste 106, New City, NY 10956
74.07.1.11	511 Route 303 LLC, 70 S Greenbush Rd, Orangetown, NY 10962
74.07.1.12	Cisare Fu, 9 Vassar Ct, Westtown, NJ 08758
74.07.1.13	515 Route 303 LLC, 70 S Greenbush Rd, Orangetown, NY 10962
74.07.1.14	11 Realty LLC, 70 S Greenbush Rd, Orangetown, NY 10962
74.07.1.32	Mountain Prop of Rockland LLC, 15 Wood Dr, Bardonia, NY 10954
74.07.1.33	East Coast BLR, 1993 LLC, 3 Reuten Dr, Closter, NJ 07624
74.07.1.34	Jahia Nevins, 17 Mountainview Ave, Orangetown, NY 10962
74.07.1.35	Thomas Finckelweid, 3 Mountainview Ave, Orangetown, NY 10962
74.07.1.36	Eastcoast BLR, 1993 LLC, 3 Reuten Dr, Closter, NJ 07624



AERIAL MAP

SOURCE: GOOGLE EARTH



TAX & ZONING MAP

SOURCE: ROCKLAND COUNTY GIS WEBSITE



INDEX OF SHEETS		
SHT. No.	DESCRIPTION	LATEST REVISION
1	COVER SHEET	8/22/22
2	PROJECT NOTES	8/22/22
3	DEMOLITION & EXISTING CONDITIONS PLAN	8/22/22
4	AERIAL PLAN	8/22/22
5	OVERALL LAYOUT PLAN	8/22/22
6	LAYOUT PLAN - EAST	8/22/22
7	GRADING & DRAINAGE PLAN	8/22/22
8	UTILITIES PLAN	8/22/22
9	LANDSCAPE PLAN	8/22/22
10	PHASE I SOIL EROSION & SEDIMENT CONTROL PLAN	8/22/22
11	PHASE II SOIL EROSION & SEDIMENT CONTROL PLAN	8/22/22
12	PHASE III SOIL EROSION & SEDIMENT CONTROL PLAN	8/22/22
13	PHASE IV SOIL EROSION & SEDIMENT CONTROL PLAN	8/22/22
14	LIGHTING PLAN	8/22/22
15	CONSTRUCTION DETAILS	8/22/22
16	CONSTRUCTION DETAILS	8/22/22
17	CONSTRUCTION DETAILS	8/22/22
18	CONSTRUCTION DETAILS	8/22/22
19	CONSTRUCTION DETAILS	8/22/22
20	CONSTRUCTION DETAILS	8/22/22
21	CONSTRUCTION DETAILS	8/22/22

PREPARED BY:

COLLIERS ENGINEERING & DESIGN, CT, P.C.
50 CHESTNUT RIDGE ROAD, SUITE 101
MONTVALE, NJ 07645



I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN
AND THAT I CONCUR WITH THE SUBMISSION.

OWNER _____ DATE _____

APPROVED BY THE PLANNING BOARD OF THE TOWN OF ORANGETOWN AT THE
REGULAR MEETING OF _____ DATE _____

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

ENGINEER _____ DATE _____

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DATE	REVISION	DESCRIPTION
8/22/22	1	ISSUE FOR MEETING

Jesse Barrett Cokeley
NEW YORK LICENSED PROFESSIONAL ENGINEER
LICENSE NUMBER: 999987-1
COLLIERS ENGINEERING & DESIGN, CT, P.C.
N.Y. C.O.A.#: 3017609

PRELIMINARY SITE PLAN
FOR
WPT ACQUISITIONS,
LLC
SECTION 74.07
BLOCK 1
LOTS 2, 33 & 36
518 NYSR 303 AND 13 & 21
MOUNTAINVIEW AVENUE
TOWN OF ORANGETOWN
ROCKLAND COUNTY
NEW YORK

Colliers
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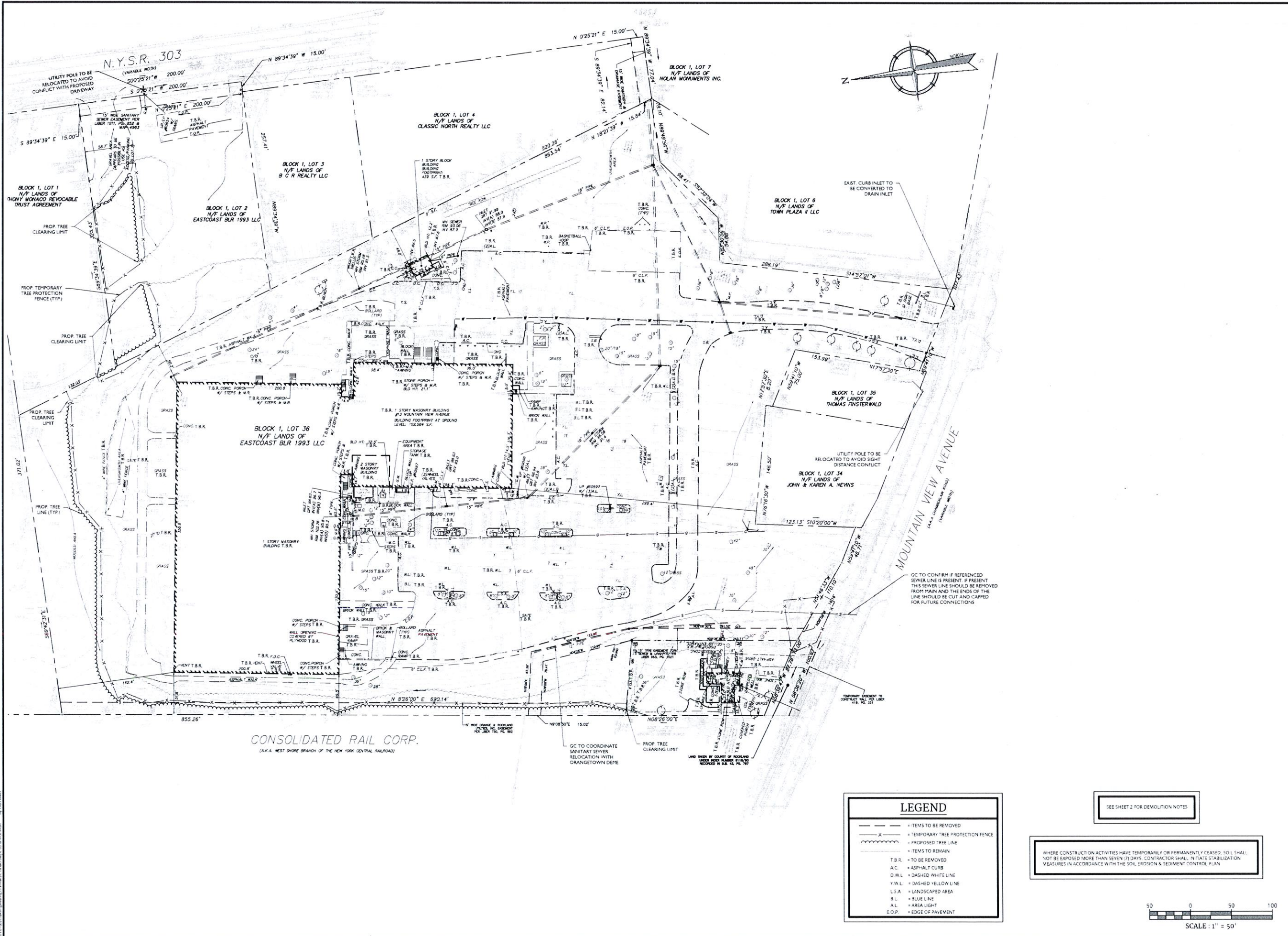
MONTVALE
50 Chestnut Ridge Road,
Suite 101
Montvale, NJ 07645
Phone: 845.352.0411
COLLIERS ENGINEERING & DESIGN, CT, P.C.
OFFICE: 300 WEST 10TH STREET, SUITE 200
ROCKLAND COUNTY, NY 10986

SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	11/22/2021	DIG/CMA	IBC
PROJECT NUMBER:	21063528A	DRAWING NAME:	C-COVER

SHEET TITLE
COVER SHEET

SHEET NUMBER
1 of 21

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



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(A.K.A. WEST SHORE BRANCH OF THE NEW YORK CENTRAL RAILROAD)

LEGEND

--- (dashed line)	= ITEMS TO BE REMOVED
-x- (line with crosses)	= TEMPORARY TREE PROTECTION FENCE
~~~~~ (wavy line)	= PROPOSED TREE LINE
---	= ITEMS TO REMAIN
T.B.R.	= TO BE REMOVED
A.C.	= ASPHALT CURB
D.W.L.	= DASHED WHITE LINE
Y.W.L.	= DASHED YELLOW LINE
L.S.A.	= LANDSCAPED AREA
B.L.	= BLUE LINE
A.L.	= AREA LIGHT
E.O.P.	= EDGE OF PAVEMENT

SEE SHEET 2 FOR DEMOLITION NOTES

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN



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DATE	REVISION	DESCRIPTION

Jesse Barrett Cokeley  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 199997  
COLLIERS ENGINEERING & DESIGN CT. P.C.  
N.Y. C.O.A.#. 0017609

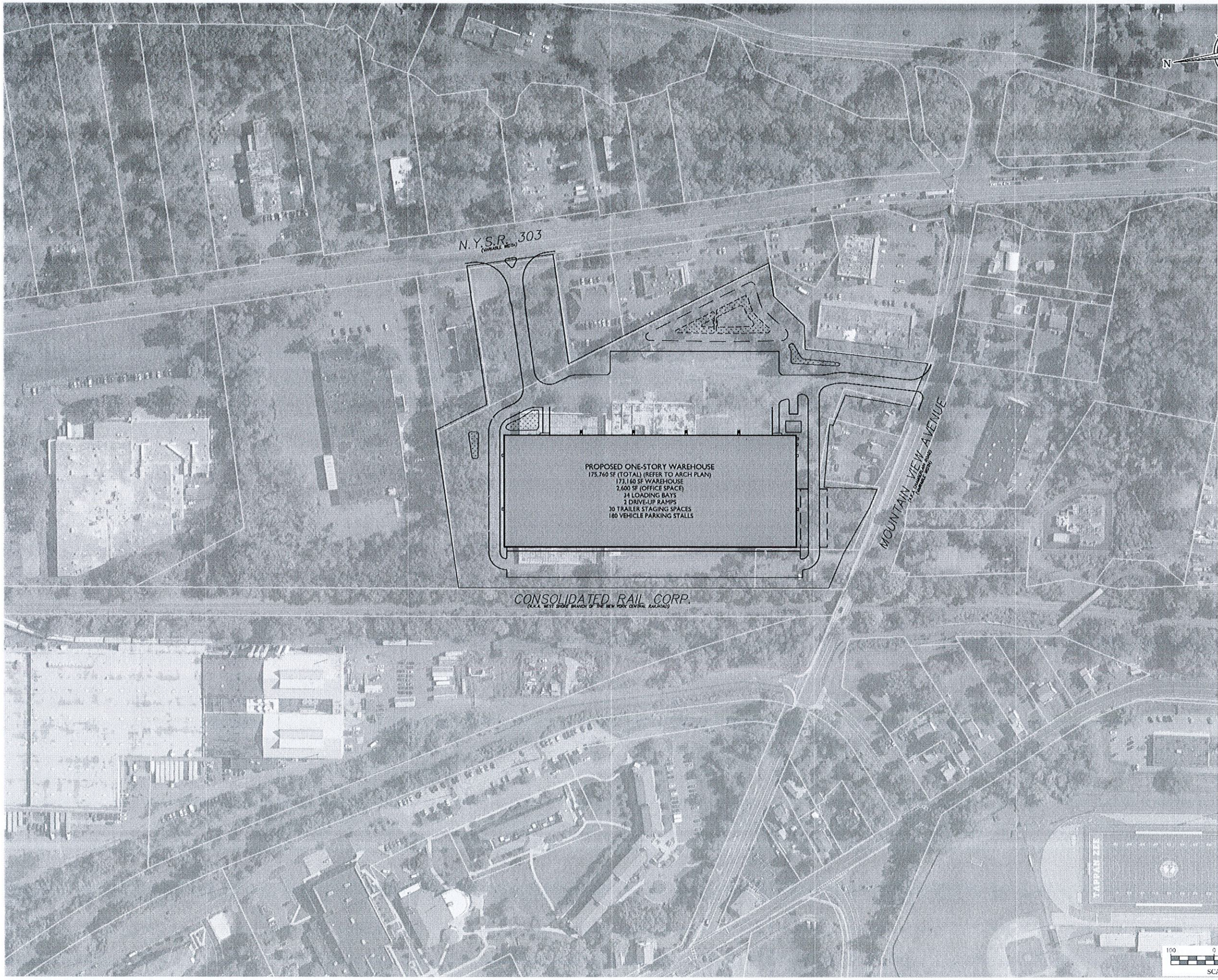
**PRELIMINARY SITE PLAN**  
FOR  
**WPT ACQUISITIONS, LLC**  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36  
518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

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300 W. BUSINESS RD. SUITE 400  
ROCKLAND COUNTY, NY 10956

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	11/22/2021	DG/CMA	IBC
PROJECT NUMBER	DRAWING NAME		
21003528A	C-DEM0		
SHEET TITLE			
DEMOLITION & EXISTING CONDITIONS PLAN			
SHEET NUMBER			
3	of 21		

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



N.Y.S.R. 303  
(ORANGE COUNTY)

MOUNTAIN VIEW AVENUE  
(ORANGE COUNTY)

CONSOLIDATED RAIL CORP.  
(A.K.A. WEST SIDE BRANCH OF THE NEW YORK CENTRAL RAILROAD)

PROPOSED ONE-STORY WAREHOUSE  
 175,740 SF (TOTAL) (REFER TO ARCH PLAN)  
 173,160 SF WAREHOUSE  
 2,600 SF (OFFICE SPACE)  
 34 LOADING BAYS  
 7 DRIVE-UP RAMPS  
 30 TRAILER STAGING SPACES  
 180 VEHICLE PARKING STALLS

SCALE: 1" = 100'

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DATE	DESCRIPTION	BY	CHKD
04/22/22	REVISED PER ENGINEERING COMMENTS FROM APRIL 13, 2022 MEETING		



Jesse Barrett Cokeley  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 999987-1  
 COLLIER ENGINEERING & DESIGN, P.C.  
 N.Y. C.O.A. # 9017609

PRELIMINARY SITE PLAN  
 FOR  
 WPT ACQUISITIONS,  
 LLC  
 SECTION 74.07  
 BLOCK 1  
 LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21  
 MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK

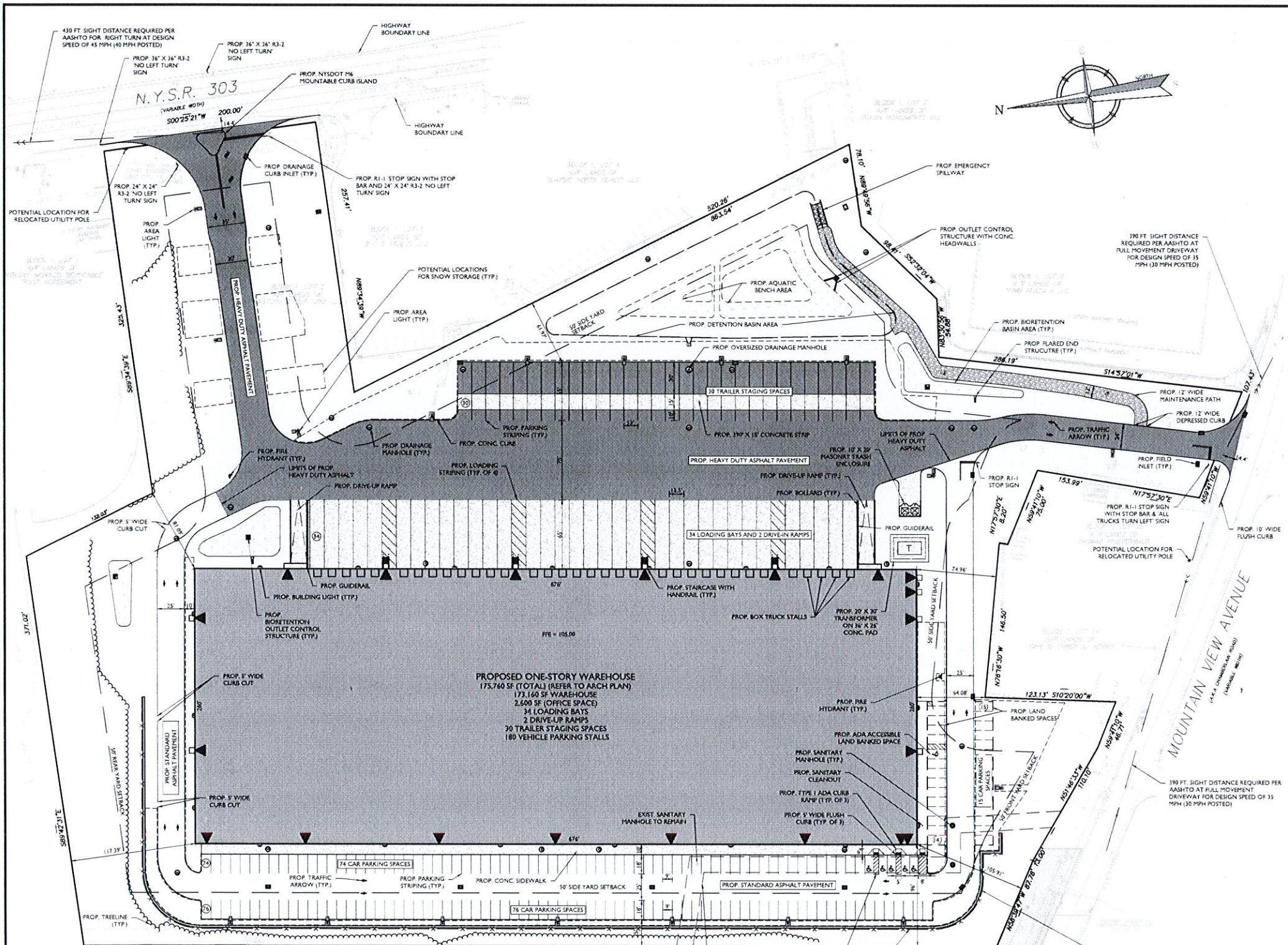
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 Suite 101  
 Montvale, NJ 07645  
 Phone: 845.352.0411  
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SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	11/22/2021	DGC/CMA	IBC

PROJECT NUMBER	DRAWING NAME
21063525A	C-AERL

SHEET NUMBER  
 4 of 21

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**ZONING TABLE**

**TABLE OF BULK REQUIREMENTS**  
**ZONES: LI (LIGHT INDUSTRIAL) DISTRICT**  
**LO (LABORATORY-OFFICE) DISTRICT**  
**CC (RETAIL-COMMERCE) DISTRICT**

ITEM	REQUIRED (LI)	REQUIRED (LO)	REQUIRED (CC)	EXISTING	PROVIDED	COMPLIES
MIN. LOT AREA	2 ACRES	2 ACRES	1 ACRE	±601,333.76 SF (13.80 ACRES)	±601,333.76 SF (13.80 ACRES)	YES
MAX. F.A.R.	0.50	0.40	0.30	0.17	0.29	YES
MAX. LOT COVERAGE	80%	75%	75%	±45.77% (275,202.76 SF)	±63.76% (±383,328 SF)*	YES
MIN. LOT WIDTH	150'	100'	100'	322.6 SF	322.6 SF	YES
MIN. STREET FRONTAGE	150'	150'	100'	565.02'	565.02'	YES
REQUIRED FRONT YARD	50'	100'	50'	195.8'	105.91'	YES
REQUIRED SIDE YARD	50'	25'	20'	50.7'	76' ± 81.09'	YES
TOTAL SIDE YARD	100'	50'	35'	> 100'	177.09'	YES
REQUIRED REAR YARD	50'	25'	50'	142.3'	117.39'	YES
MAX. BUILDING HEIGHT**	6' PER FOOT OF DISTANCE FROM LOT LINE** (32-78)	1' PER FOOT OF DISTANCE FROM LOT LINE** (24-48)	NONE	< 50'	64' ± 3.2'	YES

* LOT COVERAGE ASSUMING LAND BANKED SPACES ARE NEVER CONSTRUCTED = ±62.95% (±378,425.88 SF)  
 ** BUILDING HEIGHT: THE VERTICAL DISTANCE MEASURED FROM THE AVERAGE ELEVATION OF THE PROPOSED FINISHED GRADE ALONG THE WALL OF A BUILDING, OR ADJACENT TO THE SIDE OF A NONBUILDING USE, TO THE HIGHEST POINT OF THE ROOF OR PARAPET FOR FLAT ROOFS OR SHED ROOFS, TO THE DECK LINE FOR MANSARD ROOFS, AND TO THE MEAN BETWEEN GAVES AND RIDGE FOR GABLE, HIP AND GAMBLE ROOFS OF SUCH BUILDING, OR NONBUILDING USE, EXCEPT AS SPECIFICALLY EXEMPTED IN § 2.3  
 *** PER CHAPTER 43 ATTACHMENT 18, NOTE 87 STATES THAT REQUIRED FRONT YARD AND MAXIMUM BUILDING HEIGHT ARE SUBJECT TO § 5.11 WHERE THE DESIGNATED STREET LINE CAN BE USED AS A LOT LINE. IN THIS INSTANCE THE DESIGNATED STREET LINE IS THE LOT LINE BORDERING MOUNTAIN VIEW AVENUE (105.91' FROM PROPOSED BUILDING)

**PARKING AND LOADING**

**PARKING:**  
 A. WAREHOUSE USES SHALL PROVIDE ONE (1) PARKING SPACE FOR EVERY TWO (2) EMPLOYEES, OR ONE (1) PARKING SPACE PER 100 SQUARE FEET OF GROSS FLOOR AREA (43-3.1)  
 REQUIRED: 1 EMPLOYEE PER 1,500 SF = (175,760 SF) / (1,500 SF) = 117 EMPLOYEES = 117 EMPLOYEES / 2 = 58 SPACES REQUIRED  
 PROVIDED: 145 STANDARD SPACES  
 3 HANDICAP SPACES  
 29 LAND BANKED SPACES  
 177 TOTAL PARKING SPACES

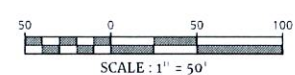
**LOADING:**  
 A. LOADING BERTHS SHALL BE AT LEAST 12 FEET WIDE AND 45 FEET LONG, WITH A CLEAR HEIGHT OF 15 FEET (43-4.42)  
 B. FOR MANUFACTURING, WHOLESALE AND STORAGE USES AND FOR DRY-CLEANING AND RUG-CLEANING ESTABLISHMENTS AND LAUNDRIES, ONE LOADING BERTH SHALL BE PROVIDED FOR EACH 10,000 SQUARE FEET OF FLOOR AREA OR LESS AND ONE ADDITIONAL BERTH FOR EACH ADDITIONAL 20,000 SQUARE FEET OF FLOOR AREA, OR MAJOR FRACTION THEREOF, SO USED (43-4.41.9)  
 1 = (165,760 SF) / (10,000 SF) = 16 SPACES REQUIRED  
 16 SPACES PROVIDED (INCLUDES 2 DRIVE-UP RAMPS, COMPLES)

**DISTRICTS**

ZONE DISTRICTS: LI, LO, AND CC ZONES  
 SCHOOL DISTRICT: SOUTH ORANGETOWN  
 CENTRAL SCHOOL DISTRICT  
 WATER DISTRICT: SUEZ WATER  
 SEWER DISTRICT: ORANGETOWN  
 FIRE DISTRICT: BIALIVET

**LEGEND**

EXISTING	PROPOSED
TRaverse LINE, CENTER LINE OR BASELINE (LABEL AS SUCH) 12+00	13+00
RIGHT OF WAY LINE	
PROPERTY LINE	
EDGE OF PAVEMENT	FACE
CURB	BACK
DEPRESSED CURB	
SIDEWALK	
FENCES	X-X
TREELINE	
ROADWAY SIGNS	
STALL COUNT	10
ADA ACCESSIBLE STALL	
DEPRESSED CURB AND ADA RAMP	HC
DIRECTION OF TRAFFIC FLOW	
DOOR LOCATION	



- WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN.
- SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPARTMENT'S SPECIFICATIONS FOR SIDEWALKS AND CURBS
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 231.81 OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.

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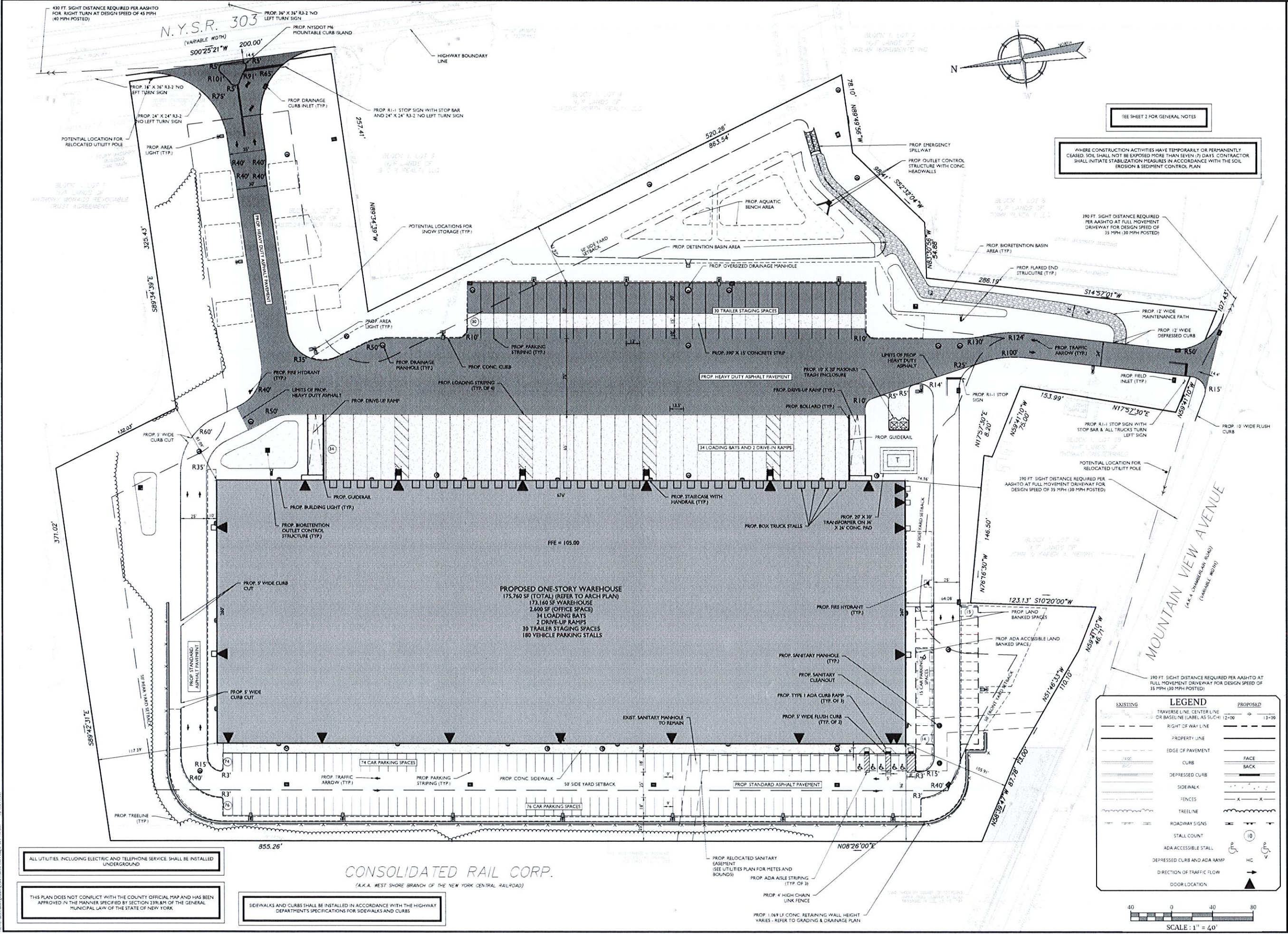
**Jesse Barrett Cokeley**  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 099887-7  
 COLLIER ENGINEERING & DESIGN, P.C.  
 N.Y. C.O.#: 9017609

**PRELIMINARY SITE PLAN**  
 FOR  
**WPT ACQUISITIONS, LLC**  
 SECTION 74.07  
 BLOCK 1  
 LOTS 2, 33 & 36  
 518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK

**Colliers Engineering & Design**  
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SCALE: AS SHOWN DATE: 11/22/2021 DRAWN BY: DG/CMA CHECKED BY: JBC  
 PROJECT NUMBER: 21063525A SHEET NAME: C-LAY1  
 SHEET TITLE: **OVERALL LAYOUT PLAN**  
 SHEET NUMBER: 5 of 21

**NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.**



SEE SHEET 2 FOR GENERAL NOTES

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN

EXISTING	LEGEND	PROPOSED
---	TRAVERSE LINE CENTER LINE OR BASELINE (LABEL AS SUCH)	---
---	RIGHT OF WAY LINE	---
---	PROPERTY LINE	---
---	EDGE OF PAVEMENT	---
---	CURB	---
---	DEPRESSED CURB	---
---	SIDEWALK	---
---	FENCES	---
---	TREELINE	---
---	ROADWAY SIGNS	---
---	STALL COUNT	---
---	ADA ACCESSIBLE STALL	---
---	DEPRESSED CURB AND ADA RAMP	---
---	DIRECTION OF TRAFFIC FLOW	---
---	DOOR LOCATION	---

ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND

THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.14M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK

SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPARTMENT'S SPECIFICATIONS FOR SIDEWALKS AND CURBS

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**PROPOSED ONE-STORY WAREHOUSE**  
175,760 SF (TOTAL) (REFER TO ARCH PLAN)  
173,140 SF WAREHOUSE  
2,600 SF (OFFICE SPACE)  
34 LOADING BAYS  
2 DRIVE-UP RAMPS  
10 TRAILER STAGING SPACES  
180 VEHICLE PARKING SPACES

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DATE	DRAWN BY	CHECKED BY	SCALE	SHEET NO.	TOTAL SHEETS

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**Jesse Barrett Cokeley**  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 99987-7  
COLLIERS ENGINEERING & DESIGN, C.T., P.C.  
N.Y. C.O.A.# 3017609

---

**PRELIMINARY SITE PLAN**

FOR  
**WPT ACQUISITIONS, LLC**  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21  
MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

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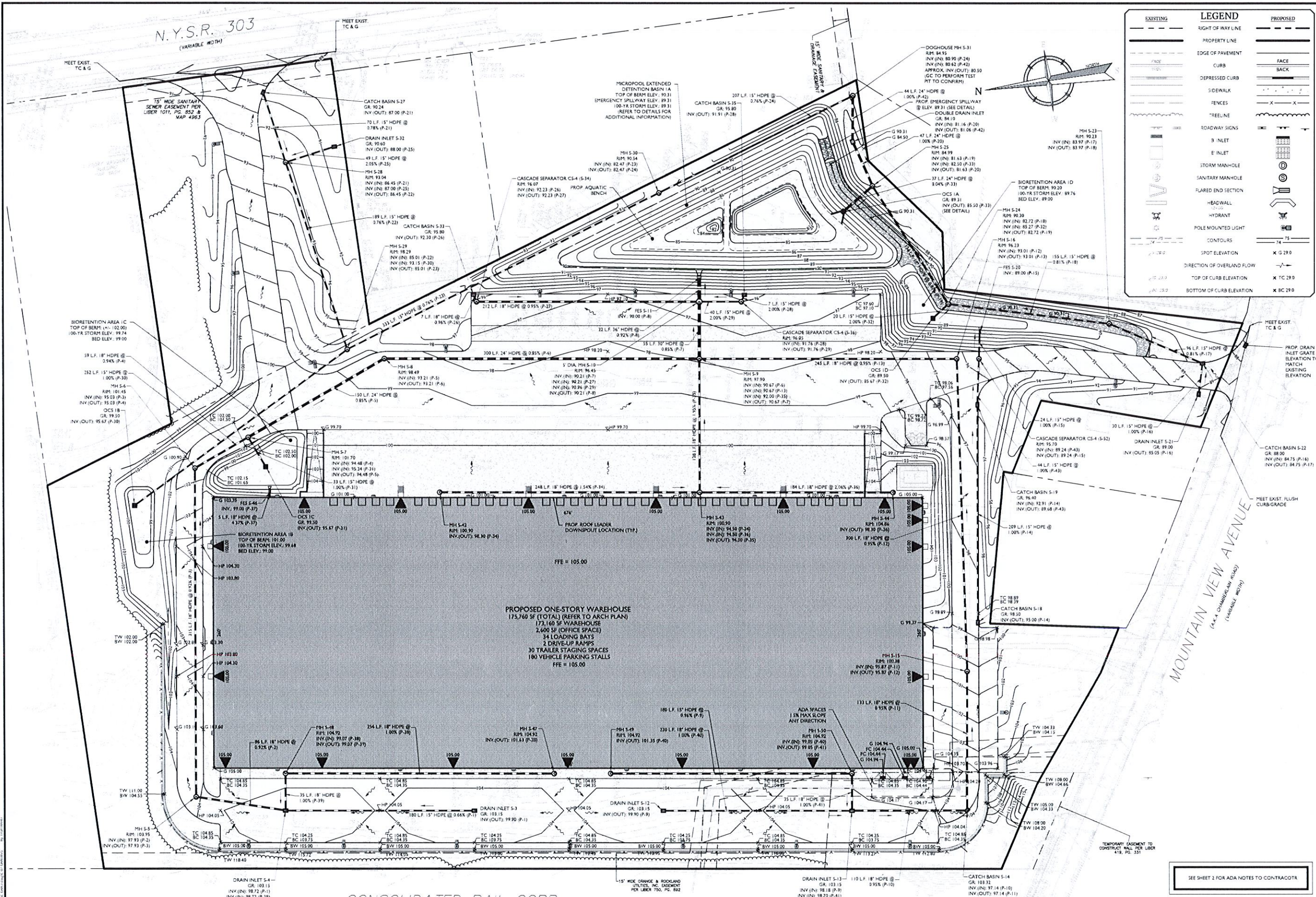
WONTVALE  
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Montvale, NJ 07645  
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SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	11/23/2021	DIG/EMA	IBC
PROJECT NUMBER	2106328A	DRAWING NAME	C-LAY1
SHEET TITLE	LAYOUT PLAN - EAST		
SHEET NUMBER	6 of 21		

---

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Jesse Barrett Cokeley  
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LICENSE NUMBER: 099987-1  
COLLIERS ENGINEERING & DESIGN, P.C.  
N.Y. C.O.# 3017609

**PRELIMINARY SITE PLAN**  
FOR  
WPT ACQUISITIONS, LLC  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36  
518 NYSR 303 AND 13 & 21  
MOUNTAINVIEW AVENUE  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

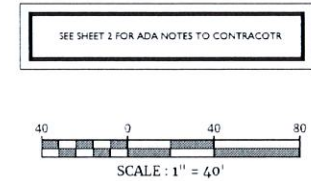
**WONTVALE**  
50 Chestnut Ridge Road,  
Suite 101  
Montvale, NJ 07645  
Phone: 845.352.0411

DATE	DATE	DATE	CHECKED BY
AS SHOWN	11/22/2021	DG/CMA	IBC
PROJECT NUMBER		DATE	
2106325A		DRAWING NAME	C:GAD
SHEET TITLE	GRADING & DRAINAGE PLAN		
SHEET NUMBER	7 of 21		

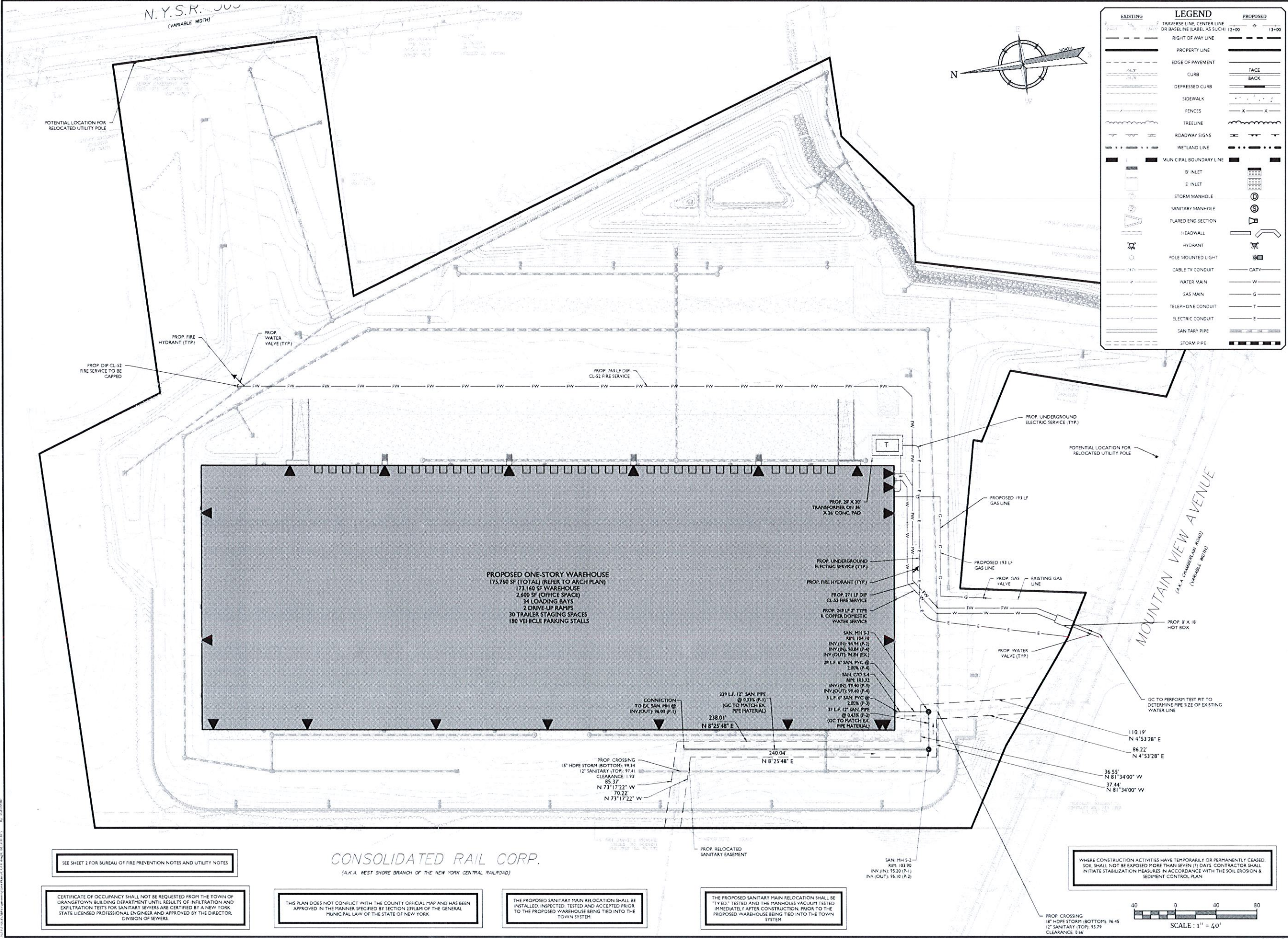
WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN.

ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.

THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.18M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.



NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



EXISTING	LEGEND	PROPOSED
	TRAVERSE LINE, CENTER LINE OR BASELINE LABEL AS 5+0.00	
	RIGHT OF WAY LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
	CURB	
	DEPRESSED CURB	
	SIDEWALK	
	FENCES	
	TREE LINE	
	ROADWAY SIGNS	
	WETLAND LINE	
	MUNICIPAL BOUNDARY LINE	
	B INLET	
	E INLET	
	STORM MANHOLE	
	SANITARY MANHOLE	
	FLARED END SECTION	
	HEADWALL	
	HYDRANT	
	POLE MOUNTED LIGHT	
	CABLE TV CONDUIT	
	WATER MAIN	
	GAS MAIN	
	TELEPHONE CONDUIT	
	ELECTRIC CONDUIT	
	SANITARY PIPE	
	STORM PIPE	

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DATE	REVISION	DESCRIPTION	BY	CHKD.

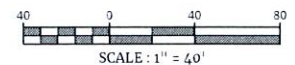
**Jesse Barrett Cokeley**  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 399987-C  
COLLIERS ENGINEERING & DESIGN, P.C.  
N.Y. C.O.#: 09175609

**PRELIMINARY SITE PLAN**  
FOR  
**WPT ACQUISITIONS, LLC**  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36  
518 NYSR 303 AND 13 & 21  
MOUNTAINVIEW AVENUE  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

**Colliers Engineering & Design**  
MONTVALE  
50 Chestnut Ridge Road,  
Suite 103  
Montvale, NJ 07645  
Phone: 445.352.0411

SCALE: AS SHOWN  
DATE: 11/22/2021  
PROJECT NUMBER: 21063525A  
SHEET NUMBER: 8 of 21

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN.



NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

SEE SHEET 2 FOR BUREAU OF FIRE PREVENTION NOTES AND UTILITY NOTES

CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR, DIVISION OF SEWERS.

THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.14 OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.

THE PROPOSED SANITARY MAIN RELOCATION SHALL BE INSTALLED, INSPECTED, TESTED AND ACCEPTED PRIOR TO THE PROPOSED WAREHOUSE BEING TIED INTO THE TOWN SYSTEM.

THE PROPOSED SANITARY MAIN RELOCATION SHALL BE "TIED-IN" TESTED AND THE MANHOLES "ACCUPT" TESTED IMMEDIATELY AFTER CONSTRUCTION PRIOR TO THE PROPOSED WAREHOUSE BEING TIED INTO THE TOWN SYSTEM.

**CONSOLIDATED RAIL CORP.**  
(A.K.A. WEST SHORE BRANCH OF THE NEW YORK CENTRAL RAILROAD)

**PROPOSED ONE-STORY WAREHOUSE**  
175,760 SF (TOTAL) (REFER TO ARCH PLAN)  
173,160 SF WAREHOUSE  
2,600 SF (OFFICE SPACE)  
34 LOADING BAYS  
2 DRIVE-UP RAMPS  
30 TRAILER STAGING SPACES  
180 VEHICLE PARKING STALLS

PROP. 28' X 30' TRANSFORMER ON 30' X 24' CONC. PAD  
PROP. UNDERGROUND ELECTRIC SERVICE (TYP.)  
PROP. FIRE HYDRANT (TYP.)  
PROP. 27 1/2" LF DIP CL-52 FIRE SERVICE  
PROP. 249 LF 2" TYPE K COPPER DOMESTIC WATER SERVICE  
SAN. MH 5-2 RHM: 04.90 INV. (IN): 94.74 (P-2) INV. (IN): 98.84 (P-4) INV. (OUT): 94.84 (EX.) 28 LF 6" SAN. PVC @ 1.00% (P-6) SAN. C/O 5-4 RHM: 03.32 INV. (IN): 95.40 (P-3) INV. (OUT): 99.40 (P-4) 5 LF 8" SAN. PVC @ 1.00% (P-3) 77 LF 12" SAN. PIPE @ 0.43% (P-2) (GC TO MATCH EX. PIPE MATERIAL)

PROP. CROSSING 18" HOPE STORM (BOTTOM): 98.14 12" SANITARY (TOP): 97.41 CLEARANCE: 1.93 N 73° 17' 22" W 70.22' N 73° 17' 22" W

CONNECTION TO EX. SAN. MH @ INV. (OUT): 96.99 (P-1) 239 LF 12" SAN. PIPE @ 0.33% (P-1) (GC TO MATCH EX. PIPE MATERIAL) 228.01' N 8° 25' 48" E 240.04' N 8° 25' 48" E

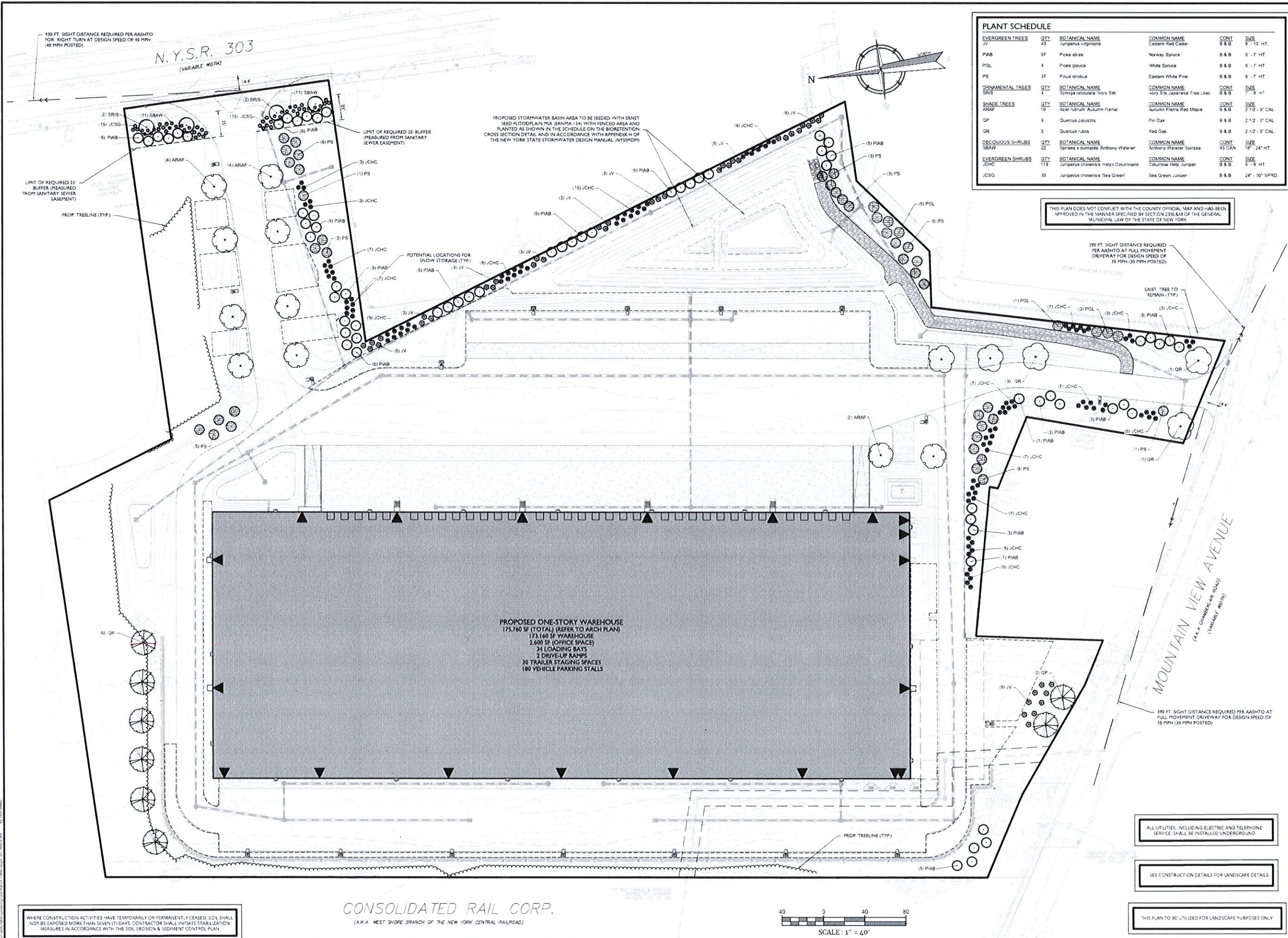
PROP. 193 LF GAS LINE  
PROP. 193 LF GAS LINE  
PROP. GAS VALVE  
EXISTING GAS LINE

MOUNTAINVIEW AVENUE  
(A.K.A. CHAMBERLAIN ROAD)  
(VARIABLE WIDTH)

PROP. CROSSING 18" HOPE STORM (BOTTOM): 96.45 12" SANITARY (TOP): 95.79 CLEARANCE: 2.46

SAN. MH 5-2 RHM: 03.90 INV. (IN): 95.20 (P-1) INV. (OUT): 95.10 (P-2)





**PLANT SCHEDULE**

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
JVC	43	Juniperus virginiana	Eastern Red Cedar	B & B	8' - 10' HT.
PIAB	97	Picea abies	Norway Spruce	B & B	6' - 7' HT.
PGL	9	Picea glauca	White Spruce	B & B	6' - 7' HT.
PS	37	Pinus strobus	Eastern White Pine	B & B	6' - 7' HT.
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
SRIS	4	Syringa reticulata	Ivory Silk	B & B	7' - 8' HT.
SHADE TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
ARAF	10	Acer rubrum	Autumn Flame Red Maple	B & B	2 1/2' - 3' CAL
QP	8	Quercus alata	Pin Oak	B & B	2 1/2' - 3' CAL
QR	5	Quercus rubra	Red Oak	B & B	2 1/2' - 3' CAL
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
SBAW	22	Spiraea x bumalda	Anthony Waterer	33 CAN	18" - 24" HT.
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
JCHC	113	Juniperus chinensis 'Mitsu Columnaris'	Columnar Mitsu Juniper	B & B	8' - 8' HT.
JCSG	30	Juniperus chinensis 'Sea Green'	Sea Green Juniper	B & B	24" - 30" SPRD.

THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 2331AM OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.

390 FT. SIGHT DISTANCE REQUIRED PER AASHTO AT FULL MOVEMENT DRIVEWAY FOR DESIGN SPEED OF 35 MPH (30 MPH POSTED)

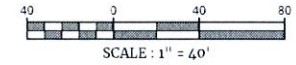
MOUNTAIN VIEW AVENUE  
(A.K.A. CHAMBERLAIN ROAD)  
(VARIABLE WIDTH)

**PROPOSED ONE-STORY WAREHOUSE**  
 175,760 SF (TOTAL) (REFER TO ARCH PLAN)  
 173,160 SF WAREHOUSE  
 2,600 SF OFFICE SPACE  
 34 LOADING BAYS  
 2 DRIVE-UP RAMPS  
 30 TRAILER STAGING SPACES  
 180 VEHICLE PARKING STALLS

430 FT. SIGHT DISTANCE REQUIRED PER AASHTO FOR RIGHT TURN AT DESIGN SPEED OF 45 MPH (40 MPH POSTED)  
 N.Y.S.R. 303  
 (VARIABLE WIDTH)

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN.

CONSOLIDATED RAIL CORP.  
(A.K.A. WEST SHORE BRANCH OF THE NEW YORK CENTRAL RAILROAD)



ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND

SEE CONSTRUCTION DETAILS FOR LANDSCAPE DETAILS

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

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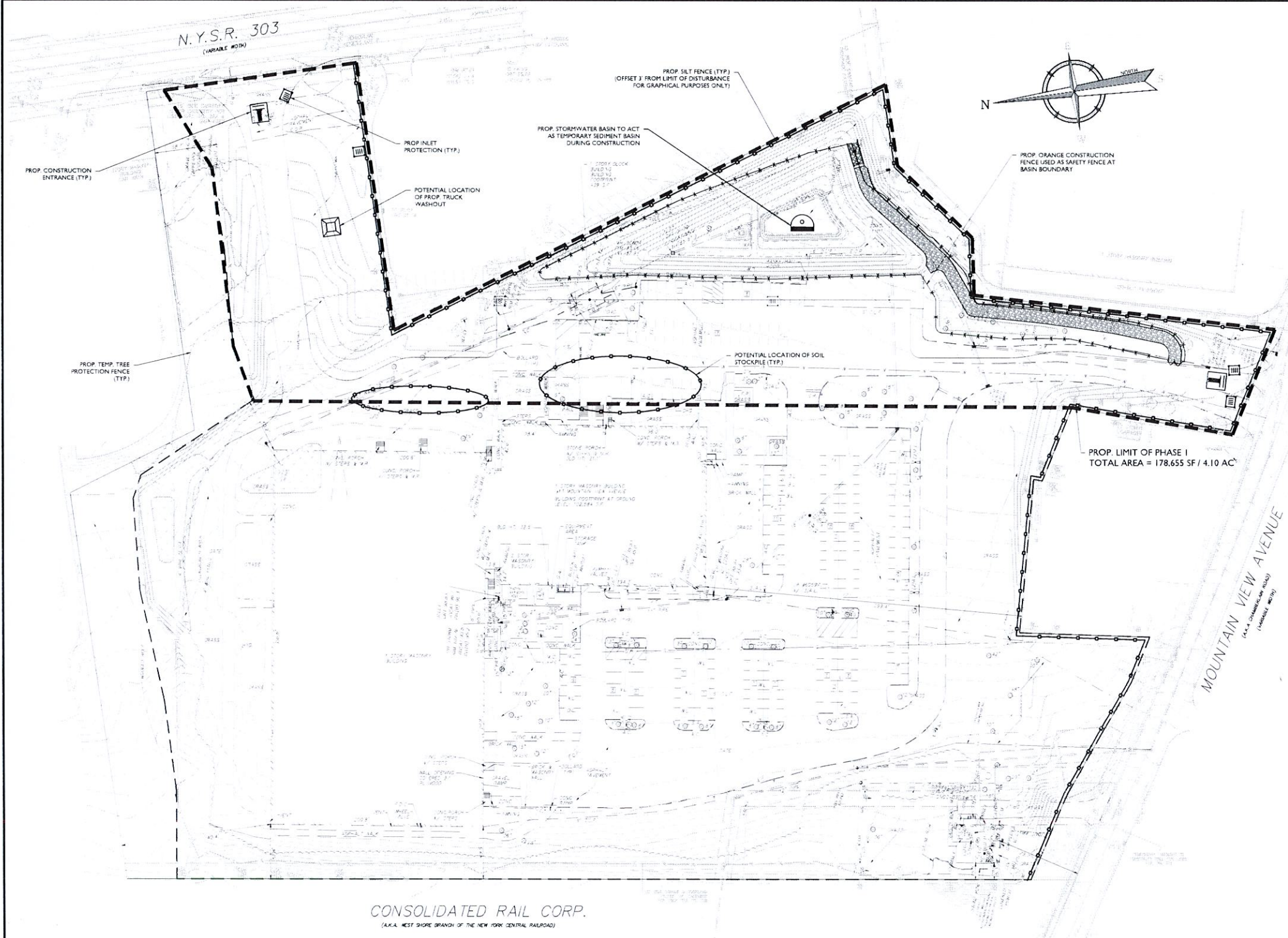
REV	DATE	DRAWN BY	CHECK	DESCRIPTION
1	11/22/2021	AS/SH/AN	DC/CA	REVISIONS PER PRELIMINARY COMMENTS FROM APRIL 15, 2022 MEETING

**Justin Eric Dates**  
 NEW YORK REGISTERED LANDSCAPE ARCHITECT  
 LICENSE NUMBER 0071964-01  
 COLLIER ENGINEERING & DESIGN, P.C.

**PRELIMINARY SITE PLAN**  
 FOR  
**WPT ACQUISITIONS, LLC**  
 SECTION 74.07  
 BLOCK 1  
 LOTS 2, 33 & 36  
 518 NYSR 303 AND 13 & 21  
 MOUNTAINVIEW AVENUE  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK

**Colliers**  
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 50 Chestnut Ridge Road,  
 Suite 101  
 Montvale, NJ 07645  
 Phone: 845.352.0411  
 COLLIER ENGINEERING & DESIGN, P.C.  
 21063525A  
 C-LAND  
 SCALE: AS SHOWN  
 DATE: 11/22/2021  
 DRAWN BY: DC/CA  
 CHECKED BY: JBC  
 PROJECT NUMBER: 21063525A  
 DRAWING NAME: C-LAND  
 SHEET TITLE: LANDSCAPE PLAN  
 SHEET NUMBER: 9 of 21

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



**SOIL EROSION AND SEDIMENT CONTROL NOTES**

- CONTRACTOR SHALL CALL FOR A CODE 53 MARK-OUT OF EXISTING UTILITIES PRIOR TO BEGINNING WORK.
- PRE-CONSTRUCTION MEETING SHALL BE HELD BETWEEN CONTRACTOR, DESIGN ENGINEER, AND TOWN OF ORANGETOWN.
- CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES SHOWN AND DESCRIBED IN CURRENT PHASE STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, INLET FILTERS, TEMPORARY DIVERSION SWALES & BERMS, TEMPORARY SEDIMENT BASINS, ETC) PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL STABILIZATION IS ESTABLISHED OR OTHERWISE DIRECTED.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES OR INSPECTORS, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR DRAINAGE SYSTEM.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PROVIDED BY NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC).
- WHEN EROSION CONTROL MEASURES, INCLUDING TEMPORARY SEDIMENT BASINS, HAVE REACHED 25% CAPACITY, CONTRACTOR SHALL REMOVE SEDIMENT TO ENSURE PROPER FUNCTIONALITY. SEDIMENT BASINS SHALL BE CLEANED UPON STABILIZATION AT THE END OF CONSTRUCTION.
- CONTRACTOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, SOO OR TURF) OR NONVEGETATIVE (E.G. GEOTEXTILES, RIP RAP, HARDCAPES OR GABIONS) PER SPDES GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITY, GP-0-20-001.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SEVEN (7) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE TEMPORARY STABILIZATION.
- PERMANENT VEGETATION TO BE SEEDING OR SOODED ON ALL EXPOSED AREAS WITHIN SEVEN (7) DAYS OF FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
- A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS FOR DRIVE AISLES AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN SEVEN (7) DAYS OF THE PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (E.G. STEEP SLOPES) WILL RECEIVE TEMPORARY STABILIZATION. ANY STEEP SLOPES RECEIVING UTILITY INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E. SLOPES GREATER THAN 3:1).
- UNFILTERED DEWATERING IS NOT PERMITTED. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF EACH PHASE OR ONTO PUBLIC RIGHTS-OF-WAY SHALL BE SWEEP, CLEANED OR REMOVED IMMEDIATELY.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH STATE STANDARDS.
- ACTIVE PHASE TO BE COMPLETELY STABILIZED PRIOR TO PROCEEDING TO SUBSEQUENT PHASES.
- THE GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITY STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

THE MAXIMUM AMOUNT OF SOIL EXPOSURE IS LIMITED TO 14 DAYS (7 DAYS IF A WAIVER IS APPROVED)

GC TO REMOVE/ADJUST SILT FENCE AS NEEDED FOR UTILITY INSTALLATION

SEE SHEET 2 FOR SOIL EROSION AND SEDIMENT CONTROL AND GENERAL SEEDING NOTES. SEE SHEET 14 FOR CONTINUATION OF CONSTRUCTION SEQUENCE NOTES

ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICES, SHALL BE INSTALLED UNDERGROUND

THIS PLAN TO BE UTILIZED FOR EROSION CONTROL PURPOSES ONLY

SEE CONSTRUCTION DETAILS FOR SOIL EROSION AND SEDIMENT CONTROL DETAILS

TOTAL LIMIT OF DISTURBANCE FOR ENTIRE PROJECT = 12.93 ACRES

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH SOIL EROSION & SEDIMENT CONTROL NOTE #7 ON THIS PLAN

**CONSOLIDATED RAIL CORP.**  
(A.K.A. WEST SHORE BRANCH OF THE NEW YORK CENTRAL RAILROAD)

**SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL**

- GENERAL SEQUENCE NOTES THAT APPLY TO ALL PHASES
- THE ENGINEERING INSPECTOR SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.
  - PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE SILT FENCES, INLET FILTERS AND HAYBALES. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  - STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR GABIONS).
  - MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT FROM THE DESIGN CAPACITY. A FIXED VERTICAL SEDIMENT DEPTH MARKER SHOULD BE INSTALLED TO MONITOR THE CAPACITY.
  - ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.
  - THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.
  - NO MORE THAN 10 ACRES OF LAND SHALL BE DISTURBED AT ONE TIME.
  - EXISTING ON-SITE UTILITIES TO BE MARKED OUT PRIOR TO CONSTRUCTION. EXTREME CARE AND CAUTION SHALL BE USED WHEN PERFORMING ANY WORK NEAR EXISTING UTILITY LINES.
- PHASE I: CONSTRUCTION ENTRANCES AND STORMWATER BASIN INSTALLATION  
TOTAL LIMIT OF DISTURBANCE = 4.10 ACRES
- INSTALL CONSTRUCTION ENTRANCES AT MAIN ENTRANCES ON SOUTH AND EAST SIDES OF SITE.
  - INSTALL SILT FENCE AS SHOWN ON PLAN.
  - CONSTRUCT STORMWATER BASIN TO BE UTILIZED AS TEMPORARY SEDIMENT BASIN PER PLAN SPECIFICATIONS. EXCAVATED MATERIAL FROM STORMWATER BASINS TO BE STOCKPILED AS SHOWN ON PLAN. STOCKPILE TO BE STABILIZED IN ACCORDANCE WITH NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION CONTROL AS PER DETAIL.
  - INSTALL SAFETY FENCE UPON BASIN CONSTRUCTION AS SHOWN ON PLAN.
  - REPAIR SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED FROM DEMOLITION ACTIVITIES.
  - INSTALL ASPHALT DRIVEWAYS, CATCH BASINS, AND CONCRETE CURBING AT MAIN ENTRANCES.
  - ROUGH GRADE VEGETATED AREAS AROUND DRIVEWAY ENTRANCES.
  - ONCE THE SITE IS CLEAR OF DEBRIS AND THE SURROUNDING AREA IS STABILIZED, PHASE 2 MAY BEGIN. THIS IS TO ENSURE THAT NO MORE THAN 10 ACRES OF LAND IS DISTURBED AT ANY ONE TIME.

**LEGEND**

- = SILT FENCE
- = ORANGE CONSTRUCTION FENCE
- = TEMP. TREE PROTECTION FENCE
- = INLET PROTECTION
- = CONSTRUCTION ENTRANCE
- = STAGING AREA
- = LIMIT OF DISTURBANCE
- = LIMIT OF PHASE
- = CONCRETE TRUCK WASHOUT
- = TEMPORARY SEDIMENT TRAP

SCALE: 1" = 50'

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DATE	DRAWN BY	CHECKED BY	REVISION	DESCRIPTION

**Jesse Barrett Cokeley**  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 099987-1  
COLLIERS ENGINEERING & DESIGN, P.C.  
N.Y. C.O.A.# 0917609

**PRELIMINARY SITE PLAN**

FOR  
**WPT ACQUISITIONS, LLC**  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21  
MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

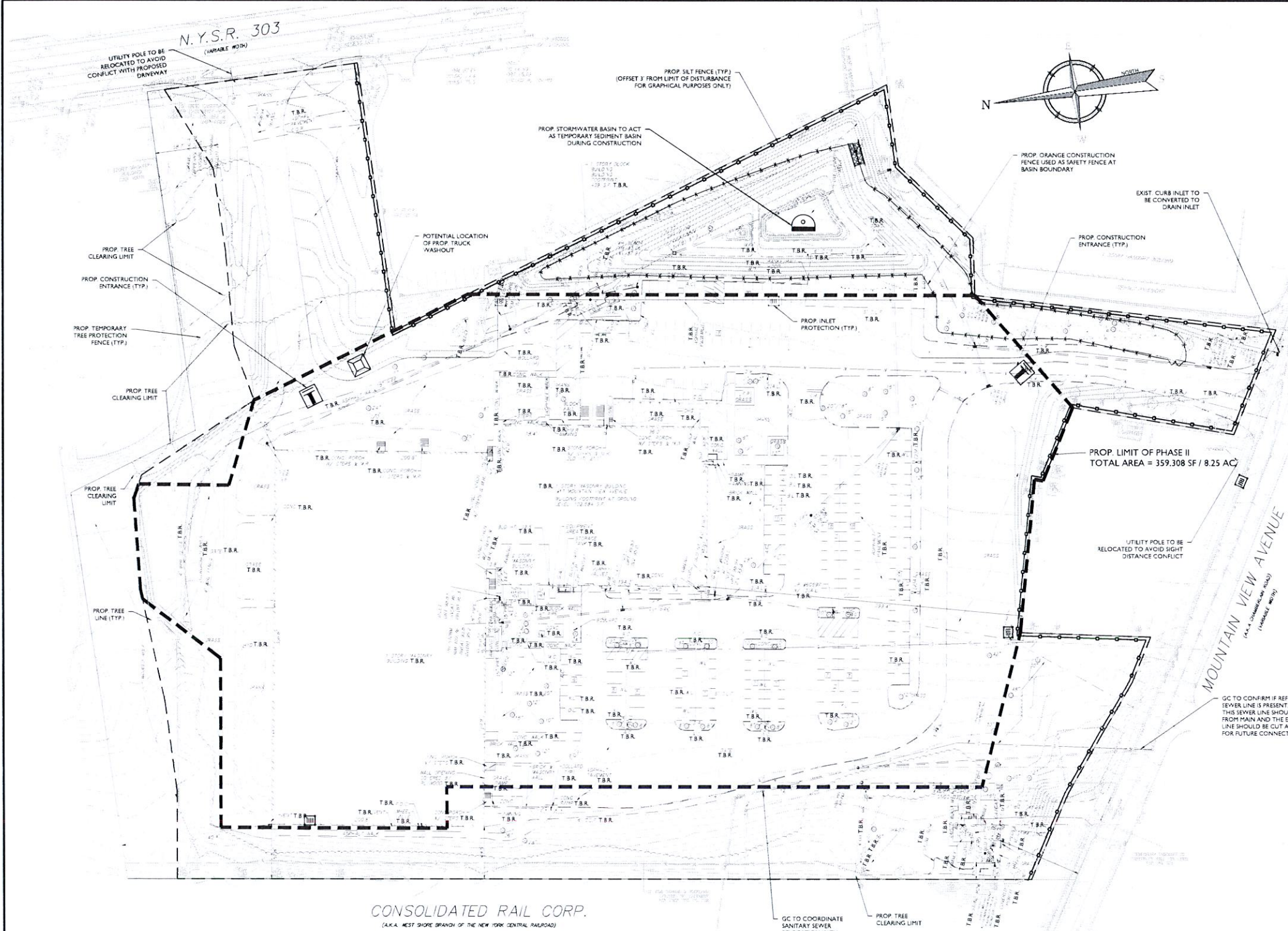
50 Chestnut Ridge Road  
Suite 101  
Montvale, NJ 07645  
Phone: 845.352.0411

SCALE	DATE	DRAWN BY	CHECKED BY
AS SHOWN	11/22/2021	DG/CMA	IBC
PROJECT NUMBER	DRAWING NAME		
21063528A	C:SECC		

SHEET TITLE  
**PHASE I SOIL EROSION & SEDIMENT CONTROL PLAN**

SHEET NUMBER  
**10 of 21**

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION



**SOIL EROSION AND SEDIMENT CONTROL NOTES**

- CONTRACTOR SHALL CALL FOR A CODE 53 MARK-OUT OF EXISTING UTILITIES PRIOR TO BEGINNING WORK.
- PRE-CONSTRUCTION MEETING SHALL BE HELD BETWEEN CONTRACTOR, DESIGN ENGINEER, AND TOWN OF ORANGETOWN.
- CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES SHOWN AND DESCRIBED IN CURRENT PHASE STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, INLET FILTERS, TEMPORARY DIVERSION SWALES & BERMS, TEMPORARY SEDIMENT BASINS, ETC.) PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL STABILIZATION IS ESTABLISHED OR OTHERWISE DIRECTED.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES OR INSPECTORS, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR DRAINAGE SYSTEM.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PROVIDED BY NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC).
- WHEN EROSION CONTROL MEASURES, INCLUDING TEMPORARY SEDIMENT BASINS, HAVE REACHED 25% CAPACITY, CONTRACTOR SHALL REMOVE SEDIMENT TO ENSURE PROPER FUNCTIONALITY. SEDIMENT BASINS SHALL BE CLEANED UPON STABILIZATION AT THE END OF CONSTRUCTION.
- CONTRACTOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, SOO OR TURF) OR NONVEGETATIVE (E.G. GEOTEXTILES, RIP RAP, HARDSCAPES OR GABIONS) PER SPDES GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITY, GP-0-20-001.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SEVEN (7) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE TEMPORARY STABILIZATION.
- PERMANENT VEGETATION TO BE SEEDED OR SOODED ON ALL EXPOSED AREAS WITHIN SEVEN (7) DAYS OF FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
- A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS FOR DRIVE AISLES AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN SEVEN (7) DAYS OF THE PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (E.G. STEEP SLOPES) WILL RECEIVE TEMPORARY STABILIZATION. ANY STEEP SLOPES RECEIVING UTILITY INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E. SLOPES GREATER THAN 3:1).
- UNFILTERED DEWATERING IS NOT PERMITTED. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS, TO MINIMIZE SEDIMENT TRANSPORT. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF EACH PHASE OR ONTO PUBLIC RIGHTS-OF-WAY SHALL BE SWEEPED, CLEANED OR REMOVED IMMEDIATELY.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH STATE STANDARDS.
- ACTIVE PHASE TO BE COMPLETELY STABILIZED PRIOR TO PROCEEDING TO SUBSEQUENT PHASES.
- THE GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITY STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

- THE MAXIMUM AMOUNT OF SOIL EXPOSURE IS LIMITED TO 14 DAYS (7 DAYS IF A WAIVER IS APPROVED)
- GC TO REMOVE/ADJUST SILT FENCE AS NEEDED FOR UTILITY INSTALLATION
- SEE SHEET 2 FOR SOIL EROSION AND SEDIMENT CONTROL AND GENERAL SEEDING NOTES. SEE SHEET 16 FOR CONTINUATION OF CONSTRUCTION SEQUENCE NOTES
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND
- THIS PLAN TO BE UTILIZED FOR EROSION CONTROL PURPOSES ONLY
- SEE CONSTRUCTION DETAILS FOR SOIL EROSION AND SEDIMENT CONTROL DETAILS
- TOTAL LIMIT OF DISTURBANCE FOR ENTIRE PROJECT = 12.93 ACRES
- WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH SOIL EROSION & SEDIMENT CONTROL NOTE #7 ON THIS PLAN

**LEGEND**

- = SILT FENCE
- = ORANGE CONSTRUCTION FENCE
- = TEMP. TREE PROTECTION FENCE
- = INLET PROTECTION
- = CONSTRUCTION ENTRANCE
- = STAGING AREA
- = LIMIT OF DISTURBANCE
- = LIMIT OF PHASE
- = CONCRETE TRUCK WASHOUT
- = TEMPORARY SEDIMENT TRAP

SCALE: 1" = 50'

**SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL**

- GENERAL SEQUENCE NOTES THAT APPLY TO ALL PHASES:
- THE ENGINEERING INSPECTOR SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.
  - PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE SILT FENCES, INLET FILTERS AND HAYBALES. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  - STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NONVEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR GABIONS).
  - MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT FROM THE DESIGN CAPACITY. A FIXED VERTICAL SEDIMENT DEPTH MARKER SHOULD BE INSTALLED TO MONITOR THE CAPACITY.
  - ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.
  - THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.
  - NO MORE THAN 10 ACRES OF LAND SHALL BE DISTURBED AT ONE TIME.
  - EXISTING ON-SITE UTILITIES TO BE MARKED OUT PRIOR TO CONSTRUCTION. EXTREME CARE AND CAUTION SHALL BE USED WHEN PERFORMING ANY WORK NEAR EXISTING UTILITY LINES.

- PHASE II: DEMOLITION OF EXISTING BUILDING AND PARKING LOT  
TOTAL LIMIT OF DISTURBANCE = 4.25 ACRES
- INSTALL CONSTRUCTION ENTRANCES AT THE LIMITS OF PHASE 2 AS INDICATED ON THIS PLAN.
  - INSTALL TRUCK WASHOUT AT THE LIMIT OF PHASE 2.
  - DEMOLISH THE EXISTING BUILDING, PARKING LOT, AND SITE FEATURES AS INDICATED ON THIS PLAN AND THE DEMOLITION PLAN.
  - REPAIR ANY DAMAGED SOIL EROSION AND SEDIMENT CONTROL MEASURES FROM CONSTRUCTION ACTIVITY.
  - THE TEMPORARY SEDIMENT TRAP WILL REMAIN WITHIN THE STORMWATER BASIN FOR THE DURATION OF CONSTRUCTION. SEDIMENT SHOULD BE CLEARED OUT FROM THE TEMPORARY SEDIMENT TRAP ON A REGULAR BASIS AND THE TEMPORARY SEDIMENT TRAP SHOULD BE REPAIRED AS NEEDED.
  - ONCE CONSTRUCTION OF THE PROPOSED BUILDING, LOADING AREA, AND BIORETENTION BASIN ARE COMPLETED AND THE SURROUNDING AREA IS STABILIZED PHASE 3 CAN BEGIN. THIS IS TO ENSURE THAT NO MORE THAN 10 ACRES OF LAND IS DISTURBED AT ANY ONE TIME.

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DATE	11/22/2021
SCALE	AS SHOWN
PROJECT NUMBER	21063528A
DRAWING NAME	PHASE II SOIL EROSION & SEDIMENT CONTROL PLAN
SHEET NUMBER	11 of 21

**Jesse Barrett Cokerley**  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 090987-1  
COLLIERS ENGINEERING & DESIGN, P.C.  
N.Y. C.O.A.#: 0017609

**PRELIMINARY SITE PLAN**  
FOR  
**WPT ACQUISITIONS, LLC**  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36

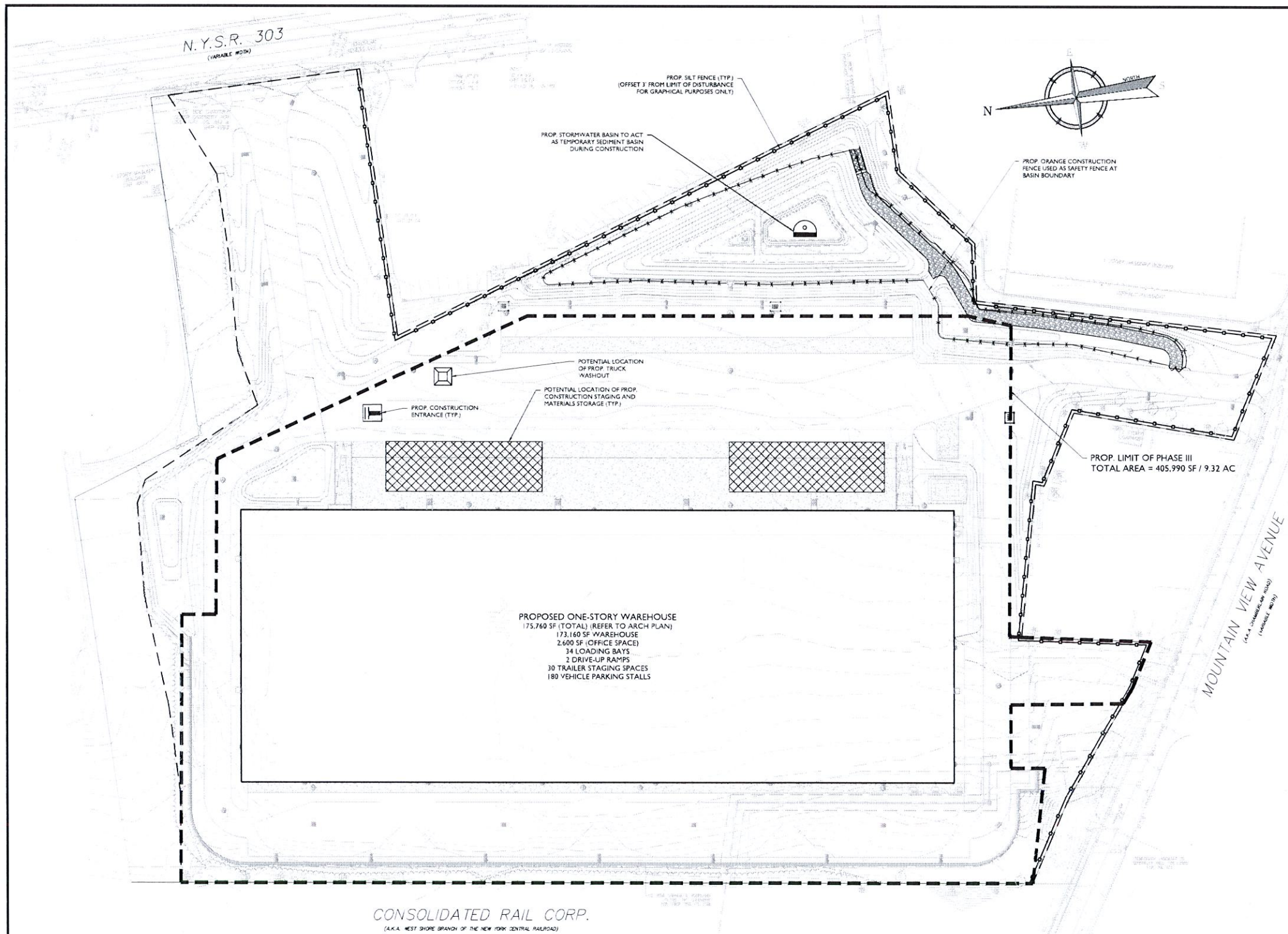
518 NYSR 303 AND 13 & 21  
MOUNTAINVIEW AVENUE

**TOWN OF ORANGETOWN**  
ROCKLAND COUNTY  
NEW YORK

**Colliers Engineering & Design**  
MONTVALE  
50 Chestnut Ridge Road, Suite 101  
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SCALE: AS SHOWN DATE: 11/22/2021 DRAWN BY: DG/CMA CHECKED BY: JBC  
PROJECT NUMBER: 21063528A DRAWING NAME: PHASE II SOIL EROSION & SEDIMENT CONTROL PLAN  
SHEET NUMBER: 11 of 21

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



**SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. CONTRACTOR SHALL CALL FOR A CODE 53 MARK-OUT OF EXISTING UTILITIES PRIOR TO BEGINNING WORK.
2. PRE-CONSTRUCTION MEETING SHALL BE HELD BETWEEN CONTRACTOR, DESIGN ENGINEER, AND TOWN OF ORANGETOWN.
3. CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES SHOWN AND DESCRIBED IN CURRENT PHASE STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, NET FILTERS, TEMPORARY DIVERSION SHALES & BEAMS, TEMPORARY SEDIMENT BASINS, ETC., PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL STABILIZATION IS ESTABLISHED OR OTHERWISE DIRECTED.
4. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES OR INSPECTORS, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR DRAINAGE SYSTEM.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PROVIDED BY NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC).
6. WHEN EROSION CONTROL MEASURES, INCLUDING TEMPORARY SEDIMENT BASINS, HAVE REACHED 25% CAPACITY, CONTRACTOR SHALL REMOVE SEDIMENT TO ENSURE PROPER FUNCTIONALITY. SEDIMENT BASINS SHALL BE CLEANED UPON STABILIZATION AT THE END OF CONSTRUCTION.
7. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, SOD OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, HARDSCAPES OR GABIONS) PER SPDES GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITY, GP-D-20-001.
8. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SEVEN (7) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE TEMPORARY STABILIZATION.
9. PERMANENT VEGETATION TO BE SEEDED OR SODED ON ALL EXPOSED AREAS WITHIN SEVEN (7) DAYS OF FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
10. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS FOR DRIVE AISLES AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN SEVEN (7) DAYS OF THE PRELIMINARY GRADING.
11. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (E.G. STEEP SLOPES) WILL RECEIVE TEMPORARY STABILIZATION. ANY STEEP SLOPES RECEIVING UTILITY INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY AS THE INSTALLATION CONTINUES (E. SLOPES GREATER THAN 3:1).
12. UNFILTERED DEWATERING IS NOT PERMITTED. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
13. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS.
14. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF EACH PHASE OR ONTO PUBLIC RIGHTS-OF-WAY SHALL BE SWEEP, CLEANED OR REMOVED IMMEDIATELY.
15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH STATE STANDARDS.
16. ACTIVE PHASE TO BE COMPLETELY STABILIZED PRIOR TO PROCEEDING TO SUBSEQUENT PHASES.
17. THE GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITY STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

THE MAXIMUM AMOUNT OF SOIL EXPOSURE IS LIMITED TO 14 DAYS IF A WAIVER IS APPROVED

GC TO REMOVE/ADJUST SILT FENCE AS NEEDED FOR UTILITY INSTALLATION

SEE SHEET 2 FOR SOIL EROSION AND SEDIMENT CONTROL NOTES AND GENERAL SEEDING NOTES

ALL UTILITIES INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND

THIS PLAN TO BE UTILIZED FOR EROSION CONTROL PURPOSES ONLY

SEE CONSTRUCTION DETAILS FOR SOIL EROSION AND SEDIMENT CONTROL DETAILS

TOTAL LIMIT OF DISTURBANCE FOR ENTIRE PROJECT = 12.93 ACRES

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH SOIL EROSION & SEDIMENT CONTROL NOTE #7 ON THIS SHEET

**LEGEND**

- o- SILT FENCE
- x-x- ORANGE CONSTRUCTION FENCE
- x-x- TEMP. TREE PROTECTION FENCE
- [ ] NET PROTECTION
- [ ] CONSTRUCTION ENTRANCE
- [ ] STAGING AREA
- - - LIMIT OF DISTURBANCE
- - - LIMIT OF PHASE
- [ ] CONCRETE TRUCK WASHOUT
- [ ] TEMPORARY SEDIMENT TRAP

SCALE: 1" = 50'

**SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL (CONT.)**

- GENERAL SEQUENCE NOTES THAT APPLY TO ALL PHASES:
1. THE ENGINEERING INSPECTOR SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.
  2. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE SILT FENCES, NET FILTERS AND HAYBALES. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  3. STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR GABIONS).
  4. MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT FROM THE DESIGN CAPACITY. A FIXED VERTICAL SEDIMENT DEPTH MARKER SHOULD BE INSTALLED TO MONITOR THE CAPACITY.
  5. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES, TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.
  6. THE GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.
  7. NO MORE THAN 10 ACRES OF LAND SHALL BE DISTURBED AT ONE TIME.
  8. EXISTING ON-SITE UTILITIES TO BE MARKED OUT PRIOR TO CONSTRUCTION. EXTREME CARE AND CAUTION SHALL BE USED WHEN PERFORMING ANY WORK NEAR EXISTING UTILITY LINES.
- PHASE III: PROPOSED BUILDING AND PARKING LOT CONSTRUCTION
- TOTAL LIMIT OF DISTURBANCE: 9.32 ACRES
1. INSTALL ANY ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS PER THE APPROVED PLAN.
  2. INSTALL CONSTRUCTION ENTRANCE AND TRUCK WASHOUT FOR PHASE 3.
  3. ESTABLISH AREAS FOR CONSTRUCTION STAGING AND MATERIALS STORAGE.
  4. THE TEMPORARY SEDIMENT TRAP WILL REMAIN WITHIN THE STORMWATER BASIN FOR THE DURATION OF CONSTRUCTION. SEDIMENT SHOULD BE CLEARED OUT FROM THE TEMPORARY SEDIMENT TRAP ON A REGULAR BASIS AND THE TEMPORARY SEDIMENT TRAP SHOULD BE REPAIRED AS NEEDED.
  5. EXCAVATE FOR UTILITY AND STORMWATER TRENCHING.
  6. INSTALL UTILITY AND STORMWATER PIPES/STRUCTURES AS INDICATED ON THE GRADING PLAN AND UTILITY PLAN.
  7. ROUGH GRADE THE LIMITS WITHIN PHASE 3.
  8. INSTALL CURBING, PREPARE SUBBASE, AND THEN PAVE (BASE COURSE) PROPOSED PARKING LOT AND DRIVE AISLES BASED ON THE GRADING PLAN.
  9. BEGIN CONSTRUCTION OF BUILDING FOUNDATION.

**GENERAL SEEDING NOTES**

1. TEMPORARY SEEDING SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED AT A RATE OF 1.0 LBS. PER 1000 SF OR SPRING OATS APPLIED AT A RATE OF 2.0 LBS. PER 1000 SF. TEMPORARY SEEDING SHALL BE MULCHED AND MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED WITH PERMANENT SEEDING.
2. PERMANENT LAWN SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE OR APPROVED EQUAL - OPTIMUM SEEDING DATES ARE BETWEEN APRIL 1 AND MAY 31 AND AUGUST 15 AND OCTOBER 15.

MIX #15 -	HARD FESCUE	120 LBS/ACRE
	PERENNIAL RYE GRASS	30 LBS/ACRE
	KENTUCKY BLUE GRASS (BLEND)	40 LBS/ACRE
OR		
MIX #16 -	TALL FESCUE	160 LBS/ACRE
	PERENNIAL RYE GRASS (BLEND)	20 LBS/ACRE
	KENTUCKY BLUE GRASS (BLEND)	20 LBS/ACRE
3. DETENTION BASIN TO BE SEEDED WITH ERNST SEED MIX 127 OR APPROVED EQUIVALENT.
4. PERMANENT SEEDING TO BE APPLIED BY RAKING OR DRILLING INTO THE SOILS AT A RATE OF 150# PER ACRE. SLOPED AREA TO BE COVERED WITH MULCH AS INDICATED IN NOTE 6.
5. FERTILIZER FOR THE ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER SHALL BE 10-20-20 APPLIED AT A RATE OF 1.4# PER 1000 SF OR AS DETERMINED BY SOIL TESTS. LIMESTONE FOR TEMPORARY SEEDING SHALL BE APPLIED AT A RATE OF 90# PER 1000 SF. LIMESTONE FOR PERMANENT SEEDING SHALL BE APPLIED AT RATE OF 135# PER 1000 SF.
6. IF SEASON PREVENTS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING, EXPOSED AREA TO BE STABILIZED WITH MULCH AS INDICATED IN NOTE 7.
7. MULCH TO CONSIST OF SMALL GRAIN STRAW OR SALT HAY ANCHORED WITH A WOOD AND FIBER MULCH BINDER OR AN APPROVED EQUAL. MULCH WILL BE SPREAD AT RATES OF 90 TO 115 LBS. PER 1000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL OR LIQUID MULCH BINDER, AND SHALL BE PROVIDED ON ALL SEEDINGS. HYDROMULCH SHALL ONLY BE USED DURING OPTIMUM GROWING SEASONS.
8. WORK LINE AND FERTILIZER INTO SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON ON THE GENERAL CONTOUR, CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
9. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLOUDS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
10. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.

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DATE	DESCRIPTION

**Jesse Barrett Cokley**  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 090987-1  
COLLIERS ENGINEERING & DESIGN, CT. P.C.  
N.Y. C.O.A.# 00176609

**PRELIMINARY SITE PLAN**  
FOR  
**WPT ACQUISITIONS, LLC**  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21  
MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

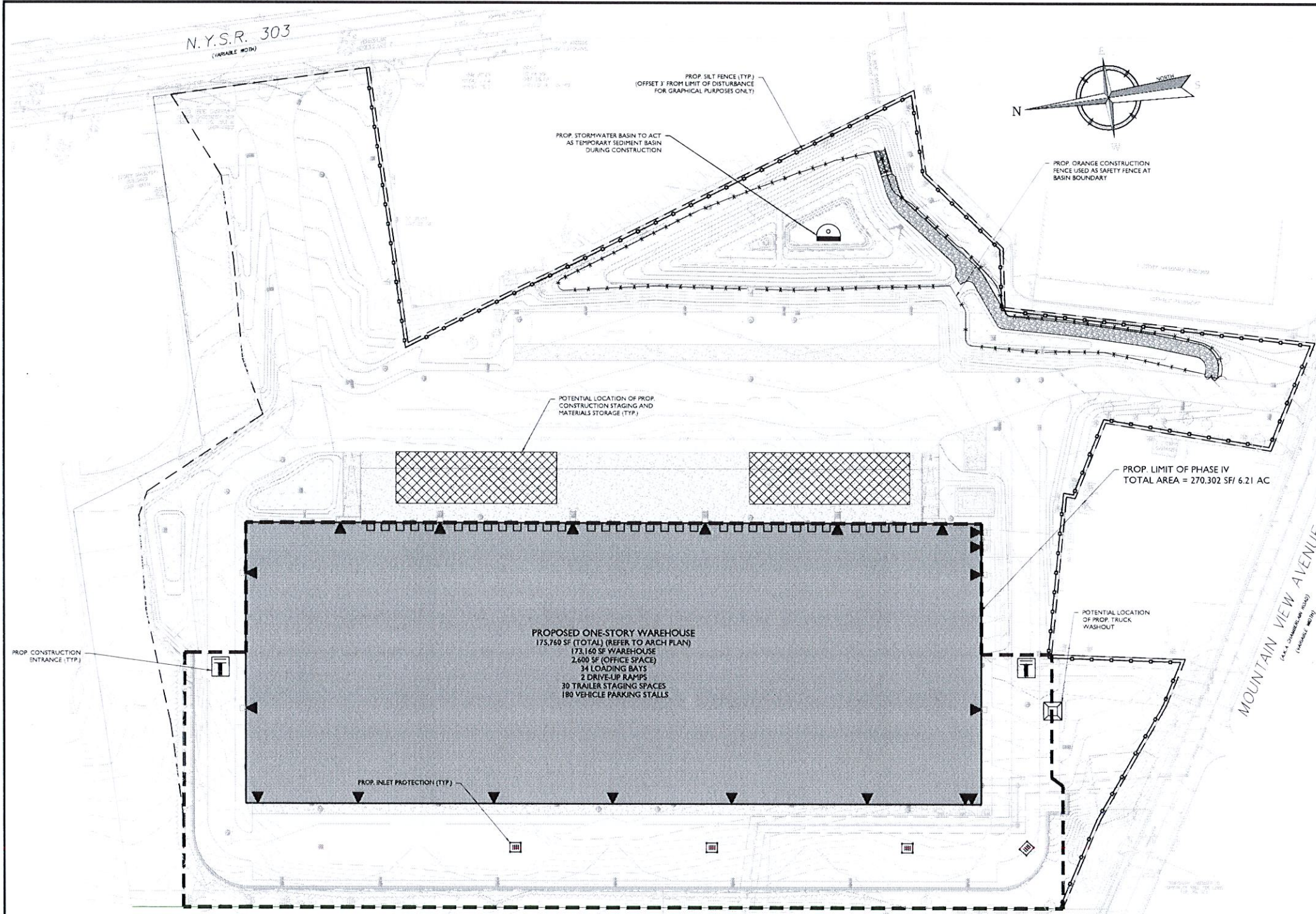
**Colliers Engineering & Design**  
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Montvale, NJ 07645  
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COLLIERS ENGINEERING & DESIGN, CT. P.C.  
210632984  
C-555C

DATE: 11/22/2021  
DRAWN BY: JGC/MA  
CHECKED BY: JBC  
PROJECT NUMBER: 210632984  
DRAWING NAME: C-555C

**PHASE III SOIL EROSION & SEDIMENT CONTROL PLAN**

12 of 21

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



CONSOLIDATED RAIL CORP.  
(A.K.A. WEST SHORE BRANCH OF THE NEW YORK CENTRAL RAILROAD)

**SEQUENCE OF CONSTRUCTION FOR EROSION CONTROL (CONT.)**

- GENERAL SEQUENCE NOTES THAT APPLY TO ALL PHASES:
1. THE ENGINEERING INSPECTOR SHALL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.
  2. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROLS AS PER THE APPROVED PLANS, WHICH INCLUDES THE SILT FENCES, INLET FILTERS AND "BAYBLES". ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  3. STABILIZATION - THE OPERATOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, OR GABIONS).
  4. MAINTENANCE - SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHENEVER THEIR CAPACITY HAS BEEN REDUCED BY TWENTY-FIVE (25) PERCENT FROM THE DESIGN CAPACITY. A FIXED VERTICAL SEDIMENT DEPTH MARKER SHOULD BE INSTALLED TO MONITOR THE CAPACITY.
  5. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.
  6. THE GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.
  7. NO MORE THAN 10 ACRES OF LAND SHALL BE DISTURBED AT ONE TIME.
  8. EXISTING ON-SITE UTILITIES TO BE MARKED OUT PRIOR TO CONSTRUCTION. EXTREME CARE AND CAUTION SHALL BE USED WHEN PERFORMING ANY WORK NEAR EXISTING UTILITY LINES.
- PHASE IV: COMPLETION OF BUILDING AND PARKING LOT CONSTRUCTION  
TOTAL LIMIT OF DISTURBANCE: 6.21 ACRES
1. INSTALL ANY ADDITIONAL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS PER THE APPROVED PLAN.
  2. INSTALL CONSTRUCTION ENTRANCE AND TRUCK WASHOUT FOR PHASE 4.
  3. COMPLETE CONSTRUCTION OF WAREHOUSE BUILDING.
  4. EXCAVATE PARKING LOT WEST OF THE WAREHOUSE FOR UTILITY AND STORMWATER TRENCHING.
  5. INSTALL UTILITY AND STORMWATER PIPES/STRUCTURES AS INDICATED ON THE GRADING PLAN AND UTILITY PLAN.
  6. ROUGH GRADE WESTERN PARKING LOT WITHIN THE LIMITS OF PHASE 4.
  7. INSTALL CURBING, PREPARE SUBBASE, AND THEN PAVE (BASE COURSE) PROPOSED WESTERN PARKING LOT AND DRIVE AISLES BASED ON THE GRADING PLAN.
  8. INSTALL RETAINING WALL ON THE WEST SIDE OF THE SITE PER THE LAYOUT AND GRADING PLAN.
  9. PAINT PARKING STRIPING PER LAYOUT PLAN.
  10. AFTER COMPLETION OF CONSTRUCTION, FINISH GRADE TO FINAL ELEVATIONS AND APPLY SEED OR SOD ON ALL LAWN AREAS. AFTER STABILIZATION HAS BEEN ESTABLISHED CLEAR DRAINAGE PIPES AND STRUCTURES OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED. REMOVE ALL EROSION CONTROL DEVICES. THE TEMPORARY SEDIMENT TRAP CAN BE MUCKED OUT AND CONVERTED FROM A TEMPORARY SEDIMENT BASIN TO A PERMANENT STORMWATER BASIN, AND ALL STORMWATER CAN BE BROUGHT ONLINE. MAINTAIN ALL LAWN AND LANDSCAPED AREAS TO ENSURE A VIABLE STABILIZED VEGETATIVE COVER.

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

1. CONTRACTOR SHALL CALL FOR A CODE 53 MARK-OUT OF EXISTING UTILITIES PRIOR TO BEGINNING WORK.
2. PRE-CONSTRUCTION MEETING SHALL BE HELD BETWEEN CONTRACTOR, DESIGN ENGINEER, AND TOWN OF ORANGETOWN.
3. CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES SHOWN AND DESCRIBED IN CURRENT PHASE STABILIZATION CONSTRUCTION ENTRANCE, SILT FENCE, INLET FILTERS, TEMPORARY DIVERSION SWALES & BERMS, TEMPORARY SEDIMENT BASINS, ETC.) PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL STABILIZATION IS ESTABLISHED OR OTHERWISE DIRECTED.
4. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS MAY BE REQUIRED AND REQUESTED BY AUTHORITIES OR INSPECTORS TO PREVENT THE INCIDENTAL DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR DRAINAGE SYSTEM.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE LATEST VERSION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PROVIDED BY NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NDEC).
6. WHEN EROSION CONTROL MEASURES, INCLUDING TEMPORARY SEDIMENT BASINS, HAVE REACHED 25% CAPACITY, CONTRACTOR SHALL REMOVE SEDIMENT TO ENSURE PROPER FUNCTIONALITY. SEDIMENT BASINS SHALL BE CLEANED UPON STABILIZATION AT THE END OF CONSTRUCTION.
7. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. STABILIZATION MEANS COVERING OR MAINTAINING AN EXISTING COVER OVER SOIL. COVER CAN BE VEGETATIVE (E.G. GRASS, TREES, SEED AND MULCH, SHRUBS, SOO OR TURF) OR NON-VEGETATIVE (E.G. GEOTEXTILES, RIP RAP, HARDESCAPES OR GABIONS) PER SPDES GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITY, GP-D-20-001.
8. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN SEVEN (7) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE TEMPORARY STABILIZATION.
9. PERMANENT VEGETATION TO BE SEEDED OR SODED ON ALL EXPOSED AREAS WITHIN SEVEN (7) DAYS OF FINAL GRADING. MULCHING IS REQUIRED ON ALL SEEDING. WHEN HYDROSEEDING, MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED.
10. A SUBBASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS FOR DRIVE AISLES AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUBBASE SHALL BE INSTALLED WITHIN SEVEN (7) DAYS OF THE PRELIMINARY GRADING.
11. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (E.G. STEEP SLOPES) WILL RECEIVE TEMPORARY STABILIZATION. ANY STEEP SLOPES RECEIVING UTILITY INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION CONTINUES (I.E., SLOPES GREATER THAN 3:1).
12. UNFILTERED DEWATERING IS NOT PERMITTED. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH STATE STANDARDS.
13. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS.
14. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF EACH PHASE OR ONTO PUBLIC RIGHTS-OF-WAY SHALL BE SWEEP, CLEANED OR REMOVED IMMEDIATELY.
15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH STATE STANDARDS.
16. ACTIVE PHASE TO BE COMPLETELY STABILIZED PRIOR TO PROCEEDING TO SUBSEQUENT PHASES.
17. THE GENERAL PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITY STATES THAT IT IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS.

THE MAXIMUM AMOUNT OF SOIL EXPOSURE IS LIMITED TO 14 DAYS IF IT IS A WAIVER IS APPROVED.

GC TO REMOVE/ADJUST SILT FENCE AS NEEDED FOR UTILITY INSTALLATION.

SEE SHEET 2 FOR SOIL EROSION AND SEDIMENT CONTROL NOTES AND GENERAL SEEDING NOTES.

ALL UTILITIES INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.

THIS PLAN TO BE UTILIZED FOR EROSION CONTROL PURPOSES ONLY.

SEE CONSTRUCTION DETAILS FOR SOIL EROSION AND SEDIMENT CONTROL DETAILS.

TOTAL LIMIT OF DISTURBANCE FOR ENTIRE PROJECT = 12.93 ACRES.

WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH SOIL EROSION & SEDIMENT CONTROL NOTE #7 ON THIS SHEET.

**LEGEND**

- = SILT FENCE
- = ORANGE CONSTRUCTION FENCE
- X—X— = TEMP. TREE PROTECTION FENCE
- = INLET PROTECTION
- ▭ = CONSTRUCTION ENTRANCE
- ▨ = STAGING AREA
- = LIMIT OF DISTURBANCE
- - - = LIMIT OF PHASE
- = CONCRETE TRUCK WASHOUT
- = TEMPORARY SEDIMENT TRAP

SCALE: 1" = 50'

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**Jesse Barrett Cokeley**  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 190987-1  
COLLIERS ENGINEERING & DESIGN, P.C.  
N.Y. C.O.A.# 0017669

**PRELIMINARY SITE PLAN**  
FOR  
**WPT ACQUISITIONS, LLC**  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

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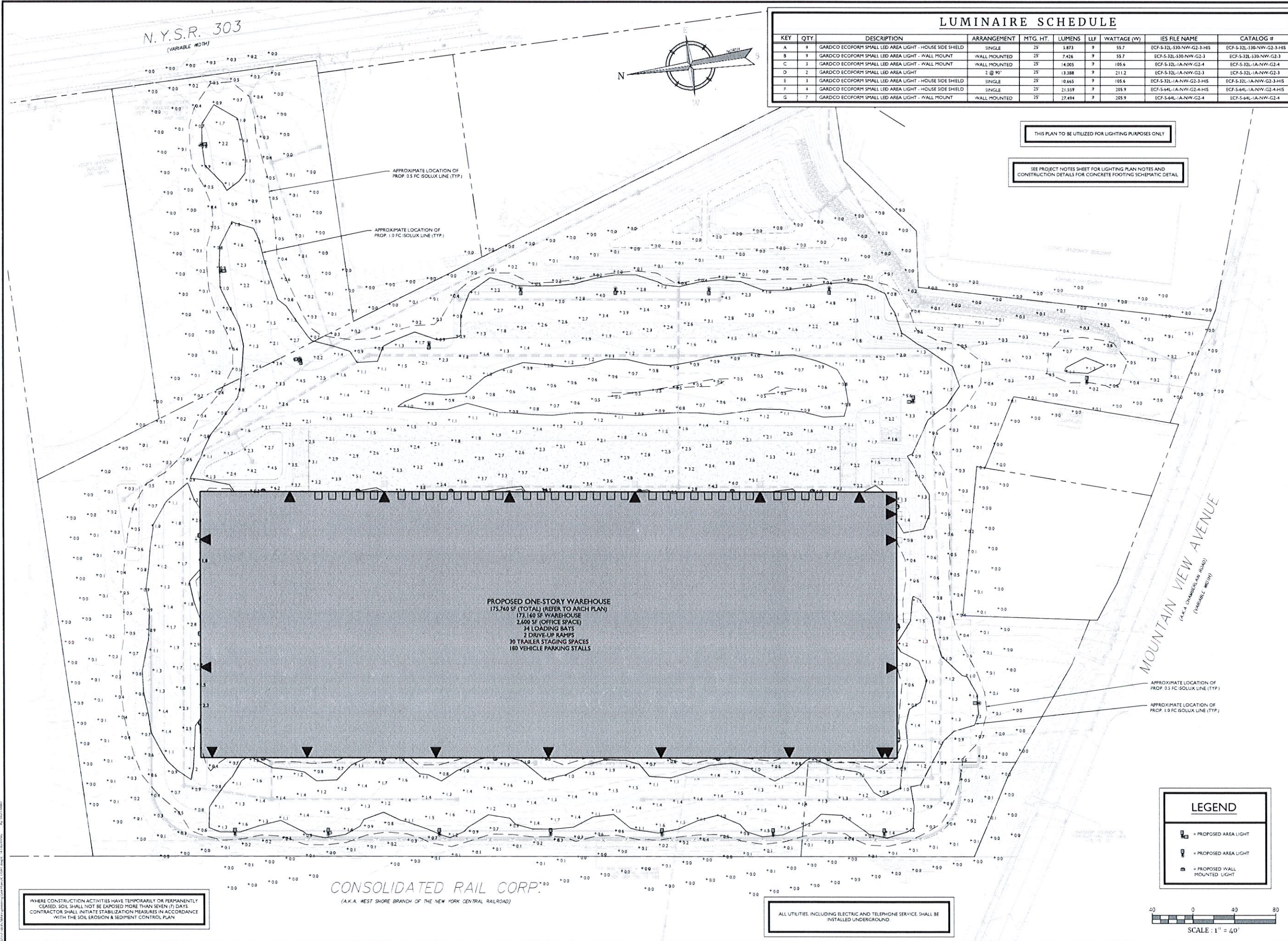
MONTEVALE  
50 Chestnut Ridge Road  
Suite 101  
Montvale, NJ 07645  
Phone: 845.352.0411

DATE: 11/22/2021  
AS SHOWN: 11/22/2021  
PROJECT NUMBER: 21063928A  
SHEET NUMBER: 13 of 21

**PHASE IV SOIL EROSION & SEDIMENT CONTROL PLAN**

13 of 21

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.



**LUMINAIRE SCHEDULE**

KEY	QTY	DESCRIPTION	ARRANGEMENT	MTG. HT.	LUMENS	LF	WATTAGE (W)	IES FILE NAME	CATALOG #
A	3	GARDCO ECOFORM SMALL LED AREA LIGHT - HOUSE SIDE SHIELD	SINGLE	25	8873	9	55.7	ECF-S-32L-330-NW-G2-3-HIS	ECF-S-32L-330-NW-G2-3-HIS
B	3	GARDCO ECOFORM SMALL LED AREA LIGHT - WALL MOUNT	WALL MOUNTED	25	7426	9	55.7	ECF-S-32L-330-NW-G2-3	ECF-S-32L-330-NW-G2-3
C	3	GARDCO ECOFORM SMALL LED AREA LIGHT - WALL MOUNT	WALL MOUNTED	25	14,065	9	105.6	ECF-S-32L-IA-NW-G2-4	ECF-S-32L-IA-NW-G2-4
D	2	GARDCO ECOFORM SMALL LED AREA LIGHT - HOUSE SIDE SHIELD	2 @ 90°	25	13,388	9	211.2	ECF-S-32L-IA-NW-G2-3	ECF-S-32L-IA-NW-G2-3
E	3	GARDCO ECOFORM SMALL LED AREA LIGHT - HOUSE SIDE SHIELD	SINGLE	25	10,665	9	105.6	ECF-S-32L-IA-NW-G2-3-HIS	ECF-S-32L-IA-NW-G2-3-HIS
F	4	GARDCO ECOFORM SMALL LED AREA LIGHT - HOUSE SIDE SHIELD	SINGLE	25	21,539	9	205.9	ECF-S-44L-IA-NW-G2-4-HIS	ECF-S-44L-IA-NW-G2-4-HIS
G	7	GARDCO ECOFORM SMALL LED AREA LIGHT - WALL MOUNT	WALL MOUNTED	25	27,494	9	205.9	ECF-S-44L-IA-NW-G2-4	ECF-S-44L-IA-NW-G2-4

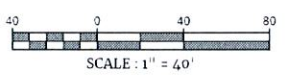
THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

SEE PROJECT NOTES SHEET FOR LIGHTING PLAN NOTES AND CONSTRUCTION DETAILS FOR CONCRETE FOOTING SCHEMATIC DETAIL

**PROPOSED ONE-STORY WAREHOUSE**  
 175,740 SF (TOTAL) (REFER TO ARCH PLAN)  
 173,160 SF WAREHOUSE  
 2,600 SF (OFFICE SPACE)  
 34 LOADING BAYS  
 2 DRIVE-UP RAMPS  
 20 TRAILER STAGING SPACES  
 180 VEHICLE PARKING STALLS

**LEGEND**

	= PROPOSED AREA LIGHT
	= PROPOSED AREA LIGHT
	= PROPOSED WALL MOUNTED LIGHT



WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, SOIL SHALL NOT BE EXPOSED MORE THAN SEVEN (7) DAYS. CONTRACTOR SHALL INITIATE STABILIZATION MEASURES IN ACCORDANCE WITH THE SOIL EROSION & SEDIMENT CONTROL PLAN.

ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.

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DATE	BY	DESCRIPTION



**Jesse Barrett Cokeley**  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 09088-1  
 COLLIER ENGINEERING & DESIGN, P.C.  
 N.Y.C.O.A.# 0017609

**PRELIMINARY SITE PLAN**  
 FOR  
**WPT ACQUISITIONS, LLC**  
 SECTION 74.07  
 BLOCK 1  
 LOTS 2, 33 & 36  
 518 NYSR 303 AND 13 & 21  
 MOUNTAINVIEW AVENUE  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK

**Colliers**  
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SCALE	DATE	DRAWN BY	CHECKED BY
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PROJECT NUMBER	DRAWING NAME	C- LIGHT	
21003925A			

**LIGHTING PLAN**  
 SHEET NUMBER  
 14 of 21

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION

**1 CONCRETE CURB (ASPHALT PAVEMENT) DETAIL (ON-SITE)**  
 NOT TO SCALE MCNY-SITE-CURB-1000 MOD: 11/17/21 07/01/19  
 NOTES: 1. PREFORMED BITUMINOUS FIBER EXPANSION JOINTS 1/2" THICK AT 20' MAX INTERVALS ALONG THE CURB PROVIDE CONTROL JOINTS @ 10 FEET MAX BETWEEN EXPANSION JOINTS.

**2 CONCRETE FLUSH CURB DETAIL**  
 NOT TO SCALE MCNY-SITE-CURB-1300 07/01/19  
 PLAN: FLUSH CURB WIDTH VARIES (SEE SITE PLAN), 18" TAPER, CONCRETE CURB FLUSH WITH PAVEMENT, GRADE, 4" PREFORMED BITUMINOUS JOINT.  
 CROSS SECTION: 18" TAPER, FLUSH CURB, FLUSH CURB WITH PAVEMENT, GRADE, 4" PREFORMED BITUMINOUS JOINT.

**3 CURB TAPER DETAIL**  
 NOT TO SCALE MCNY-SITE-CURB-1900 07/01/19  
 PLAN: ASPHALT JOINT SEALER, TRANSITION CURB, PAVEMENT SURFACE, 1/2" PREFORMED BITUMINOUS JOINT FILLER PER AASHTO M-33.

**4 STANDARD ASPHALT PAVEMENT DETAIL (ON-SITE)**  
 NOT TO SCALE MCNY-SITE-PMVT-1000 MOD: 11/17/21 07/01/19  
 NOTES: 1. PAVEMENT TYPES TO BE IN ACCORDANCE WITH CURRENT NYSDOT STANDARDS AND SPECIFICATIONS.  
 1.5" THICK NYSDOT TYPE 7 TOP COURSE  
 2.5" THICK NYSDOT TYPE 3 BASE COURSE  
 4" THICK NYSDOT TYPE 2 SUBBASE COURSE  
 COMPACTED SUBGRADE

**5 CURB AND SHOULDER DETAIL PER N.Y.S.D.O.T. REQUIREMENTS**  
 NOT TO SCALE MCNY-SITE-CURB-2300 MOD: 11/17/21 07/01/19  
 TYPE 88 (BARRIER) PORTLAND CEMENT CONCRETE CURB NYSDOT STANDARD SHEET 609-2  
 18" PITCH TOWARD ROADWAY  
 1 1/2" TOP-CURRENT NYSDOT SPECIFICATION ITEM (AS PER PERMIT INSPECTOR)  
 2 1/2" BINDER-CURRENT NYSDOT SPECIFICATION ITEM (AS PER PERMIT INSPECTOR)  
 3 1/2" BASE-CURRENT NYSDOT SPECIFICATION ITEM (AS PER PERMIT INSPECTOR)  
 12" SUBBASE-CURRENT NYSDOT SPECIFICATION ITEM (AS PER PERMIT INSPECTOR)  
 6" SUBBASE CURRENT NYSDOT SPECIFICATION ITEM (AS PER PERMIT INSPECTOR)  
 STATE HIGHWAY CROSS SLOPE TYPICALLY 1/4" PER FOOT (2%)  
 SHOULDER CROSS SLOPE TYPICALLY 3/4" PER FOOT (6%) VARIES 1/2" PER FOOT (4%) TO 1" PER FOOT (8%)

**6 CONCRETE LOADING PAD DETAIL**  
 NOT TO SCALE MCNY-SITE-PMVT-1600 MOD: 11/18/21 07/01/19  
 SECTION: 6 x 6 - W1.4 x W1.4 (10 GA) WIRE MESH FABRIC, 4000 PSI (MIN) CONCRETE LIGHT BROOM FINISH, 3" FOR 6" THICK CONCRETE, 4" FOR 8" THICK CONCRETE, 6" OF 3/4" CRUSHED STONE BEDDING, COMPACTED SUBGRADE.  
 PLAN: CONSTRUCT 1/4" (45°) BEVELED CORNER AT ANY CORNER WITH PAVED SURFACES ABUTTING 2 SIDES (NOT PROTECTED BY CURB).

**7 CONCRETE PAVING JOINTS DETAIL**  
 NOT TO SCALE MCNY-SITE-PMVT-1700 MOD: 11/18/21 07/01/19  
 JOINT SEALANT @ 1" MAXIMUM WIDTH SAW CUT CONTROL  
 CONCRETE PAVING, SUBBASE, CONTROL JOINT, COMPACTED SUBGRADE, CONCRETE PAVING, JOINT SEALANT @ 1" MAX. WIDTH CONSTRUCTION EXPANSION JOINT, SUBBASE, COMPACTED SUBGRADE, SMOOTH DOWELS @ 2'-0" O.C. ONE SIDE IN GREASED SLEEVE.

**8 HEAVY-DUTY ASPHALT PAVEMENT DETAIL**  
 NOT TO SCALE MCNY-SITE-PMVT-1100 MOD: 11/18/21 07/01/19  
 NOTES: 1. PAVEMENT TYPES TO BE IN ACCORDANCE WITH CURRENT NYSDOT STANDARDS AND SPECIFICATIONS.  
 2" THICK NYSDOT TYPE 7 TOP COURSE  
 4" THICK NYSDOT TYPE 3 BASE COURSE  
 8" THICK NYSDOT TYPE 2 SUBBASE COURSE  
 COMPACTED SUBGRADE

**9 CONCRETE PAVEMENT DETAIL**  
 NOT TO SCALE MCNY-SITE-PMVT-1500 MOD: 11/18/21 07/01/19  
 3" FOR 6" THICK CONCRETE, 4" FOR 8" THICK CONCRETE, 1" MAX., CONTROL JOINT 1/2" DEEP x 1/4" WIDE, 1/2" WIDE EXPANSION JOINT 20' O.C. MAX TO 1/2" RECESSED, 6 x 6 - W1.4 x W1.4 (10 GA) WIRE MESH FABRIC, 4000 PSI (MIN) CONCRETE LIGHT BROOM FINISH, 3/4" CRUSHED STONE, COMPACTED SUBGRADE.

**10 R3-2 SIGN DETAIL (ON-SITE)**  
 NOT TO SCALE MCCM-SIGN-REGU-R3-2 MOD: 11/18/21 07/01/19  
 24" x 24"  
 COLORS: CIRCLE & DIAGONAL = RED (RETROREFLECTIVE), SYMBOL & BORDER = BLACK, BACKGROUND = WHITE (RETROREFLECTIVE).

**11 R3-2 SIGN DETAIL (ROUTE 303)**  
 NOT TO SCALE MCCM-SIGN-REGU-R3-2 MOD: 11/18/21 07/01/19  
 36" x 36"  
 COLORS: CIRCLE & DIAGONAL = RED (RETROREFLECTIVE), SYMBOL & BORDER = BLACK, BACKGROUND = WHITE (RETROREFLECTIVE).

**12 TYPICAL PARKING STALL STRIPING DETAIL**  
 NOT TO SCALE MCNY-SITE-MRKG-1000 MOD: 11/18/21 07/01/19  
 PROP. CONCRETE CURB, 4" WIDE WHITE PARKING STALL LINES.

**13 TYPICAL STOP BAR DETAIL**  
 NOT TO SCALE MCNY-SITE-MRKG-1100 07/01/19  
 PROPOSED OR EXISTING CURB, 24" PAINTED SOLID WHITE STRIPE, 4" WIDE WHITE PARKING STALL LINES, 18" x 9" x 4".

**14 STRAIGHT PAVEMENT ARROW DETAIL**  
 NOT TO SCALE MCNY-SITE-MRKG-1200 07/01/19  
 4" ON CENTER, 4" YELLOW AT 45 DEGREES, WIDTH TO BE CONFIRMED WITH LOCAL JURISDICTIONAL ENTITY.

**15 CONCRETE/PAVEMENT TRANSITION DETAIL**  
 NOT TO SCALE MCNY-SITE-PMVT-2000 MOD: 11/15/21 07/01/19  
 CONCRETE PAVEMENT ON TRAILER STORAGE SPACE, 6" BITUMINOUS EXPANSION JOINT, WIRE MESH FABRIC PER CONCRETE PAVEMENT DETAIL, SEE PLAN FOR SLOPES, SEE PAVEMENT DETAIL.

**16 TRASH ENCLOSURE CONCRETE PAD DETAIL**  
 NOT TO SCALE MCNY-SITE-PMVT-2100 07/01/19  
 4000 PSI (MIN) CONCRETE SLAB, 6 x 6 - W1.4 x W1.4 (10 GA) WIRE MESH FABRIC, 6" OF COMPACTED 3/4" STONE, FIRM COMPACTED UNYIELDING SUBBASE.

**17 ACCESSIBLE SYMBOL DETAIL**  
 NOT TO SCALE MCNY-SITE-MRKG-2000 07/01/19  
 BLUE, 38" MIN, 24" MIN, STROKE WIDTH MINIMUM STANDARD = 3".

**18 LOADING AREA STRIPING DETAIL**  
 NOT TO SCALE MCNY-SITE-MRKG-2100 MOD: 11/18/21 07/01/19  
 NOTES: 1. 4" ON CENTER, 2. 4" YELLOW AT 45 DEGREES, 3. WIDTH TO BE CONFIRMED WITH LOCAL JURISDICTIONAL ENTITY.

**19 REINFORCED CONCRETE SIDEWALK (NEXT TO CURB DETAIL)**  
 NOT TO SCALE MCNY-SITE-PMVT-1800 MOD: 11/18/21 07/01/19  
 WIDTH VARIES - REFER TO SITE PLAN, 6 x 6 - W1.4 x W1.4 (10 GA) WIRE MESH FABRIC BROOM FINISH, 1/2" PREFORMED EXPANSION JOINT FILLER, 2% MAX. SLOPE, 4000 PSI (MIN) CONCRETE, 4" DENSE GRADED AGGREGATE, SECTION B.B., FIRM COMPACTED UNYIELDING SUBGRADE.  
 NOTES: 1. A PREFORMED BITUMINOUS EXPANSION JOINT 1/2" THICK, 4" WIDE AND EXTENDING THE FULL WIDTH OF THE SIDEWALK (UNBROKEN) SHALL BE INSTALLED. 2. 1/2" DEEP CONTROL JOINTS INSTALLED AT AN INTERVAL OF EVERY 5'. 3. JOINT FILLER SHALL CONFORM TO AASHTO M-33 SURFACE OF CONCRETE SHALL BE BROOM FINISH ROUND EDGES USING AN EDGING TOOL WITH A 1/4" RADIUS. 4. CONCRETE SIDEWALK SHALL BE CONSTRUCTED PER THE LATEST ADA REQUIREMENTS.  
 COLORS: LEGEND = WHITE (RETROREFLECTIVE), BACKGROUND = RED (RETROREFLECTIVE).

**20 R1-1 SIGN DETAIL**  
 NOT TO SCALE MCCM-SIGN-REGU-R1-1 12/01/20  
 30" x 30", COLORS: LEGEND = WHITE (RETROREFLECTIVE), BACKGROUND = RED (RETROREFLECTIVE).

**21 ACCESSIBLE PARKING SIGN DETAIL**  
 NOT TO SCALE MCNY-SITE-MRKG-2200 07/01/19  
 ACCESSIBLE PARKING, R7-8 SIGN, VAN ACCESSIBLE, PERMIT REQUIRED, SEE SIGN POST DETAIL, SEE NOTE 2.

**22 ACCESSIBLE PARKING LINE STRIPE DETAIL**  
 NOT TO SCALE MCNY-SITE-MRKG-1801 07/01/19  
 HANDICAP PARKING SIGN (TYP.), 4" PAINTED BLUE STRIPE, CURB OR PAINTED WHITE STRIPE, PROVIDE 6" MIN ACCESSIBLE AISLE WIDTH FOR VAN SPACES, 4" WIDE BLUE DIAGONAL STRIPING AT 45° 2" ON CENTER, 8" MIN, 5" MIN, LINE STRIPE AS REQUIRED (TYP.).

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**Jesse Barrett Cokeley**  
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 N.Y. C.O.A.# 3017609

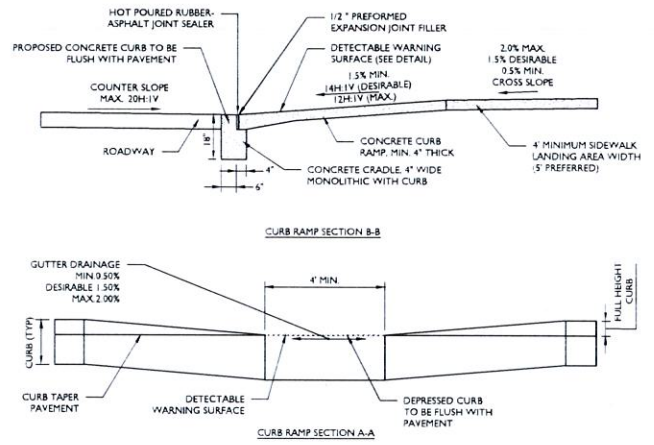
**PRELIMINARY SITE PLAN FOR WPT ACQUISITIONS, LLC**  
 SECTION 74.07 BLOCK 1 LOTS 2, 33 & 36  
 518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE  
 TOWN OF ORANGETOWN ROCKLAND COUNTY NEW YORK

**Colliers Engineering & Design**  
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 50 Chestnut Ridge Road, Suite 101  
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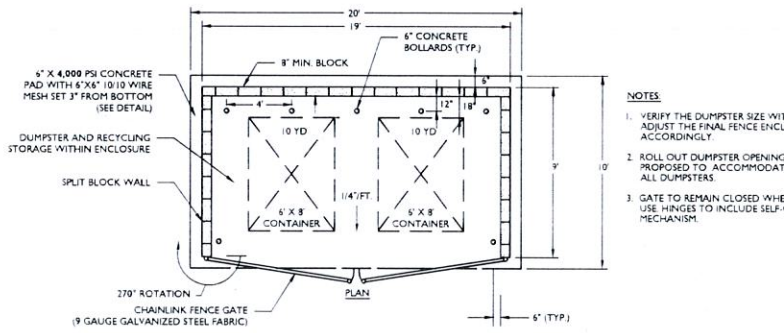
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AS SHOWN	11/22/2021	DG/CMA	IBC
PROJECT NUMBER	DRAWING NAME	SHEET TITLE	
21003254	C-D13	CONSTRUCTION DETAILS	
SHEET NUMBER: 15 of 21			

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

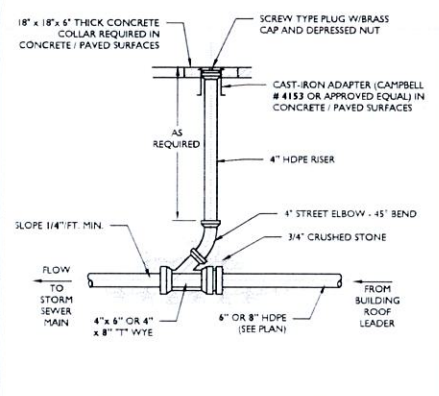
- NOTES:**
- CONTRACTOR SHALL PREPARE SHOP DRAWINGS OF EACH CURB RAMP FOR SUBMISSION AND APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
  - LANDING AREA APPROACH SIDEWALK TRANSITIONS AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
  - CURB AT RAMP OPENING (FLUSH CURB) TO BE FLUSH WITH ROADWAY PAVEMENT.
  - CROSSWALKS AND PAVEMENT MARKINGS TO BE INSTALLED AS DENOTED ON SITE PLAN.
  - MAXIMUM RAMP SLOPE MAY BE 12% UP UPON APPROVAL OF ENGINEER. RAMP SLOPES SHOWN ARE THE PREFERRED SLOPE. SIDE FLARE SLOPES MAY BE 10% UP UPON APPROVAL OF THE ENGINEER.
  - MINIMUM RAMP CROSS-SLOPE SHALL BE 0.50%. THE MAXIMUM RAMP CROSS-SLOPE MAY BE 2.00% UPON APPROVAL OF THE ENGINEER. CROSS-SLOPES SHOWN IN THE DETAILS ARE THE PREFERRED SLOPES TO MAINTAIN A LEVEL OF CONSTRUCTION TOLERANCE.
  - ACCESSIBLE RAMP SHALL BE INSTALLED PURSUANT WITH THE CURRENT UNITED STATES ACCESS BOARD ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES AND THE ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE AND OTHER APPLICABLE LOCAL AND STATE STANDARDS IN EFFECT AT THE DATE OF CONSTRUCTION.
  - DEVIATIONS FROM THE CURB RAMP DETAILS REQUIRE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL AND THE MUNICIPAL COUNTY, STATE OR OTHER AGENCY'S ENGINEER HAVING JURISDICTION.
  - THE RAMP SURFACE SHALL HAVE A NON-SLIP, HAND BROOSED FINISH.
  - CONCRETE EXPANSION JOINTS SHALL HAVE A FIRM SURFACE WITH 1/4" BEVELED CONCRETE EDGES. THE JOINT SURFACE SHALL NOT BE MORE THAN 1/4" BELOW THE ADJOINING CONCRETE SURFACE.
  - CURB RAMP MUST BE WHOLLY CONTAINED WITHIN THE CROSSWALK CROSSING.
  - THE CLEAR SPACE SHALL BE INCREASED TO 5 FEET WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF THE SIDEWALK.
  - THE MAXIMUM SEPARATION BETWEEN THE BACK OF CURB AND DETECTABLE WARNING SURFACE SHALL NOT EXCEED 5 FEET. THE MAXIMUM SEPARATION AREA MAY BE WITHIN THE 4' X 4' CLEAR SPACE.
  - SEE SEPARATE DETAILS FOR 'DETECTABLE WARNING SURFACE' AND 'CURB RAMP SECTIONS'.
  - WHERE SIDE FLARES ARE NOT REQUIRED, PROVIDE AN 18" CURB TAPER TO THE FLUSH CURB.
  - ALL CURB RAMP FLUSH CURB SHALL BE MADE WITH CONCRETE CURB CRADLE REGARDLESS OF THE CURB MATERIAL USED THROUGHOUT THE SITE.



- NOTES:**
- DEPRESSED CURB AT DETECTABLE WARNING SHALL BE A SMOOTH LEVEL SURFACE THAT IS FLUSH WITH THE ADJOINING PAVEMENT. NO BUMPS OR ROUGH SURFACES ARE ALLOWED. SUCH UNEVENNESS SHALL BE MILED OR GRANDED SMOOTH.
  - POSITIVE DRAINAGE SHALL BE MAINTAINED AT RAMP RAMP SHALL SLOPE TOWARDS PAVEMENT. NO PONDING OF WATER IS PERMITTED AT CURB RAMP. PAVEMENT GRADES TO BE ADJUSTED AS NECESSARY TO PROVIDE POSITIVE GUTTER DRAINAGE.
  - CURB (DROPPED CURB) GUTTER-LINE TO BE FLUSH WITH ROADWAY PAVEMENT.
  - MAXIMUM GUTTER DRAINAGE GRADE MAY BE INCREASED TO 2.00% UPON THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL.
  - DEVIATION FROM THIS DETAIL REQUIRES THE WRITTEN APPROVAL OF THE UNDERSIGNED PROFESSIONAL.



- NOTES:**
- VERIFY THE DUMPSTER SIZE WITH TENANTS. ADJUST THE FINAL FENCE ENCLOSURE SIZE ACCORDINGLY.
  - ROLL OUT DUMPSTER OPENINGS ARE PROPOSED TO ACCOMMODATE ACCESS TO ALL DUMPSTERS.
  - GATE TO REMAIN CLOSED WHEN NOT IN USE. HINGES TO INCLUDE SELF-CLOSING MECHANISM.

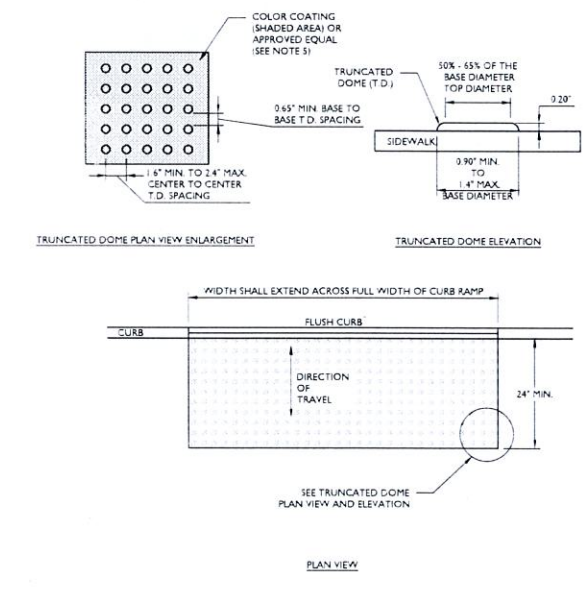


**1 CURB RAMP NOTES**  
MCNY-SITE-HADA-1500  
07/01/19

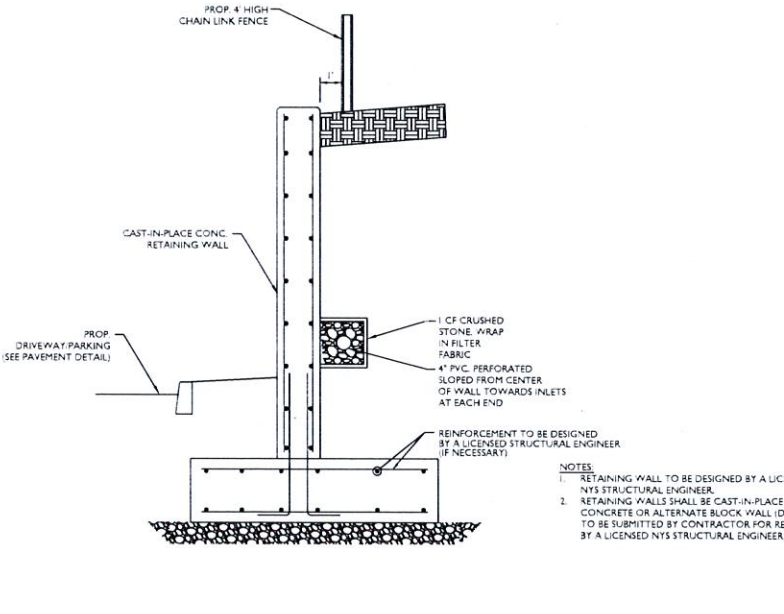
**2 CURB RAMP SECTIONS DETAIL**  
MCNY-SITE-HADA-2000  
NOT TO SCALE

**3 REFUSE/RECYCLING ENCLOSURE (WITH DOUBLE CHAIN LINK GATE) DETAIL**  
MCNY-SITE-FNCE-2201  
NOT TO SCALE

**4 ROOF LEADER CLEANOUT DETAIL**  
MCNY-UTL-STRM-1900  
NOT TO SCALE



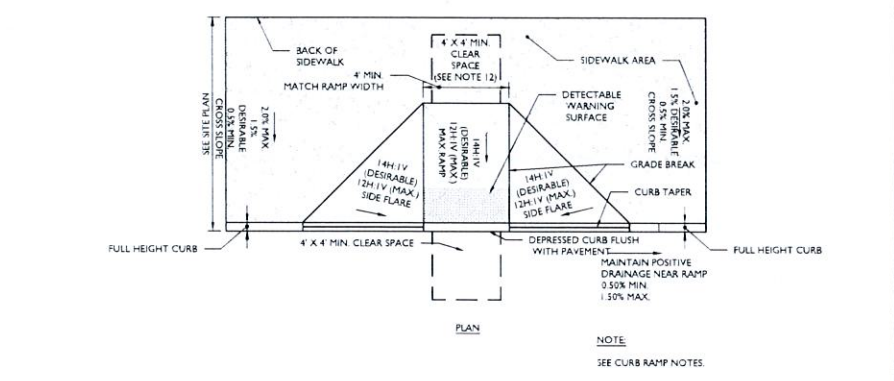
- NOTES:**
- THE DETECTABLE WARNING SURFACE SHALL BE MANUFACTURED MATS THAT ARE EMBEDDED AND CAST-IN-PLACE IN THE CONCRETE.
  - IN LIEU OF A CAST-IN-PLACE DETECTABLE WARNING SURFACE, THE CONTRACTOR MAY UTILIZE A SURFACE APPLIED DETECTABLE WARNING SURFACE WITH PRIOR APPROVAL OF THE UNDERSIGNED ENGINEER AND PRIOR TO POURING OF THE CONCRETE RAMP.
  - THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SHOP DRAWING OF THE DETECTABLE WARNING SURFACE PRIOR TO CONSTRUCTION FOR APPROVAL.
  - THE CONTRACTOR SHALL PROVIDE A MANUFACTURER CERTIFICATION THAT THE DETECTABLE WARNING SURFACE COMPLIES WITH THE CURRENT ADA STANDARDS FOR ACCESSIBLE DESIGN AS PUBLISHED BY THE DEPARTMENT OF JUSTICE AND THE ADA STANDARDS AS SUPPORTED BY THE UNITED STATES ACCESS BOARD, AND THE STATE AND/OR LOCAL ADA STANDARDS.
  - SAFETY RED** SHALL BE APPROVED BY THE LOCAL JURISDICTION PRIOR TO INSTALLATION. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. ALTERNATIVE COLOR MAY BE USED PROVIDED SUCH COLOR COMPLIES WITH CURRENT ADA STANDARDS.
  - DETECTABLE WARNING SURFACES SHALL CONSIST OF A SURFACE OF TRUNCATED DOMES.
  - TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL HAVE A BASE DIAMETER OF 0.9 INCH (23 mm) MINIMUM AND 1.4 INCHES (36 mm) MAXIMUM. A TOP DIAMETER OF 50 PERCENT OF THE BASE DIAMETER MINIMUM TO 65 PERCENT OF THE BASE DIAMETER MAXIMUM AND A HEIGHT OF 0.2 INCH (5.1 mm).
  - TRUNCATED DOMES IN DETECTABLE WARNING SURFACE SHALL HAVE A CENTER-TO-CENTER SPACING OF 1.6 INCHES (41 mm) MINIMUM AND 2.4 INCHES (61 mm) MAXIMUM, AND A BASE-TO-BASE SPACING OF 0.63 INCH (17 mm) MINIMUM, MEASURED BETWEEN THE MOST ADJACENT DOMES ON A SQUARE GRID.
  - SOME DETECTABLE WARNING PRODUCTS REQUIRE A CONCRETE BORDER FOR PROPER INSTALLATION, WHERE REQUIRED BY THE MANUFACTURER, THE CONCRETE BORDER SHALL NOT EXCEED 2 INCHES (51 mm).
  - DETECTABLE WARNING SURFACES SHOULD NOT BE PLACED ON PAVING OR EXPANSION JOINTS AT CURB RAMP. THE ROWS OF TRUNCATED DOMES IN DETECTABLE WARNING SURFACES SHOULD BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP RUN AND THE STREET SO PEDESTRIANS WHO USE WHEELCHAIRS CAN 'TRACK' BETWEEN THE DOMES.
  - ON PERPENDICULAR CURB RAMP, DETECTABLE WARNING SURFACES SHALL BE PLACED AS FOLLOWS:
    - WHERE THE ENDS OF THE BOTTOM GRADE BREAK ARE IN FRONT OF THE BACK OF CURB, DETECTABLE WARNING SURFACES SHALL BE PLACED AT THE BACK OF CURB.
    - WHERE THE ENDS OF THE BOTTOM GRADE BREAK ARE BEHIND THE BACK OF CURB AND THE DISTANCE FROM EITHER END OF THE BOTTOM GRADE BREAK TO THE BACK OF CURB IS 5.0 FT OR LESS, DETECTABLE WARNING SURFACES SHALL BE PLACED ON THE RAMP RUN WITHIN ONE DOME SPACING OF THE BOTTOM GRADE BREAK.
    - WHERE THE ENDS OF THE BOTTOM GRADE BREAK ARE BEHIND THE BACK OF CURB AND THE DISTANCE FROM EITHER END OF THE BOTTOM GRADE BREAK TO THE BACK OF CURB IS MORE THAN 5.0 FT, DETECTABLE WARNING SURFACES SHALL BE PLACED ON THE LOWER LANDING AT THE BACK OF CURB.
  - ON PARALLEL CURB RAMP, DETECTABLE WARNING SURFACES SHALL BE PLACED ON THE TURNING SPACE AT THE FLUSH TRANSITION BETWEEN THE STREET AND SIDEWALKS.
  - ON BLENDED TRANSITIONS, DETECTABLE WARNING SURFACES SHALL BE PLACED AT THE BACK OF CURB.



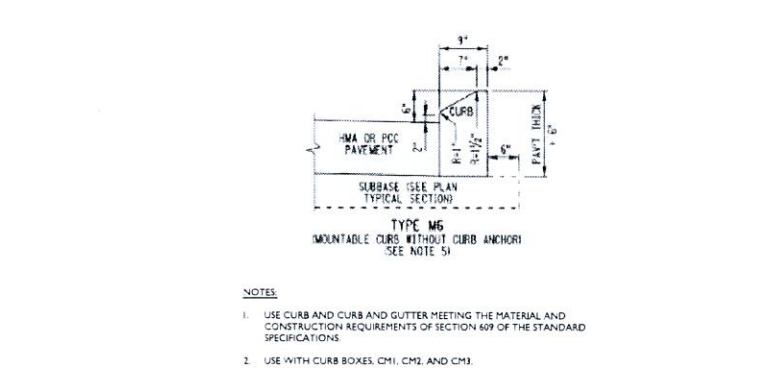
**5 DETECTABLE WARNING SURFACE DETAIL**  
MCNY-SITE-HADA-2100  
NOT TO SCALE

**6 CAST-IN-PLACE CONCRETE RETAINING WALL**  
GNR-UTLS-STRM-GRD  
NOT TO SCALE

**7 PRECAST CONCRETE STORM MANHOLE 4' DIA. DETAIL**  
MCNY-UTL-STRM-1600  
NOT TO SCALE



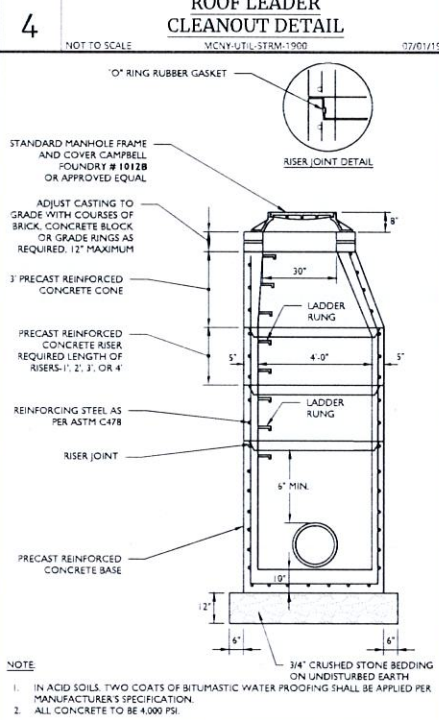
**9 CURB RAMP CURB TAPER DETAIL**  
MCNY-SITE-HADA-2301  
NOT TO SCALE



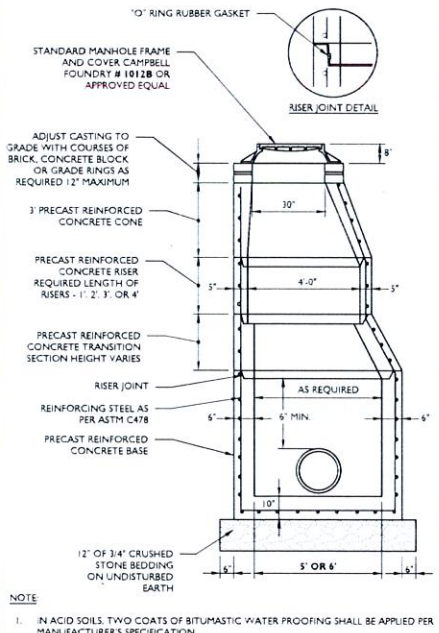
**8 CURB RAMP TYPE 1 DETAIL**  
MCNY-SITE-HADA-1000  
NOT TO SCALE

**10 INTENTIONALLY LEFT BLANK**  
GNR-UTLS-STRM-GRD  
NOT TO SCALE

**11 NYS DOT 609-01 M6 MOUNTABLE CURB DETAIL (ROUTE 303)**  
NOT TO SCALE



**7 PRECAST CONCRETE STORM MANHOLE 4' DIA. DETAIL**  
MCNY-UTL-STRM-1600  
NOT TO SCALE



**12 PRECAST CONCRETE STORM MANHOLE (OVERSIZED) DETAIL**  
MCNY-UTL-STRM-1601  
NOT TO SCALE

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**Jesse Barrett Cokley**  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 090887-1  
COLLIERS ENGINEERING & DESIGN, P.C.  
N.Y. C.O.A.# 0017609

**PRELIMINARY SITE PLAN**  
FOR  
**WPT ACQUISITIONS, LLC**  
SECTION 74.07  
BLOCK 1  
LOTS 2, 33 & 36  
518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY  
NEW YORK

**Colliers Engineering & Design**  
VONTVALE  
50 Chestnut Ridge Road  
Suite 101  
Montvale, NJ 07655  
Phone: 845.352.0411

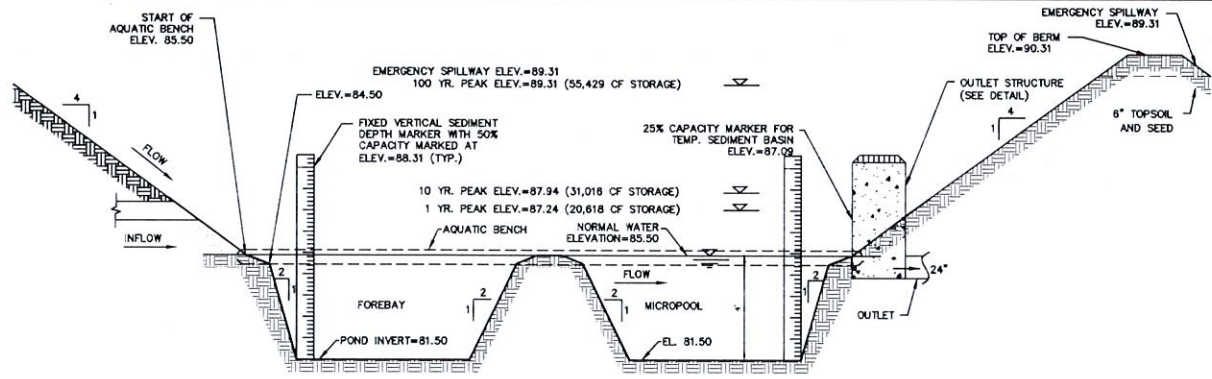
SCALE: AS SHOWN  
DATE: 11/22/2021  
PROJECT NUMBER: 21063236  
C:DTLS

DRAWN BY: J. COLE  
CHECKED BY: J. COLE  
DATE: 11/22/2021  
PROJECT NUMBER: 21063236  
C:DTLS

DESIGNED BY: J. COLE  
DATE: 11/22/2021  
PROJECT NUMBER: 21063236  
C:DTLS

**CONSTRUCTION DETAILS**  
SHEET NUMBER: 16 of 21





**1 EXTENDED DETENTION BASIN (1A) DETAIL**

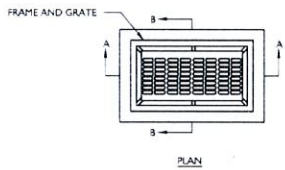
1 NOT TO SCALE

GNRL-DTLS-STND-GRID

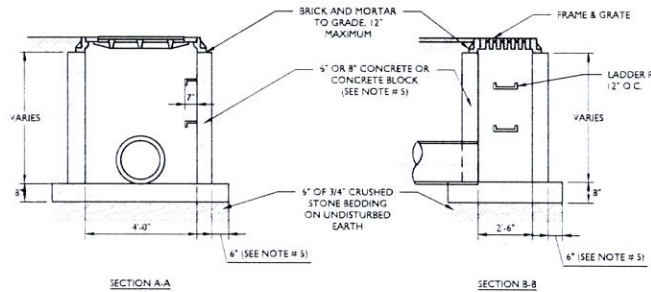
11/19/21

**NOTES**

1. INVERTS TO BE ELIMINATED IN BOTTOM OF TERMINAL INLETS. MINIMUM DIFFERENCE IN INVERTS TO BE 0.1 FEET.
2. THIS INLET SHALL BE CONSTRUCTED OF PRECAST CONCRETE OR SOLID CONCRETE BLOCK. IF CONCRETE BLOCK IS USED, THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF 1:2 CEMENT SAND MORTAR. THE INSIDE WALL JOINTS SHALL BE STRUCK AND POINTED.
3. PROVIDE 7/8" DIA. X 7' X 12' 12" O.C. COPOLYMER POLYPROPYLENE PLASTIC STEPS WITH 1/2" DIA. GRADE 60 STEEL REINFORCEMENT BY M.A. INDUSTRIES, P52-PF OR P52-B WITH PRECAST PRESS FIT INSERTS. 12" O.C.
4. INLET FRAME AND GRATES TO BE CAMPBELL FOUNDRY # 3408 OR APPROVED EQUAL.
5. WHEN DEPTH IS GREATER THAN 12" THE WALLS SHOULD BE EITHER 8" THICK CONCRETE OR 8" SOLID CONCRETE BLOCK AND THE FOOTING SHALL BE EXTENDED TO 12" BEYOND THE OUTSIDE WALLS.
6. ALL CONCRETE TO BE 4,000 PSI.
7. IN ACID SOILS, TWO COATS OF BITUMASTIC WATER PROOFING SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATION.
8. INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH H-20 LOADING REQUIREMENTS.



PLAN



SECTION A-A

SECTION B-B

**2 SINGLE DRAIN INLET DETAIL**

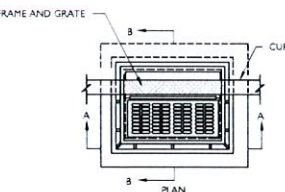
2 NOT TO SCALE

MCNY-UTIL-STRM-1009

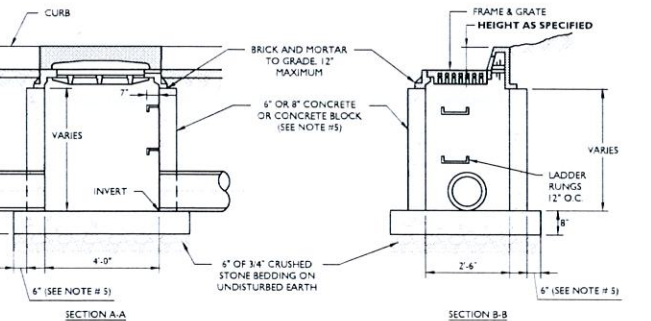
07/01/19

**NOTES**

1. INVERTS TO BE ELIMINATED IN BOTTOM OF TERMINAL INLETS. MINIMUM DIFFERENCE IN INVERTS TO BE 0.1 FEET.
2. THIS INLET SHALL BE CONSTRUCTED OF PRECAST CONCRETE OR SOLID CONCRETE BLOCK. IF CONCRETE BLOCK IS USED, THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF 1:2 CEMENT SAND MORTAR. THE INSIDE WALL JOINTS SHALL BE STRUCK AND POINTED.
3. PROVIDE 7/8" DIA. X 7' X 12' 12" O.C. COPOLYMER POLYPROPYLENE PLASTIC STEPS WITH 1/2" DIA. GRADE 60 STEEL REINFORCEMENT BY M.A. INDUSTRIES, P52-PF OR P52-B WITH PRECAST PRESS FIT INSERTS. 12" O.C. OR APPROVED EQUIVALENT.
4. INLET FRAME AND GRATES TO BE CAMPBELL FOUNDRY # 2617, OR APPROVED EQUAL.
5. WHEN DEPTH IS GREATER THAN 12" THE WALLS SHOULD BE 8" THICK CONCRETE OR SOLID CONCRETE BLOCK AND THE FOOTING SHALL BE EXTENDED TO 12" BEYOND THE OUTSIDE WALLS.
6. ALL CONCRETE TO BE 4,000 PSI.
7. IN ACID SOILS, TWO COATS OF BITUMASTIC WATER PROOFING SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATION.
8. INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH H-20 LOADING REQUIREMENTS.



PLAN



SECTION A-A

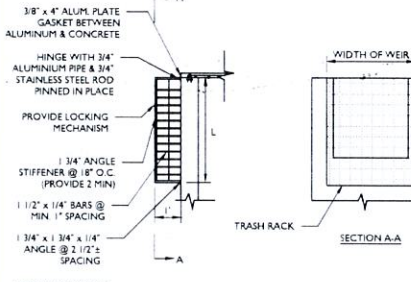
SECTION B-B

**8 SINGLE CATCH BASIN DETAIL**

8 NOT TO SCALE

MCNY-UTIL-STRM-1100

07/01/19



TRASH RACK NOTES

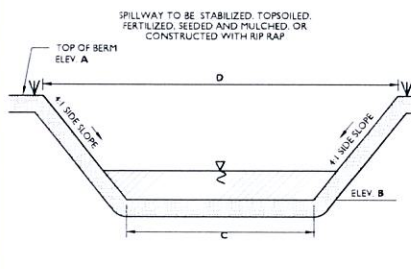
1. MINIMUM BAR SPACING: 1 INCH.
2. MAXIMUM BAR SPACING: 1/3 THE DIAMETER OF THE ORIFICE OR 1/3 THE WIDTH OF WEIR, WITH A MAXIMUM SPACING OF 6 INCHES. FOR ELEVATIONS IN EXCESS OF WATER QUALITY DESIGN STORM.
3. MAXIMUM AVERAGE VELOCITY OF FLOW THROUGH CLEAN RACK: 2.5 FEET/SECOND.
4. CONSTRUCTED OF RIGID, DURABLE AND CORROSION RESISTANT MATERIAL AND DESIGNED TO WITHSTAND A PERPENDICULAR LIVE LOADING OF 300 LBS/SF.
5. CONTRACTOR TO SUBMIT SHOP DRAWINGS.

**3 FLAT TRASH RACK DETAIL**

3 NOT TO SCALE

MCNY-UTIL-STMW-2000

07/01/19

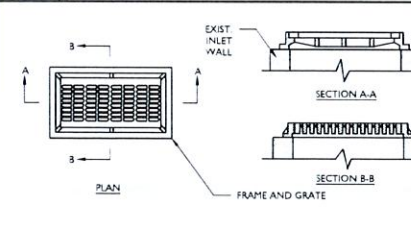


NOTES

1. 0% SLOPE ACROSS EMERGENCY SPILLWAY.
2. SPILLWAY SURFACE TO BE STABILIZED AS SHOWN ON THE PLANS.

**5 EMERGENCY SPILLWAY DETAIL**

5 NOT TO SCALE



NOTES

1. REMOVE EXISTING CASTING, MORTAR, ETC. FROM TOP OF EXISTING INLET WALLS TO PROVIDE A CLEAN, SMOOTH AND LEVEL SURFACE FOR PROPOSED CASTING TO BE SET ON.
2. IF REQUIRED, EITHER REMOVE COURSES OF CONCRETE BLOCK, SAWCUT SOLID CONCRETE BRICK AND/OR CONCRETE SPACERS WITH MORTAR, SUCH THAT THE NEW CASTING WILL BE FLUSH WITH THE PROPOSED GRADE.
3. INLET FRAME AND GRATE TO BE CAMPBELL FOUNDRY # 3408 OR APPROVED EQUAL.
4. NEW CASTING TO BE SECURED ON INLET WALLS USING 1:2 CEMENT TO SAND MORTAR.

**9 CONVERT CATCH BASIN TO DRAIN INLET DETAIL**

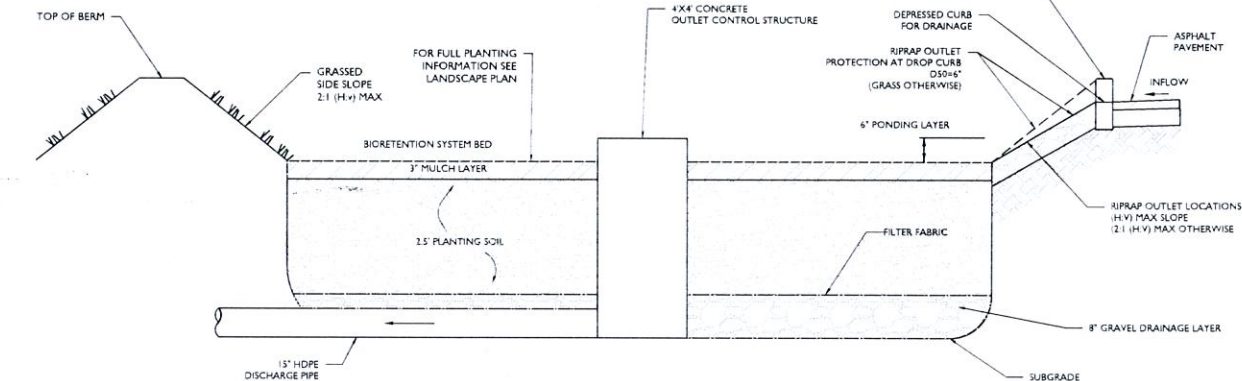
9 NOT TO SCALE

MCNY-UTIL-STRM-1000

07/01/19

**TYPICAL BIORETENTION AREA PLANT SCHEDULE**

TREES	COMMON NAME	CONT.	SIZE	HEIGHT	REMARKS
	River Birch	CONT.	3"	3'-9"	MALTSYSTEM / TYP. SPECIES HABIT
	Red Chokeberry	CONT.	24"	24"-30"	TYPICAL SPECIES HABIT
	Summersweet	CONT.	18"-24"	18"-24"	TYPICAL SPECIES HABIT
	Blackberry	CONT.	18"-24"	18"-24"	TYPICAL SPECIES HABIT
	Arrowwood Viburnum	CONT.	18"-24"	18"-24"	TYPICAL SPECIES HABIT
	New England Aster	1 GAL. CONT.		Clumps, 24" O.C.	
	Tufted Hair Grass	4 SP4 CONT.		Clumps, 12" O.C.	
	Coneflower	1 GAL. CONT.		Clumps, 24" O.C.	
	Common Rush	4 SP4 CONT.		Clumps, 12" O.C.	



SYSTEM	OUTLET NAME	OUTLET SIZE	BED ELEVATION	100 YR. PEAK ELEVATION	TOP OF BERM ELEVATION
1B	OCS 1B	4'X4'	99.0	99.68	101.0
1C	OCS 1C	4'X4'	99.0	99.74	VARIES +/- 1.02
1D	OCS 1D	4'X4'	89.0	89.76	90.25

**NOTES**

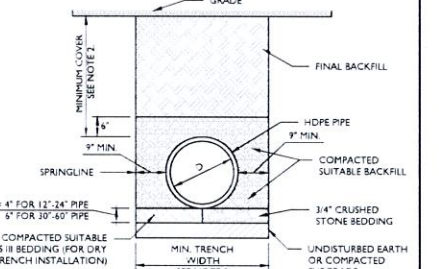
1. SEE PLAN FOR DROP CURB LOCATIONS AND BIORETENTION AREA CONFIGURATION.
2. PLANTING SOIL TO BE IN ACCORDANCE WITH NEW YORK STATE STANDARDS AND SPECIFICATIONS FOUND WITHIN THE PROJECT SWPPP.

**4 BIORETENTION SYSTEM CROSS SECTION DETAIL**

4 NOT TO SCALE

MCNY-UTIL-STMW-2400

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**NOTES**

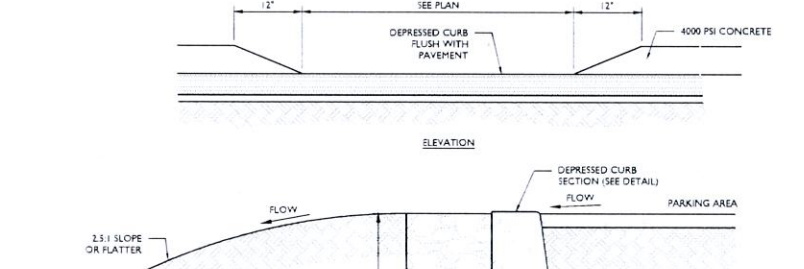
1. ALL PIPE SYSTEMS AND BACKFILL SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321.
2. MINIMUM COVER FOR HDPE PIPES IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR UP TO 60" DIAMETER PIPE. PIPE COVER IS MEASURED FROM TOP OF PIPE TO THE BOTTOM OF FLEXIBLE PAVEMENT, OR TO THE TOP OF RIGID PAVEMENT, OR TO THE GROUND SURFACE.
3. MINIMUM TRENCH WIDTH PER MANUFACTURER'S RECOMMENDATIONS.

**6 HDPE STORM PIPE BEDDING DETAIL**

6 NOT TO SCALE

MCNY-UTIL-STRM-2302

07/01/19



**NOTES**

1. CONTRACTOR TO SUBMIT SHOP DRAWING FOR REVIEW AND APPROVAL.
2. ALL CONCRETE TO BE 4,000 PSI (MIN).

**7 CURB CUT FOR DRAINAGE (W/PEA GRAVEL DIAPHRAGM) DETAIL**

7 NOT TO SCALE

MCNY-UTIL-STRM-2402

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**Jesse Barrett Cokley**

NEW YORK LICENSED PROFESSIONAL ENGINEER

COLLIERS ENGINEERING & DESIGN, P.C.

**PRELIMINARY SITE PLAN**

FOR WPT ACQUISITIONS, LLC

SECTION 74.07 BLOCK 1

LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN ROCKLAND COUNTY NEW YORK

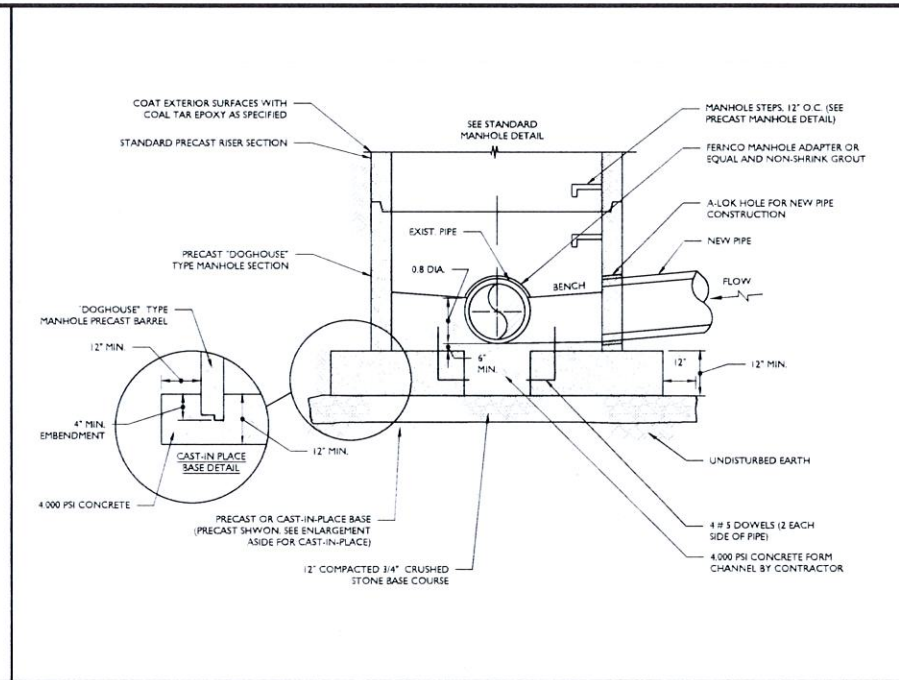
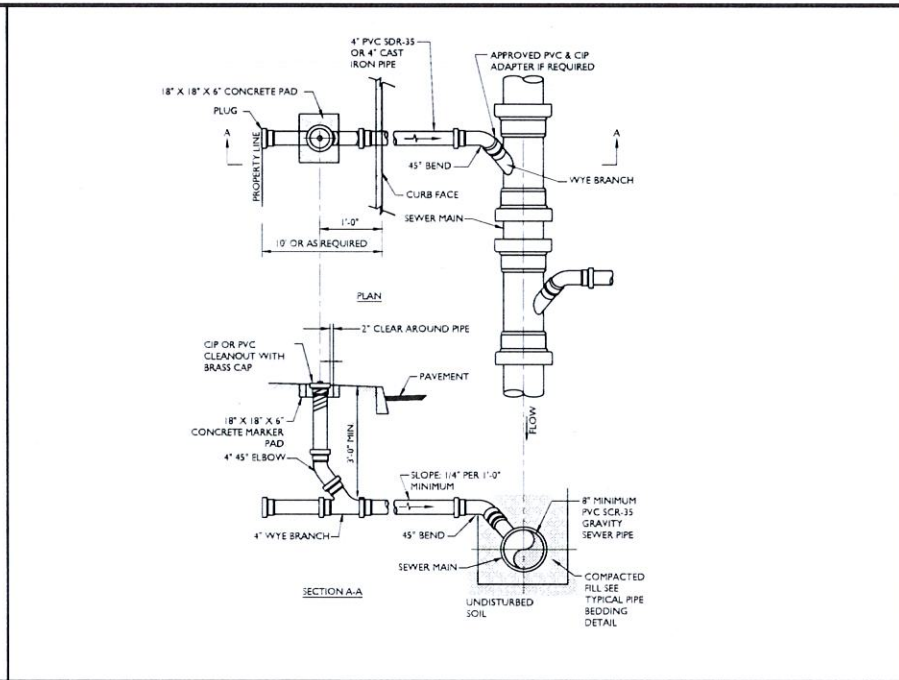
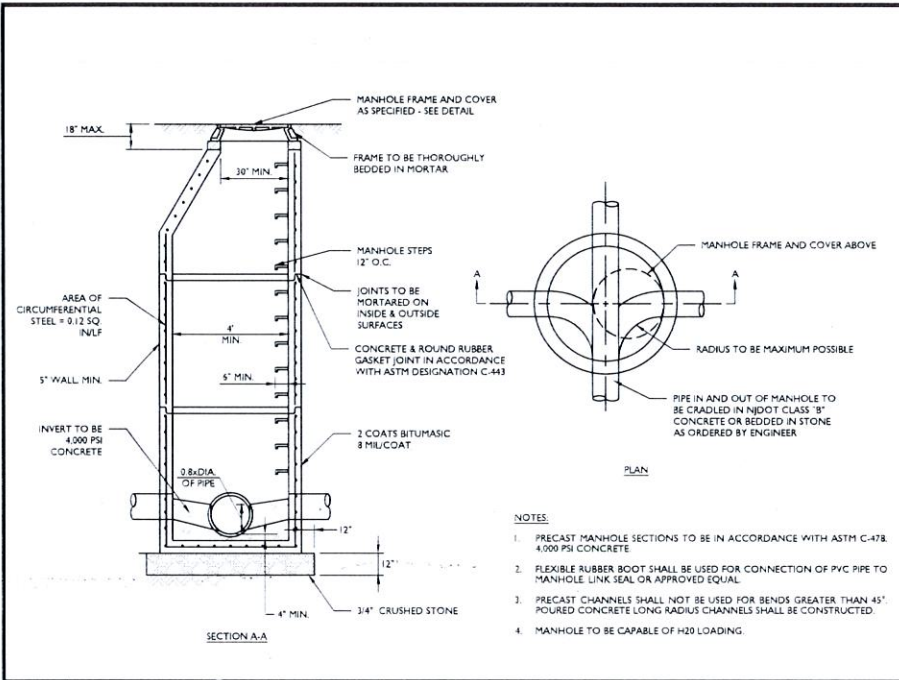
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**CONSTRUCTION DETAILS**

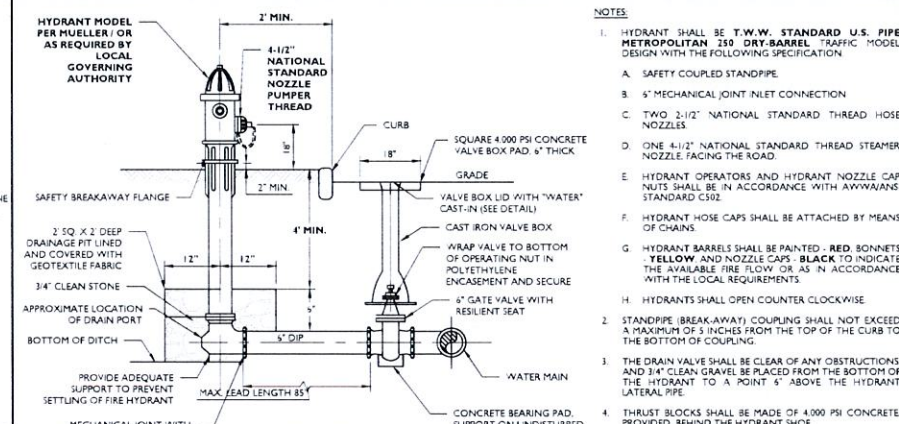
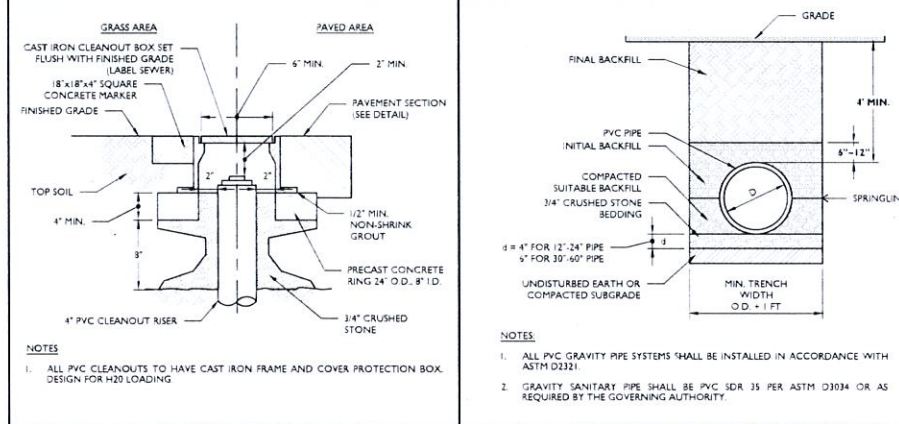
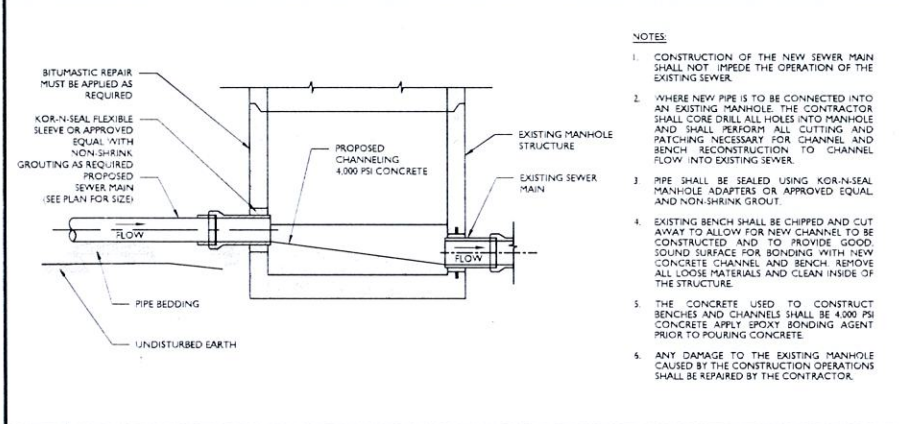
17 of 21



**1 SANITARY PRECAST MANHOLE DETAIL**  
 NOT TO SCALE MCNY-UTIL-SSWR-1000 07/01/19

**2 SANITARY SEWER LATERAL & CLEANOUT DETAIL**  
 NOT TO SCALE MCNY-UTIL-SSWR-1601 07/01/19

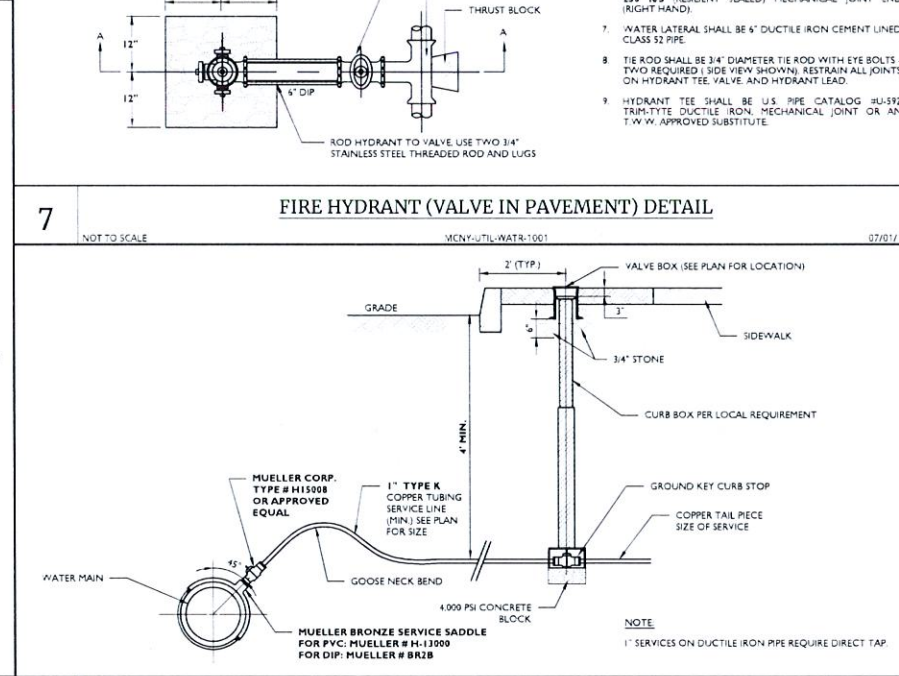
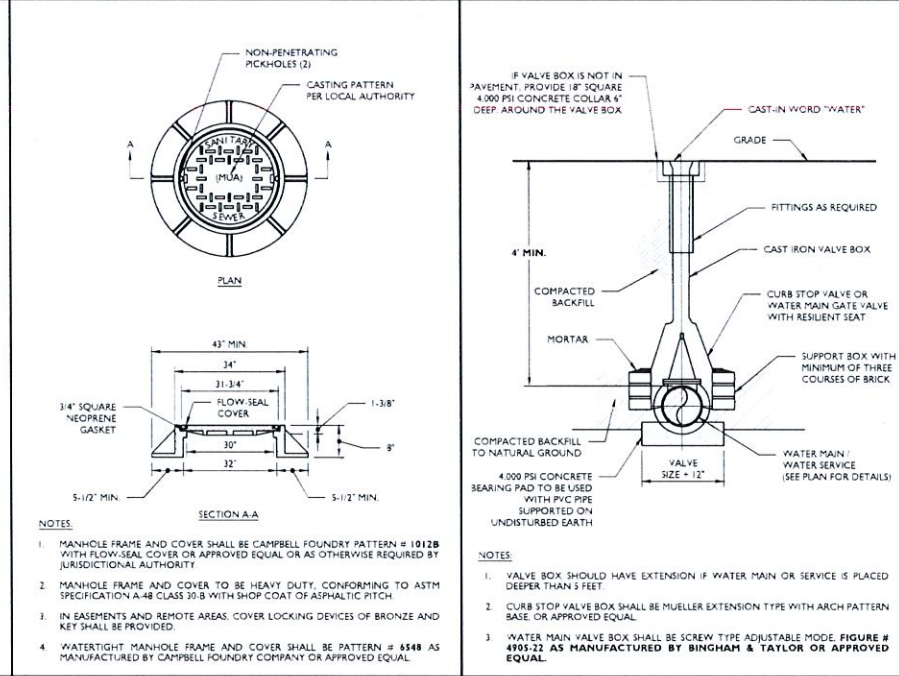
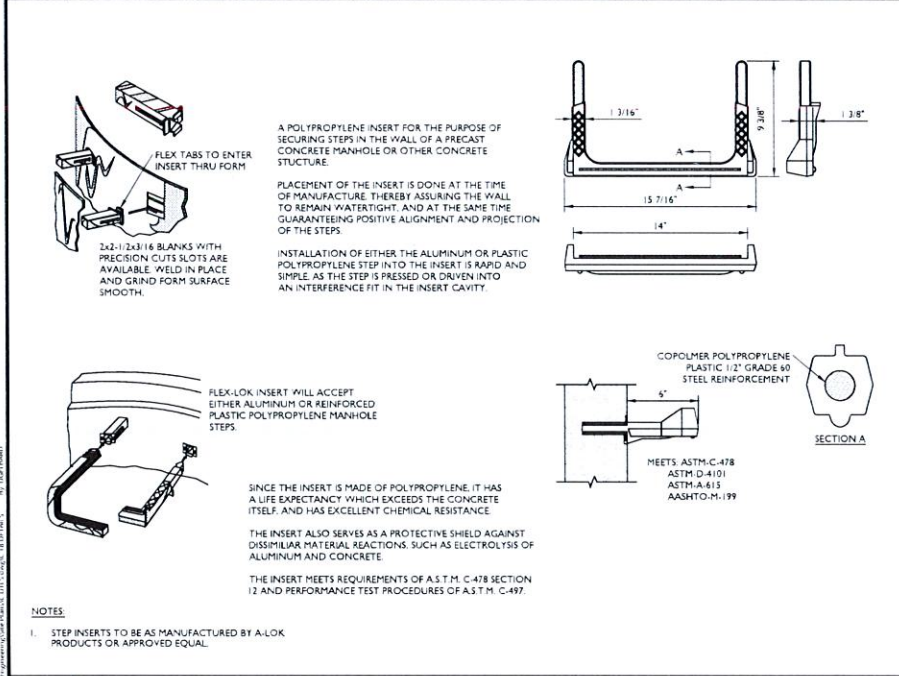
**3 DOGHOUSE MANHOLE DETAIL**  
 NOT TO SCALE MCNY-UTIL-SSWR-1100 07/01/19



**4 CONNECTION TO EXISTING MANHOLE DETAIL**  
 NOT TO SCALE MCNY-UTIL-SSWR-2000 07/01/19

**5 CLEANOUT PROTECTION BOX DETAIL**  
 NOT TO SCALE MCNY-UTIL-SSWR-1600 07/01/19

**6 PVC SANITARY PIPE BEDDING (GRAVITY) DETAIL**  
 NOT TO SCALE MCNY-UTIL-SSWR-2803 07/01/19



**8 LADDER RUNG (COPOLYMER) DETAIL**  
 NOT TO SCALE MCNY-UTIL-SSWR-1500 07/01/19

**9 SANITARY MANHOLE FRAME AND COVER DETAIL**  
 NOT TO SCALE MCNY-UTIL-SSWR-1001 07/01/19

**11 WATER SERVICE CONNECTION DETAIL**  
 NOT TO SCALE MCNY-UTIL-WATR-1100 07/01/19

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**Jesse Barrett Cokerley**  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER 30993-7-1  
 COLLIERS ENGINEERING & DESIGN, P.C.  
 N.Y. C.O.A.# 0017609

**PRELIMINARY SITE PLAN**

FOR **WPT ACQUISITIONS, LLC**  
 SECTION 74.07  
 BLOCK 1  
 LOTS 2, 33 & 36

518 NYSR 303 AND 13 & 21 MOUNTAINVIEW AVENUE

TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK

**Colliers Engineering & Design**

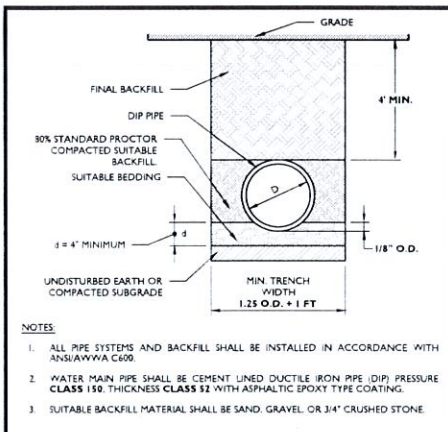
MONTVALE  
 50 Chestnut Ridge Road,  
 Suite 101  
 Montvale, NJ 07645  
 Phone: 845.352.0411

SCALE AS SHOWN DATE 11/22/2021 DRAWN BY JBC CHECKED BY JBC  
 PROJECT NUMBER 2103528A DRAWING NUMBER C-013

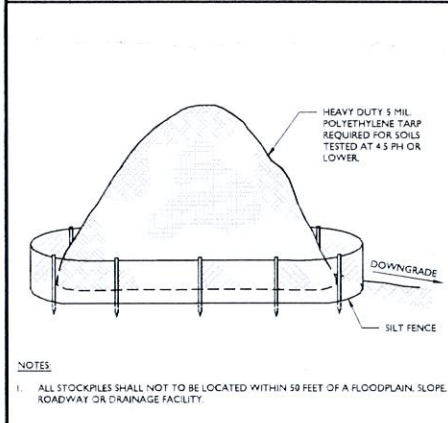
**CONSTRUCTION DETAILS**

18 of 21

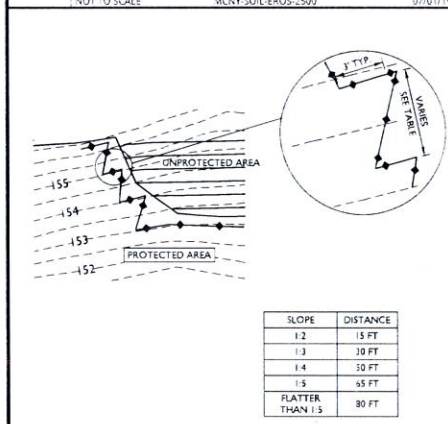
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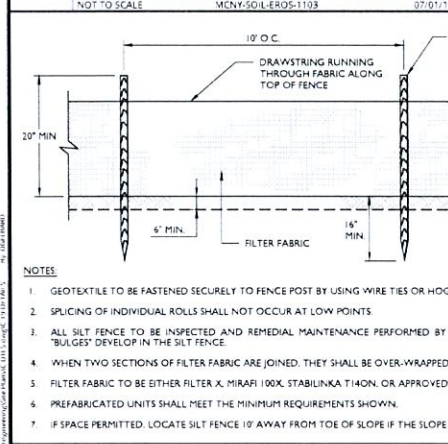
**1 DIP WATER PIPE BEDDING DETAIL**  
NOT TO SCALE MCNY-UTIL-WATR-1909 07/01/19



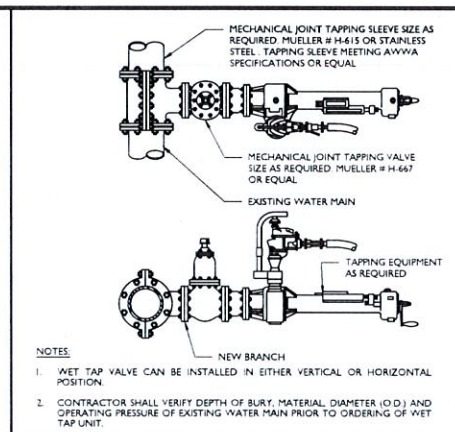
**5 TOPSOIL STOCKPILE DETAIL**  
NOT TO SCALE MCNY-SOIL-EROS-2502 07/01/19



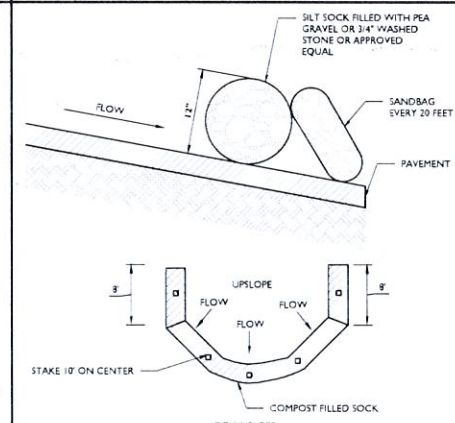
**6 SILT FENCE INSTALLATION DETAIL (WHEN NOT PARALLEL TO CONTOURS)**  
NOT TO SCALE MCNY-SOIL-EROS-1103 07/01/19



**10 STANDARD SILT FENCE DETAIL**  
NOT TO SCALE MCNY-SOIL-EROS-1102 07/01/19



**2 WET TAP DETAIL**  
NOT TO SCALE MCNY-UTIL-WATR-1200 07/01/19

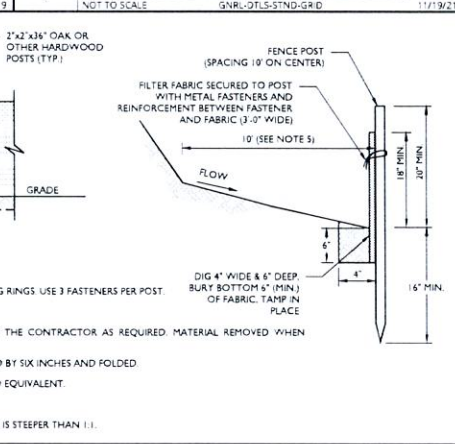


**7 COMPOST FILTER SOCK INSTALLATION AND DETAILS**  
NOT TO SCALE (NRL)OTLS-STNG-GRD 11/19/21

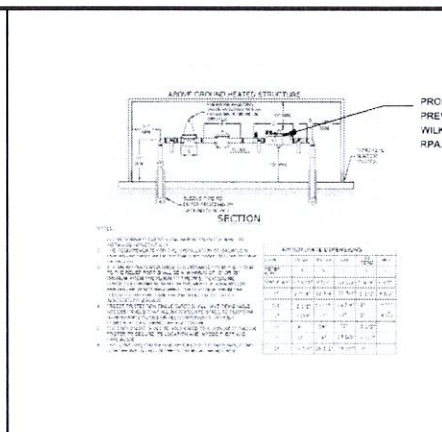
DIA. (in.)	SLOPE				
	2	3	10	20	33
8	225*	200	190	10	20
12	250	225	125	65	50
18	275	250	150	70	55
24	350	275	200	130	100
32	450	325	225	150	120

*Length in feet

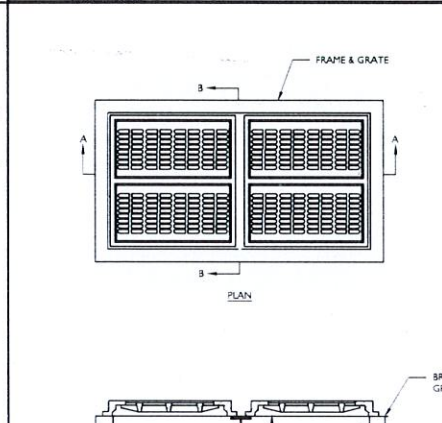
**8 DOUBLE DRAIN INLET DETAIL**  
NOT TO SCALE MCNY-UTIL-STRM-1201 07/01/19



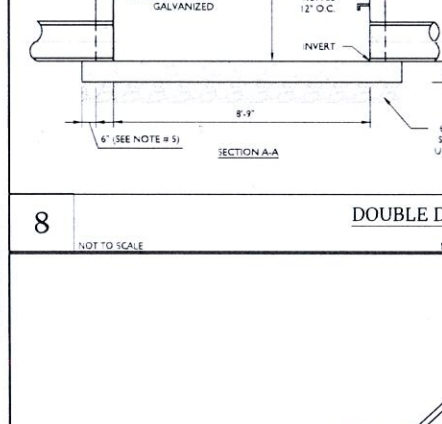
**11 TEMPORARY POND OUTLET DURING CONSTRUCTION DETAIL**  
NOT TO SCALE



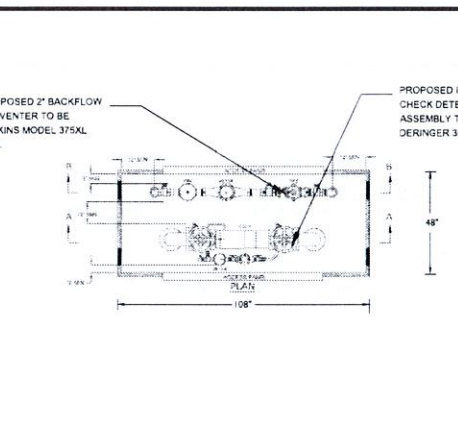
**3 HOT BOX DETAIL**  
NOT TO SCALE (NRL)OTLS-STNG-GRD 11/19/21



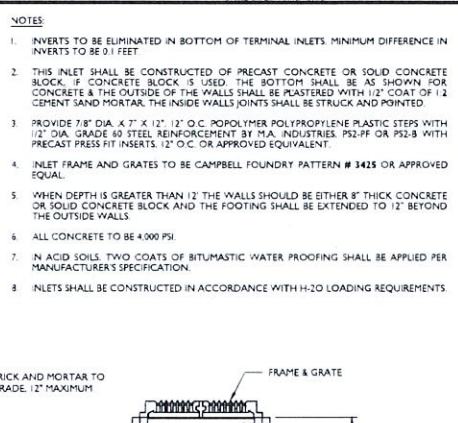
**9 TEMPORARY TREE PROTECTION DETAIL**  
NOT TO SCALE MCNY-SOIL-EROS-2100 07/01/19



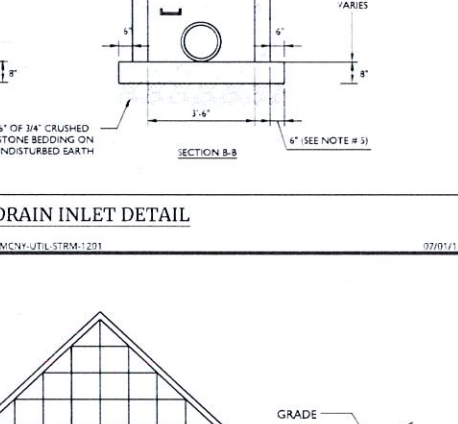
**12 STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE MCNY-SOIL-EROS-1000 07/01/19



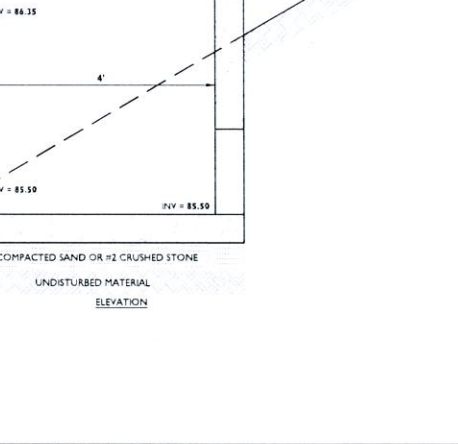
**4 ORANGE CONSTRUCTION FENCE DETAIL**  
NOT TO SCALE MCNY-SOIL-EROS-1600 07/01/19



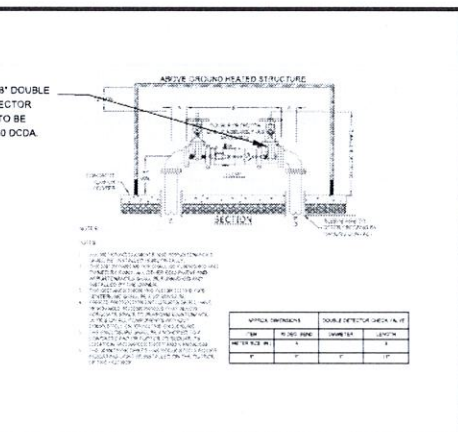
**8 DOUBLE DRAIN INLET DETAIL**  
NOT TO SCALE MCNY-UTIL-STRM-1201 07/01/19



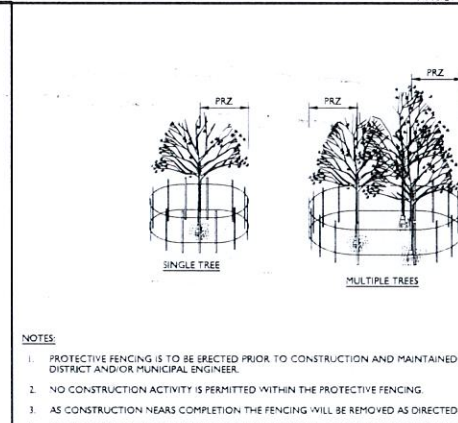
**9 TEMPORARY TREE PROTECTION DETAIL**  
NOT TO SCALE MCNY-SOIL-EROS-2100 07/01/19



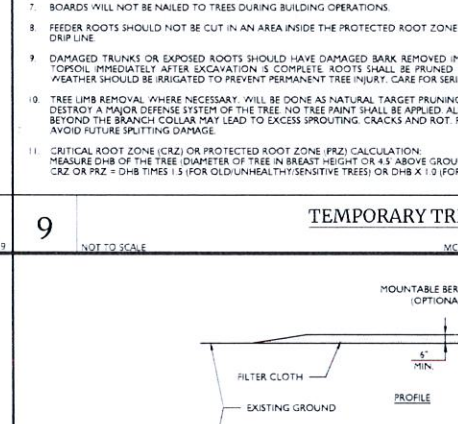
**12 STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE MCNY-SOIL-EROS-1000 07/01/19



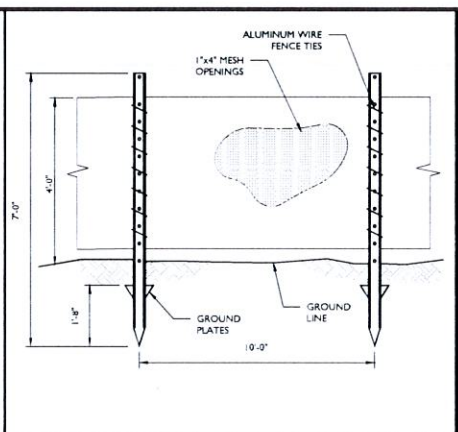
**3 HOT BOX DETAIL**  
NOT TO SCALE (NRL)OTLS-STNG-GRD 11/19/21



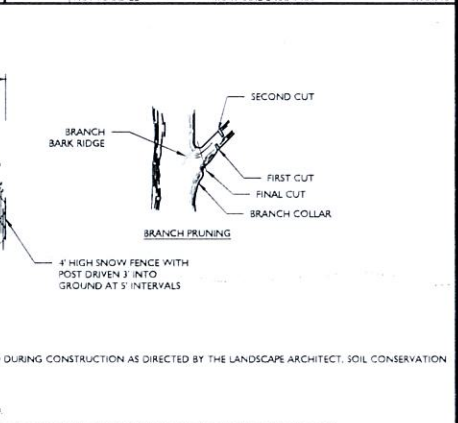
**9 TEMPORARY TREE PROTECTION DETAIL**  
NOT TO SCALE MCNY-SOIL-EROS-2100 07/01/19



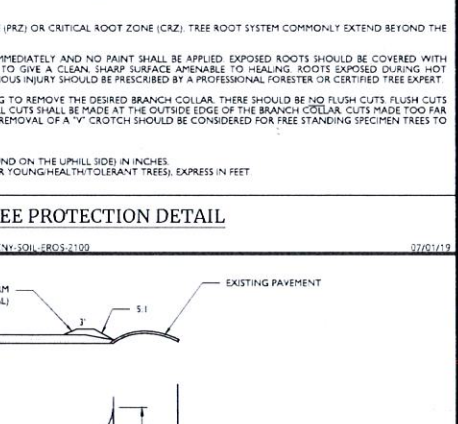
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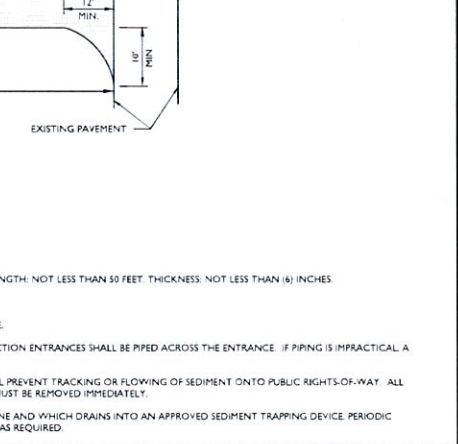
**4 ORANGE CONSTRUCTION FENCE DETAIL**  
NOT TO SCALE MCNY-SOIL-EROS-1600 07/01/19



**8 DOUBLE DRAIN INLET DETAIL**  
NOT TO SCALE MCNY-UTIL-STRM-1201 07/01/19



**9 TEMPORARY TREE PROTECTION DETAIL**  
NOT TO SCALE MCNY-SOIL-EROS-2100 07/01/19



**12 STABILIZED CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE MCNY-SOIL-EROS-1000 07/01/19

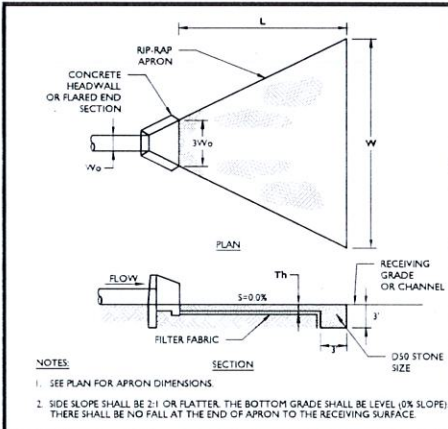
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DATE	DRAWN BY	CHECKED	REVISIONS

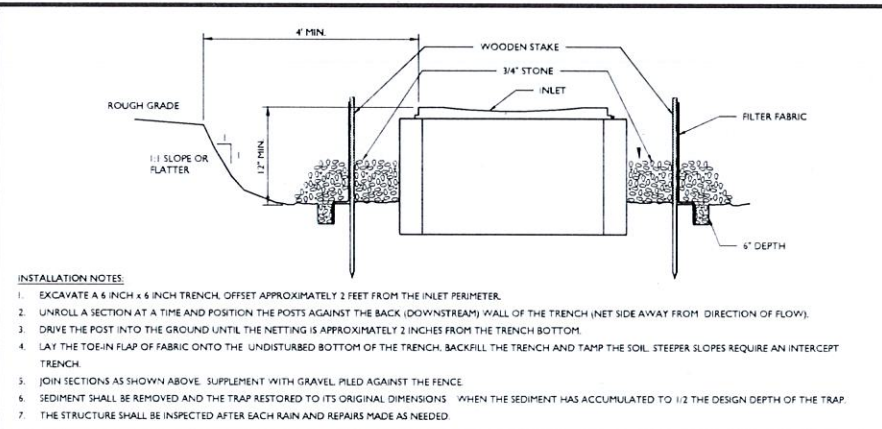
**Jesse Barrett Cokeley**  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 099987-7  
COLLIERS ENGINEERING & DESIGN, P.C.  
N.Y. C.O.A.# 0017669

**PRELIMINARY SITE PLAN**  
FOR  
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SECTION 74.07  
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ROCKLAND COUNTY  
NEW YORK

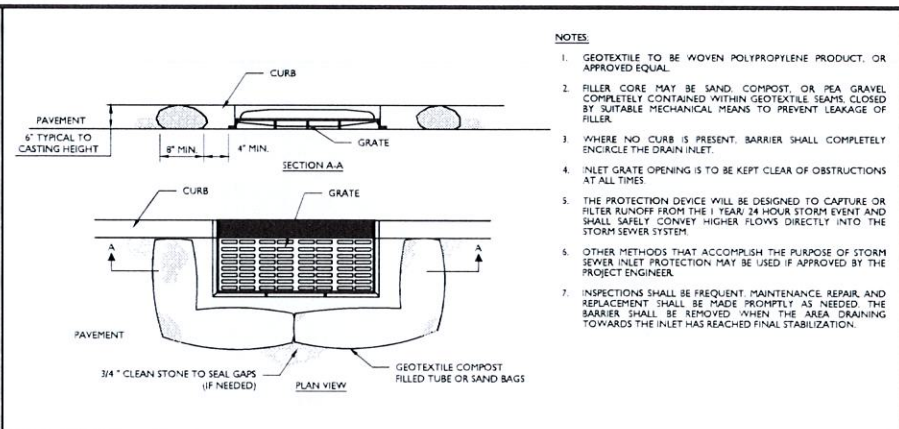
**Colliers Engineering & Design**  
MONTVALE  
50 Chestnut Ridge Road  
Suite 101  
Montvale, NJ 07645  
Phone: 845.352.0411  
COLLIERS ENGINEERING & DESIGN, P.C.  
PROJECT NUMBER: 21063528A  
DRAWING NAME: C-DT-3  
SHEET FILE: CONSTRUCTION DETAILS  
SHEET NUMBER: 19 of 21



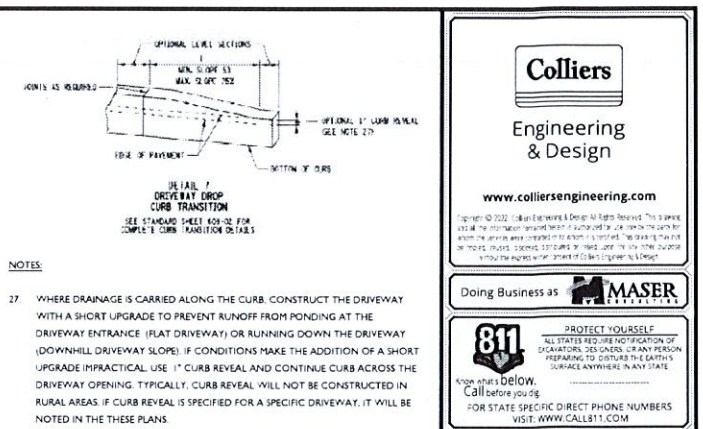
**1 CONDUIT OUTLET PROTECTION DETAIL**  
 NOT TO SCALE MCNY-SOL-EROS-1607 07/01/19



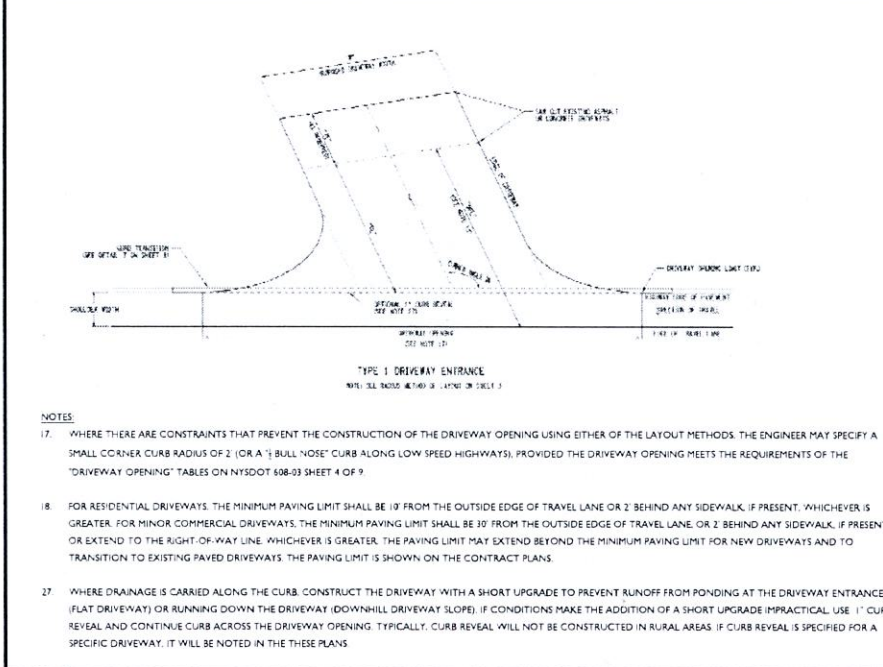
**2 STORM INLET SEDIMENT TRAP DETAIL**  
 NOT TO SCALE MCNY-SOL-EROS-1502 07/01/19



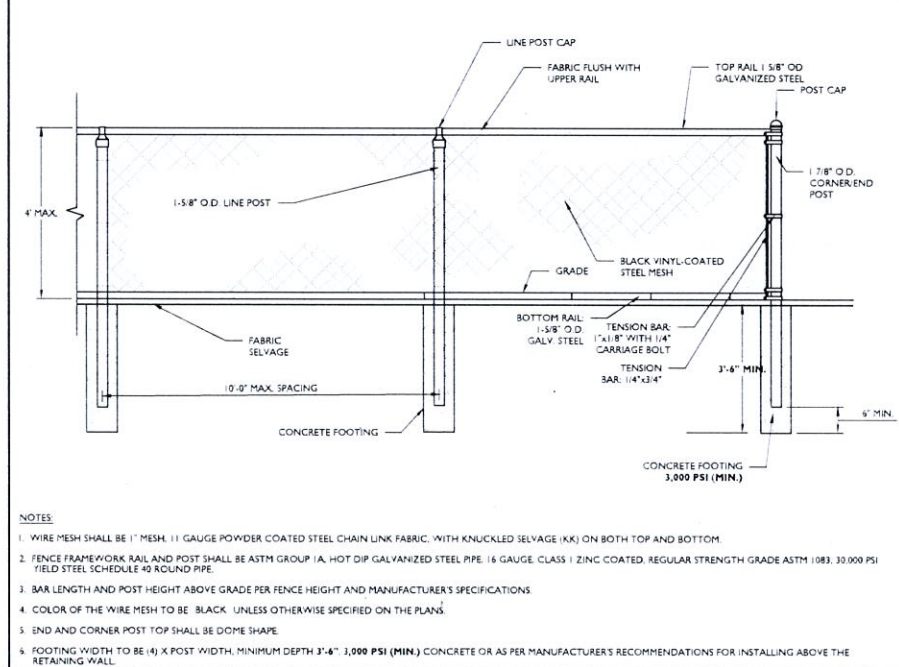
**3 INLET PROTECTION (FILTER BARRIER) DETAIL**  
 NOT TO SCALE MCNY-SOL-EROS-1500 07/01/19



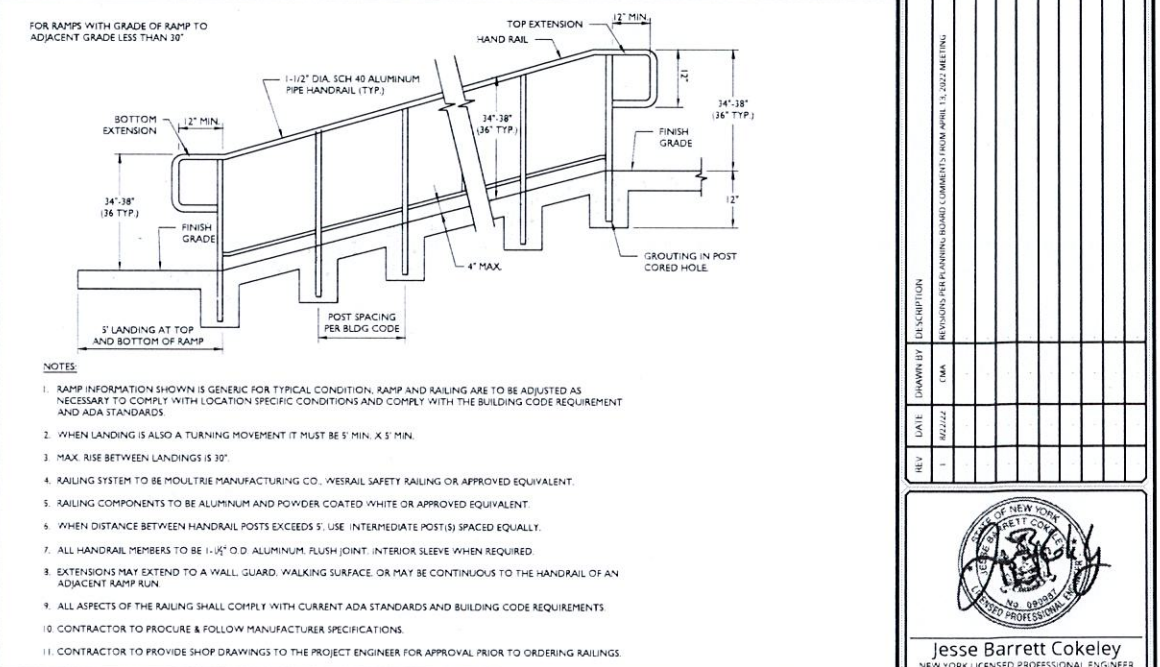
**4 NYS DOT 608-03 DRIVEWAY DROP CURB TRANSITION DETAIL (ROUTE 303)**  
 NOT TO SCALE GNRL-DT-S-STD-GR-D 11/22/21



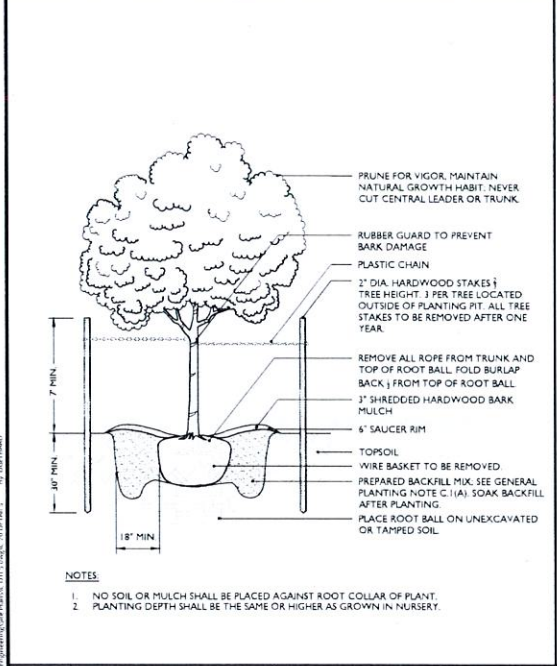
**5 NYS DOT 608-03 MINOR COMMERCIAL DRIVEWAY (ROUTE 303)**  
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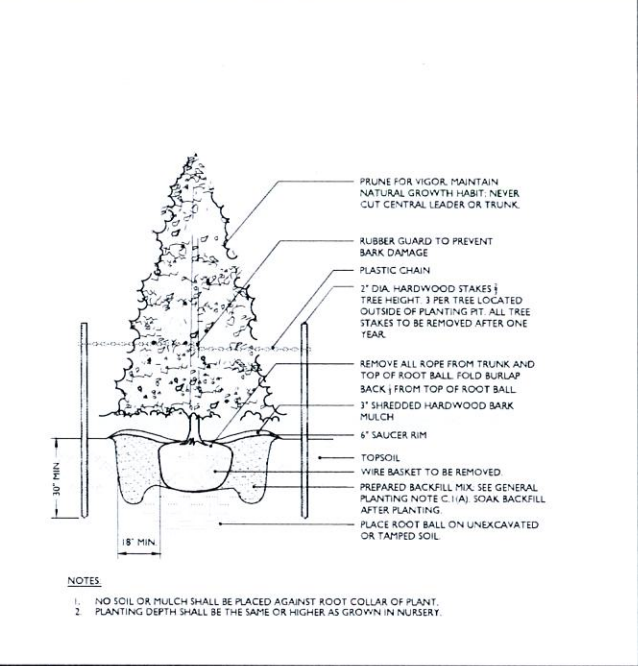
**6 4' HIGH CHAIN LINK FENCE DETAIL**  
 NOT TO SCALE MCCM-SITE-FENCE-1201 07/01/19



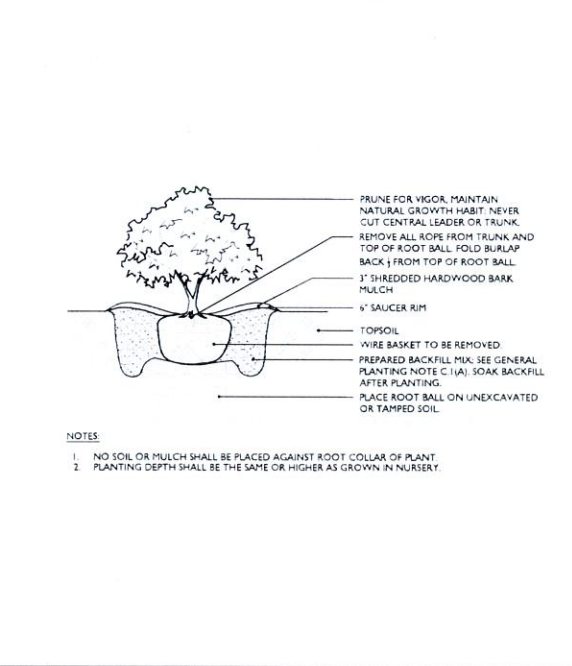
**7 RAMP RAILING DETAIL**  
 NOT TO SCALE MCCM-SITE-FENCE-3200 10/01/21



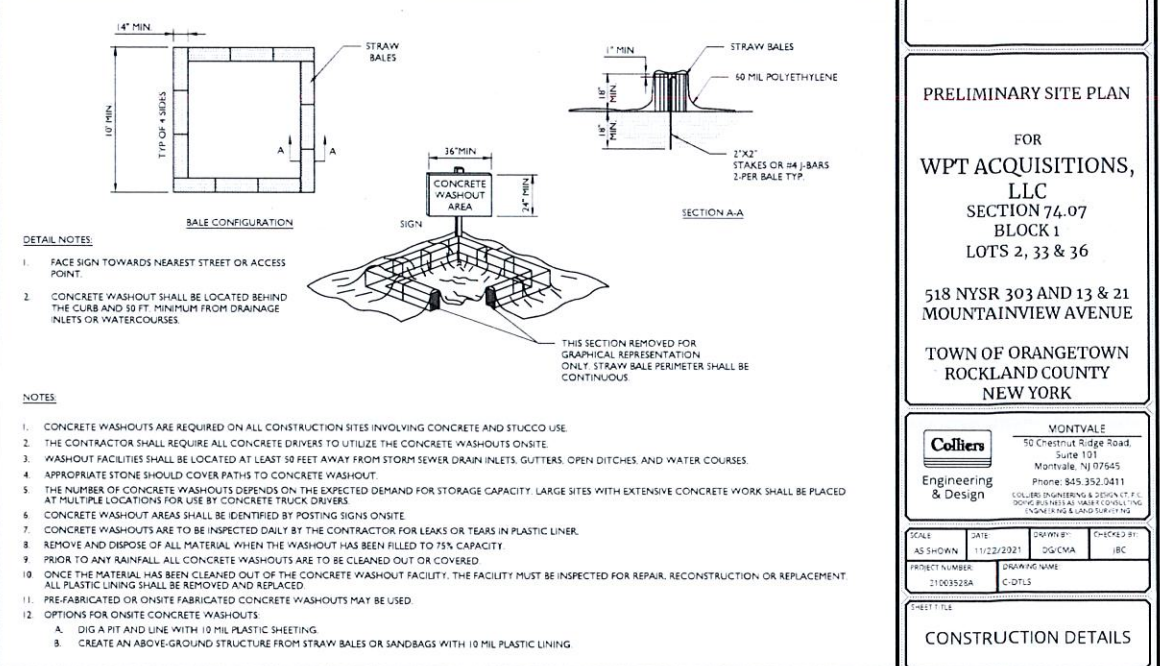
**8 DECIDUOUS TREE PLANTING DETAIL**  
 NOT TO SCALE MOD: 08/19/22



**9 EVERGREEN TREE PLANTING DETAIL**  
 NOT TO SCALE MOD: 08/10/22



**10 SHRUB PLANTING DETAIL**  
 NOT TO SCALE MOD: 08/10/22



**11 CONCRETE WASHOUT DETAIL**  
 NOT TO SCALE MCNY-SOL-EROS-1700 07/01/19

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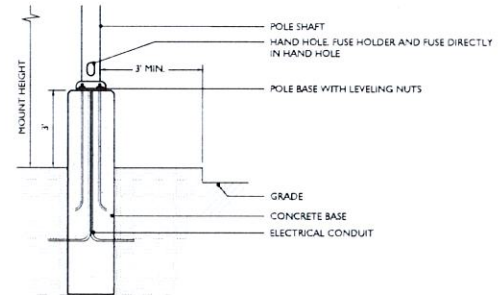
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3	REVISED PER PERMITTING COMMENTS FROM APRIL 15, 2022 MEETING		
4	REVISED PER PERMITTING COMMENTS FROM APRIL 15, 2022 MEETING		
5	REVISED PER PERMITTING COMMENTS FROM APRIL 15, 2022 MEETING		
6	REVISED PER PERMITTING COMMENTS FROM APRIL 15, 2022 MEETING		
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**Jesse Barrett Cokeley**  
 NEW YORK LICENSED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: 090987-1  
 COLLIER ENGINEERING & DESIGN, CT, P.C.  
 N.Y. C.O.A.#: 0917609

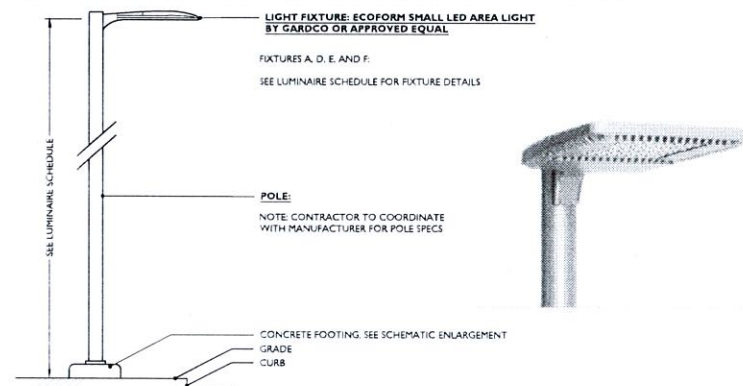
**PRELIMINARY SITE PLAN**  
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 SECTION 74.07  
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 Engineering & Design  
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 COLLIERS ENGINEERING & DESIGN, P.C.  
 300 WEST 11TH STREET, SUITE 200, NEW YORK, NY 10011

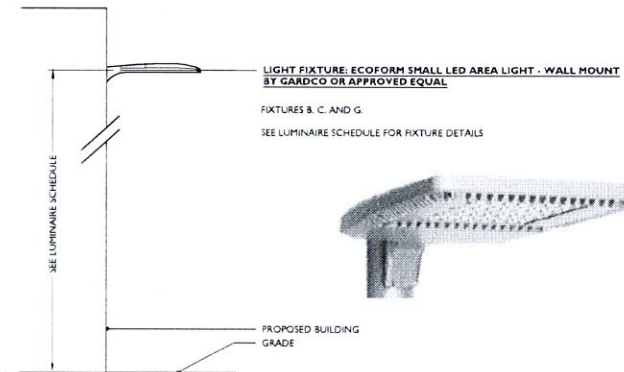
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AS SHOWN	11/22/2021	02/CMA	IBC
PROJECT NUMBER	21003252A	DATE/REV	C-DT/5
SHEET TITLE	CONSTRUCTION DETAILS		
SHEET NUMBER	20 of 21		



- NOTES**
- FOOTING SHOWN IS SCHEMATIC ONLY.
  - SHOP DRAWINGS AND CALCULATIONS FOR THE DESIGN AND SIZING OF THE CONCRETE FOOTING SHALL BE PREPARED BY A NY STATE LICENSED PROFESSIONAL ENGINEER, AND SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.
  - SITE ELECTRICAL CONTRACTOR TO COORDINATE LOCATED OF SASMENTS, UNDERGROUND UTILITIES AND DRAINAGE AREAS BEFORE DRILLING POLE BASES.



- NOTES**
- LIGHT AND POLE TO BE MANUFACTURED BY GARDCO OR APPROVED EQUAL.
  - LIGHT AND POLE FINISH TO BE BLACK.
  - MOUNTING HEIGHT TO BE MEASURED FROM EXTERIOR FINISHED GRADE TO LIGHT SOURCE.
  - CONTRACTOR TO PROVIDE SHOP DRAWINGS OF LIGHT FIXTURES FOR REVIEW AND APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.



- NOTES**
- LIGHT TO BE MANUFACTURED BY GARDCO OR APPROVED EQUAL.
  - LIGHT FINISH TO BE BLACK.
  - MOUNTING HEIGHT TO BE MEASURED FROM FINISHED EXTERIOR GRADE TO LIGHT SOURCE.
  - MOUNTING LOCATIONS TO BE COORDINATED WITH ARCHITECTURAL PLANS.

1 CONCRETE FOOTING SCHEMATIC DETAIL

MOD: 08/15/22

2 POLE MOUNTED LUMINAIRE DETAIL

MOD: 08/15/22

3 WALL MOUNTED LUMINAIRE DETAIL

MOD: 08/15/22

REV.	DATE	DESCRIPTION



Jesse Barrett Cokeley  
NEW YORK LICENSED PROFESSIONAL ENGINEER  
LICENSE NUMBER: 390987  
COLLIERS ENGINEERING & DESIGN, P.C.  
N.Y. C.E.A. # 3517609

PRELIMINARY SITE PLAN  
FOR  
WPT ACQUISITIONS,  
LLC  
SECTION 74.07  
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518 NYSR 303 AND 13 & 21  
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COLLIERS ENGINEERING & DESIGN, P.C.  
300VE PLAZA, SUITE 200, ROCKY HILL, CT 06067  
1700 E. BROADWAY, SUITE 100

SCALE	DATE	DESIGN BY	CHECKED BY
AS SHOWN	11/22/2021	JG/CMA	IBC
PROJECT NUMBER	DRAWING NAME		
21063925A	C-DTLS		

CONSTRUCTION DETAILS

21 of 21