

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: _____

ASSIGNED _____

INSPECTOR: _____

Referred from Planning Board: YES / NO
 if yes provide date of Planning Board meeting: _____

Project Name: Verdicchio

Street Address: 137 Penn Ct
Orangetown ny

Tax Map Designation: Section: 74.17 Block: 1 Lot(s): 74

Directional Location: On the Center side of of Cuddeback, approximately 1000 feet west of the intersection of Constance, in the Town of _____ in the hamlet/village of _____

Director

Acreage of Parcel _____
School District Pearl River
Ambulance District "
Water District Keola

Zoning District _____
Postal District _____
Fire District Pearl River / Orangetown
Sewer District Orangetown

Project Description: (If additional space required, please attach a narrative summary.)

Legalize existg deck

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 9/20/06 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

Applicant: _____ Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

Property Owner: Same as contact Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: _____ Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

Attorney: _____ Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

X Contact Person: Geraio Verdicchio Phone # (845) 642-8795

Address: _____
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- _____ State or County Road
- _____ Long Path
- _____ Municipal Boundary

- _____ State or County Park
- _____ County Stream
- _____ County Facility

List name(s) of facility checked above:

Referral Agencies:

- _____ RC Highway Department
- _____ RC Drainage Agency
- _____ NYS Dept. of Transportation
- _____ NYS Thruway Authority
- _____ Adjacent Municipality
- _____ Other

- _____ RC Division of Environmental Resources
- _____ RC Dept. of Health
- _____ NYS Dept. of Environmental Conservation
- _____ Palisades Interstate Park Commission

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

SWIS	PRINT KEY	NAME	ADDRESS
392489	73.20-1-25	Subaru Distributors Corp	6 Ramland Rd,Orangeburg, NY 10962
392489	74.17-1-18	Town Of Orangetown	26 Orangeburg Rd,Orangeburg, NY 10962
392489	74.17-1-57	Rafael Bien	135 Constitution Dr,Orangeburg, NY 10962
392489	74.17-1-69	Thomas Buckley	142 Valley Forge Pl,Orangeburg, NY 10962
392489	74.17-1-70	Jeffrey L Berger	141 Valley Forge Pl,Orangeburg, NY 10962
392489	74.17-1-71	Hal Skelley	140 Valley Forge Pl,Orangeburg, NY 10962
392489	74.17-1-72	Pevel O Santos	139 Penn Ct,Orangeburg, NY 10962
392489	74.17-1-73	Patrick Mc Ilmurray	138 Penn Ct,Orangeburg, NY 10962
392489	74.17-1-74	Gerald Verdicchio	137 Penn Ct,Orangeburg, NY 10962
392489	74.17-1-75	Jose Molina	136 Penn Ct,Orangeburg, NY 10962
392489	74.17-1-76	Martin Dolphin	135 Penn Ct,Orangeburg, NY 10962
392489	74.17-1-77	Meridian 1640 Inc	128 S Middletown Rd,Pearl River, NY 10965
392489	74.17-1-78	Yoonja Moon	74 Minuteman Cir,Orangeburg, NY 10962
392489	74.17-1-79	Rachel Leopold	75 Minute Man Cir,Orangeburg, NY 10962
392489	74.17-1-80	Mitchell D Shalom	76 Minuteman Cir,Orangeburg, NY 10962



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: September 28, 2022

Applicant: Verdicchio

Address: 137 Penn Ct, Orangeburg

RE: Application Made at: same

Chapter 43, Bulk table 3.12, Col 1 R-22, Col 2 Group I, Col 3 SFR, Col 9 rear yard minimum 45' with 0' proposed.

1 Variance required.

Section: 74.17 Block: 1 Lot: 74

Dear Verdicchio:

Please be advised that the Building Permit Application, which you submitted on

September 23, 2022, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.


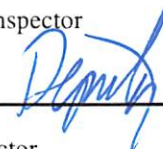
In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,


Richard Oliver
Deputy Building Inspector

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

 9/28/22
 9/28/22
Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

**PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.
APPLICATION FOR BUILDING / DEMOLITION PERMIT**

TOWN OF ORANGETOWN

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: _____ **OFFICIAL USE ONLY** **ACREAGE:** _____
Inspector: G. Kwan **Date App Received:** 9/23/22 **Received By:** UZ
Permit No. BUR-2022-72 **Date Issued:** _____
CO No. _____ **Date Issued:** _____
Permit Fee: \$492 **Ck#** 599 **Paid By:** Verdicchio
GIS Fee: \$20 **Ck#** _____ **Paid By:** _____
Stream Maintenance Fee **Ck #** _____ **Paid By:** _____
Additional Fee: _____ **Ck#** _____ **Date Paid** _____ **Paid By** RECEIVED
1st 6 mo. Ext.: _____ **Ck #** _____ **Exp. Date:** _____ **Paid By** SEP 23 2022
2nd 6 mo. Ext.: _____ **Ck #** _____ **Exp. Date:** _____ **Paid By** _____

TOWN OF ORANGETOWN
BUILDING DEPARTMENT

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application,
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 137 Penn Ct Orangeburg
Section: 74.17 **Block:** 1 **Lot:** 74
Property Owner: Gerald Verdicchio
Mailing Address: 137 Penn Ct Orangeburg, NY 10962
Email: _____ **Phone #:** 845-642-8795
Lessee (Business Name): _____
Mailing Address: _____
Email: _____ **Phone #:** _____
Type of Business /Use: _____
Contact Person: Gerald Verdicchio **Relation to Project:** Owner
Email: debbie@view-finders.com **Phone#:** 845-642-8795
Architect/Engineer: Liborio Derario **NYS Lic #** 019490
Address: Old Sea Captains House St. 414 **Phone#:** 845-351-2100
Builder/General Contractor: _____ **RC Lic #** _____
Address: _____ **Phone#:** _____
Plumber: _____ **RC Lic #** _____
Address: _____ **Phone#:** _____
Electrician: _____ **RC Lic #:** _____
Address: _____ **Phone#:** _____
Heat/Cooling: _____ **RC Lic#:** _____
Address: _____ **Phone#:** _____

Existing use of structure or land: _____
Proposed Project Description: Legalize existing above ground pool + deck

Proposed Square Footage: _____ **Estimated Construction Value (\$):** 20,000 -

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____

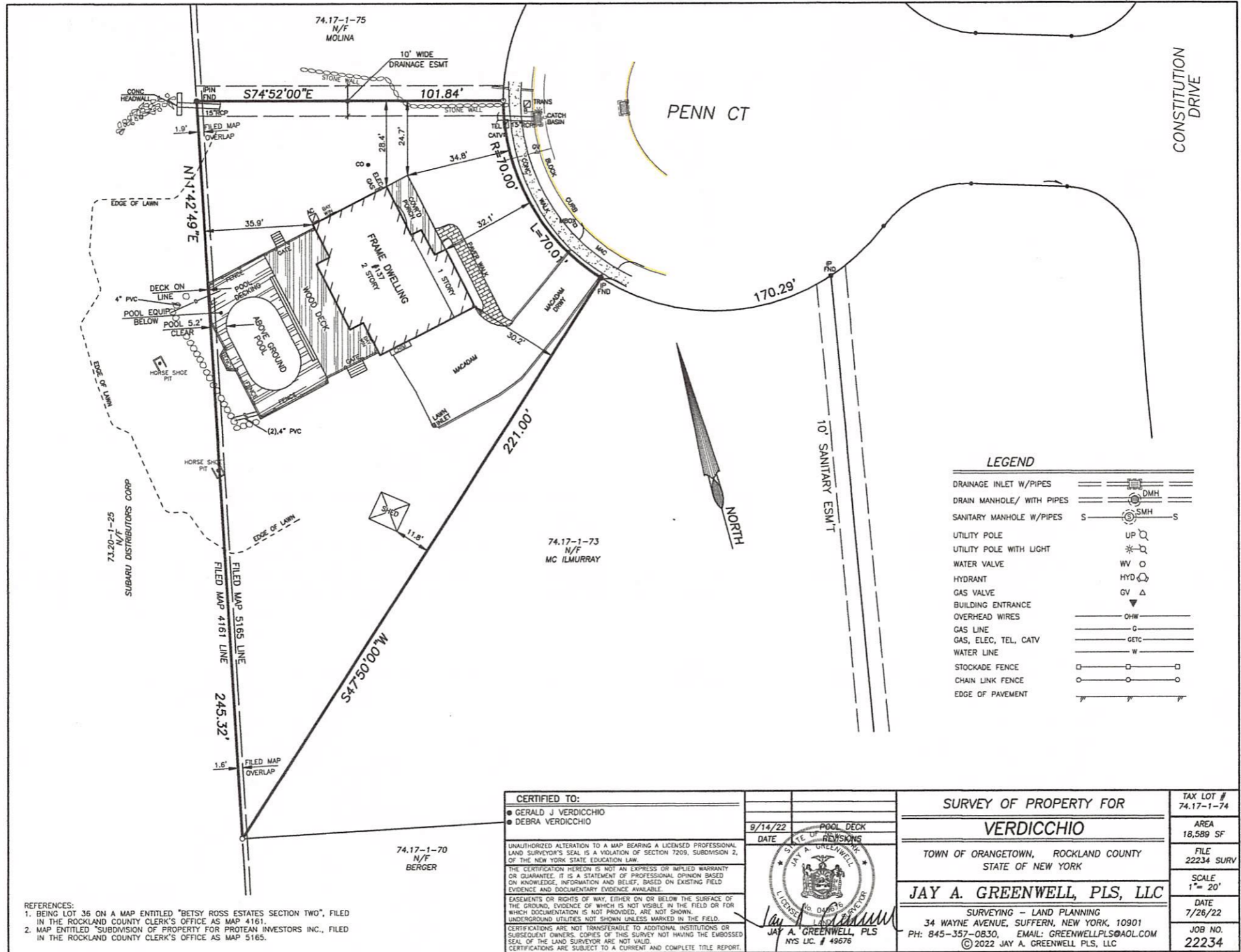
PERMIT REFERRED / DENIED FOR:
Chapter 43, Table 3.12, Col 1 R-20 District, Col 2 (except)
 Col 3 sFR, Column 9 Minimum rear yard setback 45' with
 0' proposed. Enclosure required.

Deputy 9/28/22

SCANNED

SEP 23 2022

FOR OFFICE USE ONLY SECTION BLOCK LOT NAME PERMIT#



ZONING BOARD OF APPEALS
Meeting Of:
OCT 19 2022
Town Of Orangetown

LEGEND

DRAINAGE INLET W/PIPES	
DRAIN MANHOLE/ WITH PIPES	
SANITARY MANHOLE W/PIPES	
UTILITY POLE	
UTILITY POLE WITH LIGHT	
WATER VALVE	
HYDRANT	
GAS VALVE	
BUILDING ENTRANCE	
OVERHEAD WIRES	
GAS LINE	
GAS, ELEC, TEL, CATV	
WATER LINE	
STOCKADE FENCE	
CHAIN LINK FENCE	
EDGE OF PAVEMENT	

CERTIFIED TO:
 ● GERALD J VERDICCHIO
 ● DEBRA VERDICCHIO

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

THE CERTIFICATION HEREON IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE.

EASEMENTS OR RIGHTS OF WAY, EITHER ON OR BELOW THE SURFACE OF THE GROUND, EVIDENCE OF WHICH IS NOT VISIBLE IN THE FIELD OR FOR WHICH DOCUMENTATION IS NOT PROVIDED, ARE NOT SHOWN.

UNDERGROUND UTILITIES NOT SHOWN UNLESS MARKED IN THE FIELD.

CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. COPIES OF THIS SURVEY NOT HAVING THE EMBOSSED SEAL OF THE LAND SURVEYOR ARE NOT VALID.

CERTIFICATIONS ARE SUBJECT TO A CURRENT AND COMPLETE TITLE REPORT.

9/14/22
DATE

POOL DECK
REVISIONS

JAY A. GREENWELL
LICENSE NO. 049676
LAND SURVEYOR

JAY A. GREENWELL, PLS
NYS LIC. # 49676

SURVEY OF PROPERTY FOR		TAX LOT #
VERDICCHIO		74.17-1-74
TOWN OF ORANGETOWN, ROCKLAND COUNTY STATE OF NEW YORK		AREA 18,589 SF
JAY A. GREENWELL, PLS, LLC		FILE 22234 SURV
SURVEYING - LAND PLANNING 34 WAYNE AVENUE, SUFFERN, NEW YORK, 10901 PH: 845-357-0830, EMAIL: GREENWELLPLS@AOL.COM © 2022 JAY A. GREENWELL PLS, LLC		SCALE 1" = 20'
		DATE 7/26/22
		JOB NO. 22234

REFERENCES:
 1. BEING LOT 36 ON A MAP ENTITLED "BETSY ROSS ESTATES SECTION TWO", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP 4161.
 2. MAP ENTITLED "SUBDIVISION OF PROPERTY FOR PROTEAN INVESTORS INC.", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP 5165.