

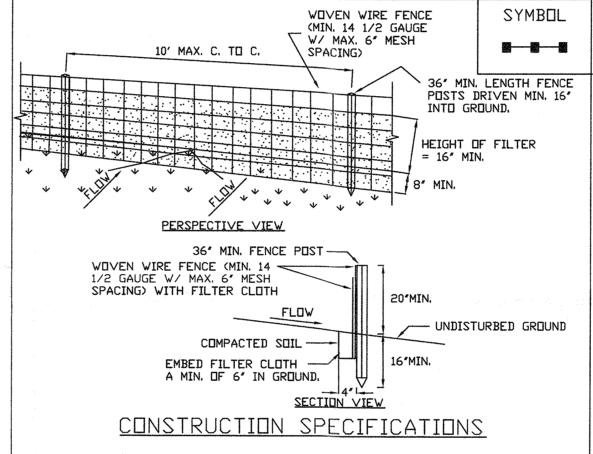
CONSTRUCTION SPECIFICATIONS

- STONE SIZE USE 2' STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 LENGTH NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- 3. THICKNESS NOT LESS THAN SIX (6) INCHES,
- 4. WIDTH TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS, TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- 5. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- 6. SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CON-STRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS
- IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.

 7. MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

STABILIZED
CONSTRUCTION
ENTRANCE



- 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X,
- MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- 4. PREFABRICATED UNITS SHALL BE GEDFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN

"BULGES" DEVELOP IN THE SILT FENCE.

U.S. DEPARTMENT OF AGRICULTURE

NATURAL RESOURCES CONSERVATION SERVICE

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TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE DROUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

INSTALLATION NOTES

- 1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
- 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

SOIL STOCKPILING N.T.S.

CONSTRUCTION NOTES:

- 1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES GAS, WATER, ELECTRICAL BEFORE THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53)
- (FORMERLY CODE 53)

 2. EROSION CONTROL MEASURES, INCLUDING SILT FENCE, SHALL BE REQUIRED AS DIRECTED BY THE TOWN.
- 3. ALL PROPERTY DISTURBED IN THE R.O.W. OR ON PRIVATE LANDS, SHALL BE RESTORED TO NEW CONDITIONS.

 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL
- APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.

 7. UNDERGROUND GAS AND ELECTRIC SHALL BE AS REQUIRED BY THE TOWN AND LOCAL POWER COMPANY.
- EROSION AND SEDIMENT CONTROL NOTES:

 1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION
- 2. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND PROCEDURES SHALL COMPLY WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF ORANGETOWN.
- 3. PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE APPROPRIATE LOCATIONS NOTED ON EROSION CONTROL PLAN. SILT FENCING SHALL BE INSTALLED AS DIRECTED BY THE OWNER'S REPRESENTATIVE IN THE FIELD AND INSTALLED AS PER THE INSTRUCTIONS OF THE MANUFACTURER. ADDITIONAL SILT FENCE MAY BE PLACED BY THE OWNER'S REPRESENTATIVE IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN OPERABLE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- 4. ALL FINISHED SLOPES AND ALL ROUGH CUT SLOPES TO REMAIN OPEN FOR EXTENDED PERIODS IMMEDIATELY TOPSOIL, SEED WITH A MIXTURE OF PERENNIAL RYE GRASS, ANNUAL RYE GRASS AND WINTER RYE AND MULCH WITH 6"
- 5. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEEDED, MULCHED AND STABILIZED WITH STAKED JUTE NETTING, UNLESS OTHERWISE NOTED.
- 6. ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED. IN ADDITION TO ALL SPECIFIED AND LOCATED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
- 7. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES, IN DRAINAGE SWALES OR IN WETLAND AREAS. SURROUND ALL STOCKPILE AREAS WITH SILT SCREEN AND SEED THEM WITH THE ANNUAL RYE GRASS.
- 8. ALL CATCH BASINS ARE TO BE PROTECTED WITH HAYBALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY

STABILIZED.

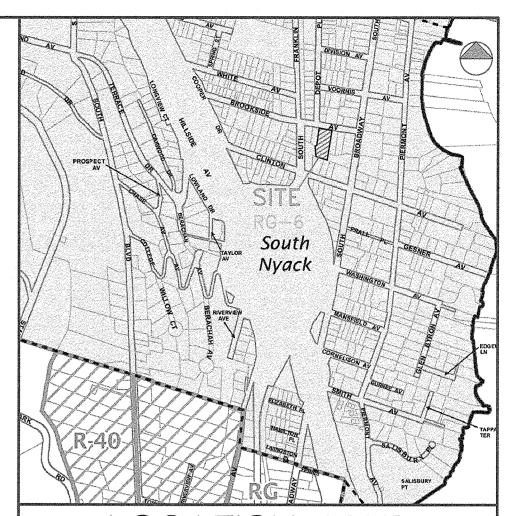
- 9. HAYBALES SHALL BE USED AT THE TOPS AND TOES OF SLOPES, AS NECESSARY, TO COLLECT SILT AND DIVERT FLOWS. SILT SCREENS WILL BE USED IN AREAS OF UNCONCENTRATED FLOWS TO COLLECT SILT. HAYBALES AND SILT SCREEN ON PLANS MAY BE AUGMENTED IN THE FIELD AS NECESSARY.
- TEMPORARILY STOCKPILED ON HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH, AFTER BACK—FILLING, AREA IS TO BE TOPSOILED, SEEDED, AND MULCHED.

 11. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT

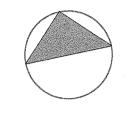
10. UTILITY LINE EXCAVATED MATERIAL SHALL BE

- LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.

 12. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY
- 12. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE—HALF THE HEIGHT OF THE BARRIER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION.
- 13. INSTALL GRAVEL BED AT CONSTRUCTION ENTRANCE TO SERVE AS ANTI-TRACKING PAD. GRAVEL BED TO BE 2" DIAMETER CRUSHED STONE 6" DEEP, OVER GEOTEXTILE SUPPORT FABRIC. ANTI-TRACKING PADS TO MEASURE 50' LENGTH BY THE ROADWAY WIDTH.
- 14. BLASTING AREAS ROCK, RIPPING WILL BE USED WHEREVER POSSIBLE. BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE TOWN OF ORANGETOWN.



LOCATION MAP SCALE: I"=850'



0 10 20 SCALE IN FEET

LEGEND

EXISTING PROPOSED

STONE WALL

— 294 — CONTOUR LINE

IMPERVIOLIS SCHEDLIE

11VII ER V1000	
EX. IMPERVIOUS TO REMAIN	2,018 S.F.
EX. IMPERVIOUS TO BE REMOVED	2,213 S.F.
PROPOSED IMPERVIOUS	1,451 S.F.

NOTE: REDUCTION OF IMPERVIOUS AREA: 762 S.F.

RALPH G. MASTROMONACO, P.E., P.C. Consulting Engineers
13 Dove Court, Croton-on-Hudson, New York 10520
(914) 271-4762 (914) 271-2820 Fax



SITE PLAN

AND

EROSION CONTROL PLAN

PREPARED FOR

NEBOT RESIDENCE

I BROOKSIDE AVENUE

VILLAGE OF SOUTH NYACK

TOWN OF ORANGETOWN

ROCKLAND COUNTY, NY

JULY 1, 2022

SHEET I OF I SHEETS

REVISED: 8/3/2022

NEBOT RESIDENCE RENOVATION

11 BROOKSIDE AVENUE SOUTH NYACK NEW YORK 10960

ABBREVIATIONS

ANCHOR BOLT ACOUSTICAL TILE DIM DIMENSION I.D. ABOVE FINISHED FLOOR DN DOWN ADD. **ADDENDUM** DRAWING INT AIR CONDITIONING D.F. DRINKING FOUNTAIN **ALTERNATE** ALUM ALUMINUM ELECTRICAL ANOD **ANODIZED** ELEC. WATER COOLER ARCH **ARCHITECTURA ELEV** ELEVATION EQ EQUAL BASEMENT EXP EXPOSED **BITUMINOUS** EXTERIOR EXP. JT. EXPANSION JOINT BLOCKING MTL BD BOARD BLDG BUILDING FINISHED FLOOR ELEV. M.O. F.P.S.C. FIRE-PROOF, SELF-CLOSING MECH CIP CAST IN PLACE FLR FLOOR CARPET FOOTING CATCH BASIN FOUNDATION NOM CLG CEILING N.I.C. CEM CEMENT GALVANIZED CERAMIC TILE GAUGE COL GYP. BD. GYPSUM BOARD COLUMN CONC CONCRETE O.C. HD. WD. HARDWOOD CMU CONC. MASONRY UNIT O.H. CONST CONSTRUCTION HDR HEADER CONTINUOUS HEIGHT

INCLUDING

INSULATION

INTERIOR

LAMINATE

LAVATORY

MASONRY

MECHANICAL

MINIMUM

NOMINAL

LINEAR FOOT

MANUFACTURER

MASONRY OPENING

NOT IN CONTRACT

OUTSIDE AIR INTAKE

OUTSIDE DIAMETER

OPTION OR OPTIONAL

REFERENCE SYMBOLS

→ GRID LINES

INTERIOR ELEVATION

-ROOM NAME SYMBOL

2020 NYS RESIDENTIAL CODE, CHAPTER 4

(REFER TO PLANS FOR PROJECT INSULATION

-THE BUILDING THERMAL ENVELOPE SHALL BE

-WALLS AND CEILINGS SEPERATING

-ALL JOINTS, SEAMS, AND PENETRATIONS

-JOINTS AROUND DOORS/WINDOWS AND

-RIM JOIST JUNCTION, SILL PILATES AND

-BUILDING ENVELOPE AIR TIGHTNESS SHALL BE

TESTED IN ACCORDANCE WITH ASHREA/ASTM

- PROVIDE A MINIMUM OF ONE THERMOSTATE

-DUCTS IN ATTIC SHALL BE INSULATED TO MIN.

R-8. ALL OTHER DUCTS SHALL BE INSULATED TO

COMPLETELY WITHIN THE BUILDING THERMAL

-ALL DUCTS SHALL BE SEALED AND COMPLY

-HOTAND COLD WATER PIPES SHALL BE

SHOWING COMPLIANCE WITH ABOVE.

WITH M1601.3.1 OF 2020 NYS RESIDENTIAL CODE

-HEATING AND COOLING EQUIPMENT SHALL BE

SIZED IN ACCORDANCE WITH ACCA MANUAL J.

LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY

GC SHALL PROVIDE SYSTEM SPECIFICATIONS

-A MINIMUM OF 50% OF LAMPS SHALL BE IN

CAPABLE OF AUTOMATICALLY ADJUSTING

SPACE TEMPERATURE PER 2020 NYS

MIN. R-6 (EXCEPT DUCTS LOCATED

DURABLY SEALED TO LIMIT INFILTRATION.

-UTILITY PENETRATIONS

CONDITIONED SPACE

-ATTIC ACCESS OPENINGS

CONDITIONED FROM NON

100 ROOM REFERENCE I.D.

RESIDENTIAL ENERGY EFFICIENCY

PRESCRIPTIVE REQUIREMENTS:

FENESTRATION U-FACTOR- 0.35

CLIMATE ZONE 4

CEILING R-VALUE- 49

WALL R-VALUE- 20

FLOOR R-VALUE- 19

THEIR FRAMING

RESIDENTIAL CODE.

INSULTED TO MIN, R-3

ENVELOPE)

VALUES)

ENERGY CODE COMPLIANCE

SHEET NUMBER

GRID SYMBOL

NOT TO SCALE

ON CENTER

OVERHANG

OPENING

OPPOSITE

INVERT

INSIDE DIAMETER

P.LAM

PLWD

P.S.I.

POL

RCP

REINF

REV

REQ

R.O.

SIM

SQ

S.Y.

STD

STL

SYM

- DOOR LOCATION SYMBOL

DOOR REFERENCE I.D.

SPEC

RE

PLAS

PLASTIC LAMINATE

POLYVINYL CHLORIDE

POUNDS PER CUBIT FOOT

POUNDS PER SQUARE FOOT

POUNDS PER SQUARE INCH

REFLECTED CEILING PLAN

PLYWOOD

POLISHED

QUARRY TILE

REFERENCE

REINFORCED

REVISION

RISER

ROOM

SIMILAR

SQUARE

REQUIRED

ROUGH OPENING

SPECIFICATION

SQUARE FOOT

SQUARE YARD

STANDARD

STEEL

SYMBOL

STAINLESS STEEL

- BUILDING SECTION

BLOW-UP DETAIL

WINDOW LOCATION SYMBOL WINDOW REFERENCE I.D.

SPEED (MPH)

30 PSF 115 MPH - 120 MPH

SHEET NUMBER

REVISION SYMBOL

GROUND

SNOW

LOAD

REVISION I.D.

SHEET NUMBER

PLASTER

C.Y. CUBIC YARD HOSE BIB NEW INTERIOR FINISHES SHALL COMPLY WITH 2020 NYS RESIDENTIAL CODE -INTERIOR WALL AND CEILING FINISHES & CORRIDOR FINISHES SHALL BE A MIN CLASS "C" FLAME SPREAD AND SMOKE DEVELOPMENT INDEX -EXIT PASSAGE FINISHES SHALL BE A MIN CLASS "B" FLAME SPREAD AND SMOKE DEVELOPMENT INDEX

HOLLOW METAL

-INTERIOR FLOOR FINISHES SHALL COMPLY WITH THE DOC FF 1 "PILL TEST" -EXTINGUISHERS SHALL BE SELECTED, INSTALLED, MAINTAINED IN

ACCORDANCE WITH NFPA 10. -PROVIDE (1) 2-A, EXTINGUISHER FOR EACH RETAIL SPACE. AND (2) 2-A. EXTINGUISHER FOR WAREHOUSE SPACE -EXISTING SPRINKLER SYSTEM SHALL BE MODIFIED PER NEW CONSTRUCTION TO PROVIDE THE REQUIRED COVERAGE FOR NEWLY CREATED SPACES. ALL SPRINKLER WORK/MODIFICATIONS SHALL BE DONE IN ACCORDANCE WITH NFPA

CUBIC FEET

-NEW MECHANICAL WORK AND ALTERATIONS TO EXISTING MECHANICAL INSTALLATIONS SHALL CONFORM TO CHAPTER 12 OF THE 2020 NYS RESIDENTIAL CODE -HEATING AND COOLING LOADS SHALL BE DETERMINED IN ACCORDANCE WITH

THE PROCEDURES DESCRIBED IN THE ASHREA/ACCA 183. -HVAC EQUIPMENT SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENT OF 2020 NYS RESIDENTIAL CODE. THE HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING A MINIMUM INDOOR

TEMPERATURE OF 68 DEG. F AT A POINT 3'-0" ABOVE THE FLOOR ON THE DESIGN -G.C. SHALL PROVIDE SYSTEM SPECIFICATIONS FOR ARCHITECT REVIEW. -EACH

HEATING/COOLING SYSTEM SHALL BE PROVIDED WITH THERMOSTATIC -SUPPLY AND RETURN AIR DUCTS IN UNCONDITIONED SPACES SHALL BE

INSULATED WITH MIN. R-5 INSULATION -ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. - PROPER CLEARANCES SHALL BE MAINTAINED TO ALL INSPECTION, SERVICE, REPAIR, OR REPLACEMENT WITHOUT REMOVING ELEMENTS OF PERMANENT CONSTRUCTION.

SERVICE WATER HEATING EQUIPMENT SHALL MEET THE MINIMUM EFFICIENCY REQUIREMENT OF 2020 NYS RESIDENTIAL CODE. -ALL PLUMBING FIXTURES AND DRAINS USED TO RECIEVE OR DISCHARGE LIQUID WASTE SHALL BE DIRECTLY CONNECTED TO THE SANITARY DRAINAGE

SYSTEM IN ACCORDANCE WITH 2020 NYS RESIDENTIAL CODE. -ALL PLUMBING FIXTURES AND APPLIANCES USING WATER SHALL BE CONNECTED TO THE WATER SUPPLY SYSTEM IN ACCORDANCE WITH 2015 IPC. -THE SUPPLY LINES AND FITTINGS FOR EVERY PLUMBING FIXTURE SHALL BE INSTALLED SO AS TO PREVENT BACKFLOW IN ACCORDANCE WITH ASME A 112.18.1 -STRAINER PLATES AND DRAIN INLETS SHALL BE DESIGNED AND INSTALLED SO THAT ALL OPENINGS ARE NOT GREATER THEN 0.5" IN LEAST

- OPENINGS FOR PIPES MADE IN FLOORS, WALL, AND CEILINGS SHALL BE CLOSED AND PROTECTED BY INSTALLATION OF APPROVED METAL COLLARS THAT ARE FASTENED TO THE STRUCTURE. EXTERIOR WALL AND ROOF OPENINGS SHALL BE MADE WATER TIGHT WITH APPROVED FLASHING. -BURIED PIPING SHALL BE SUPPORTED THROUGHOUT ITS ENTIRE LENGTH. PIPE

TRENCHES SHALL BE LINED WITH FINE GRAVEL -THE DEISGN OF WATER DISTRIBUTION SYSTEM SHALL CONFORM TO ACCEPTED ENGINEERING PRACTICE. METHODS UTILIZED TO DETERMINE PIPE SIZES SHALL -WATER SERVICE AND DISTRIBUTION PIPE SHALL CONFORM TO NSF 61.

NEW ELECTRICAL COMPONENT, EQUIPMENT, AND SYSTEMS AND ALTERATIONS TO EXISTING ELECTRICAL INSTALLATIONS SHALL CONFORM TO NFPA 70.

NEW FUEL GAS WORK AND ALTERATIONS TO EXISTING FUEL GAS INSTALLATIONS SHALL CONFORM TO THE 2020 NYS RESIDENTIAL CODE.

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE 2020 NYS ALL NATIONAL, STATE, AND LOCAL CODES. **TONGUE AND GROOVE** 2. THIS LAYOUT WAS BASED ON THE GIVEN CONFIGURATION AND FEATURES OF THE EXISITNG STRUCTURE. DIMENSIONS ARE GIVEN AS GUIDES TO ESTABLISH THE LAYOUT WITHIN THE EXISTING STRUCTURE. THE GENERAL CONTRACTOR & EACH

TOP OF SLAB T.O.STL TOP OF STEEL TOP OF WALL TREAD (S) SUBCONTRACTOR SHALL CAREFULLY SURVEY AND **TYPICAL EXAMINE THE EXISTING STRUCTURE IN ESTABLISHING** TOP OF CURB LAYOUT OF THE WORK IN ORDER TO ASSURE PROPER FIT UNDERWRITERS LABORATORY

TELEPHONE

THICKNESS

URINAL

VERTICAL

WAINSCOT

WEIGHT

WOOD

WELDED WIRE FABRIC

PARTIAL SECTION

SHEET NUMBER

EXTERIOR ELEVATION

- SHEET NUMBER

ELEVATION LEVEL LINE

WIND DESIGN

TOP AND BOTTOM

TELEVISION

TELE

TV

T&B

T.O.S.

T.O.W.

T.O.C.

UNO

V.C.T.

WC

WR

WCOT

AND ALIGNMENT OF THE NEW WORK WITH PROPER RELATIONSHIP TO EXISTING FEATURES. WHEN UNLESS NOTED OTHERWISE ESTABLISHING LAYOUT. CONTRACTOR SHALL CONTACT ARCHITECT FOR APPROVAL BEFORE COMMENCING WITH VINYL COMPOSITION TILE 3. BEFORE SUBMITTING A PROPOSAL THE CONTRACTOR VAPOR BARRIER

SHALL VISIT THE PREMISES, FAMILIARIZE THEMSELVES W/ EXISTING CONDITIONS & SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK & THE WATER CLOSET DIFFICULTIES THAT ATTEND TO ITS EXECUTION. BE IN STRICT COMPLIANCE WITH NOT ONLY THE WATERPROOFING WATER RESISTANT WEATHERSTRIPPING

MANUFACTURERS' PRINTED INSTRUCTIONS, BUT ALSO THE STANDARDS OF RECOGNIZED AGENCIES OR ASSOCIATIONS. 5. ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE

6. PROVIDE TEMPORARY PROTECTION OF MATERIALS AND EQUIPMENT.

7. CONTRACTOR SHALL PROTECT EXISTING PREMISES FROM DAMAGE DURING CONSTRUCTION. 8. IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB. ANY OMISSIONS IN THESE GENERAL INSTRUCTIONS OR THE OUTLINE OF WORK ARE NOT TO BE ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH CONSTRUED AS REMOVING SUCH ITEMS FROM THE RESPONSIBILITIES OF THE CONTRACTOR.

9. TIME REQUIRED TO COMPLETE THE PROJECT SHALL BE STATED IN CONTRACTOR'S PROPOSAL. AFTER AWARD 20. ALL CONSTRUCTION AND SUBCONTRACTED WORK OF JOB CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE FOR REVIEW, INDICATING THE SEQUENCE OF THE STATE WHERE THE WORK IS BEING EXECUTED. OPERATIONS AND TIME REQUIRED FOR EACH, ESTABLISHING A TARGET DATE.

10. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES. CONTRACTOR SHALL KEEP SUFFICIENT WORKMEN ON THE JOB AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTERESTS OF THE PROJECT.

11. NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS RESIDENTIAL CODE AND LOCAL CODES. ALL ELECTRICAL, SUBMITTED IN WRITING TO ARCHITECT/OWNER & PLUMBING. AND MECHANICAL WORK SHALL CONFORM TO APPROVED BY ARCHITECT/OWNER

12. CONTRACTOR SHALL PROVIDE PROPER PROTECTION FOR ALL EXISTING WORK, FURNISHINGS AND FIXTURES LIKELY TO BE DAMAGED. WHEN EXTERIOR OPENINGS ARE MADE IN EXISTING WORK THEY SHALL BE COVERED WITH WATERTIGHT PROTECTION AT THE END OF THE DAY'S WORK. 13. PATCH, REPAIR AND REPLACE ALL EXISTING WALLS. CEILINGS AND FLOORS DAMAGED DUE TO

NEW CONSTRUCTION. 14. STARTING TIME AND COMPLETION FOR CONSTRUCTION IS TO BE COORDINATED WITH OWNER AND AGREED UPON BY BOTH PARTIES. 15. CONTRACTOR IS EXPECTED TO WORK ON JOB WITHOUT ANY UNREASONABLE DELAY. IF A DELAY IS TO OCCUR, NOTIFICATION TO THE OWNER SHALL BE

16. WORK PERFORMED OVER ANY SURFACE CONSTITUTES ACCEPTANCE OF THAT SURFACE FOR THE SPECIFIED QUALITY OF THE WORK BEING 4. MATERIALS, WORKMANSHIP AND INSTALLATION SHALL PERFORMED THEREON.

17. THE CONTRACTOR IS TO NOTIFY ARCHITECT IN WRITING OF ANY ADAPTATIONS TO THESE DRAWINGS OR SPECIFICATIONS REQUIRED BY LOCAL LIFE AND SAFETY CODES OR ANY OTHER GOVERNING AGENCY 18. SINCE IT IS NOT POSSIBLE TO INDICATE ON THE DRAWINGS ALL THE EXISTING WORK TO BE REMOVED BY DASHED LINES OR NOTES, THE CONTRACTOR IS ADVISED TO ACQUAINT HIMSELF WITH THE ACTUAL CONDITIONS AT LOCATIONS WHERE ALTERATIONS

19. THE CONTRACTOR SHALL REPORT TO ARCHITECT OR OTHERWISE AFFECT OR PREVENT THE PROPER **EXECUTION AND COMPLETION OF THE WORK OF THIS** CONTRACT.

IS TO BE PERFORMED BY CONTRACTORS LICENSED IN 21. ALL CONTRACTORS ARE RESPONSIBLE TO CONFORM TO THE OWNER'S INSURANCE REQUIREMENTS AND TO PROVIDE A CERT. OF INSURANCE TO ALL PARTIES UPON AWARD OF

22. ALL CONTRACTORS ARE TO CONFORM WITH THE BUILDING OWNER'S REQUIREMENTS FOR DELIVERY TO THE SITE AND STORAGE OF ALL CONSTRUCTION

YES

23. REMOVE DEBRIS AND ABANDONED ITEMS FROM AREA AND FROM CONCEALED SPACES. CONTRACTOR TO COORDINATE REMOVAL OF DEBRIS FROM SITE SO THAT IT DOES NOT INTERFERE WITH OWNER'S ACTIVITIES.

24. PROPERLY PREPARE ALL SURFACES BEFORE APPLICATION OF FINISHES, IN STRICT ACCORDANCE WITH THE PRINTED RECOMMENDATIONS 25. EXECUTE PRIOR TO FINAL INSPECTION: CLEAN INTERIOR AND EXTERIOR SURFACES EXPOSED TO VIEW, REMOVE TEMPORARY

LABELS, STAINS AND FOREIGN SUBSTANCES. CLEAN FIXTURES AND CABINETRY TO A SANITARY CONDITION. 26. PERMITS: A. GENERAL CONTRACTOR / SUBCONTRACTOR IS RESPONSIBLE FOR ALL INFORMATION AND DESIGN (INCLUDING ELECTRICAL. SPRINKLER, AND MECHANICAL) REQUIRED BY LOCAL BUILDING OFFICIAL TO OBTAIN ALL NECESSARY BUILDING PERMITS FOR

CONSTRUCTION. B. GENERAL CONTRACTOR SHALL PAY FOR ALL PERMITS REQUIRED, UNLESS OTHERWISE SPECIFIED BY OWNER. C. GENERAL CONTRACTOR SHALL OBTAIN FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK AND SHALL FORWARD SAME TO OWNER.

27. CLEANING: A. MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATIONS OF WASTE, DEBRIS AND RUBBISH, CAUSED BY OPERATIONS.

B. AT COMPLETION OF WORK, REMOVE WASTE MATERIALS, RUBBISH, TOOLS, EQUIPMENT, MACHINERY AND SURPLUS MATERIALS AND CLEAN ALL SIGHT-EXPOSED SURFACES. LEAVE PROJECT CLEAN AND READY FOR OCCUPANCY.

A. CONTRACTOR SHALL WARRANTY THE WORK WILL BE FREE FROM DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER THE DATE OF OWNER'S ACCEPTANCE OR WITHIN SUCH PERIOD OF TIME AS MAY BE PRESCRIBED BY THE TERMS OF ANY APPLICABLE SPECIAL WARRANTY REQUIRED BY THE CONTRACT DOCUMENTS.

ABBUTTING NEIGHBORS

66.54-1-32

66.54-1-31

66.54-1-30

66.54-1-28

66.54-1-27

66.54-1-34.1

66.54-1-34.2

66.62-1-1

66.62-1-2

66.62-1-3

66.54-1-26

66.54-1-24

66.54-1-23

66.54-1-22

66.53-2-34

Thomas Fleischman

Timothy Voell

Lauren Doner

Scott Louis

Minh Uong

Kendol Leader

Diane Churchill

Jeffrey Hirsch

Paul Richards

Pierre Durand

Anthony Del Regno

Zachary Groendyk

Christopher Yates

90 Clinton Street Corp Attn: Bernard Weintraub

Rockny Realty S Broadway LLC Attn: Gilbert Musinger

29. CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN **OBSERVATIONS HAS SATISFIED HIMSELF AS TO** THE NATURE AND LOCATION OF THE WORK; THE CHARACTER, QUALITY, AND QUANTITY OF MATERIALS; THE DIFFICULTIES LIKELY TO BE ENCOUNTERED AND OTHER ITEMS FOUND ON THE

30. THE CONTRACTORS' EXPERIENCE, EXPERTISE AND PROFESSIONAL JUDGMENT SHALL NOT BE DISREGARDED DURING THE CONSTRUCTION PROCESS. THE CONTRACTORS' INPUT, COMMENTS AND RECOMMENDATIONS WILL BE WELCOMED AND EXPECTED BY THE OWNER AND THE ARCHITECT. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED AND EMBRACED IF THEY HAVE MERIT AND A BETTER RESULT CAN BE ACHIEVED. SUCH CHANGES MAY NOT TAKE PLACE WITHOUT THE EXPRESS APPROVAL OF THE ARCHITECT.

188 So Broadway, So Nyack, NY 10960

7 Brookside Ave., So Nyack, NY 10960

9 Brookside Ave., So Nyack, NY 10960

15 Brookside Ave., So Nyack, NY 10960

17 Brookside Ave., So Nyack, NY 10960

90 Clinton Ave., So Nyack, NY 10960

88 Clinton Ave., So Nyack, NY 10960

84 Clinton Ave., So Nyack, NY 10960

127 Depot Pl., So Nyack, NY 10960

63 N Broadway, Nyack, NY 10960

128 Depot Pl., So Nyack, NY 10960

192 S. Broadway, So Nyack, NY 10960

18 Brookside Ave., So Nyack, NY 10960

8 Friendship St., Tivoli, NY 12583

9 Vine St., Nyack, NY 10960

Andrea Lynn Waronker 10 Brookside Ave., So Nyack, NY 10960

ISSUED FOR PLANNING BOARD REVIEW

PROJECT NAME:

NEBOT RESIDENCE RENOVATION

Michael Piccirillo Architecture

DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURANCY, OR CONTACT ARCHITECT. CONTACT ARCHITECT

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS

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A VIOLATION OF NEW YORK STATE EDUCATION LAW.

F THERE ARE ANY DISCECPENCIES

T-100 TITLE SHEET, NOTES

SP-1 SITE PLAN, ZONING DATA

A-050 DEMOLITION PLANS, SCHEDULES

A-200 ELEVATIONS / SECTIONS, DETAILS

MICHAEL PICCIRILLO ARCHITECTURE PLLC

SHEET INDEX

A-100 FLOOR PLANS

S-100 FRAMING PLANS

11 BROOKSIDE AVENUE SOUTH NYACK, NY 10960

ARCHITECT / APPLICANT:

YORKTOWN HEIGHTS, NY 10598

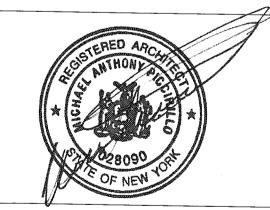
345 KEAR STREET

A-150 NOTES A-151 POOL NOTES

ERIC NEBOT

PROJECT ADDRESS:

11 BOOKSIDE AVENUE SOUTH NYACK, NY 10690



345 KEAR STREET SUITE #203 YORKTOWN HEIGHTS, NEW YORK 10598

> TELEPHONE: 914-368-9838 FACSIMILE: 914-368-9839 michael@mpiccirilloarchitect.com www.mpiccirilloarchitect.com

SCALE: DRAWN BY:

CHK'D BY: 1 OF 11

01-05-22

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA TABLE R301.2(1) SUBJECT TO DAMAGE FROM WINTER | ICE BARRIER FLOOD DESIGN TOPO SPECIAL WINDBORNE DESIGN UNDERLAYMANT FREEZING ANNUAL HAZARDS | CATEGORY WEATHERING TERMITE TEMP REQUIREMENT FFECTS WIND REGION DEBRIS ZONE INDEX TEMP MODERATE 1500 OR SEVERE 42"

HEAVY

SMOKE ALARMS/ CARBON MONOXIDE ALARMS ENERGY CODE NOTE: 1. SMOKE DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS, ADJACENT HALL, AND ONE ON

EACH STORY OF DWELLING PER 2020 NYS -ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING **EQUIPMENT PROVISIONS OF NFPA 72.**

-ALL SMOKE DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITHAL LL INTERVENING DOORS CLOSED. ALL SMOKE DETECTORS SHALL BE INSTALLED PER THE 2020 NYS RESIDENTIAL CODE, SECTION R314. 2. PROVIDE CARBON MONOXIDE DETECTORS PER

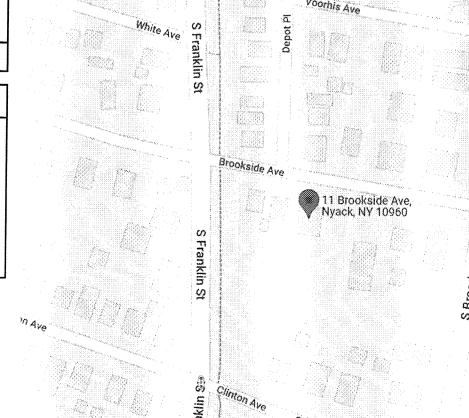
SECTION R315. 3. PROVIDE FIREBLOCKING PER THE 2020 NYS RESIDENTIAL CODE, SECTION R602.8. PROVIDE FIRE BLOCKING IN WALL CAVITIES OR FURRED SPACES THAT EXCEED 8 FT IN HEIGHT, AROUND ALL PIPING, VENTS AND WIRING HOLES, ETC. 4. SMOKE ALARMS SHALL BE PERMITTED TO BE BATTERY OPERATED WHEN INSTALLED IN BUILDINGS WITHOUT COMMERCIAL POWER OR AN ON-SITE ELECTRICAL POWER SYSTEM, OR IN BUILDINGS WHERE EXISTING INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE AS PER APPENDIX J 504.2.1 OF THE 2020 NYS RESIDENTIAL CODE.

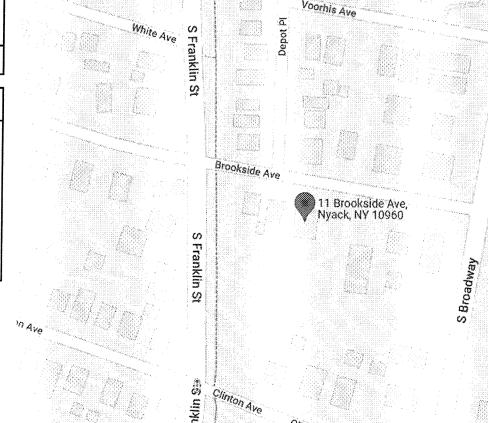
2015 THE INTERNATIONAL RESIDENTIAL CODE,

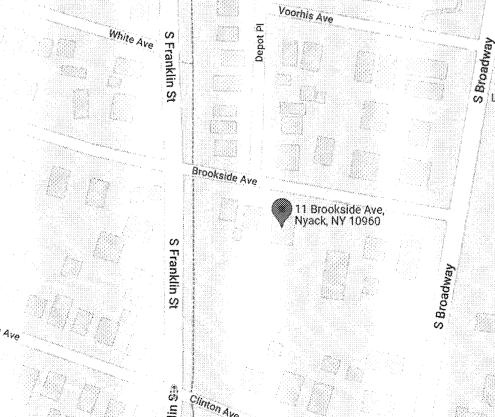
I CERTIFY THAT LAW A TICE SED PROFESSIONAL. I ALSO CERTIFY THAT TO THE PEST OF ANY PROPERTY OF ANY KNOWLEDGE THE BUILDING PLANS FOR THE PROPERTY OF ANY PROPER SIGNED:

THE BUILDING PLANS SHOWN HEREIN ARE IN COMPLIANCE WITH RESIDENTIAL CODE OF NEW YORK STATE. THE BUILDING PLANS DESCRIBED HEREIN COMPLIES WITH CHAPTER 3 INCLUDING PARAGRAPH R303.1 OF THE 2020 NYS RESIDENTIAL CODE. ALL HABITABLE ROOMS HAVE BEEN PROVIDED WITH AN

AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. THE MINIMUM OPERABLE AREA FOR VENTILATION TO THE OUTDOORS HAVE BEEN PROVIDED AT NOT LESS THAN 4 PERCENT OF FLOOR AREA.



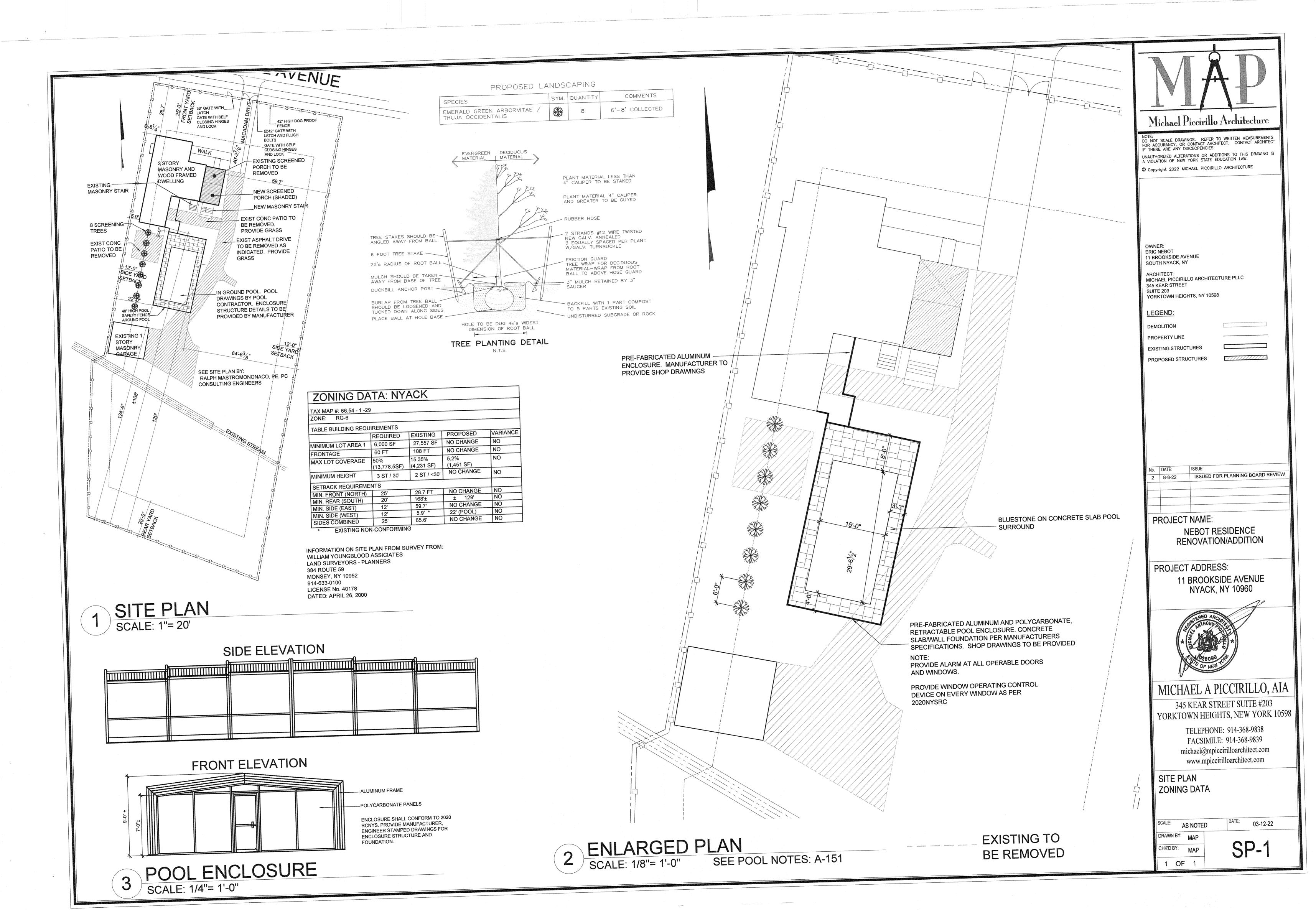


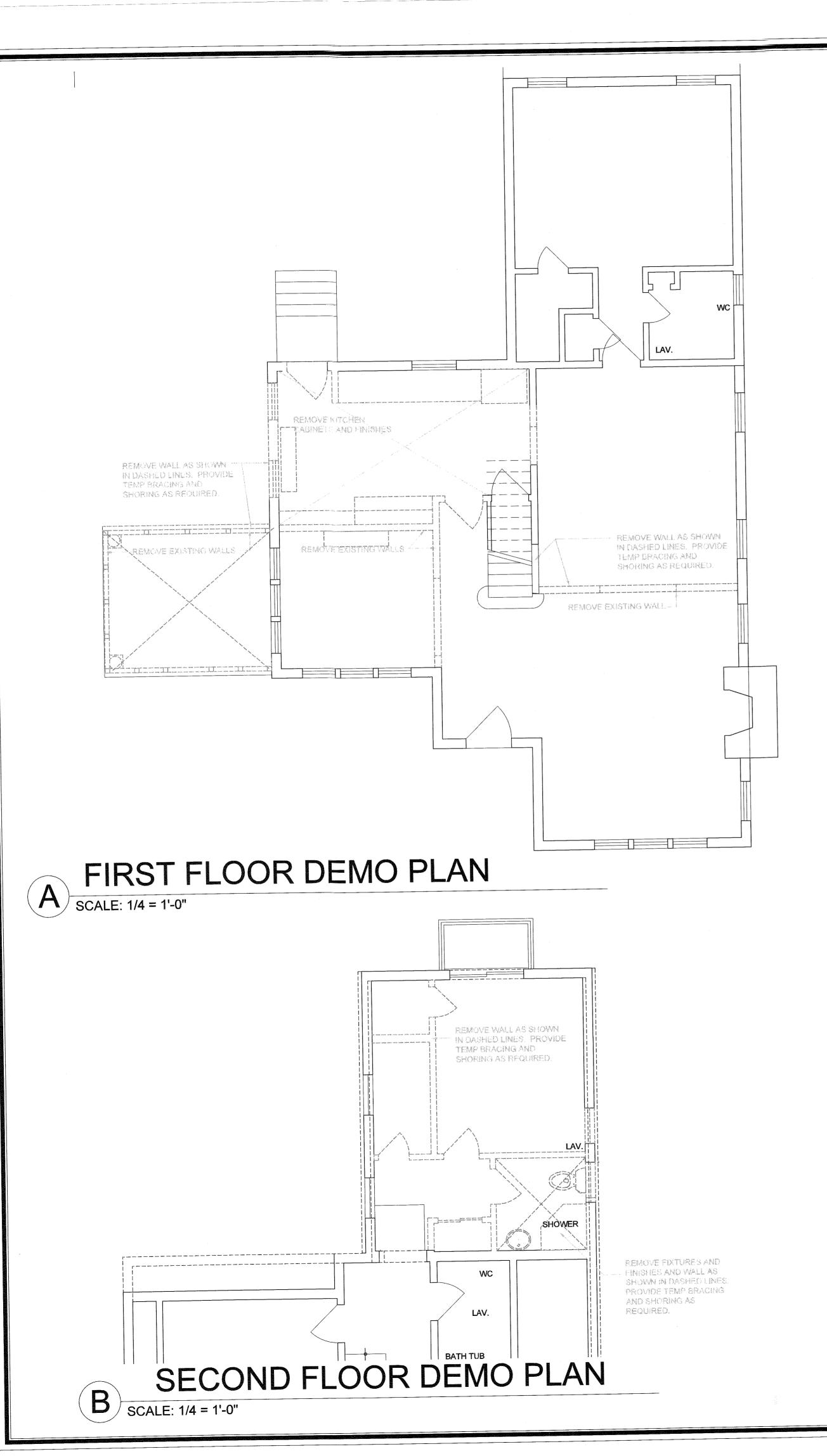


51.6

LESS







- 1. DEMOLITION AND REMOVAL OF INTERIOR AND EXTERIOR WALLS, CEILINGS, ROOF, ETC., AS INDICATED ON THE DRAWINGS.
- 2. LOCATE DUMPSTER AS INDICATED ON SITE PLAN.
- 3. DEMOLISH AND REMOVE INDICATED AREAS IN A SAFE AND ORDERLY WAY, REMOVING ELEMENTS IN SMALL PIECES. USE NO EXPLOSIVES.
- 4. PREVENT THE SPREAD OF DUST OR DEBRIS TO UNAFFECTED PARTS OF THE SITE, ADJACENT PROPERTIES, OR PUBLIC STREETS. CLEAN UP ANY DUST OR DEBRIS SPREAD BY DEMOLITION. 5. TAKE STEPS TO PROTECT EXISTING CONDITIONS TO REMAIN. REPAIR ANY DAMAGE AT NO COST TO THE OWNER. PROTECT AND MARK ALL NEW OPENINGS, WHICH COULD BE
- 6. PROVIDE TEMPORARY SUPPORT WHERE REQUIRED FOR REMOVAL OF STRUCTURAL
- 7. STORE THOSE ITEMS INDICATED TO BE SAVED SO THAT THEY ARE PROTECTED FROM
- DAMAGE BY WEATHER OR FURTHER CONSTRUCTION ACTIVITIES. 8. ALL ITEMS NOT BEING USED SHALL BE REMOVED. ANY AND ALL ITEMS PRESENTLY IN USE BUT WILL NOT BE UTILIZED SHALL BE REMOVED. G.C. SHALL V.I.F. ALL ITEMS CURRENTLY
- NOT IN USE FOR DEMOLITION. 9. EXISTING STRUCTURE SHALL BE MAINTAINED IN A WEATHER TIGHT CONDITION THROUGHOUT DEMOLITION. WHERE ITEMS DEEMED TO BE REMOVED SHALL EXPOSE INTERIOR OF BUILDING TO WEATHER ELEMENTS, MEASURES, PROTECTION AND SCHEDULING SHALL TAKE
- PLACE TO PREVENT DAMAGE TO ITEMS TO REMAIN. 10. THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE EXISTING AND SHALL HAVE VISITED AND INSPECTED THE JOB SITE AND BE FULLY INFORMED AS TO THE NATURE OF EQUIPMENT AND FACILITIES NEEDED FOR THE PROPER EXECUTION OF THE WORK, STARTING OF DEMOLITION AND REMOVAL OPERATIONS WILL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR HAS COMPILED WITH THESE REQUIREMENTS AND LATER CLAIMS FOR DIFFICULT ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN WILL NOT BE RECOGNIZED.
- 11. TEMPORARY PROTECTION: PARTICULAR ATTENTION SHALL BE GIVEN TO THE PROTECTION OF EXISTING STRUCTURE AND FINISHES SO AS TO PREVENT ANY DAMAGE OF EXISTING FINISHES NOT DESIGNATED FOR DEMOLITION. PROVIDE ALL NECESSARY TEMPORARY CONSTRUCTION AND DUST PROOF PROTECTION. PROTECTION SHALL BE IN COMPLIANCE WITH BUILDING STANDARDS, TYPE AND LOCATION OF PROTECTION SHALL BE REVIEWED WITH OWNERS CONSTRUCTION REPRESENTATIVE PRIOR TO COMMENCING WORK.

WI	NDOW	SCHEDU	LE					
WINDOW MARK	MODEL NUM.	WINDOW ROUGH OPENING (Width x Height)	WINDOW TYPE	INTERIOR CASING	EXTERIOR CASING	MUNTIN PATTERN	HARDWARE	REMARKS
A	C14	2'-0 5/8" x 4'-0 1/2"	CASEMENT	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	FULL BUG SCREEN PAINTED WHITE INTERIOR. TEMPERED GLASS

WINDOW SPECIFICATION

- WINDOW SHOP DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT.
- 1. ALL WINDOWS SCHEDULED ARE MANUFACTURED BY ANDERSEN WINDOW COMPANY. VINYL CLAD EXTERIOR: COLOR: WHITE
- . INTERIOR FINISH: COLOR: WHITE 4. EXTERIOR TRIM: MATCH EXISTING
- SPACER BAR: MATCH EXISTING
- 6. GLAZING: INSULATED LOW-E 272 GLASS WITH ARGON GAS, HARDWARE: MATCH EXISTING
- WINDOW SCREENS: FULL
- 9. PROVIDE SAFETY GLAZING WHERE REQUIRED BY THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

DOOR NUMBER	LOCATION	MODEL NUMBER DOOR OPENING (W x H xTHICKNESS)	DOOR TYPE	DOOR MATERIAL	DOOR & FRAME FINISH	FRAME MATERIAL	HARDWARE SET	REMARKS
01	KITCHEN	FWH 29611 2'-9" x 6'-11" x 1 ³ / ₄ "	ENTRY	VINYL CLAD	VINYL / WOOD	WOOD	ENTRY	ALUMINUM SILL SCREEN DOOR
02	SCREEN PORCH	2	DOUBLE	SCREEN DOOR	PAINT	WOOD	ENTRY	
03	KITCHEN	FWG 60611 6'-0" x 6'-11" x 1 3/4"	ENTRY	VINYL CLAD	VINYL / WOOD	WOOD	ENTRY	ALUMINUM SILL
200	MASTER BEDROOM	2'-8" x 6'-8" x 1 ³ / ₄ "	SINGLE	MDF	PAINT	WOOD	BEDROOM LOCKSET	
201	MASTER BEDROOM	2'-6" x 6'-8" x 1 ³ / ₄ "	SINGLE	MDF	PAINT	WOOD	BATHROOM	MARBLE SADDLI

DOOR SCHEDULE NOTES

- OWNER TO PROVIDE ALL DOOR LATCH/LOCK SETS AND HINGES. CONTRACTOR TO INSTALL ALL HINGES/LATCH/LOCK SETS.
- WHERE WEATHER-STRIPPING IS CALLED FOR, PROVIDE ON FOUR (4)
- SIDES, INCLUDING SADDLE.

			NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL			
ROOM NAME	FLOOR FINISH	BASE	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	CEILING	REMARKS
SCREENED PORCH	BLUESTONE										BEADED BOARD	
KITCHEN	HARDWOOD FLOORING	MATCH EXISTING	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT /TILE	GYP.	PAINT	GYP. BD. PAINTED	
DINING ROOM	EXISTING HARDWOOD FLOORING - REFINISHED										0)(0, 00	
MASTER BEDROOM	HARDWOOD FLOORING	MATCH EXISTING	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
LIVING ROOM	EXISTING HARDWOOD FLOORING - REFINISHED										OVD DD	
MASTER BATHROOM	TILE FLOOR	TILE	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	

- 1. ALL TILE OR STONE FLOORING TO BE SET ON THINSET OVER CEMENT BOARD, TYP. U.O.N. 1.1. ALL MARBLE TILE TO BE INSTALLED AS PER THE MARBLE INSTITUTE OF AMERICA, MARBLE TILE INSTALLATIONS
- REQUIRING A MUD SET TO BE COORDINATED WITH FRAMER TO DROP OR MODIFY FRAMING AS REQUIRED. ALL NATURAL STONE TILE TO BE INSTALLED AS PER THE NATURAL STONE INSTITUTE OF AMERICA, NATURAL TILE
- 1.3. ALL CERAMIC & PORCELIN TILE TO BE INSTALLED AS PER THE NATIONAL TILE COUNCIL OF NORTH AMERICA, TILE TO BE
- 3. HARDWOOD FLOORING TO BE 6" WHITE OAK HARDWOOD FLOORING WITH MINIMAL SHORT PIECES. INSTALLED, SANDED
- PLUS 1 COAT NATURAL STAIN & 3 COATS OIL BASED POLYURETHENE. 4. ALL SURFACES AND FINISHES TO RECEIVE PRIMER IN STRICT ACCORDANCE WITH PAINT MANUFACTURER'S RECOMMENDATIONS. RECOAT AS REQUIRED FOR PROPER COVERAGE.
- 5. * PATCH TO MATCH ALL CEILINGS DAMAGED BY NEW CONSTRUCTION

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WALL AND DOOR SYMBOLS

EXISTING WALL TO REMAIN

NEW WALLS TO BE CONSTRUCTED. SEE BUILDING SECTION FOR DETAILS

EX. DOOR TO REMAIN.

NEW DOOR TO BE INSTALLED

NEW CONCRETE FOUNDATION WALL

EX. FOUNDATION WALL TO REMAIN

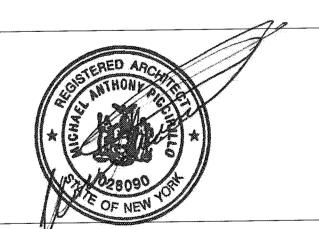
EX. WALL TO BE REMOVED

2 8-8-22 ISSUED FOR PLANNING BOARD REVIEW

PROJECT NAME: **NEBOT RESIDENCE**

RENOVATION

PROJECT ADDRESS: 11 BROOKSIDE AVENUE **NYACK, NY 10960**



MICHAEL A PICCIRILLO, AIA

345 KEAR STREET YORKTOWN HEIGHTS, NEW YORK 10598

> TELEPHONE: 914-368-9838 FACSIMILE: 914-302-2933 michael@mpiccirilloarchitect.com www.mpiccirilloarchitect.com

DEMOLITION PLANS

SCHEDULES

HDWD. = CLEAR SELECT WHITE OAK HARDWOOD FLOORING

GYP. = GYPSUM WALLBOARD

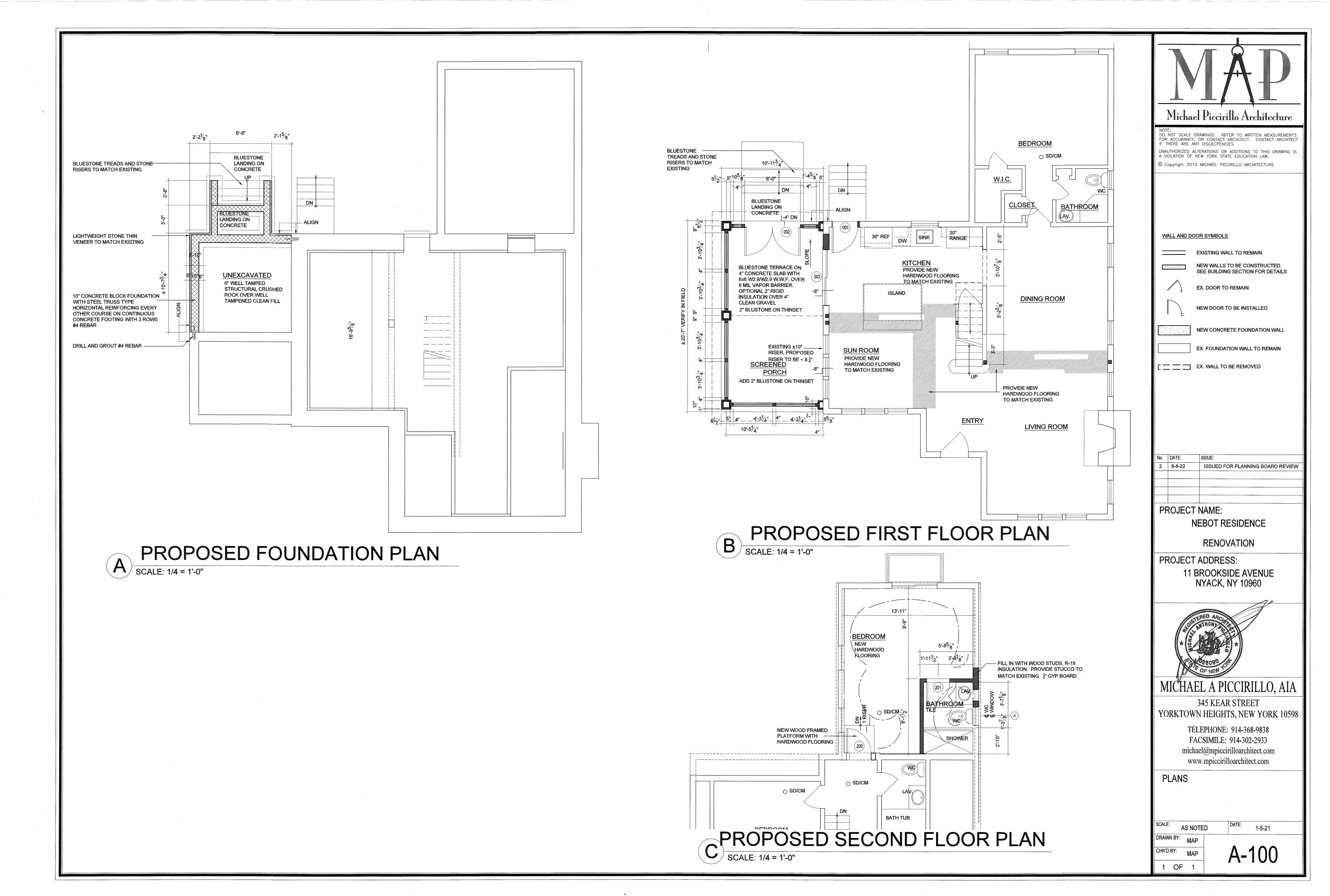
CEM. = CEMENT BOARD

AS NOTED DRAWN BY: MAP

1 OF 1

CHK'D BY:

A-050



MEMBERS.

DEMOLITION AND REMOVAL OF INTERIOR AND EXTERIOR WALLS, CEILINGS, ROOF, ETC., AS INDICATED ON THE DRAWINGS.

LOCATE DUMPSTER AS INDICATED ON SITE PLAN.

DEMOLISH AND REMOVE INDICATED AREAS IN A SAFE AND ORDERLY WAY, REMOVING ELEMENTS IN SMALL PIECES. USE NO EXPLOSIVES. PREVENT THE SPREAD OF DUST OR DEBRIS TO UNAFFECTED PARTS OF THE SITE, ADJACENT

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CONCRETE MIX SHALL BE PERFORMED IN ACCORDANCE OF THE LOCAL BUILDING DEPARTMENT.

CAST-IN -PLACE CONCRETE

DO ALL WORK IN CONFORMANCE WITH AMERICAN CONCRETE INSTITUTE STANDARDS. PERFORM ALL WORK IN ACCORDANCE WITH ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, UNLESS SPECIFIED OTHERWISE.

INSPECTION AND TESTING (INCLUDING BUT NOT LIMITED TO TEST CYLINDERS: TAKE THREE TEST CYLINDERS FROM EACH POUR. LABEL WITH DATE AND LOCATION PLACED, AND DELIVER TO OWNER FOR TESTING) OF CONCRETE WORK AND

CONTRACTOR SHALL VERIFY DIMENSIONS AND LOCATIONS OF ALL OPENINGS, PIPE SLEEVES, ANCHOR BOLTS, ETC., AS REQUIRED BY ALL TRADES, BEFORE CONCRETE IS PLACED.

PROVIDE SAND AND GRAVEL BASE. WELDED WIRE FABRIC SHALL BE 6" X 6" W2.9/W2.9 SIZE PLAIN FINISH CONFORMING TO ASTM A185 UNLESS OTHERWISE

INDICATED. ALL REINFORCING BARS SHALL CONFORM TO ASTM SPEC A615 GRADE 60. REINFORCING STEEL SHALL BE BILLET STEEL BARS, GRADE 60, GALVANIZED FINISH, CONFORMING TO ASTM A615.

COMPLETE WITH ALL ACCESSORIES SUCH AS CHAIRS, BAR SUPPORTS, SPACERS, TIE WIRE, ETC.

SCREED AND FINISH CONCRETE SMOOTH AND LEVEL OR SLOPED AS INDICATED TO RECEIVE FURTHER CONSTRUCTION EXTERIOR PAVEMENTS TO HAVE BROOMED FINISH.

ALL CONCRETE DESIGN AND PLACEMENT SHALL COMPLY WITH THE LATEST EDITION OF THE ACI 301, "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS". HOT WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 305. COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI 306. ALL OTHER APPLICABLE CODES SHALL ALSO BE

CONCRETE SHALL BE NORMAL WEIGHT CONCRETE EXCEPT LIGHT WEIGHT CONCRETE SHALL BE USED FOR SLABS ON STEEL DECK UNLESS NOTED OTHERWISE. CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS FOR FOUNDATIONS. SLUMP SHALL NOT EXCEED 4". 10. REINFORCEMENT SHALL BE DEFORMED INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO ASTM DESIGNATION

A-615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. 11. FOLLOW ACI RULES AS TO TIES, ANCHORAGE, SPLICES, CONCRETE COVERAGE AND REINFORCEMENT SUPPORTS. 12. REINFORCEMENT MARKED "CONTINUOUS" (CONT.) SHALL BE LAPPED 36 BAR DIAMETERS AT SPLICES AND CORNERS, AND

HOOKED AT NON-CONTINUOUS ENDS OR EXTENDED 36 BAR DIAMETERS UNLESS OTHERWISE NOTED. CONSTRUCTION JOINTS SHALL BE LOCATED AT POINTS OF ZERO SHEAR. NO CONSTRUCTION JOINTS SHALL BE LOCATED IN MEMBERS CARRYING A CONCENTRATED LOAD. PROVIDE SHEAR BARS AS DIRECTED BY THE ENGINEER. LOCATIONS OF CONSTRUCTION JOINTS SHALL BE ACCEPTED BY THE ENGINEER.

PROVIDE SLEEVES AND BOX OUT FOR OPENINGS FOR MECHANICAL TRADES FOR SIZE AND LOCATION OF ALL OPENINGS. SEE ARCHITECTURAL AND MECHANICAL DRAWINGS IN ADDITION TO STRUCTURAL DRAWINGS. OPENINGS SHALL BE PLACED SO AS NOT TO AFFECT THE STRENGTH OF THE STRUCTURAL MEMBERS.

DIVISION 4 MASONRY

GENERAL REQUIREMENTS: G.C. SHALL PROVIDE ALL NECESSARY LABOR. MATERIALS AND EQUIPMENT TO COMPLETE ALL MASONRY SHOWN OR NOTED IN THESE DOCUMENTS. THE GENERAL REQUIREMENTS OF SECTION 1 SHALL APPLY TO ALL WORK UNDER THIS HEADING. A. ALL WORK IN THIS SECTION SHALL COMPLY WITH STATE AND LOCAL

B. MATERIALS: ALL MATERIAL SHALL COMPLY WITH THE LATEST A.S.T.M.

STANDARDS 1. POROUS FILL (AS REQUIRED) - CLEAN GRAVEL OR CRUSHED STONE. NO

CINDERS. 2. MORTAR - 1.3 PORTLAND CEMENT MORTAR FOR ALL CONCRETE BLOCKWORK. 1:6 PORLAND CEMENT - LIME MORTAR FOR STONE WORK.

NO RETEMPERING PERMITTED. 3. REINFORCING (AS REQUIRED) - DUR-O-WALL TRUSS-TYPE REINFORCING

AS NOTED. 4, CONCRETE - MASONRY UNITS (C.M.U.) (AS REQUIRED) - LOAD BEARING STONE CONCRETE - MASONRY UNITS. AS MANUFACTURED BY

BEDFORD HILLS CONCRETE PRODUCTS CO. OR APPROVED EQUAL, SIZE AS REQUIRED, AND AS NOTED IN DOCUMENTS. C. CONCRETE BLOCKWORK SHALL BE REINFORCED ON EVERY SECOND HORIZONTAL JOINT WITH DUR-O-WALL TRUSS-TYPE BLOCK

REINFORCEMENT. LAY BLOCKS WITH CELLS VERTICAL AND JOINTS

STAGGERED IN EACH COURSE. ALL BLOCKWORK TO BE PROPERLY BONDED TOGETHER AND TO ADJACENT WORK. D. COMPLY WITH RECOMMENDED METHODS AND PRACTICE AS DESCRIBED BY NATIONAL CONCRETE MASONRY ASSOCIATION STANDARDS AND BRICK INSTITUTE OF AMERICA.

SECTION 07200 - INSULATION FIBERGLASS BLANKET INSULATION FOR NEW AND ACCESSIBLE FRAMED AREAS. INSTALL FIBERGLASS BLANKETS IN ALL WALL CAVITIES, INCLUDING CAVITIES AROUND WINDOWS. STAPLE OVERLAPPED FLANGES OF FACED BLANKET INSULATION SECURELY TO WOOD FRAMING MEMBERS. KRAFT FACING TO BE ON WARM SIDE.

FORMED POLYSTYRENE BAFFLES FOR ATTIC/CEILING RAFTER CAVITIES. INSTALL FORMED POLYSTYRENE BAFFLES (PROPAVENT OR RAFTER-MATE) AT UNDERSIDE OF ROOF SHEATHING IN ALL ROOF/CEILING RAFTER CAVITIES TO FACILITATE PROPER AIR FLOW.

FIBERGLASS BLANKETS TO BE 6" THICK (R-21) IN ALL EXTERIOR WALLS. BLANKETS TO BE KRAFT PAPER FACED. KRAFT FACING TO BE ON WARM SIDE.

FIBERGLASS BLANKETS TO BE 9" THICK (R-38C) IN ATTICS AND FLOORS. BLANKETS TO BE KRAFT PAPER FACED. KRAFT FACING TO BE ON WARM SIDE. FIBERGLASS ACOUSTICAL ATTENUATION BLANKETS (3 1/2") TO BE

INSTALLED IN ALL INTERIOR WALLS AS SHOWN AND CEILINGS. BLANKETS TO BE UNFACED WITH NO VAPOR BARRIER. 6. ALL INSULATION SHALL CONFORM TO 2020 NEW YORK STATE

RESIDENTIAL CODE

CONSTRUCTION PLAN NOTES

PREPARE EXISTING SUBFLOOR FOR NEW FLOOR FINISHES. PATCH AND REPAIR ALL WALLS DAMAGED BY DEMOLITION TO APPEAR INTEGRAL

PROVIDE SADDLES AND WEATHERSTRIPPING AT ALL EXTERIOR DOORS. ALL PARTITIONS WITH WALL HUNG CABINETS, WALL HUNG FIXTURES, WALL TILE OR COAT RACKS TO HAVE 2x WOOD STUDS @ 12" O.C. OR AS REQUIRED.

TYP. IN EVERY CLOSET. PROVIDE ADJUSTABLE SHELVES IN STORAGE OR PROVIDE COAT ROD. BRACKETS AND SHELVING IN EVERY COAT CLOSET. ALL PIPING NOT BEING CONNECTED TO ACTIVE FIXTURES SHALL BE CUT BACK BELOW LEVEL OF FINISHED FLOOR AND CAPPED PER APPLICABLE CODES AND **GENERAL NOTES**

A. EXCAVATION AND EARTHWORK 1. SOILS AT THE BASE OF ALL EXCAVATIONS SHALL HAVE A PRESUMPTIVE BEARING VALUE OF NO LESS THAN 2 TSF. 2. IF SOILS ARE UNSUITABLE AT THE LEVELS SHOWN ON THE DRAWINGS FOR FOUNDATIONS, THE EXCAVATION SHALL BE DEEPENED UNTIL SUITABLE SOILS ARE ENCOUNTERED. 3. SOILS AT THE EXCAVATION LEVEL SHALL BE COMPACTED

TO 95% MAX. DENSITY, ASTM D 1557. B. CONCRETE WORK 1. ALL CONCRETE SHALL CONFORM TO ACI 318-86 (REV. 1986) BUILDING CODE, AND ACI DESIGN HANDBOOK 340. IR-84.

2. CONCRETE: Fc = 3500 PSI 3. REINFORCING STEEL: Fy = 60 KSI 4. ALL EXTERIOR CONCRETE REQUIRES AIR ENTRAINMENT. 5. CONCRETE SLUMP SHALL BE NO GREATER THAN 4". 6. CURING IS REQUIRED PER ACI CODE

7. WELDING REINFORCING STEEL IS PROHIBITED.

8. ANCHOR BOLTS SHALL BE IMBEDDED, OR DRILL-IN, AT THE DISCRETION OF THE CONTRACTOR. ANY EXTERIOR ANCHOR BOLTS SHALL BE GALVANIZED. C. FIELD VERIFY ALL EXISTING DIMENSIONS AS INDICATED ON

1. GENERAL CONTRACTOR TO LAYOUT ROOM WITH EXISTING CONDITIONS AND FIELD VERIFY PRIOR TO INSTALLING INTERIOR WALLS. NOTIFY ARCHITECT OF ANY

ALL WORK SHALL CONFORM TO NYSRC2020, AND LOCAL ZONING CODES. DIMENSIONS ARE GIVEN AS GUIDES TO ESTABLISH THE LAYOUT. G.C. SHALL SURVEY AND EXAMINE THE EXISTING STRUCTURE IN ESTABLISHING LAYOUT OF THE WORK IN ORDER TO ASSURE PROPER FIT AND ALIGNMENT OF THE NEW WORK WITH PROPER RELATIONSHIP TO EXISTING FEATURES. DO NOT

SCALE DRAWINGS. ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.

ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES.

CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK.

ARCHITECT SHALL BE NOTIFIED OF ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK DESCRIBED IN THIS DRAWING

GENERAL ROOFING NOTES

PRIOR TO COMMENCEMENT OF WORK OR FABRICATION OF COMPONENTS, CONTRACTOR SHALL INVESTIGATE AND VERIFY ALL CONDITIONS, DIMENSIONS AND ELEVATIONS OF THE NEW CONSTRUCTION IN THE FIELD. ALL DISCREPANCIES BETWEEN FIELD VERIFIED CONDITIONS, DIMENSIONS AND ELEVATIONS INDICATED ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING.

ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL CODES AND AUTHORITIES HAVING JURISDICTION.

INSTALL ALL NEW ROOFING IN ACCORDANCE WITH THE OWNER'S REQUIREMENTS AND MANUFACTURER'S INSTALLATION SPECIFICATIONS. PROVIDE ALL ACCESSORIES, MATERIALS, FASTENERS, ETC. FOR COMPLETE

ALL ROOF PENETRATIONS TO BE MADE WATERTIGHT AS PER DETAILS AND ROOF MANUFACTURER'S SPECIFICATIONS. REFER TO MECHANICAL

DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS. CONTRACTOR TO PROVIDE AND INSTALL LIFETIME ASPHALT SHINGLES.

24 GAGE HIGH STRENGTH GALVALUM STEEL, AZ-50 OR AZ-55 COATING, PREMIUM CERTIFIED PAINT SYSTEM, BRONZE, 1 1 SEAM HEIGHT, CONCEALED CLIP FASTENING SYSTEM, 16" WIDE COVERAGE, UL 790 CLASS FIRE RESTIANCE RATING, UL-2218 CLASS 4 HAIL IMPACT RESISTANCE, UL 580 CLASS 90 UPLIFT TEST RATING, GC TO SUBMIT COLOR SAMPLE FOR APPROVAL.

FRAMING NOTES

ALL WINDOW AND DOOR HEADERS SHALL REMAIN.

ALL ROOF RAFTERS SHALL BE 2 x 10 @ 16" O.C., UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AND/OR POSTS AT ALL BEAMS AND HEADERS. BUILT-UP POSTS SHALL BE (2) STUDS WIDER THAN BEAM BEING SUPPORTED, TYP.

ALL BEAMS HAVE BEEN DESIGNED FOR SIMPLE SPAN.

5. FLOOR JOISTS SHALL BE LAPPED AT BEAMS 24" MINIMUM. ALL VALLEY RAFTERS SHALL BE DOUBLE MEMBERS UNLESS OTHERWISE NOTED.

FLOOR JOISTS SHALL BE EXISTING TO REMAIN. DOUBLE EXISTING JOISTS UNDER

ALL RIDGE BOARDS SHALL BE 2 x 12, UNLESS OTHERWISE NOTED. ALL EXTERIOR FRAMING TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED. 10. ALL MULTIPLE PLY BEAMS SHALL BE THRU-BOLTED AS PER MANUFACTURER'S

DIMENSION FRAMING LUMBER SHALL BE STRESS GRADED. DOUGLAS FIR No. 2 OR BETTER WITH:

Fb = 850 PSI Fv = 180 PSI

E = 1,600,000 PSI

Fc = 625 PSI 12. ALL FRAMING TO BE CONNECTED WITH GALVANIZED METAL JOISTS, POST BASE AND

CAPS. 13. ALL FASTENERS TO BE NON-CORROSIVE.

14. ALL FINISH LUMBER FOR TRIM TO BE CLEAR OF KNOTS, CHECKS OR OTHER

IMPERFECTIONS.

15. ALL FINISH LUMBER FOR TRIM TO BE CLEAR OF KNOTS, CHECKS OR OTHER

16. FRAMING PLANS ARE FOR LAYOUTS ONLY. DO NOT SCALE DRAWINGS. 17. FIELD VERIFY ALL EXISTING FRAMING MEMBERS. THE ARCHITECT SHALL BE NOTIFIED IF

THERE ARE ANY DISCREPENCIES WITH THE DRAWINGS. 18. ALL BEAM TO BEAM CONNECTIONS TO BE MADE WITH METAL CONNECTORS OR BEAM HANGERS BY SIMPSON STRONG-TIE OR APPROVED EQUAL

19. ALL ENGINEERED LUMBER MANUFACTURED BY TRUS-JOIST 20. FLOOR JOISTS SHALL BE EXISTING TO REMAIN.

21. ALL JOISTS TO BE ATTACHED TO BEAMS USING JOIST HANGERS.

ELECTRICAL PLAN NOTES:

ALL RECESSED LIGHTS TO BE LED

1. ALL SURFACE MOUNTED WALL AND CEILING LIGHT FIXTURES SHALL BE PURCHASED BY THE OWNER AND COORDINATED AND INSTALLED BY CONTRACTOR.

2. ALL SMOKE DETECTORS SHALL BE TANDEM HARD WIRED SUCH THAT WHEN

ONE SOUNDS, ALL WILL SOUND PER NATIONAL ELECTRICAL CODE, LOCAL CODE, NFPA 72.

4. ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE AND FOR OBTAINING CERTIFICATE FROM THE NEW YORK STATE BOARD OF FIRE UNDERWRITERS.

5. CONTRACTOR SHALL PROVIDE RECEPTACLES / POWER TO ALL MAJOR APPLIANCES AS REQUIRED. TYPE, QUANTITY, AND LOCATIONS SHALL BE COORDINATED WITH THE SPECIFIC APPLIANCES BEING INSTALLED.

6. CONTRACTOR SHALL INSTALL CONVENIENCE OUTLETS IN ALL ROOMS, INCLUDING HALLWAYS AS PER APPLICABLE CODES. 7. ALL SWITCHES GROUPED TOGETHER SHALL BE GANGED ON ONE SWITCH PLATE.

8. EXTERIOR LIGHTING TO BE ON PHOTOSENSOR/SWITCH

BE LOCATED IN FIELD WITH THE OWNER. 10. ALL SWITCHES TO BE DIMMERS, TYPICAL, U.O.N., EXCEPT OVER COUNTERTOP

11. PROVIDE RECEPTACLES AS SHOWN OR AT MIMINUM CODE REQUIREMENTS 12. PROVIDE DEDICATED CIRCUITS FOR MICROWAVE, TOASTER OVEN, ETC

13. REFER TO SHEET T-2 FOR FURTHER SPECIFICATIONS

PREFABRICATED WOOD JOIST NOTES

1. PREFABRICATED WOOD I-JOISTS SHALL BE DESIGNED AND FURNISHED IN ACCORDANCE WITH A CURRENT CODE-ACCEPTED EVALUATION REPORT. STRUCTURAL CAPACITIES AND DESIGN PROVISIONS SHALL BE ESTABLISHED

2. AND MONITORED IN ACCORDANCE WITH ASTM D 5055.

WOOD JOISTS SHALL BE DESIGNED BY THE MANUFACTURER TO SUPPORT THE LOADS INDICATED PER THE JOIST LOADING DIAGRAMS. UNLESS OTHERWISE INDICATED, JOISTS SHALL BE DESIGNED FOR THE FOLLOWING:

TOP CHORD LOADING

DEAD LOAD - 15 PSF **BOTTOM CHORD LOADING**

3. WOOD I-JOISTS SHALL BE ERECTED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS. THE CONTRACTOR

4. WOOD I-JOISTS SHALL NOT BE CUT, NOTCHED, COPED, DRILLED NOR OTHERWISE ALTERED IN ANY WAY UNLESS SPECIFICALLY CONDUTED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN REQUIREMENTS. DO NOT CUT

EXPERIENCE PRODUCING PREFABRICATED WOOD JOISTS. QUALITY CONTROL SHALL BE AUDITED BY AN AGENCY ACCEPTER BY THE "BUILDING OFFICIALS & CODE ADMINISTRATORS, INC."

5. WOOD I-JOISTS SHALL BE PRODUCED BY A CODE ACCEPTED FABRICATOR WITH A MINIMUM OF FIVE (5) YEARS

6. WEB PANELS MUST BE JOINED WITH A MACHINED AND GLUED VEE JOINT TO FORM A CONTINUOUS MEMBER. ALL

7. WOOD I-JOISTS SHALL BE STORED IN BUNDLES IN AN UPRIGHT POSITION AND AWAY FROM GROUND CONTACT. ANY MODIFICATION OF JOISTS MUST NOT BE MADE WITHOUT THE WRITTEN APPROVAL BY THE SUPPLIER, EXCEPT FOR TRIMMING TO CORRECT LENGTH.

8. WOOD I-JOISTS SHALL BE CAREFULLY HANDLED TO PREVENT DAMAGE AND DISTORTION. EACH JOIST SHALL BE ANCHORED AND BRACED, AS IT IS ERECTED, USING BLOCKING PANELS AND ANCHORAGE INDICATED (AND PER THE SUPPLIER'S REQUIREMENTS). ERECTORE SHALL PROVIDE SUPPLEMENTAL LATERAL BRACING OF THE TOP FLANGE UNTIL SHEATHING IS PROPERLY NAILED.

9. ALL ROOF JOISTS SHALL BE POSITIONED WITH THE NATURAL CAMBER TURNED UP.

PLYWOOD/GYPBOARD SHEATHING NOTES

ALL PLYWOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICAN PLYWOOD ASSOCIATION (APA)

ALL ROOF PANEL SHEATHING SHALL BE \(\frac{5}{8} \)" (NOM.) TYPE CDX, EXP. I APA RATED SHEATHING. SUITABLE EDGE SUPPORT SHALL BE PROVIDED BY USE OF PANEL CLIPS OR BLOCKING BETWEEN FRAMING. UNLESS OTHERWISE NOTED CONNECT

ALL FLOOR SHEATHING SHALL BE 3/4" (NOM.) APA RATED STURD-I-FLOOR, EXP. I, WITH TONGUE AND GROOVE EDGE. UNLESS OTHERWISE NOTED CONNECT FLOOR SHEATHING WITH 10D COMMON NAILS SPACED 6" O.C. AT SUPPORTED

5. FIELD-GLUE USING ADHESIVES MEETING APA SPECIFICATION AFG-01, APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL WALL PANEL SHEATHING SHALL BE 1/2" (NOM.) TYPE CDX. EXP. I APA RATED SHEATHING. UNLESS OTHERWISE

INSTALL ALL PLYWOOD SHEATHING WITH THE LONG DIMENSION OF THE PANEL ACROSS SUPPORTS AND WITH PANEL CONTINUOUS OVER TWO OR MORE SPANS. STAGGER PANEL END JOINTS. ALLOW 1/8" SPACING AT PANEL ENDS AND

ALL NAILING SHALL BE CAREFULLY DRIVEN AND NOT OVERDRIVEN. THE USE OF STAPLES AND PNUEMATIC NAIL GUNS ARE PROHIBITED FROM USE.

ALL EXT. WALLS SHALL BE SHEATHED ON BOTH FACES WITH GYP-BOARD SHEATHING (SEE ARCH. DWGS. FOR THICKNESSES) AND CONNECTED WITH 5D COOLER NAILS SPACED 7" O.C. AT SUPPORTED PANEL EDGES AND

PROVIDE 2X BLOCKING AT UNSUPPORTED PANEL EDGES AS FOLLOWS:

ROOFS AND FLOORS - ONLY WHERE INDICATED ON PLAN WALLS - EVERY 8 FEETN (MIN.)

LIVE LOAD - 40 PSF

DEAD LOAD - 5 PSF

WIND LOAD - 35 PSF NET UPLIFT PRESSURE (ROOF JOISTS ONLY)

SHALL PROVIDE ALL TEMPORARY AND PERMANENT BRACING AS REQUIRED FOR SAFE ERECTION AND PERFORMANCE

JOINTS SHALL BE GLUED USING AN EXTERIOR TYPE ADHESIVE PER ASTM 2559. DAMAGE TO JOISTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE JOIST SUPPLIER. FILED REPAIR OR

1. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE DRAWINGS OF ALL OTHER DISCIPLINES AND THE SPECIFICATIONS. ALL STRUCTURAL WORK SHALL BE COORDINATED WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL REQUIREMENTS. ANY DISCREPANCIES AND/OR 2. INTERFERENCES SHALL BE REPORTED IMMEDIATELY TO THE

TIMBERTECH LED

TO ORDERING.

ALL WOOD FRAMING SHALL BE PRESSURE

GUARD INFILL: 30 LBS/SF

STAIRS: 40 LBS/SF

DECK: 40 LBS/SF

MANUFACTURER

STRONG TIE

2. MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS:

GUARDS AND HANDRAILS: 200 LBS/SF

3. ALL CONNECTORS SHALL BE METAL, CORROSION

4. ALL SIMPSON CONNECTORS SHALL BE INSTALLED

RESISTANT, MANUFACTURED BY SIMPSON

5. ALL MULTI-PLY 2X MEMBERS SHALL BE NAILED

6. ALL BEAMS SHALL HAVE MINIMUM 1 1/2" BEARING

2. ALL FRAMING TO BE CONNECTED WITH GALVANIZED

METAL JOIST HANGERS, POST BASE AND CAPS.

4. ALL WORK TO BE DONE IN ACCORDANCE WITH LOCAL

5. IF THERE ARE ANY DISCREPANCIES ON DRAWINGS THE

BALUSTERS TO BE CLEAR OF KNOTS, CHECKS OR

CONTEMPORARY (BLACK) WITH BLACK, SQUARE

ALUMINUM BALLUSTERS. ALL FINISH LUMBER FOR

9. ALL DECKING TO BE EITHER PACIFIC WALNUT, LEGACY

PECAN OR LEGACY TIGERWOOD BY TIMBERTECH

11. ALL GUARDRAILS, GRIPPABLE HANDRAILS, FASCIAS,

14. GC TO PROVIDE CATALOG CUTS AND SAMPLES PRIOR

EARTHWOOD EVOLUTIONS LEGACY SERIES.

12. ALL POST LIGHTS TO BE "ACCENT LIGHT" BY

ARCHITECT IS TO BE NOTIFIED IMMEDIATELY PRIOR TO

WITH FASTENERS AS REQUIRED BY

ALL LUMBER TO BE TREATED OR CEDAR.

3. ALL FASTENERS TO BE NON-CORROSIVE.

ALL FRAMING LUMBER TO BE No. 2 OR BETTER.

7. ALL FINISH LUMBER FOR DECK POSTS, RAILS,

8. GC TO PROVIDE TIMBERTECH EVOLUTIONS RAIL

TOGETHER. REFER TO DETAIL.

GENERAL DECKING NOTES

AND STATE CODES.

WORK COMMENCING.

OTHER IMPERFECTIONS.

DECK POSTS, RAILS, ETC.

10. PROVIDE CONCEALOC FASTENERS.

RISERS TO MATCH DECK COLOR.

13. ALL RISER LIGHT BY TIMBERTECH LED

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK. THE ARCHITECT WILL NOT ADVISE NOR DIRECT AS TO

ARCHITECT SO THAT CORRECTIVE MEASURES CAN BE TAKEN.

4. SAFETY PRECAUTIONS.

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR METHODS 5. TECHNIQUES AND SEQUENCES OF PROCEDURES TO PERFORM THE WORK.

DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS SHALL BE USED, SUBJECT TO ACCEPTANCE BY THE ARCHITECT.

LOADS APPLIED TO THE STRUCTURE DURING CONSTRUCTION SHALL NOT EXCEED THE SAFE LOAD-CARRYING CAPACITY OF THE STRUCTURE AS INDICATED BY THE SCHEDULED LIVE LOADINGS SHOWN ON THE DRAWINGS.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED SHORING. THIS STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER CONSTRUCTION OF THE STRUCTURE HAS BEEN COMPLETED. THE STABILITY OF THE STRUCTURE PRIOR TO COMPLETION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. JOB SAFETY AND CONSTRUCTION PROCEDURES ARE ALSO THE SOLE RESPOSIBILITY OF THE CONTRACTOR. LACK OF COMMENT BY THE ARCHITECT/ARCHITECT IS NOT TO BE INTERPETED AS ACCEPTANCE OF THOSE ASPECTS OF THE WORK.

NO EQUIPMENT SHALL BE HUNG FROM BRACING OR STEEL DECK.

SMOKE ALARMS/ CARBON MONOXIDE ALARMS

1. SMOKE DETECTORS SHALL BE INSTALLED IN ALL BEDROOMS, ADJACENT HALL, AND ONE ON EACH STORY OF **DWELLING PER 2020 NYSRC** -ALL SMOKE ALARMS SHALL BE LISTED IN

WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. -ALL SMOKE DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITHAL LL INTERVENING DOORS CLOSED. ALL SMOKE DETECTORS SHALL BE INSTALLED PER THE 2020 NYS RESIDENTIAL CODE, SECTION

ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE

2. PROVIDE CARBON MONOXIDE DETECTORS PER NYSRC, SECTION R315.

3. PROVIDE FIREBLOCKING PER THE 2020 NYSRC, SECTION R602.8. PROVIDE FIRE BLOCKING IN WALL CAVITIES OR FURRED SPACES THAT EXCEED 8 FT IN HEIGHT. AROUND ALL PIPING, VENTS AND WIRING HOLES, ETC.

DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURANCY, OR CONTACT ARCHITECT. CONTACT ARCHITECT

IF THERE ARE ANY DISCECPENCIES UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.

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WALL AND DOOR SYMBOLS

EXISTING WALL TO REMAIN

NEW WALLS TO BE CONSTRUCTED. SEE BUILDING SECTION FOR DETAILS

EX. DOOR TO REMAIN.

NEW DOOR TO BE INSTALLED

NEW CONCRETE FOUNDATION WALL

EX. FOUNDATION WALL TO REMAIN

EX. WALL TO BE REMOVED

ISSUED FOR PLANNING BOARD REVIEW 8-8-22

RENOVATION

11 BROOKSIDE AVENUE

NYACK, NY 10960

PROJECT NAME: NEBOT RESIDENCE

PROJECT ADDRESS:

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NOTES

AS NOTED MAP

01-14-22

REGULATIONS.

DRAWN BY:

CHK'D BY: MAP OF 1

WITH NEW WORK.

SHELVING TO BE PAINT GRADE BIRCH PLYWOOD WITH 1 1/4" HARDWOOD EDGE

1. ALL WINDOW AND DOOR HEADERS SHALL REMAIN

THAN BEAM BEING SUPPORTED, TYP.

6. ALL VALLEY RAFTERS SHALL BE DOUBLE MEMBERS,

NOTED.

10. ALL MULTIPLE PLY BEAMS SHALL BE THRU-BOLTED AS PER MANUFACTURER'S SPECIFICATIONS.

Fc = 625 psi

15. TRIM TO BE PAINTED PER OWNER'S COLOR SELECTION 16. FRAMING PLANS ARE FOR LAYOUTS ONLY DO NOT SCALE DRAWINGS

DRAWINGS 18. ALL BEAM TO BEAM CONNECTIONS TO BE MADE WITH METAL

20. FLOOR JOISTS SHALL BE EXISTING TO REMAIN

E = 1,900,000 PSIFc = 750 psi

FRAMING NOTES

2. ALL ROOF RAFTERS SHALL BE 2 X 10 @ 16" O.C.,

4. ALL BEAMS HAVE BEEN DESIGNED FOR SIMPLE SPAN.

DOUBLE EXISTING JOISTS UNDER BEARING WALLS 8. ALL RIDGE BOARDS SHALL BE 2 X 12, UNLESS OTHERWISE

UNLESS OTHERWISE NOTED.

Fb = 850 psi Fv = 180 psi

GALVANIZED METAL JOISTS, POST BASE AND CAPS. 13. ALL FASTENERS TO BE NON-CORROSIVE

17. FIELD VERIFY ALL EXISTING FRAMING MEMBERS, THE ARCHITECT SHALL BE NOTIFIED IF THERE ARE ANY DISCREPENCIES WITH THE

CONNECTORS OR BEAM HANGERS BY SIMPSON STRONG-TIE OR APPROVED EQUAL

Fb = 2600 psi Fv = 285 psi

UNLESS OTHERWISE NOTED. 3. PROVIDE SOLID BLOCKING AND / OR POSTS AT ALL BEAMS AND HEADERS. BUILT-UP POSTS SHALL BE (2) STUDS WIDER

5. FLOOR JOISTS SHALL BE LAPPED AT BEAMS 24" MINIMUM.

11. DIMENSION FRAMING LUMBER SHALL BE STRESS GRADED, DOUGLAS FIR No. 2 OR BETTER WITH

E = 1,600,000 PSI

14. ALL FINISH LUMBER FOR TRIM BE CLEAR OF KNOTS, CHECKS OR OTHER IMPERFECTIONS

21. ALL JOISTS TO BE ATTACHED TO BEAMS USING JOIST HANGERS 22. ENGINEERED FRAMING LUMBER SHALL BE STRESS GRADED:

UNLESS OTHERWISE NOTED. 7. FLOOR JOISTS SHALL BE EXISTING TO REMAIN

9. ALL EXTERIOR FRAMING TO BE PRESSURE TREATED.

12. ALL FRAMING TO BE CONNECTED WITH

19. ALL ENGINEERED LUMBER MANUFACTURED BY TRUS-JOIST

ALL LIGHTS TO BE ON DIMMERS

3. EXACT LOCATIONS OF ALL LIGHT FIXTURES SHALL BE REVIEWED WITH THE OWNER ON SITE PRIOR TO INSTALLATION. ELECTRICAL OUTLETS SHALL INSTALLED TO MATCH EXISTING, EXCEPT FOR AT COUNTERTOPS, VANITIES, AND AS OTHERWISE NOTED.

9. TELEPHONE, FAX, COMPUTER, TELEVISION, AND OTHER COMMUNICATION WIRING TO

MISCELLANEOUS:

ROOF SHEATHING WITH 8D COMMON NAILS AT 6" O.C. AT SUPPORTED PANEL EDGES AND 6" O.C. AT INTERMEDIATE SUPPORTS.

EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS

INDICATED, CONNECT WALL SHEATHING WITH 10D COMMON NAILS SPACED 6" O.C. AT SUPPORTED PANEL EDGES AND 12"

O.C. AT INTERMEDIATE SUPPORTS

EDGES UNLESS OTHERWISE RECOMMENED BY THE SHEATHING MANUFACTURER.

INTERMEDIATE SUPPORTS.

SWIMMING POOLS, SPAS AND HOT TUBS

R326.1 GENERAL. THE PROVISIONS OF THIS SECTION SHALL CONTROL THE DESIGN AND CONSTRUCTION AS WELL AS SUBSTANTIAL MODIFICATION OF SWIMMING POOLS, SPAS AND HOT TUBS INSTALLED IN OR ON THE LOT OF DWELLINGS REGULATED UNDER THIS CODE DETACHED ONE AND TWO-FAMILY DWELLINGS CLASSIFIED AS GROUP R-3 ARE CONSTRUCTED UNDER THE BUILDING CODE OF NEW YORK

EXCEPTION: COMMUNAL POOLS FOR THE SHARED USE OF MULTIPLE TOWNHOUSE UNITS SHALL BE REGULATED BY THE BUILDING CODE OF NEW YORK STATE.

R326.1.1 COMPLIANCE WITH OTHER SECTIONS. SWIMMING POOLS, SPAS AND HOT TUBS SHALL COMPLY WITH THIS SECTION AND OTHER APPLICABLE SECTIONS OF THIS CODE. THE REQUIREMENTS OF THIS SECTION AND OF THE OTHER APPLICABLE SECTIONS OF THIS CODE SHALL BE IN ADDITION TO, AND NOT IN REPLACEMENT OF OR SUBSTITUTION FOR, THE REQUIREMENTS OF OTHER APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS, INCLUDING, BUT NOT NECESSARILY LIMITED TO THE REQUIREMENTS OF SECTION 8003 (FEDERAL SWIMMING POOL AND SPA DRAIN COVER STANDARD) OF TITLE 15 OF THE UNITED STATES CODE (CPSC 15 USC 8003), WHERE APPLICABLE.

R326.2 DEFINITIONS. FOR THE PURPOSE OF THESE REQUIREMENTS, THE TERMS USED SHALL BE DEFINED AS FOLLOWS AND AS SET FORTH IN CHAPTER 2.

BARRIER, PERMANENT. A FENCE, THE WALLS OF A PERMANENT STRUCTURE, ANY OTHER STRUCTURE OR COMBINATION THEREOF WHICH COMPLETELY SURROUNDS THE SWIMMING POOL AND SUFFICIENTLY

OBSTRUCTS ACCESS TO THE SWIMMING POOL. BARRIER, TEMPORARY. AN APPROVED TEMPORARY FENCE, PERMANENT FENCE, THE WALLS OF A PERMANENT STRUCTURE, ANY OTHER STRUCTURE, OR ANY COMBINATION THEREOF THAT SUFFICIENTLY PREVENTS ACCESS TO THE SWIMMING POOL BY ANY PERSON NOT ENGAGED IN THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL DURING ITS INSTALLATION OR CONSTRUCTION.

HOT TUB. SEE "SPA."

RESIDENTIAL. THAT WHICH IS SITUATED ON THE PREMISES OF DWELLINGS REGULATED UNDER THIS CODE, AND DETACHED

DWELLINGS CLASSIFIED AS R-3 AND CONSTRUCTED UNDER THE BUILDING CODE OF NEW YORK STATE.

SPA A PORTABLE OR NON-PORTABLE STRUCTURE INTENDED FOR RECREATIONAL OR THERAPEUTIC BATHING, IN WHICH ALL CONTROLS WATER HEATING AND WATER-CIRCULATING EQUIPMENT ARE AN INTEGRAL PART OF THE PRODUCT. SPAS ARE SHALLOW IN DEPTH AND ARE NOT DESIGNED FOR SWIMMING OR DIVING.

SUBSTANTIAL DAMAGE. FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THE POOL ALARM PROVISIONS OF THIS SECTION, DAMAGE OF ANY ORIGIN SUSTAINED BY A SWIMMING POOL, WHEREBY THE COST OF RESTORING THE SWIMMING POOL TO ITS BEFORE-DAMAGED CONDITION WOULD EQUAL OR EXCEED 50 PERCENT OF THE MARKET VALUE OF THE SWIMMING POOL BEFORE THE

SUBSTANTIAL MODIFICATION. FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THE POOL ALARM PROVISIONS OF THIS SECTION, ANY REPAIR, ALTERATION, ADDITION OR IMPROVEMENT OF A SWIMMING POOL, THE COST OF WHICH EQUALS OR EXCEEDS 50 PERCENT OF THE MARKET VALUE OF THE SWIMMING POOL BEFORE THE IMPROVEMENT OR REPAIR IS STARTED. IF A SWIMMING POOL HAS SUSTAINED SUBSTANTIAL DAMAGE, ANY REPAIRS ARE CONSIDERED SUBSTANTIAL MODIFICATION REGARDLESS OF THE ACTUAL REPAIR WORK PERFORMED.

SUCTION OUTLET. A FITTING, FITTING ASSEMBLY, COVER/GRATE, SUMP, AND RELATED COMPONENTS THAT PROVIDE A LOCALIZED LOW-PRESSURE AREA FOR THE TRANSFER OF WATER FROM A SWIMMING POOL

SWIMMING POOL. ANY STRUCTURE, BASIN, CHAMBER OR TANK WHICH IS INTENDED FOR SWIMMING. DIVING, RECREATIONAL BATHING OR WADING AND WHICH CONTAINS, IS DESIGNED TO CONTAIN, OR IS CAPABLE OF CONTAINING WATER MORE THAN 24 INCHES POOL, SPA AND HOT TUB BARRIER AND ALARM REQUIREMENTS NYS CODE 2020 -- 2020-05-18 (610 MM) DEEP AT ANY POINT. THIS INCLUDES IN-GROUND, ABOVE-GROUND AND

ON-GROUND POOLS, INDOOR POOLS, HOT TUBS, SPAS, AND WADING POOLS. SWIMMING POOL, INDOOR. A SWIMMING POOL WHICH IS TOTALLY CONTAINED WITHIN A STRUCTURE AND SURROUNDED

ON ALL FOUR SIDES BY THE WALLS OF THE ENCLOSING STRUCTURE. SWIMMING POOL, OUTDOOR. ANY SWIMMING POOL WHICH IS NOT AN INDOOR POOL.

R326.3 COMPLIANCE WITH OTHER STANDARDS.

R326.3.1 IN-GROUND POOLS. IN-GROUND POOLS SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANSI/APSP/ICC 5 (AMERICAN NATIONAL STANDARD FOR RESIDENTIAL IN-GROUND SWIMMING POOLS, 2011).

R326.3.2 ABOVE-GROUND AND ON-GROUND POOLS. ABOVE-GROUND AND ON-GROUND POOLS SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANSI/APSP/ICC 4 (AMERICAN NATIONAL STANDARD FOR ABOVE-GROUND/ON-GROUND RESIDENTIAL SWIMMING POOLS, 2012).

R326.3.3 PERMANENTLY INSTALLED SPAS AND HOT TUBS. PERMANENTLY INSTALLED SPAS AND HOT TUBS SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANSI/ APSP/ICC 3 (AMERICAN NATIONAL STANDARD FOR PERMANENTLY INSTALLED RESIDENTIAL SPAS AND SWIM SPAS, 2014).

R326.3.4 PORTABLE SPAS AND HOT TUBS. PORTABLE SPAS AND HOT TUBS SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANSI/APSP/ICC 6 (AMERICAN NATIONAL STANDARD FOR RESIDENTIAL PORTABLE SPAS AND SWIM SPAS.

R326.4 BARRIERS, APPLICATION. THE PROVISIONS OF THIS SECTION SHALL CONTROL THE DESIGN OF BARRIERS FOR SWIMMING POOLS. SPAS AND HOT TUBS. THESE DESIGN CONTROLS ARE INTENDED TO PROVIDE PROTECTION AGAINST POTENTIAL DROWNING AND NEAR DROWNING BY SUFFICIENTLY PREVENTING ACCESS TO SWIMMING POOLS. SPAS AND HOT TUBS BY PERSONS OUTSIDE THE PROPERTY, PERSONS WITHIN THE DWELLING, AND PERSONS IN OTHER PARTS OF THE PROPERTY NOT CONTAINED WITHIN THE POOL ENCLOSURE.

R326.4.1 TEMPORARY BARRIERS. AN OUTDOOR SWIMMING POOL SHALL BE SURROUNDED BY A TEMPORARY BARRIER DURING INSTALLATION OR CONSTRUCTION THAT SHALL REMAIN IN PLACE UNTIL A PERMANENT BARRIER IN COMPLIANCE WITH SECTION R326.4.2 IS PROVIDED.

EXCEPTIONS: 1. ABOVE-GROUND OR ON-GROUND POOLS WHERE THE POOL STRUCTURE CONSTITUTES A BARRIER IN COMPLIANCE WITH

SPAS OR HOT TUBS WITH A SAFETY COVER WHICH COMPLIES WITH ASTM F1346, PROVIDED THAT SUCH SAFETY COVER IS IN PLACE DURING THE PERIOD OF INSTALLATION OR CONSTRUCTION OF SUCH HOT TUB OR SPA. THE TEMPORARY REMOVAL OF A SAFETY COVER AS REQUIRED TO FACILITATE THE INSTALLATION OR CONSTRUCTION OF A HOT TUB OF A HOT TUB OR SPA DURING PERIODS WHEN AT LEAST ONE PERSON ENGAGED IN THE INSTALLATION OR CONSTRUCTION IS PRESENT IS PERMITTED.

R326.4.1.1 HEIGHT. THE TOP OF THE TEMPORARY BARRIER SHALL BE AT LEAST 48 INCHES (1219 MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL

R326.4.1.2 REPLACEMENT BY A PERMANENT BARRIER. A TEMPORARY BARRIER SHALL BE REPLACED BY A

COMPLYING PERMANENT BARRIER WITHIN EITHER OF THE FOLLOWING PERIODS: 90 DAYS OF THE DATE OF ISSUANCE OF THE BUILDING PERMIT FOR THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING

POOL: OR 2. 90 DAYS OF THE DATE OF COMMENCEMENT OF THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL.

R326.4.1.2.1 REPLACEMENT EXTENSION. SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL, THE TIME PERIOD FOR COMPLETION OF THE PERMANENT BARRIER MAY BE EXTENDED FOR GOOD CAUSE. INCLUDING, BUT NOT LIMITED TO. ADVERSE WEATHER CONDITIONS DELAYING CONSTRUCTION.

R326.4.2 PERMANENT BARRIERS. SWIMMING POOLS SHALL BE COMPLETELY ENCLOSED BY A PERMANENT BARRIER COMPLYING WITH SECTIONS R326.4.2.1 THROUGH R326.4.2.6.

R326.4.2.1 BARRIER HEIGHT AND CLEARANCES. THE TOP OF THE BARRIER SHALL BE NO LESS THAN 48 INCHES (1219) mm) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. THE VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL NOT BE GREATER THAN 2 INCHES (51 MM) MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. WHERE THE TOP OF THE POOL STRUCTURE IS ABOVE GRADE, THE BARRIER MAY BE AT GROUND LEVEL, OR MOUNTED ON TOP OF THE POOL STRUCTURE. WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, THE BARRIER SHALL COMPLY WITH SECTIONS R326.4.2.2 AND R326.4.2.3.

R326.4.2.2 SOLID BARRIER SURFACES. SOLID BARRIERS WHICH DO NOT HAVE OPENINGS SHALL NOT CONTAIN INDENTATIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOLERANCES AND TOOLED MASONRY JOINTS.

R326.4.2.3 CLOSELY SPACED HORIZONTAL MEMBERS. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS LESS THAN 45 INCHES (1143 mm). THE HORIZONTAL MEMBERS SHALL BE LOCATED ON THE SWIMMING POOL SIDE OF THE FENCE. SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 13/4 INCHES (44 MM) IN WIDTH. WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS. SPACING WITHIN THE CUTOUTS SHALL BE NOT GREATER THAN 13/4 INCHES (44 MM) IN WIDTH.

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SECTION R326 (CONTINUED)

R326.4.2.4 WIDELY SPACED HORIZONTAL MEMBERS. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS 45 INCHES (1143 MM) OR MORE, SPACING BETWEEN VERTICAL MEMBERS SHALL BE NOT GREATER THAN 4 INCHES (102 MM). WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL BE NOT GREATER THAN 13/4 INCHES (44 mm) IN WIDTH.

R326.4.2.5 CHAIN LINK DIMENSIONS. MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 21/4 INCH (57MM) SQUARE, UNLESS THE FENCE HAS VERTICAL SLATS FASTENED AT THE TOP OR THE BOTTOM WHICH REDUCE THE OPENINGS TO NOT MORE THAN 13/4 INCHES (44 MM).

R326.4.2.6 DIAGONAL MEMBERS. WHERE THE BARRIER IS COMPOSED OF DIAGONAL MEMBERS, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL NOT BE GREATER THAN 13/4 INCHES (44 MM).

R326.4.2.7 GATES. GATES SHALL COMPLY WITH THE REQUIREMENTS OF SECTIONS R326.4.2.1 THROUGH R326.4.2.6, AND WITH THE FOLLOWING REQUIREMENTS:

R326.4.2.7.1 SELF-CLOSING AND OPENING CONFIGURATION. ALL GATES SHALL BE SELF-CLOSING. IN ADDITION, IF THE GATE IS A PEDESTRIAN ACCESS GATE, THE GATE SHALL OPEN OUTWARD, AWAY FROM THE POOL

R326.4.2.7.2 LATCHING. ALL GATES SHALL BE SELF-LATCHING, WITH THE LATCH HANDLE LOCATED WITHIN THE ENCLOSURE (I.E., ON THE POOL SIDE OF THE ENCLOSURE) AND AT LEAST 40 INCHES (1016 MM) ABOVE GRADE. IN ADDITION, IF THE LATCH HANDLE IS LOCATED LESS THAN 54 INCHES (1372 MM) FROM GRADE, THE LATCH HANDLE SHALL BE LOCATED AT LEAST 3 INCHES (76 MM) BELOW THE TOP OF THE GATE, AND NEITHER THE GATE NOR THE BARRIER SHALL HAVE ANY OPENING GREATER THAN 0.5 INCH (12.7 MM) WITHIN 18 INCHES (457 MM) OF THE LATCH HANDLE.

R326.4.2.7.3 LOCKING. ALL GATES SHALL BE SECURELY LOCKED WITH A KEY, COMBINATION OR OTHER CHILD-PROOF LOCK SUFFICIENT TO PREVENT ACCESS TO THE SWIMMING POOL THROUGH SUCH GATE WHEN THE SWIMMING POOL IS NOT IN USE OR SUPERVISED.

R326.4.2.8 DWELLING WALL AS BARRIER. A WALL OR WALLS OF A DWELLING MAY SERVE AS PART OF THE BARRIER, PROVIDED THAT THE WALL OR WALLS MEET THE APPLICABLE BARRIER REQUIREMENTS OF SECTIONS R326.4.2.1 THROUGH R326.4.2.6, AND ONE OF THE FOLLOWING CONDITIONS SHALL BE MET:

1.) A.) DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL 2017. THE AUDIBLE ALARM SHALL ACTIVATE WITHIN 7 SECONDS AND SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS AFTER THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED AND ARE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. THE ALARM SYSTEM SHALL BE EQUIPPED WITH A MANUAL MEANS, SUCH AS TOUCH PAD OR SWITCH, TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. DEACTIVATION SHALL LAST FOR NOT MORE

B.) OPERABLE WINDOWS IN THE WALL OR WALLS USED AS A BARRIER SHALL HAVE A LATCHING DEVICE LOCATED NO LESS THAN 48 INCHES ABOVE THE FLOOR. OPENINGS IN OPERABLE WINDOWS SHALL NOT ALLOW A 4-INCH- DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION; AND

C.) WHERE THE DWELLING IS WHOLLY CONTAINED WITHIN THE POOL BARRIER OR ENCLOSURE, ALARMS SHALL BE PROVIDED AT EVERY DOOR WITH DIRECT ACCESS TO THE POOL; OR

OTHER APPROVED MEANS OF PROTECTION, SUCH AS SELF-CLOSING WITH SELF-LATCHING DEVICES, SO LONG AS THE DEGREE OF PROTECTION AFFORDED IS NOT LESS THAN THE PROTECTION AFFORDED BY ITEM 1 DESCRIBED

R326.4.2.8.1 ALARM DEACTIVATION SWITCH LOCATION. WHERE AN ALARM IS PROVIDED, THE DEACTIVATION SWITCH SHALL BE LOCATED 54 INCHES (1372 MM) OR MORE ABOVE THE THRESHOLD OF THE DOOR. IN DWELLINGS REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS, OR TYPE B UNITS, THE DEACTIVATION SWITCH SHALL BE LOCATED 48 INCHES (1219 MM) ABOVE THE THRESHOLD OF THE DOOR. R326.4.2.9 POOL STRUCTURE AS BARRIER. WHERE AN ABOVE-GROUND POOL STRUCTURE IS USED AS A BARRIER, OR WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, THE STRUCTURE SHALL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH ANSI/APSP/ICC 4 AND MEET THE APPLICABLE BARRIER REQUIREMENTS OF SECTIONS 326.4.2.1 THROUGH R326.4.2.8. WHERE THE MEANS OF ACCESS IS A LADDER OR STEPS, ONE OF THE FOLLOWING CONDITIONS SHALL BE

THE LADDER OR STEPS SHALL BE CAPABLE OF BEING SECURED, LOCKED OR REMOVED TO PREVENT ACCESS. WHEN THE LADDER OR STEPS ARE SECURED. LOCKED OR REMOVED. ANY OPENING CREATED SHALL NOT ALLOW THE PASSAGE OF A 4-

INCH-DIAMETER (102 MM) SPHERE: OR 2. THE LADDER OR STEPS SHALL BE SURROUNDED BY A BARRIER WHICH MEETS THE REQUIREMENTS OF SECTIONS PAGE 4 OF 4

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Michael Piccirillo Architecture

DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURANCY, OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCECPENCIES VIOLATION OF NEW YORK STATE EDUCATION LAW.



No.	DATE:	ISSUE:
2	8-8-22	ISSUED FOR PLANNING BOARD REVIEW
		,

PROJECT NAME:

NEBOT RESIDENCE ADDITION / RENOVATION

PROJECT ADDRESS:

11 BROOKSIDE AVENUE NYACK, NY 10960

MICHAEL A PICCIRILLO, AIA

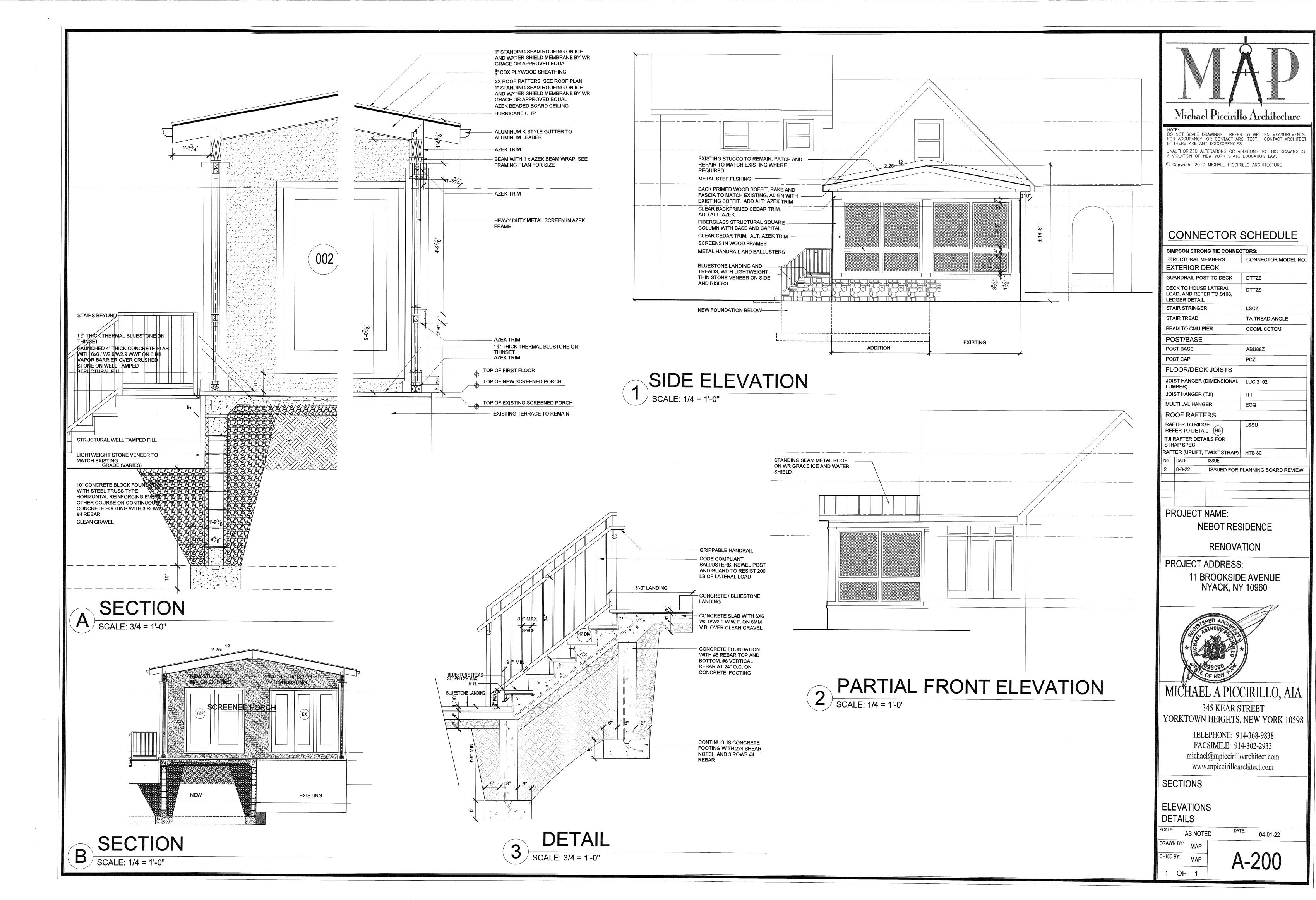
345 KEAR STREET SUITE #203 YORKTOWN HEIGHTS. NEW YORK 10598

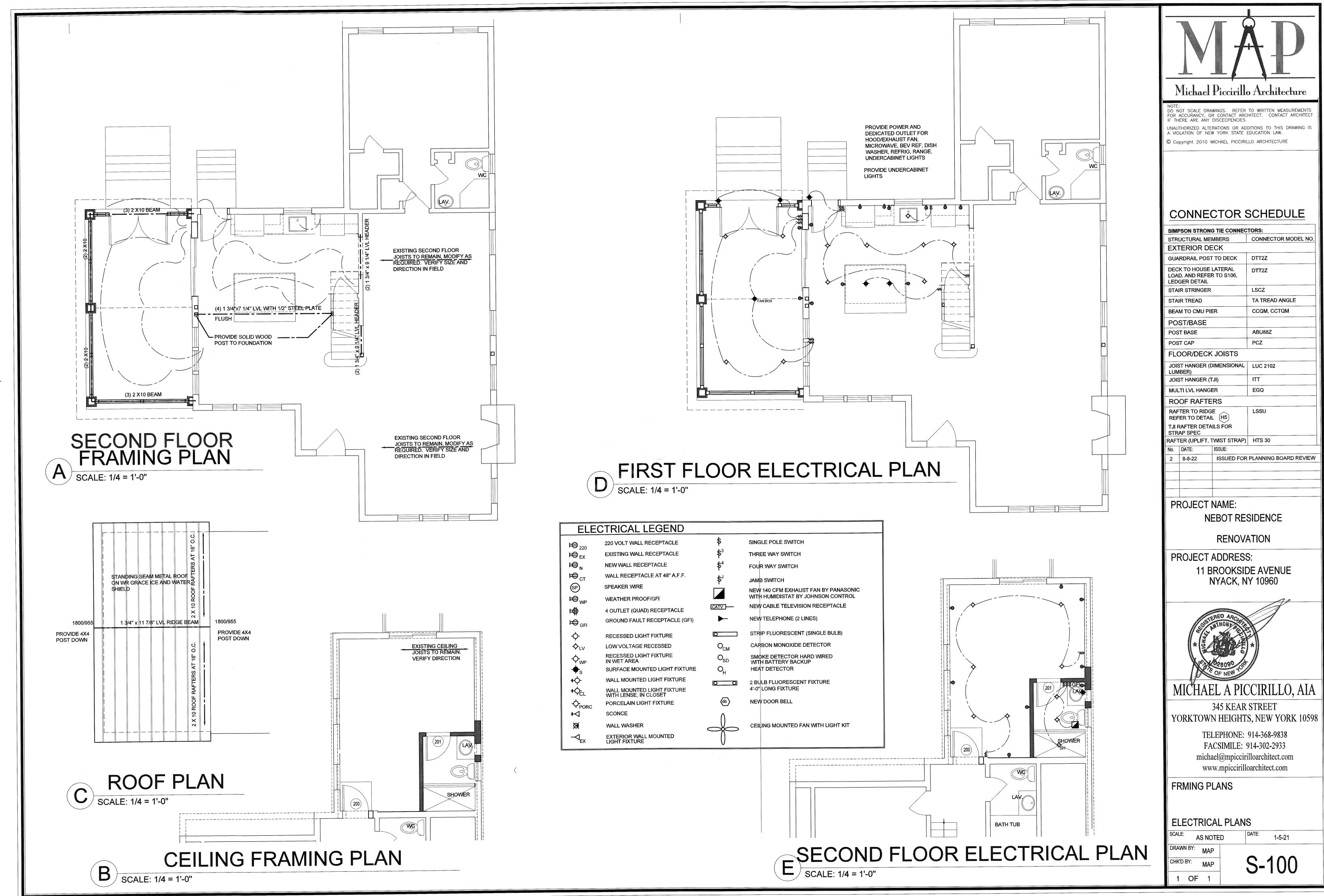
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POOL NOTES

03-22-22 DRAWN BY: MAP A-151

CHK'D BY: MAP OF 1





SIMPSON STRONG TIE CONNEC	TORS:			
STRUCTURAL MEMBERS	CONNECTOR MODEL NO			
EXTERIOR DECK				
GUARDRAIL POST TO DECK	DTT2Z			
DECK TO HOUSE LATERAL LOAD. AND REFER TO \$106, LEDGER DETAIL	DTT2Z			
STAIR STRINGER	LSCZ			
STAIR TREAD	TA TREAD ANGLE			
BEAM TO CMU PIER	CCQM, CCTQM			
POST/BASE				
POST BASE	ABU88Z			
POST CAP	PCZ			
FLOOR/DECK JOISTS				
JOIST HANGER (DIMENSIONAL LUMBER)	LUC 2102			
JOIST HANGER (TJI)	ІПТ			
MULTI LVL HANGER	EGQ			
ROOF RAFTERS				
RAFTER TO RIDGE REFER TO DETAIL H5	LSSU			
TJI RAFTER DETAILS FOR STRAP SPEC				
RAFTER (UPLIFT, TWIST STRAP)	HTS 30			
No. DATE: ISSUE:				