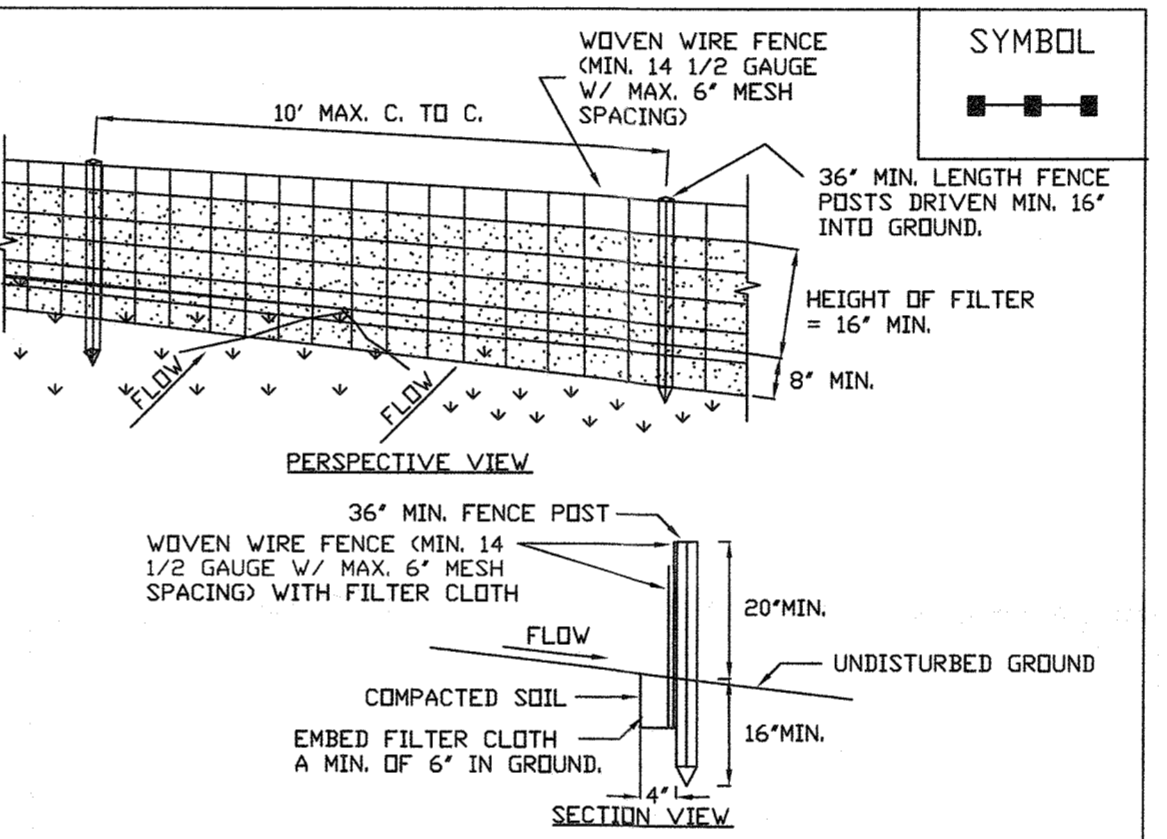


CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT IN A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5% SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

STABILIZED CONSTRUCTION ENTRANCE

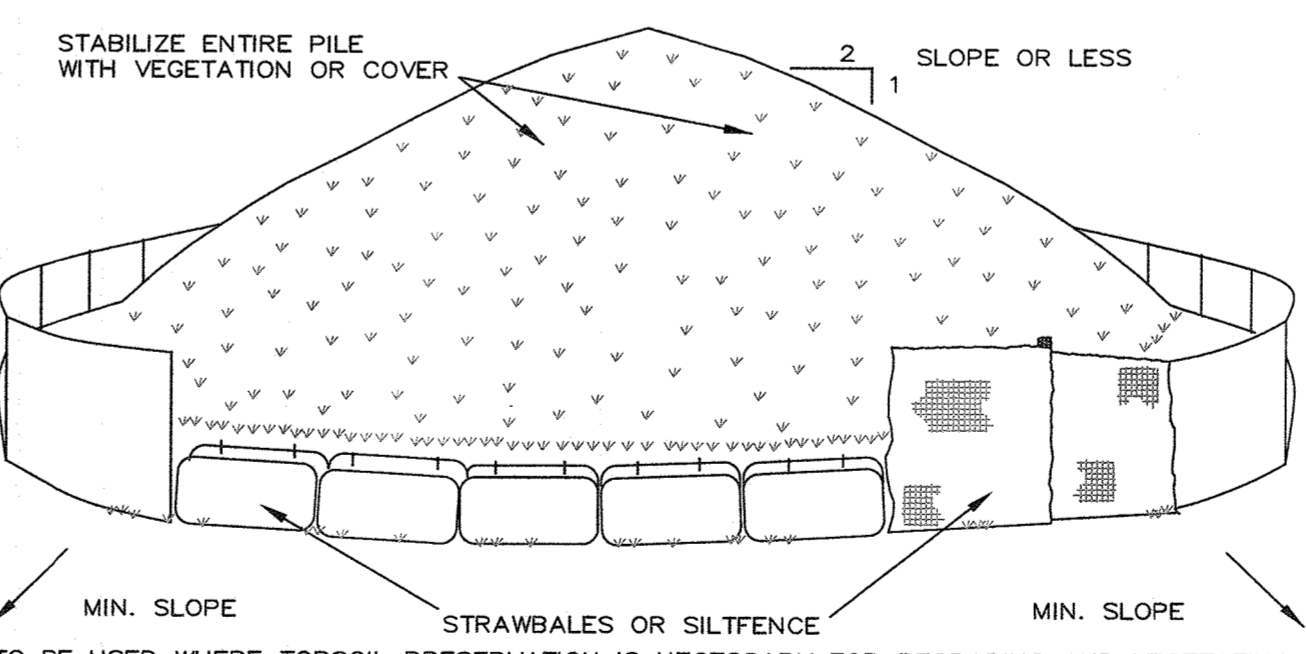


CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 'T' OR 'U' TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRA1 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE



TO BE USED WHERE TOPSOIL PRESERVATION IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE DROUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.

TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NON-VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED DURATION OF USE.

INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.

SOIL STOCKPILING

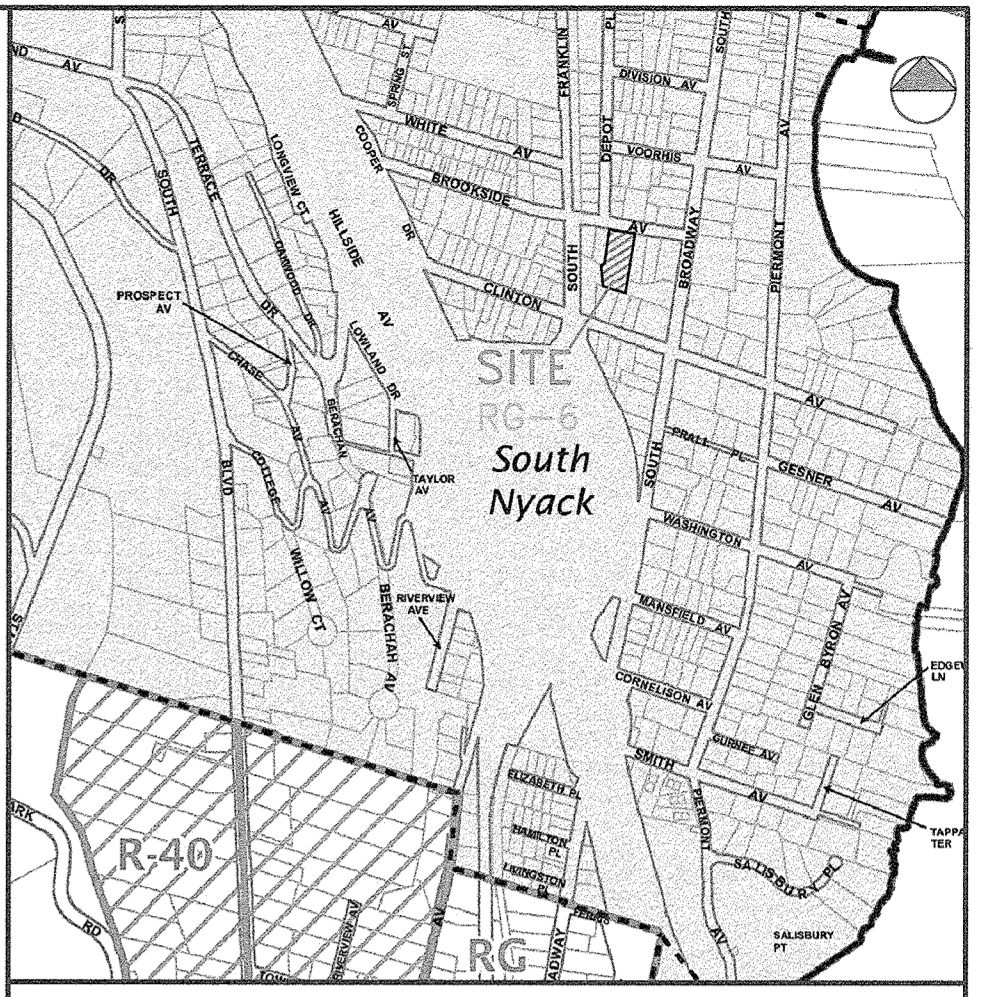
N.T.S.

CONSTRUCTION NOTES:

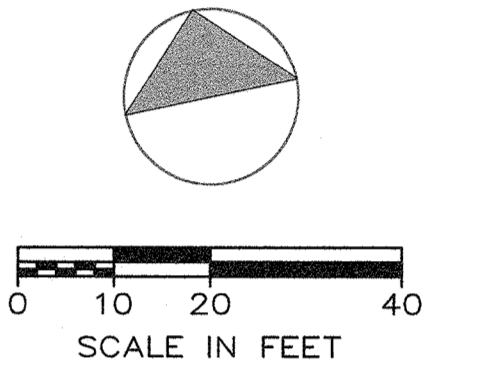
1. THE CONTRACTOR SHALL LOCATE AND VERIFY IN THE FIELD ALL UTILITIES (GAS, WATER, ELECTRICAL) BEFORE THE START OF CONSTRUCTION. CONTRACTOR SHALL CALL CODE 753 (FORMERLY CODE 53)
2. EROSION CONTROL MEASURES, INCLUDING SILT FENCE, SHALL BE REQUIRED AS DIRECTED BY THE TOWN.
3. ALL PROPERTY DISTURBED IN THE R.O.W. OR ON PRIVATE LANDS, SHALL BE RESTORED TO NEW CONDITIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICATIONS AND PERMITS REQUIRED FOR CONSTRUCTION.
7. UNDERGROUND GAS AND ELECTRIC SHALL BE AS REQUIRED BY THE TOWN AND LOCAL POWER COMPANY.

EROSION AND SEDIMENT CONTROL NOTES:

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
2. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND PROCEDURES SHALL COMPLY WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF ORANGETOWN.
3. PRIOR TO ANY EXCAVATION, SILT FENCE SHALL BE INSTALLED AT THE APPROPRIATE LOCATIONS NOTED ON EROSION CONTROL PLAN. SILT FENCING SHALL BE INSTALLED AS DIRECTED BY THE OWNER'S REPRESENTATIVE IN THE FIELD AND INSTALLED AS PER THE INSTRUCTIONS OF THE MANUFACTURER. ADDITIONAL SILT FENCE MAY BE PLACED BY THE OWNER'S REPRESENTATIVE IN THE FIELD. SILT FENCING SHALL BE MAINTAINED IN OPERABLE CONDITION AND SHALL NOT BE REMOVED UNTIL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
4. ALL FINISHED SLOPES AND ALL ROUGH CUT SLOPES TO REMAIN OPEN FOR EXTENDED PERIODS IMMEDIATELY TOPSOIL, SEED WITH A MIXTURE OF PERENNIAL RYE GRASS, ANNUAL RYE GRASS AND WINTER RYE AND MULCH WITH 6" OF HAY.
5. ALL SLOPES CONSTRUCTED WITH FILL MATERIAL AND ALL SLOPES WITH GRADE 3:1 OR STEEPER SHALL BE TOPSOILED, SEED, MULCHED AND STABILIZED WITH STAKED JUTE NETTING, UNLESS OTHERWISE NOTED.
6. ALL AREAS OF DISTURBED SOIL SHALL BE STABILIZED. IN ADDITION TO ALL SPECIFIED AND LOCATED EROSION CONTROL DEVICES, THE CONTRACTOR SHALL TAKE ALL STEPS PRUDENT AND NECESSARY TO STABILIZE THE SITE AT ALL TIMES.
7. DO NOT STOCKPILE MATERIALS ON STEEP SLOPES. IN DRAINAGE SWALES OR IN WETLAND AREAS SURROUND ALL STOCKPILE AREAS WITH SILT SCREEN AND SEED THEM WITH THE ANNUAL RYE GRASS.
8. ALL CATCH BASINS ARE TO BE PROTECTED WITH HAYBALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
9. HAYBALES SHALL BE USED AT THE TOPS AND TOES OF SLOPES, AS NECESSARY, TO COLLECT SILT AND DIVERT FLOWS. SILT SCREENS WILL BE USED IN AREAS OF UNCONCENTRATED FLOWS TO COLLECT SILT. HAYBALES AND SILT SCREEN ON PLANS MAY BE AUGMENTED IN THE FIELD AS NECESSARY.
10. UTILITY LINE EXCAVATED MATERIAL SHALL BE TEMPORARILY STOCKPILED ON HIGH SIDE OF EXCAVATION SO RUNOFF IS DIRECTED AWAY FROM TRENCH. AFTER BACK-FILLING, AREA IS TO BE TOPSOILED, SEED, AND MULCHED.
11. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
12. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. SEDIMENT SHALL BE DISPOSED OF IN A MANNER THAT DOES NOT RESULT IN ADDITIONAL EROSION OR POLLUTION.
13. INSTALL GRAVEL BED AT CONSTRUCTION ENTRANCE TO SERVE AS ANTI-TRACKING PAD. GRAVEL BED TO BE 2" DIAMETER CRUSHED STONE 6" DEEP, OVER GEOTEXTILE SUPPORT FABRIC. ANTI-TRACKING PADS TO MEASURE 50' LENGTH BY THE ROADWAY WIDTH.
14. BLASTING AREAS - ROCK, RIPPING WILL BE USED WHEREVER POSSIBLE. BLASTING WILL OCCUR IN ACCORDANCE WITH REGULATIONS AND STANDARDS PRESCRIBED BY THE TOWN OF ORANGETOWN.



LOCATION MAP
SCALE: 1" = 850'



LEGEND

- | | | | |
|----------|----------|-------|--------------|
| EXISTING | PROPOSED | | |
| | | —■—■— | SILT FENCE |
| | | ○ | UTILITY POLE |
| | | —○—○— | STONE WALL |
| | | —294— | CONTOUR LINE |

IMPERVIOUS SCHEDULE

EX. IMPERVIOUS TO REMAIN	2,018 S.F.
EX. IMPERVIOUS TO BE REMOVED	2,213 S.F.
PROPOSED IMPERVIOUS	1,451 S.F.

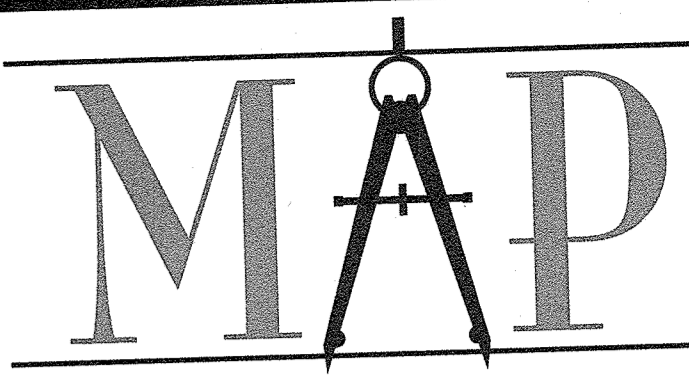
NOTE: REDUCTION OF IMPERVIOUS AREA: 762 S.F.

RALPH G. MASTROMONACO, P.E., P.C.
Consulting Engineers
13 Dove Court, Croton-on-Hudson, New York 10520
(914) 271-4762 (914) 271-2820 Fax



SITE PLAN AND EROSION CONTROL PLAN
PREPARED FOR
NEBOT RESIDENCE
11 BROOKSIDE AVENUE
VILLAGE OF SOUTH NYACK
TOWN OF ORANGETOWN, NY
JULY 1, 2022
SHEET 1 OF 1 SHEETS

Unauthorized alterations or additions to this drawing is a violation of Section 7209 (2) of the New York State Education Law.



Michael Piccirillo Architecture

NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES.
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.
© Copyright 2022 MICHAEL PICCIRILLO ARCHITECTURE

OWNER:
ERIC NEBOT
11 BROOKSIDE AVENUE
SOUTH NYACK, NY

ARCHITECT:
MICHAEL PICCIRILLO ARCHITECTURE PLLC
345 KEAR STREET
SUITE 203
YORKTOWN HEIGHTS, NY 10598

LEGEND:

DEMOLITION

PROPERTY LINE

EXISTING STRUCTURES

PROPOSED STRUCTURES

No.	DATE:	ISSUE:
2	8-8-22	ISSUED FOR PLANNING BOARD REVIEW

PROJECT NAME:
NEBOT RESIDENCE
RENOVATION/ADDITION

PROJECT ADDRESS:
11 BROOKSIDE AVENUE
NYACK, NY 10960



MICHAEL A. PICCIRILLO, AIA
345 KEAR STREET SUITE #203
YORKTOWN HEIGHTS, NEW YORK 10598

TELEPHONE: 914-368-9838
FACSIMILE: 914-368-9839
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

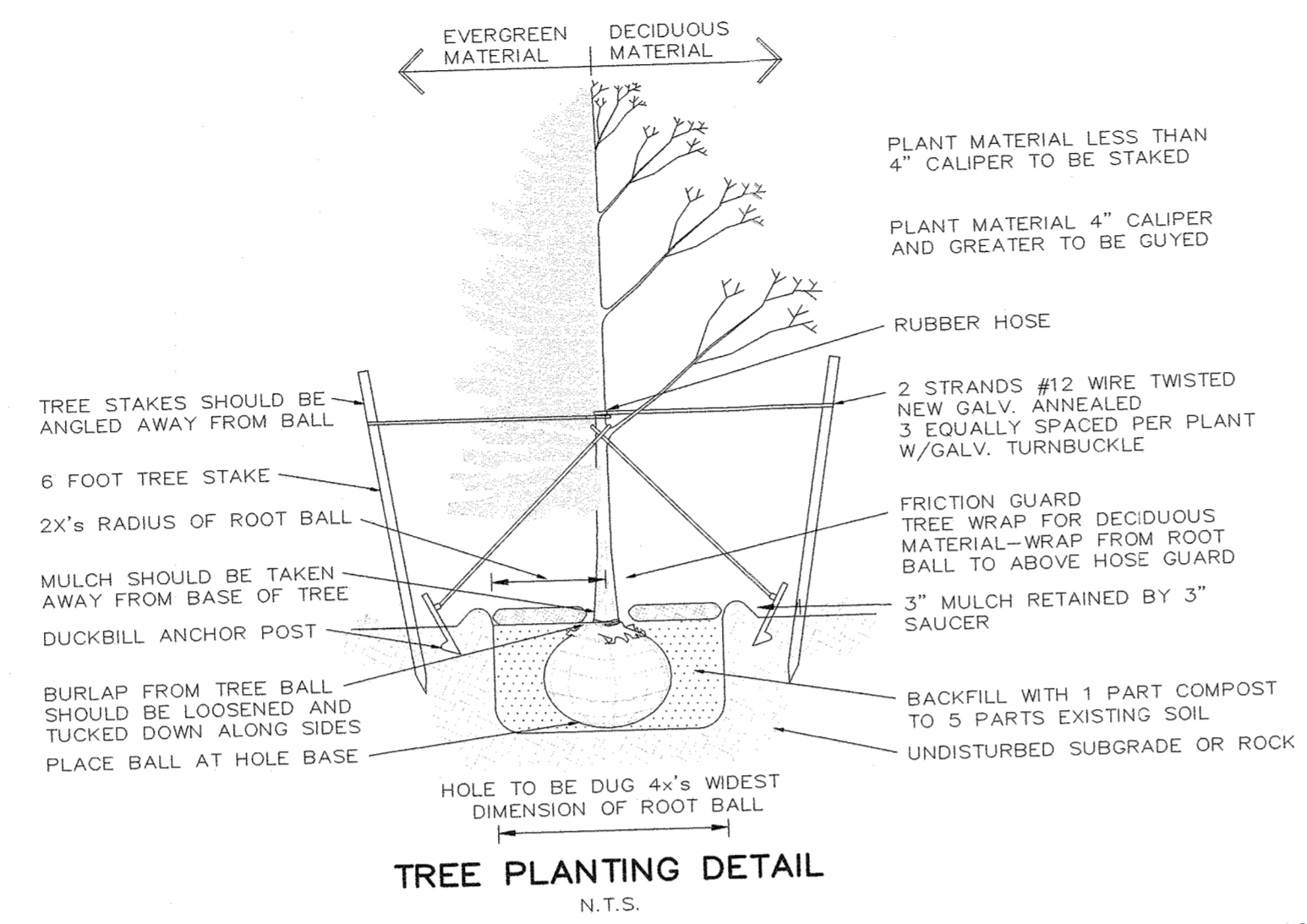
SITE PLAN
ZONING DATA

SCALE:	AS NOTED	DATE:	03-12-22
--------	----------	-------	----------

DRAWN BY:	MAP	SP-1
CHKD BY:	MAP	
1 OF 1		

PROPOSED LANDSCAPING

SPECIES	SYM.	QUANTITY	COMMENTS
EMERALD GREEN ARBORVITAE / THUJA OCCIDENTALIS		8	6'-8' COLLECTED



ZONING DATA: NYACK

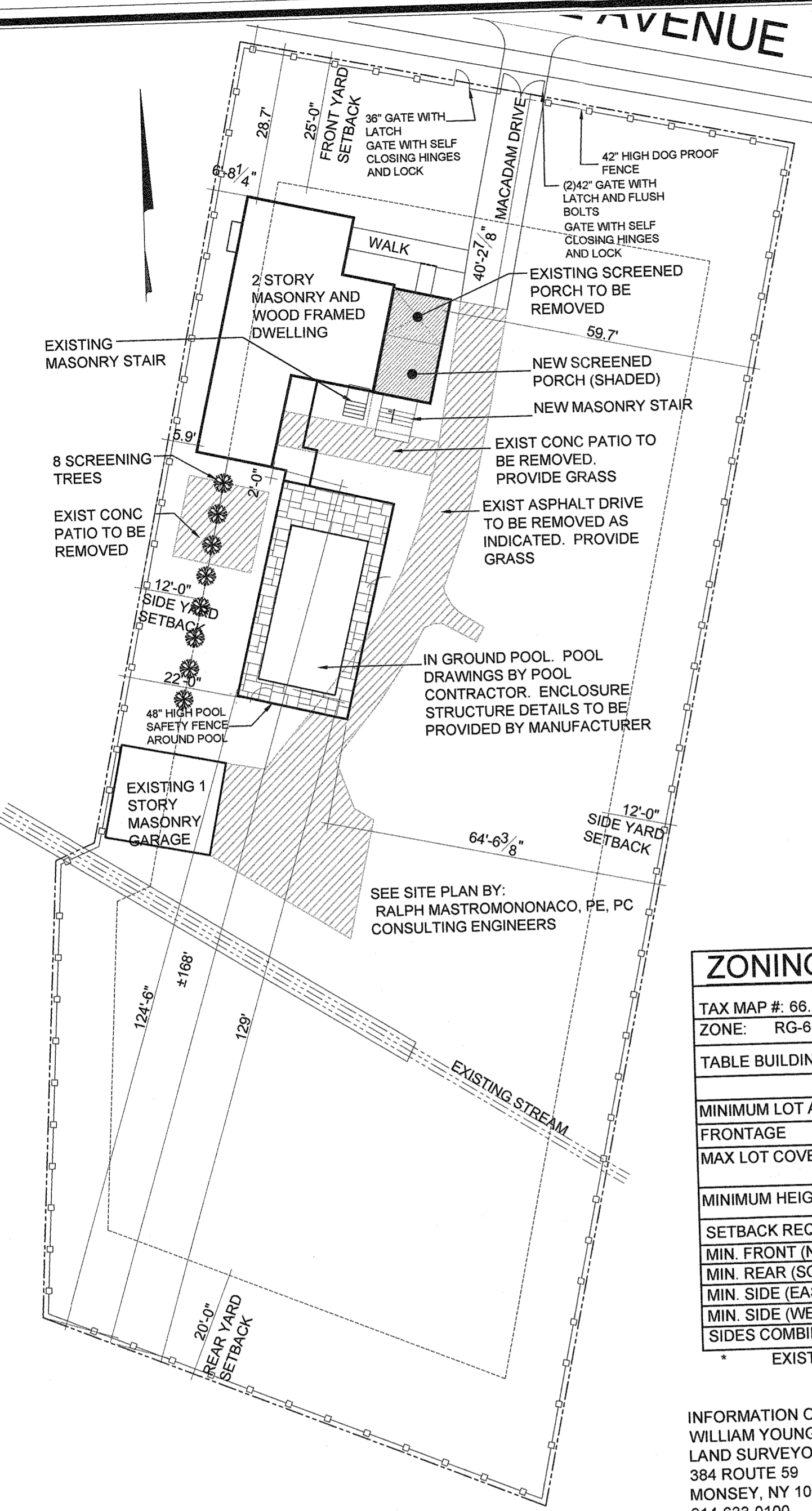
TAX MAP #: 66.54 - 1-29
ZONE: RG-6

TABLE BUILDING REQUIREMENTS				
	REQUIRED	EXISTING	PROPOSED	VARIANCE
MINIMUM LOT AREA 1	6,000 SF	27,557 SF	NO CHANGE	NO
FRONTAGE	60 FT	108 FT	NO CHANGE	NO
MAX LOT COVERAGE	50% (13,778.5SF)	15.36% (4,231 SF)	5.2% (1,451 SF)	NO
MINIMUM HEIGHT	3 ST / 30'	2 ST / <30'	NO CHANGE	NO

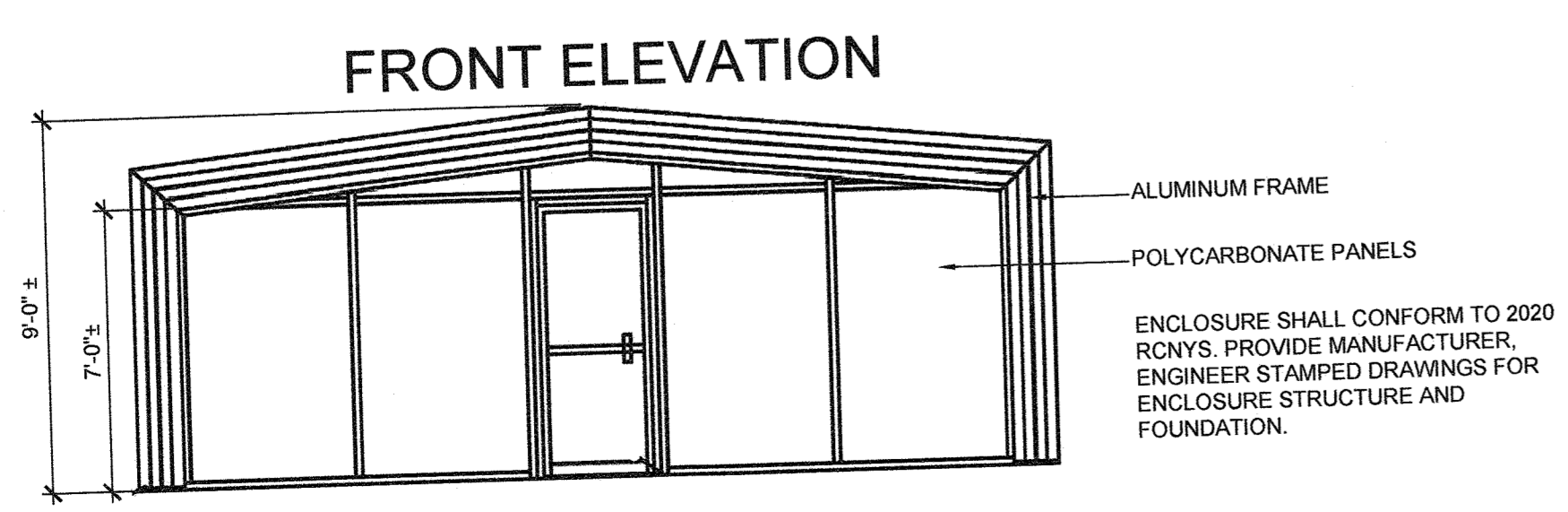
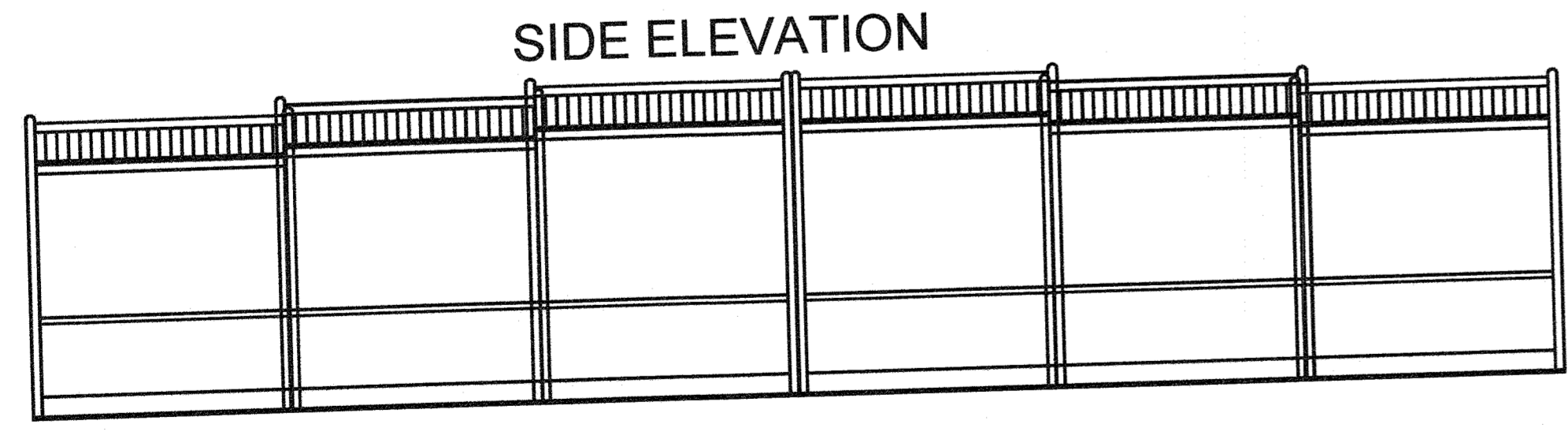
SETBACK REQUIREMENTS				
	REQUIRED	EXISTING	PROPOSED	VARIANCE
MIN. FRONT (NORTH)	25'	28.7 FT	NO CHANGE	NO
MIN. REAR (SOUTH)	20'	168±	± 129'	NO
MIN. SIDE (EAST)	12'	59.7'	NO CHANGE	NO
MIN. SIDE (WEST)	12'	5.9' *	22' (POOL)	NO
SIDES COMBINED	25'	65.6'	NO CHANGE	NO

* EXISTING NON-CONFORMING

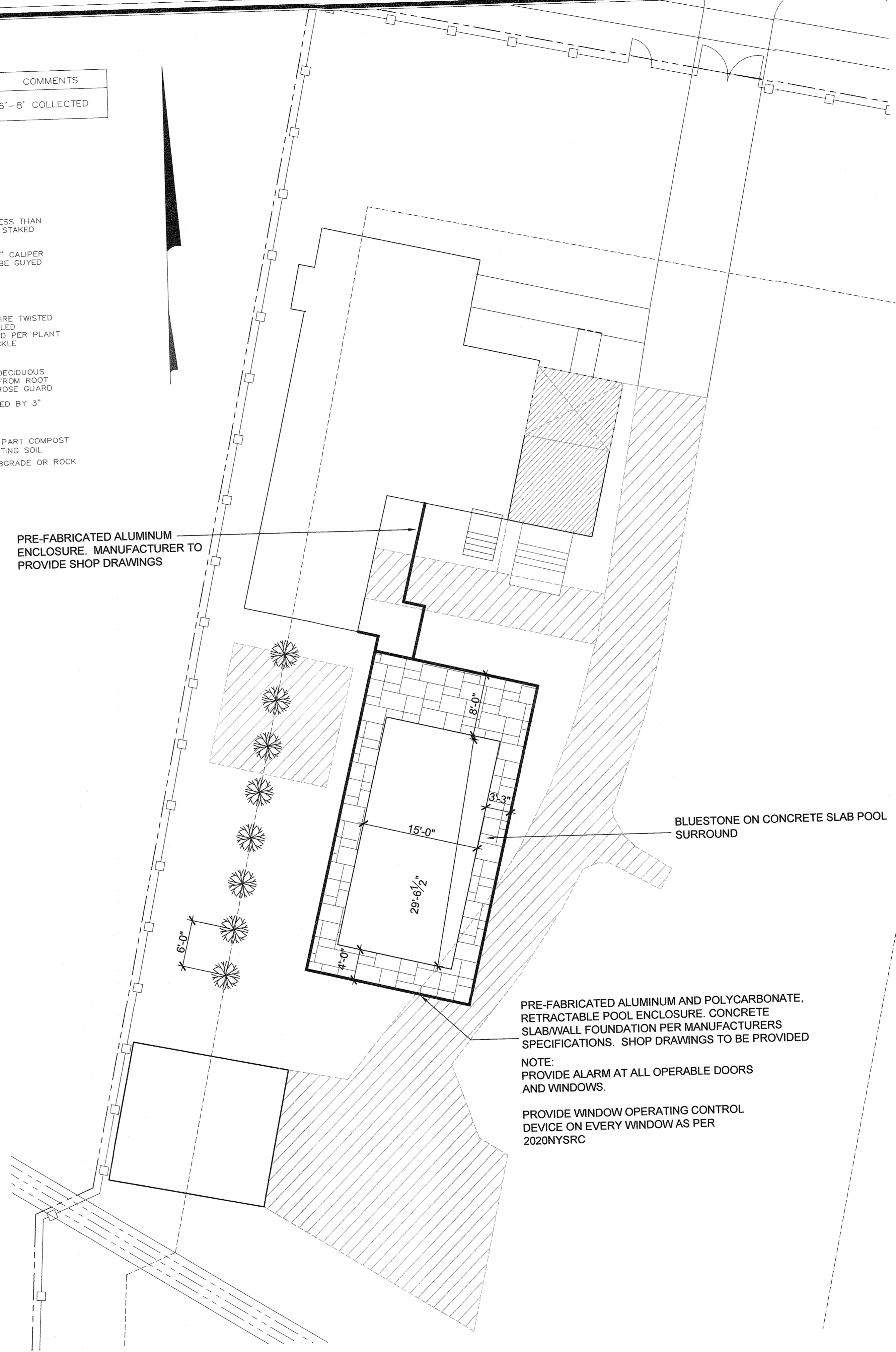
INFORMATION ON SITE PLAN FROM SURVEY FROM:
WILLIAM YOUNGBLOOD ASSOCIATES
LAND SURVEYORS - PLANNERS
384 ROUTE 59
MONSEY, NY 10952
914-633-0100
LICENSE No. 40178
DATED: APRIL 26, 2020



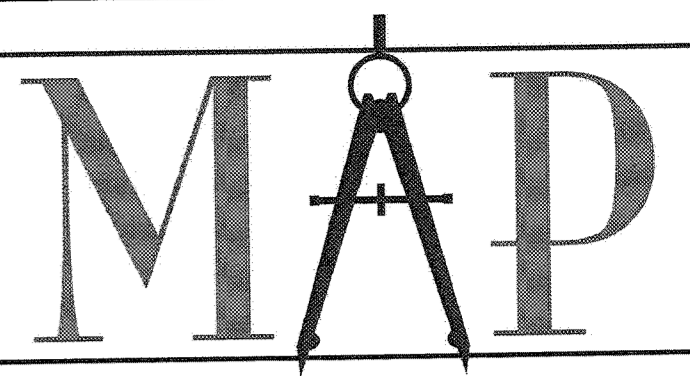
1 SITE PLAN
SCALE: 1"= 20"



3 POOL ENCLOSURE
SCALE: 1/4"= 1'-0"



2 ENLARGED PLAN
SCALE: 1/8"= 1'-0" SEE POOL NOTES: A-151



Michael Piccirillo Architecture

NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES.
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.
© Copyright 2010 MICHAEL PICCIRILLO ARCHITECTURE

WALL AND DOOR SYMBOLS

- EXISTING WALL TO REMAIN
- NEW WALLS TO BE CONSTRUCTED. SEE BUILDING SECTION FOR DETAILS
- EX. DOOR TO REMAIN.
- NEW DOOR TO BE INSTALLED
- NEW CONCRETE FOUNDATION WALL
- EX. FOUNDATION WALL TO REMAIN
- EX. WALL TO BE REMOVED

No.	DATE	ISSUE
2	8-8-22	ISSUED FOR PLANNING BOARD REVIEW

PROJECT NAME:
NEBOT RESIDENCE
RENOVATION
PROJECT ADDRESS:
11 BROOKSIDE AVENUE
NYACK, NY 10960



MICHAEL A PICCIRILLO, AIA
345 KEAR STREET
YORKTOWN HEIGHTS, NEW YORK 10598
TELEPHONE: 914-368-9838
FACSIMILE: 914-302-2933
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

DEMOLITION PLANS

SCHEDULES
SCALE: AS NOTED DATE: 1-5-21
DRAWN BY: MAP
CHKD BY: MAP
1 OF 1
A-050

DEMOLITION NOTES

- DEMOLITION AND REMOVAL OF INTERIOR AND EXTERIOR WALLS, CEILINGS, ROOF, ETC., AS INDICATED ON THE DRAWINGS.
- LOCATE DUMPSTER AS INDICATED ON SITE PLAN.
- DEMOLISH AND REMOVE INDICATED AREAS IN A SAFE AND ORDERLY WAY, REMOVING ELEMENTS IN SMALL PIECES. USE NO EXPLOSIVES.
- PREVENT THE SPREAD OF DUST OR DEBRIS TO UNAFFECTED PARTS OF THE SITE, ADJACENT PROPERTIES, OR PUBLIC STREETS. CLEAN UP ANY DUST OR DEBRIS SPREAD BY DEMOLITION.
- TAKE STEPS TO PROTECT EXISTING CONDITIONS TO REMAIN. REPAIR ANY DAMAGE AT NO COST TO THE OWNER. PROTECT AND MARK ALL NEW OPENINGS, WHICH COULD BE HAZARDOUS.
- PROVIDE TEMPORARY SUPPORT WHERE REQUIRED FOR REMOVAL OF STRUCTURAL MEMBERS.
- STORE THOSE ITEMS INDICATED TO BE SAVED SO THAT THEY ARE PROTECTED FROM DAMAGE BY WEATHER OR FURTHER CONSTRUCTION ACTIVITIES.
- ALL ITEMS NOT BEING USED SHALL BE REMOVED. ANY AND ALL ITEMS PRESENTLY IN USE BUT WILL NOT BE UTILIZED SHALL BE REMOVED. G.C. SHALL V.I.F. ALL ITEMS CURRENTLY NOT IN USE FOR DEMOLITION.
- EXISTING STRUCTURE SHALL BE MAINTAINED IN A WEATHER TIGHT CONDITION THROUGHOUT DEMOLITION. WHERE ITEMS DEEMED TO BE REMOVED SHALL EXPOSE INTERIOR OF BUILDING TO WEATHER ELEMENTS, MEASURES, PROTECTION AND SCHEDULING SHALL TAKE PLACE TO PREVENT DAMAGE TO ITEMS TO REMAIN.
- THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE EXISTING AND SHALL HAVE VISITED AND INSPECTED THE JOB SITE AND BE FULLY INFORMED AS TO THE NATURE OF EQUIPMENT AND FACILITIES NEEDED FOR THE PROPER EXECUTION OF THE WORK. STARTING OF DEMOLITION AND REMOVAL OPERATIONS WILL BE CONSTRUED AS EVIDENCE THAT THE CONTRACTOR HAS COMPLIED WITH THESE REQUIREMENTS AND LATER CLAIMS FOR DIFFICULT ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN WILL NOT BE RECOGNIZED.
- TEMPORARY PROTECTION PARTICULAR ATTENTION SHALL BE GIVEN TO THE PROTECTION OF EXISTING STRUCTURE AND FINISHES SO AS TO PREVENT ANY DAMAGE OF EXISTING FINISHES NOT DESIGNATED FOR DEMOLITION. PROVIDE ALL NECESSARY TEMPORARY CONSTRUCTION AND DUST PROOF PROTECTION. PROTECTION SHALL BE IN COMPLIANCE WITH BUILDING STANDARDS. TYPE AND LOCATION OF PROTECTION SHALL BE REVIEWED WITH OWNERS CONSTRUCTION REPRESENTATIVE PRIOR TO COMMENCING WORK.

WINDOW SCHEDULE

WINDOW MARK	MODEL NUM.	WINDOW ROUGH OPENING (Width x Height)	WINDOW TYPE	INTERIOR CASING	EXTERIOR CASING	MUNTIN PATTERN	HARDWARE	REMARKS
A	C14	2'-0" 5/8" x 4'-0" 1/2"	CASEMENT	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	FULL BUG SCREEN PAINTED WHITE INTERIOR. TEMPERED GLASS

- WINDOW SPECIFICATION**
WINDOW SHOP DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT.
- ALL WINDOWS SCHEDULED ARE MANUFACTURED BY ANDERSEN WINDOW COMPANY.
 - VINYL CLAD EXTERIOR. COLOR: WHITE
 - INTERIOR FINISH: COLOR: WHITE
 - EXTERIOR TRIM: MATCH EXISTING
 - SPACER BAR: MATCH EXISTING
 - GLAZING: INSULATED LOW-E 272 GLASS WITH ARGON GAS.
 - HARDWARE: MATCH EXISTING
 - WINDOW SCREENS: FULL
 - PROVIDE SAFETY GLAZING WHERE REQUIRED BY THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

DOOR SCHEDULE

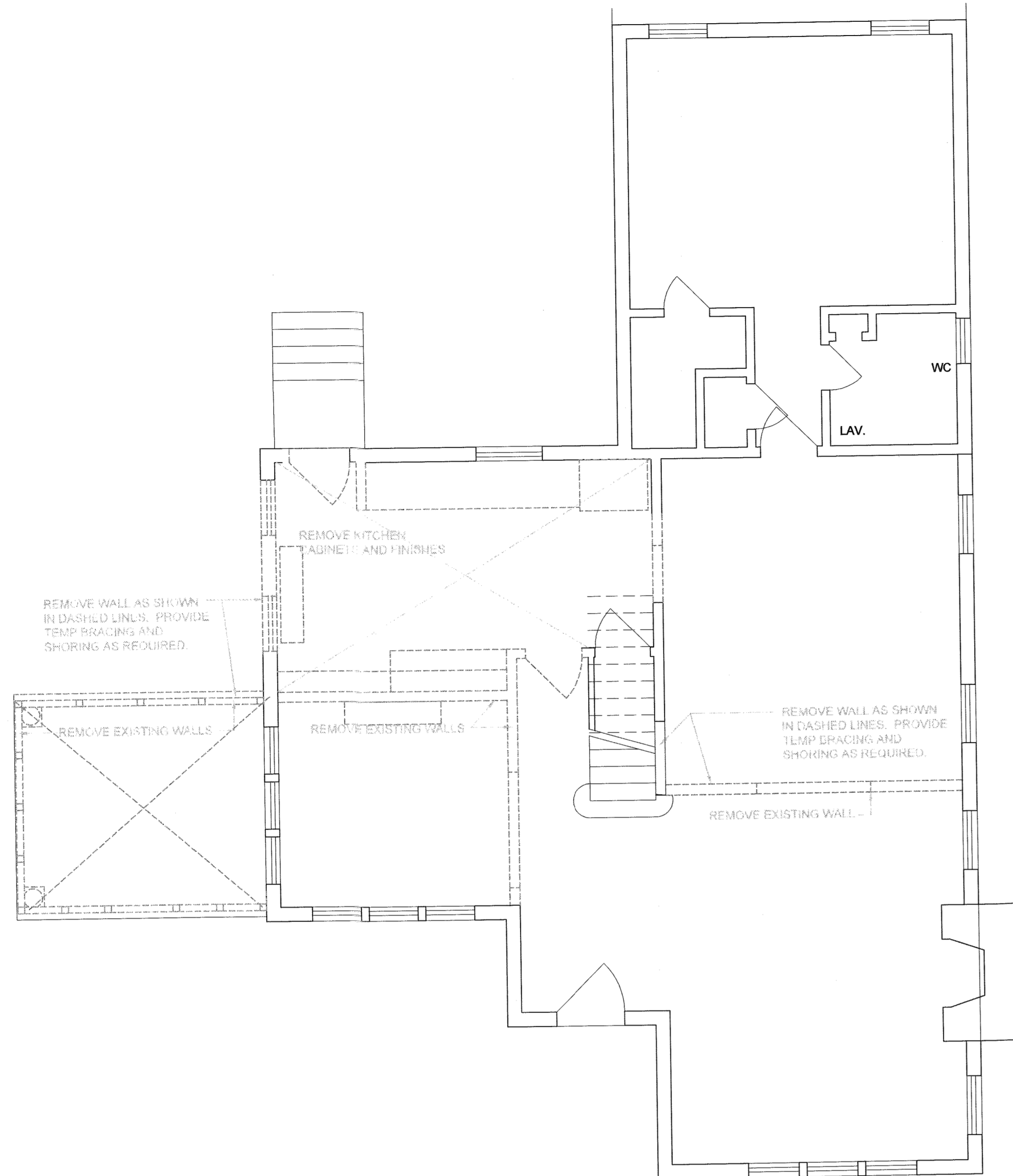
DOOR NUMBER	LOCATION	MODEL NUMBER DOOR OPENING (W x H x THICKNESS)	DOOR TYPE	DOOR MATERIAL	DOOR & FRAME FINISH	FRAME MATERIAL	HARDWARE SET	REMARKS
01	KITCHEN	FWH 29611 2'-0" x 6'-11" x 1 3/4"	ENTRY	VINYL CLAD	VINYL / WOOD	WOOD	ENTRY	ALUMINUM SILL / SCREEN DOOR
02	SCREEN PORCH	(2) 3'-0" x 6'-8" x 1 3/4"	DOUBLE	SCREEN DOOR	PAINT	WOOD	ENTRY	ALUMINUM SILL /
03	KITCHEN	FWG 60611 6'-0" x 6'-11" x 1 3/4"	ENTRY	VINYL CLAD	VINYL / WOOD	WOOD	ENTRY	
200	MASTER BEDROOM	2'-8" x 6'-8" x 1 3/4"	SINGLE	MDF	PAINT	WOOD	BEDROOM LOCKSET	
201	MASTER BEDROOM	2'-6" x 6'-8" x 1 3/4"	SINGLE	MDF	PAINT	WOOD	BATHROOM	MARBLE SADDLE

- DOOR SCHEDULE NOTES**
- OWNER TO PROVIDE ALL DOOR LATCH/LOCK SETS AND HINGES. CONTRACTOR TO INSTALL ALL HINGES/LATCH/LOCK SETS.
 - WHERE WEATHER-STRIPPING IS CALLED FOR, PROVIDE ON FOUR (4) SIDES, INCLUDING SADDLE.

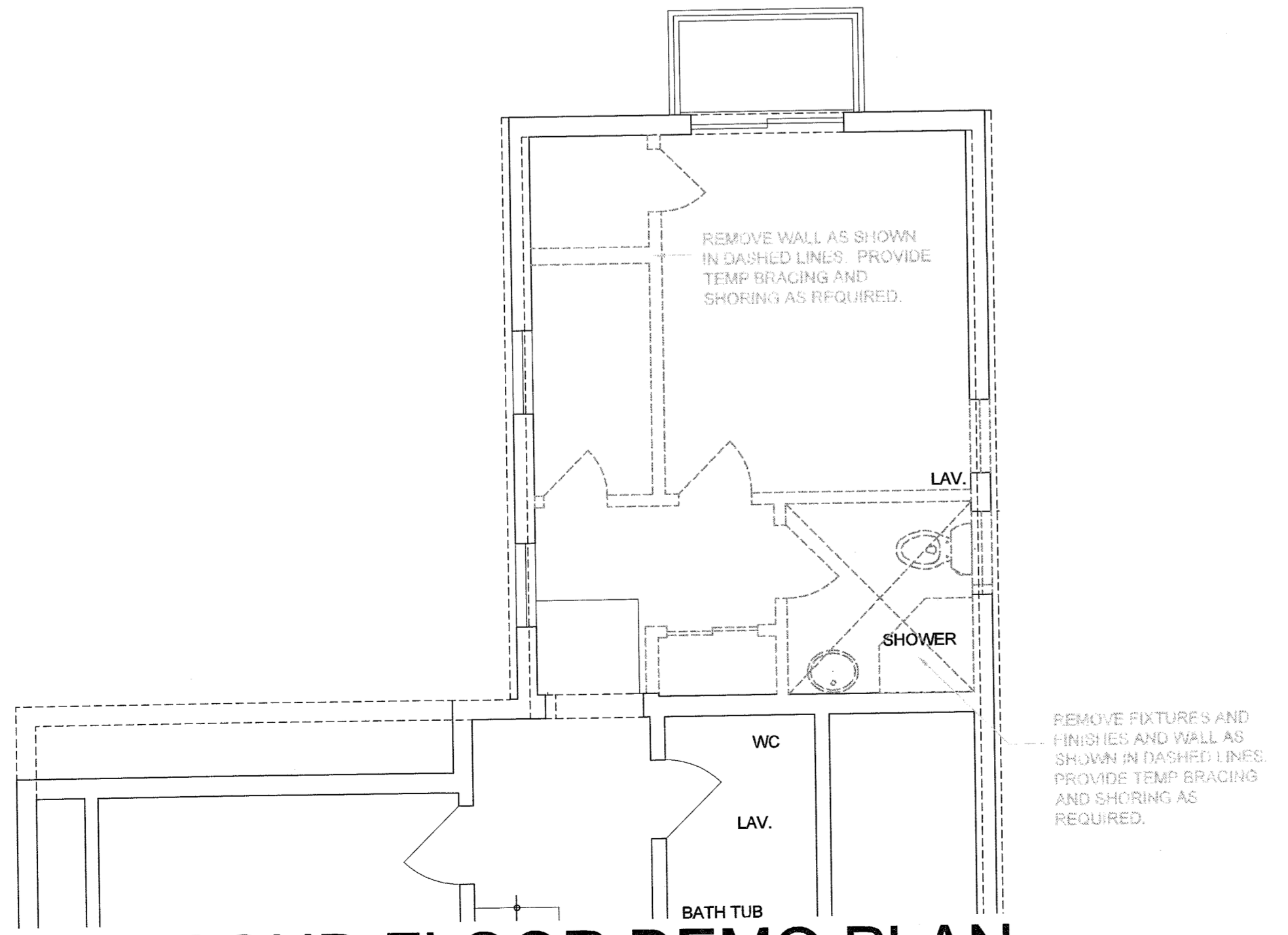
FINISH SCHEDULE

ROOM NAME	FLOOR FINISH	BASE	NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING	REMARKS
			MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.		
SCREENED PORCH	BLUESTONE										BEADED BOARD	
KITCHEN	HARDWOOD FLOORING	MATCH EXISTING	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT / TILE	GYP.	PAINT	GYP. BD. PAINTED	
DINING ROOM	EXISTING HARDWOOD FLOORING - REFINISHED											
MASTER BEDROOM	HARDWOOD FLOORING	MATCH EXISTING	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
LIVING ROOM	EXISTING HARDWOOD FLOORING - REFINISHED											
MASTER BATHROOM	TILE FLOOR		GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP.	PAINT	GYP. BD. PAINTED	
FAMILY ROOM	EXISTING HARDWOOD FLOORING - REFINISHED											

- FINISH SCHEDULE NOTES**
- ALL TILE OR STONE FLOORING TO BE SET ON THINSET OVER CEMENT BOARD, TYP. U.O.N.
 - ALL MARBLE TILE TO BE INSTALLED AS PER THE MARBLE INSTITUTE OF AMERICA. MARBLE TILE INSTALLATIONS REQUIRING A MUD SET TO BE COORDINATED WITH FRAMER TO DROP OR MODIFY FRAMING AS REQUIRED.
 - ALL NATURAL STONE TILE TO BE INSTALLED AS PER THE NATURAL STONE INSTITUTE OF AMERICA. NATURAL TILE INSTALLATIONS REQUIRING A MUD SET TO BE COORDINATED WITH FRAMER TO DROP OR MODIFY FRAMING AS REQUIRED.
 - ALL CERAMIC & PORCELAIN TILE TO BE INSTALLED AS PER THE NATIONAL TILE COUNCIL OF NORTH AMERICA. TILE TO BE INSTALLED ON THINSET AND UNCOUPLING AND WATERPROOF MEMBRANE DITRA OR DITRA-XL BY SCHLUTER OR APPROVED EQUAL.
 - ALL TILE, MARBLE SADDLES AND COUNTERTOPS TO BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR.
 - HARDWOOD FLOORING TO BE 6" WHITE OAK HARDWOOD FLOORING WITH MINIMAL SHORT PIECES. INSTALLED, SANDED PLUS 1 COAT NATURAL STAIN & 3 COATS OIL BASED POLYURETHANE.
 - ALL SURFACES AND FINISHES TO RECEIVE PRIMER IN STRICT ACCORDANCE WITH PAINT MANUFACTURER'S RECOMMENDATIONS. RECOAT AS REQUIRED FOR PROPER COVERAGE.
 - * PATCH TO MATCH ALL CEILINGS DAMAGED BY NEW CONSTRUCTION
- HWWD = CLEAR SELECT WHITE OAK HARDWOOD FLOORING
GYP. = GYPSUM WALLBOARD
CEM. = CEMENT BOARD



A FIRST FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"



B SECOND FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"

NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES.
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.
© Copyright 2010 MICHAEL PICCIRILLO ARCHITECTURE

WALL AND DOOR SYMBOLS

- EXISTING WALL TO REMAIN
- NEW WALLS TO BE CONSTRUCTED. SEE BUILDING SECTION FOR DETAILS
- EX. DOOR TO REMAIN
- NEW DOOR TO BE INSTALLED
- NEW CONCRETE FOUNDATION WALL
- EX. FOUNDATION WALL TO REMAIN
- EX. WALL TO BE REMOVED

No.	DATE	ISSUE
2	8-8-22	ISSUED FOR PLANNING BOARD REVIEW

PROJECT NAME:
NEBOT RESIDENCE
RENOVATION

PROJECT ADDRESS:
11 BROOKSIDE AVENUE
NYACK, NY 10960



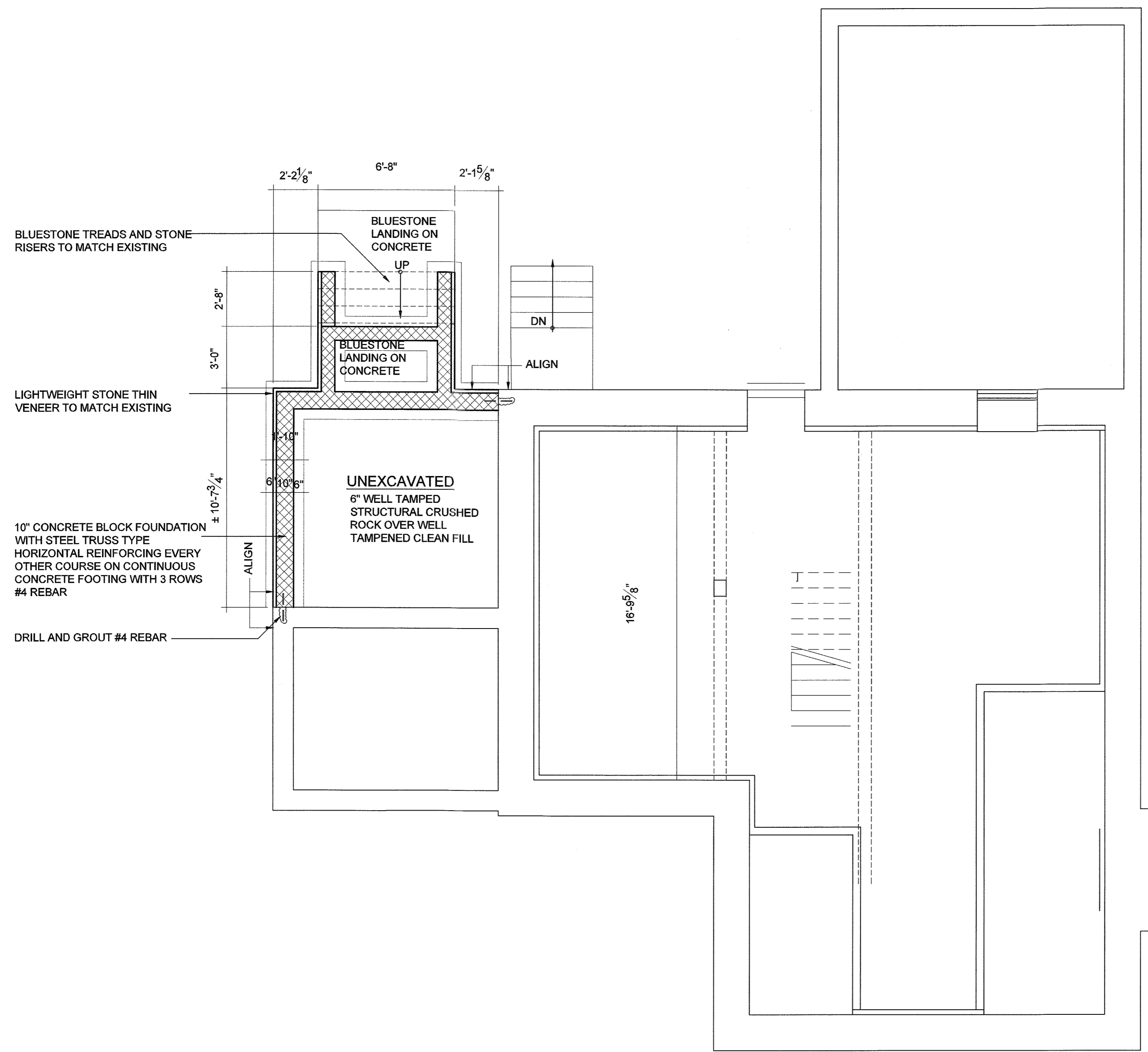
MICHAEL A PICCIRILLO, AIA
345 KEAR STREET
YORKTOWN HEIGHTS, NEW YORK 10598
TELEPHONE: 914-368-9838
FACSIMILE: 914-302-2933
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

PLANS

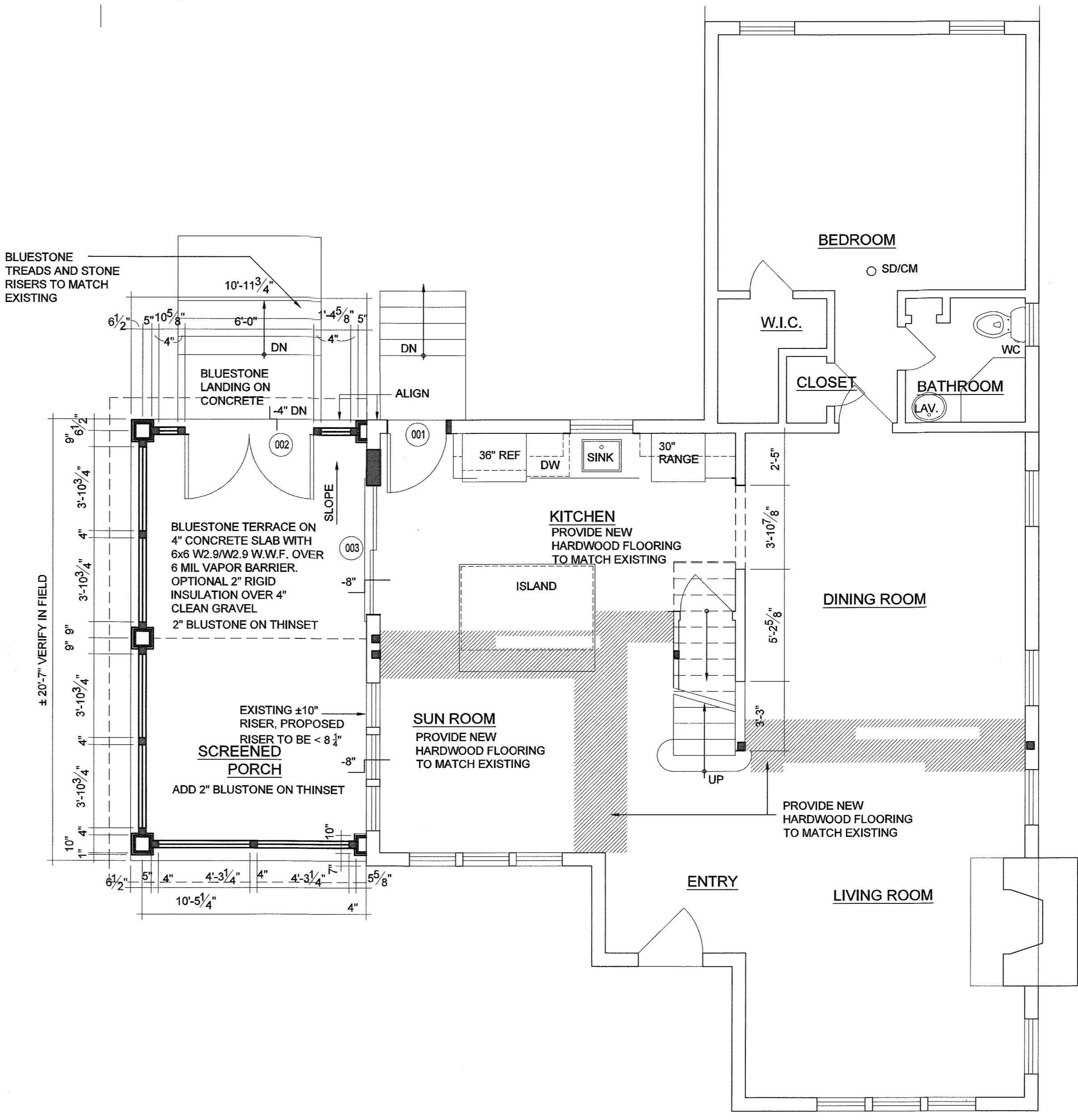
SCALE:	AS NOTED	DATE:	1-5-21
--------	----------	-------	--------

DRAWN BY: MAP
CHK'D BY: MAP

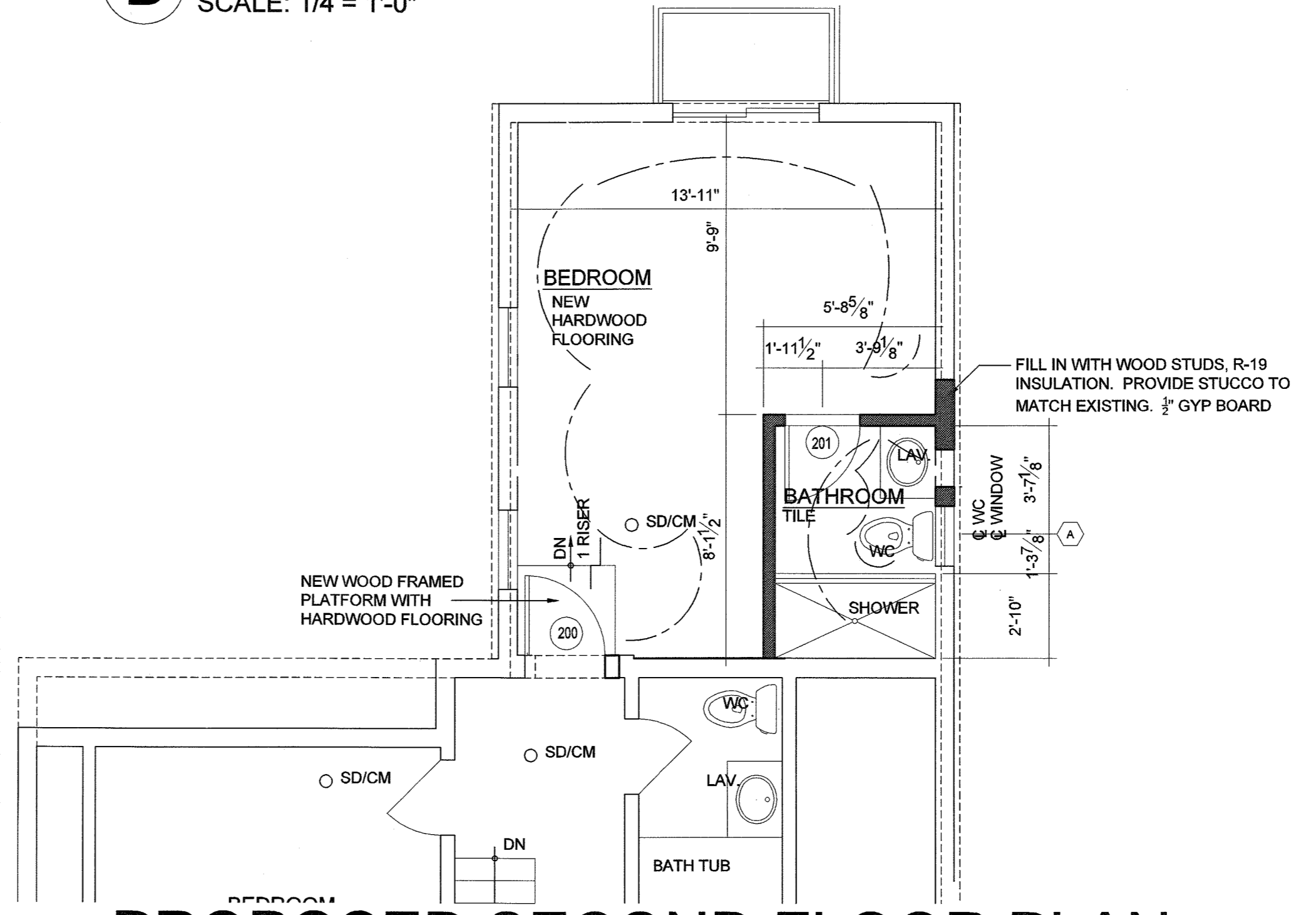
A-100



A PROPOSED FOUNDATION PLAN
SCALE: 1/4 = 1'-0"



B PROPOSED FIRST FLOOR PLAN
SCALE: 1/4 = 1'-0"



C PROPOSED SECOND FLOOR PLAN
SCALE: 1/4 = 1'-0"

SECTION R326

SWIMMING POOLS, SPAS AND HOT TUBS

R326.1 GENERAL. THE PROVISIONS OF THIS SECTION SHALL CONTROL THE DESIGN AND CONSTRUCTION AS WELL AS SUBSTANTIAL MODIFICATION OF SWIMMING POOLS, SPAS AND HOT TUBS INSTALLED IN OR ON THE LOT OF DWELLINGS REGULATED UNDER THIS CODE. DETACHED ONE AND TWO-FAMILY DWELLINGS CLASSIFIED AS GROUP R-3 ARE CONSTRUCTED UNDER THE BUILDING CODE OF NEW YORK STATE.

EXCEPTION: COMMUNAL POOLS FOR THE SHARED USE OF MULTIPLE TOWNHOUSE UNITS SHALL BE REGULATED BY THE BUILDING CODE OF NEW YORK STATE.

R326.1.1 COMPLIANCE WITH OTHER SECTIONS. SWIMMING POOLS, SPAS AND HOT TUBS SHALL COMPLY WITH THIS SECTION AND OTHER APPLICABLE SECTIONS OF THIS CODE. THE REQUIREMENTS OF THIS SECTION AND OF THE OTHER APPLICABLE SECTIONS OF THIS CODE SHALL BE IN ADDITION TO, AND NOT IN REPLACEMENT OF OR SUBSTITUTION FOR, THE REQUIREMENTS OF OTHER APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS, INCLUDING, BUT NOT NECESSARILY LIMITED TO THE REQUIREMENTS OF SECTION 8003 (FEDERAL SWIMMING POOL AND SPA DRAIN COVER STANDARD) OF TITLE 15 OF THE UNITED STATES CODE (CPS 15 USC 8003), WHERE APPLICABLE.

R326.2 DEFINITIONS. FOR THE PURPOSE OF THESE REQUIREMENTS, THE TERMS USED SHALL BE DEFINED AS FOLLOWS AND AS SET FORTH IN CHAPTER 2.

BARRIER, PERMANENT. A FENCE, THE WALLS OF A PERMANENT STRUCTURE, ANY OTHER STRUCTURE OR COMBINATION THEREOF WHICH COMPLETELY SURROUNDS THE SWIMMING POOL AND SUFFICIENTLY OBSTRUCTS ACCESS TO THE SWIMMING POOL.

BARRIER, TEMPORARY. AN APPROVED TEMPORARY FENCE, PERMANENT FENCE, THE WALLS OF A PERMANENT STRUCTURE, ANY OTHER STRUCTURE, OR ANY COMBINATION THEREOF THAT SUFFICIENTLY PREVENTS ACCESS TO THE SWIMMING POOL BY ANY PERSON NOT ENGAGED IN THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL DURING ITS INSTALLATION OR CONSTRUCTION.

HOT TUB. SEE "SPA."

RESIDENTIAL. THAT WHICH IS SITUATED ON THE PREMISES OF DWELLINGS REGULATED UNDER THIS CODE, AND DETACHED DWELLINGS CLASSIFIED AS R-3 AND CONSTRUCTED UNDER THE BUILDING CODE OF NEW YORK STATE.

SPA A PORTABLE OR NON-PORTABLE STRUCTURE INTENDED FOR RECREATIONAL OR THERAPEUTIC BATHING, IN WHICH ALL CONTROLS, WATER HEATING AND WATER-CIRCULATING EQUIPMENT ARE AN INTEGRAL PART OF THE PRODUCT. SPAS ARE SHALLOW IN DEPTH AND ARE NOT DESIGNED FOR SWIMMING OR DIVING.

SUBSTANTIAL DAMAGE. FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THE POOL ALARM PROVISIONS OF THIS SECTION, DAMAGE OF ANY ORIGIN SUSTAINED BY A SWIMMING POOL, WHEREBY THE COST OF RESTORING THE SWIMMING POOL TO ITS BEFORE-DAMAGED CONDITION WOULD EQUAL OR EXCEED 50 PERCENT OF THE MARKET VALUE OF THE SWIMMING POOL BEFORE THE DAMAGE OCCURRED.

SUBSTANTIAL MODIFICATION. FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THE POOL ALARM PROVISIONS OF THIS SECTION, ANY REPAIR, ALTERATION, ADDITION OR IMPROVEMENT OF A SWIMMING POOL, THE COST OF WHICH EQUALS OR EXCEEDS 50 PERCENT OF THE MARKET VALUE OF THE SWIMMING POOL BEFORE THE IMPROVEMENT OR REPAIR IS STARTED, IF A SWIMMING POOL HAS SUSTAINED SUBSTANTIAL DAMAGE, ANY REPAIRS ARE CONSIDERED SUBSTANTIAL MODIFICATION REGARDLESS OF THE ACTUAL REPAIR WORK PERFORMED.

SUCTION OUTLET. A FITTING, FITTING ASSEMBLY, COVER/GRATE, SUMP, AND RELATED COMPONENTS THAT PROVIDE A LOCALIZED LOW-PRESSURE AREA FOR THE TRANSFER OF WATER FROM A SWIMMING POOL.

SWIMMING POOL. ANY STRUCTURE, BASIN, CHAMBER OR TANK WHICH IS INTENDED FOR SWIMMING, DIVING, RECREATIONAL BATHING OR WADING AND WHICH CONTAINS, IS DESIGNED TO CONTAIN, OR IS CAPABLE OF CONTAINING WATER MORE THAN 24 INCHES (610 MM) DEEP AT ANY POINT. THIS INCLUDES IN-GROUND, ABOVE-GROUND AND ON-GROUND POOLS, INDOOR POOLS, HOT TUBS, SPAS, AND WADING POOLS.

SWIMMING POOL, INDOOR. A SWIMMING POOL WHICH IS TOTALLY CONTAINED WITHIN A STRUCTURE AND SURROUNDED ON ALL FOUR SIDES BY THE WALLS OF THE ENCLOSING STRUCTURE.

SWIMMING POOL, OUTDOOR. ANY SWIMMING POOL WHICH IS NOT AN INDOOR POOL.

R326.3 COMPLIANCE WITH OTHER STANDARDS.

R326.3.1 IN-GROUND POOLS. IN-GROUND POOLS SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANS/APSP/ICC 5 (AMERICAN NATIONAL STANDARD FOR RESIDENTIAL IN-GROUND SWIMMING POOLS, 2011).

R326.3.2 ABOVE-GROUND AND ON-GROUND POOLS. ABOVE-GROUND AND ON-GROUND POOLS SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANS/APSP/ICC 4 (AMERICAN NATIONAL STANDARD FOR ABOVE-GROUND/ON-GROUND RESIDENTIAL SWIMMING POOLS, 2012).

R326.3.3 PERMANENTLY INSTALLED SPAS AND HOT TUBS. PERMANENTLY INSTALLED SPAS AND HOT TUBS SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANS/APSP/ICC 3 (AMERICAN NATIONAL STANDARD FOR PERMANENTLY INSTALLED RESIDENTIAL SPAS AND SWIM SPAS, 2014).

R326.3.4 PORTABLE SPAS AND HOT TUBS. PORTABLE SPAS AND HOT TUBS SHALL BE DESIGNED AND CONSTRUCTED IN CONFORMANCE WITH ANS/APSP/ICC 6 (AMERICAN NATIONAL STANDARD FOR RESIDENTIAL PORTABLE SPAS AND SWIM SPAS, 2013).

R326.4 BARRIERS, APPLICATION. THE PROVISIONS OF THIS SECTION SHALL CONTROL THE DESIGN OF BARRIERS FOR SWIMMING POOLS, SPAS AND HOT TUBS. THESE DESIGN CONTROLS ARE INTENDED TO PROVIDE PROTECTION AGAINST POTENTIAL DROWNING AND NEAR DROWNING BY SUFFICIENTLY PREVENTING ACCESS TO SWIMMING POOLS, SPAS AND HOT TUBS BY PERSONS OUTSIDE THE PROPERTY, PERSONS WITHIN THE DWELLING, AND PERSONS IN OTHER PARTS OF THE PROPERTY NOT CONTAINED WITHIN THE POOL ENCLOSURE.

R326.4.1 TEMPORARY BARRIERS. AN OUTDOOR SWIMMING POOL SHALL BE SURROUNDED BY A TEMPORARY BARRIER DURING INSTALLATION OR CONSTRUCTION THAT SHALL REMAIN IN PLACE UNTIL A PERMANENT BARRIER IN COMPLIANCE WITH SECTION R326.4.2 IS PROVIDED.

EXCEPTIONS:

1. ABOVE-GROUND OR ON-GROUND POOLS WHERE THE POOL STRUCTURE CONSTITUTES A BARRIER IN COMPLIANCE WITH SECTION R326.4.2.9.
2. SPAS OR HOT TUBS WITH A SAFETY COVER WHICH COMPLIES WITH ASTM F1346, PROVIDED THAT SUCH SAFETY COVER IS IN PLACE DURING THE PERIOD OF INSTALLATION OR CONSTRUCTION OF SUCH HOT TUB OR SPA. THE TEMPORARY REMOVAL OF A SAFETY COVER AS REQUIRED TO FACILITATE THE INSTALLATION OR CONSTRUCTION OF A HOT TUB OF A HOT TUB OR SPA DURING PERIODS WHEN AT LEAST ONE PERSON ENGAGED IN THE INSTALLATION OR CONSTRUCTION IS PRESENT IS PERMITTED.

R326.4.1.1 HEIGHT. THE TOP OF THE TEMPORARY BARRIER SHALL BE AT LEAST 48 INCHES (1219 MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER WHICH FACES AWAY FROM THE SWIMMING POOL.

R326.4.1.2 REPLACEMENT BY A PERMANENT BARRIER. A TEMPORARY BARRIER SHALL BE REPLACED BY A COMPLYING PERMANENT BARRIER WITHIN EITHER OF THE FOLLOWING PERIODS:

1. 90 DAYS OF THE DATE OF ISSUANCE OF THE BUILDING PERMIT FOR THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL; OR
2. 90 DAYS OF THE DATE OF COMMENCEMENT OF THE INSTALLATION OR CONSTRUCTION OF THE SWIMMING POOL.

R326.4.1.2.1 REPLACEMENT EXTENSION. SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL, THE TIME PERIOD FOR COMPLETION OF THE PERMANENT BARRIER MAY BE EXTENDED FOR GOOD CAUSE, INCLUDING, BUT NOT LIMITED TO, ADVERSE WEATHER CONDITIONS DELAYING CONSTRUCTION.

R326.4.2 PERMANENT BARRIERS. SWIMMING POOLS SHALL BE COMPLETELY ENCLOSED BY A PERMANENT BARRIER COMPLYING WITH SECTIONS R326.4.2.1 THROUGH R326.4.2.6.

R326.4.2.1 BARRIER HEIGHT AND CLEARANCES. THE TOP OF THE BARRIER SHALL BE NO LESS THAN 48 INCHES (1219 mm) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. THE VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL NOT BE GREATER THAN 2 INCHES (51 MM) MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. WHERE THE TOP OF THE POOL STRUCTURE IS ABOVE GRADE, THE BARRIER MAY BE AT GROUND LEVEL, OR MOUNTED ON TOP OF THE POOL STRUCTURE. WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, THE BARRIER SHALL COMPLY WITH SECTIONS R326.4.2.2 AND R326.4.2.3.

R326.4.2.2 SOLID BARRIER SURFACES. SOLID BARRIERS WHICH DO NOT HAVE OPENINGS SHALL NOT CONTAIN INDENTATIONS OR PROTRUSIONS EXCEPT FOR NORMAL CONSTRUCTION TOLERANCES AND TOOLED MASONRY JOINTS.

R326.4.2.3 CLOSELY SPACED HORIZONTAL MEMBERS. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS LESS THAN 45 INCHES (1143 mm), THE HORIZONTAL MEMBERS SHALL BE LOCATED ON THE SWIMMING POOL SIDE OF THE FENCE. SPACING BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 13/4 INCHES (44 MM) IN WIDTH. WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL BE NOT GREATER THAN 13/4 INCHES (44 MM) IN WIDTH.

PAGE 3 OF 4

POOL, SPA AND HOT TUB BARRIER AND ALARM REQUIREMENTS NYS CODE 2020 -- 2020-05-18

SECTION R326 (CONTINUED)

R326.4.2.4 WIDELY SPACED HORIZONTAL MEMBERS. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS 45 INCHES (1143 MM) OR MORE, SPACING BETWEEN VERTICAL MEMBERS SHALL BE NOT GREATER THAN 4 INCHES (102 MM). WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL BE NOT GREATER THAN 13/4 INCHES (44 mm) IN WIDTH.

R326.4.2.5 CHAIN LINK DIMENSIONS. MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 21/4 INCH (57MM) SQUARE, UNLESS THE FENCE HAS VERTICAL SLATS FASTENED AT THE TOP OR THE BOTTOM WHICH REDUCE THE OPENINGS TO NOT MORE THAN 13/4 INCHES (44 MM).

R326.4.2.6 DIAGONAL MEMBERS. WHERE THE BARRIER IS COMPOSED OF DIAGONAL MEMBERS, THE MAXIMUM OPENING FORMED BY THE DIAGONAL MEMBERS SHALL NOT BE GREATER THAN 13/4 INCHES (44 MM).

R326.4.2.7 GATES. GATES SHALL COMPLY WITH THE REQUIREMENTS OF SECTIONS R326.4.2.1 THROUGH R326.4.2.6, AND WITH THE FOLLOWING REQUIREMENTS:

R326.4.2.7.1 SELF-CLOSING AND OPENING CONFIGURATION. ALL GATES SHALL BE SELF-CLOSING. IN ADDITION, IF THE GATE IS A PEDESTRIAN ACCESS GATE, THE GATE SHALL OPEN OUTWARD, AWAY FROM THE POOL.

R326.4.2.7.2 LATCHING. ALL GATES SHALL BE SELF-LATCHING, WITH THE LATCH HANDLE LOCATED WITHIN THE ENCLOSURE (I.E., ON THE POOL SIDE OF THE ENCLOSURE) AND AT LEAST 40 INCHES (1016 MM) ABOVE GRADE. IN ADDITION, IF THE LATCH HANDLE IS LOCATED LESS THAN 54 INCHES (1372 MM) FROM GRADE, THE LATCH HANDLE SHALL BE LOCATED AT LEAST 3 INCHES (76 MM) BELOW THE TOP OF THE GATE, AND NEITHER THE GATE NOR THE BARRIER SHALL HAVE ANY OPENING GREATER THAN 0.5 INCH (12.7 MM) WITHIN 18 INCHES (457 MM) OF THE LATCH HANDLE.

R326.4.2.7.3 LOCKING. ALL GATES SHALL BE SECURELY LOCKED WITH A KEY, COMBINATION OR OTHER CHILD-PROOF LOCK SUFFICIENT TO PREVENT ACCESS TO THE SWIMMING POOL THROUGH SUCH GATE WHEN THE SWIMMING POOL IS NOT IN USE OR SUPERVISED.

R326.4.2.8 DWELLING WALL AS BARRIER. A WALL OR WALLS OF A DWELLING MAY SERVE AS PART OF THE BARRIER, PROVIDED THAT THE WALL OR WALLS MEET THE APPLICABLE BARRIER REQUIREMENTS OF SECTIONS R326.4.2.1 THROUGH R326.4.2.6, AND ONE OF THE FOLLOWING CONDITIONS SHALL BE MET:

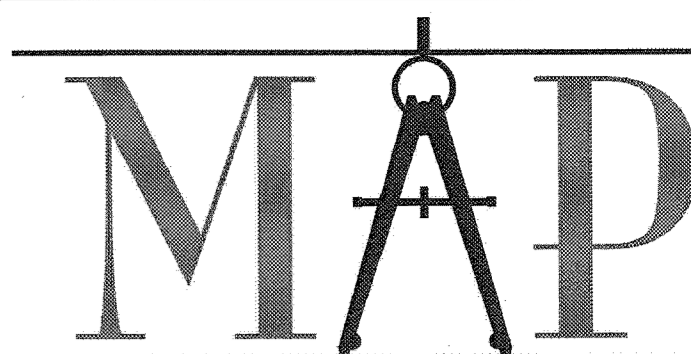
- 1.) A.) DOORS WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL 2017. THE AUDIBLE ALARM SHALL ACTIVATE WITHIN 7 SECONDS AND SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS AFTER THE DOOR AND/OR ITS SCREEN, IF PRESENT, ARE OPENED AND ARE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. THE ALARM SYSTEM SHALL BE EQUIPPED WITH A MANUAL MEANS, SUCH AS TOUCH PAD OR SWITCH, TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. DEACTIVATION SHALL LAST FOR NOT MORE THAN 15 SECONDS; AND
 B.) OPERABLE WINDOWS IN THE WALL OR WALLS USED AS A BARRIER SHALL HAVE A LATCHING DEVICE LOCATED NO LESS THAN 48 INCHES ABOVE THE FLOOR. OPENINGS IN OPERABLE WINDOWS SHALL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH THE OPENING WHEN THE WINDOW IS IN ITS LARGEST OPENED POSITION; AND
 C.) WHERE THE DWELLING IS WHOLLY CONTAINED WITHIN THE POOL BARRIER OR ENCLOSURE, ALARMS SHALL BE PROVIDED AT EVERY DOOR WITH DIRECT ACCESS TO THE POOL; OR
- 2.) OTHER APPROVED MEANS OF PROTECTION, SUCH AS SELF-CLOSING WITH SELF-LATCHING DEVICES, SO LONG AS THE DEGREE OF PROTECTION AFFORDED IS NOT LESS THAN THE PROTECTION AFFORDED BY ITEM 1 DESCRIBED ABOVE.

R326.4.2.8.1 ALARM DEACTIVATION SWITCH LOCATION. WHERE AN ALARM IS PROVIDED, THE DEACTIVATION SWITCH SHALL BE LOCATED 54 INCHES (1372 MM) OR MORE ABOVE THE THRESHOLD OF THE DOOR. IN DWELLINGS REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS, OR TYPE B UNITS, THE DEACTIVATION SWITCH SHALL BE LOCATED 48 INCHES (1219 MM) ABOVE THE THRESHOLD OF THE DOOR.

R326.4.2.9 POOL STRUCTURE AS BARRIER. WHERE AN ABOVE-GROUND POOL STRUCTURE IS USED AS A BARRIER, OR WHERE THE BARRIER IS MOUNTED ON TOP OF THE POOL STRUCTURE, THE STRUCTURE SHALL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH ANS/APSP/ICC 4 AND MEET THE APPLICABLE BARRIER REQUIREMENTS OF SECTIONS 326.4.2.1 THROUGH R326.4.2.8. WHERE THE MEANS OF ACCESS IS A LADDER OR STEPS, ONE OF THE FOLLOWING CONDITIONS SHALL BE met:

1. THE LADDER OR STEPS SHALL BE CAPABLE OF BEING SECURED, LOCKED OR REMOVED TO PREVENT ACCESS. WHEN THE LADDER OR STEPS ARE SECURED, LOCKED OR REMOVED, ANY OPENING CREATED SHALL NOT ALLOW THE PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE; OR
2. THE LADDER OR STEPS SHALL BE SURROUNDED BY A BARRIER WHICH MEETS THE REQUIREMENTS OF SECTIONS

PAGE 4 OF 4
 POOL, SPA AND HOT TUB BARRIER AND ALARM REQUIREMENTS NYS CODE 2020 -- 2020-05-18



Michael Piccirillo Architecture

NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY, OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES.
 UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.
 © Copyright 2021 MICHAEL PICCIRILLO ARCHITECTURE PLLC



No.	DATE	ISSUE
2	8-8-22	ISSUED FOR PLANNING BOARD REVIEW

PROJECT NAME:
 NEBOT RESIDENCE
 ADDITION / RENOVATION

PROJECT ADDRESS:
 11 BROOKSIDE AVENUE
 NYACK, NY 10960

MICHAEL A PICCIRILLO, AIA

345 KEAR STREET SUITE #203
 YORKTOWN HEIGHTS, NEW YORK 10598

TELEPHONE: 914-368-9838
 FACSIMILE: 914-368-9839
 michael@mpiccirilloarchitect.com
 www.mpiccirilloarchitect.com

POOL NOTES

SCALE: AS NOTED DATE: 03-22-22

DRAWN BY: MAP
 CHK'D BY: MAP

A-151

1 OF 1

NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES.
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.
© Copyright 2010 MICHAEL PICCIRILLO ARCHITECTURE

CONNECTOR SCHEDULE

SIMPSON STRONG TIE CONNECTORS:		
STRUCTURAL MEMBERS	CONNECTOR MODEL NO.	
EXTERIOR DECK		
GUARDRAIL POST TO DECK	DTT2Z	
DECK TO HOUSE LATERAL LOAD, AND REFER TO S106, LEDGER DETAIL	DTT2Z	
STAIR STRINGER	LSCZ	
STAIR TREAD	TA TREAD ANGLE	
BEAM TO CMU PIER	CCQM, CCTOM	
POST/BASE		
POST BASE	ABU88Z	
POST CAP	PCZ	
FLOOR/DECK JOISTS		
JOIST HANGER (DIMENSIONAL LUMBER)	LUC 2102	
JOIST HANGER (TJI)	ITT	
MULTI LVL HANGER	EGQ	
ROOF RAFTERS		
RAFTER TO RIDGE REFER TO DETAIL (H5)	LSSU	
TJI RAFTER DETAILS FOR STRAP SPEC		
RAFTER (UPLIFT, TWIST STRAP)	HTS 30	
No.	DATE	ISSUE:
2	8-8-22	ISSUED FOR PLANNING BOARD REVIEW

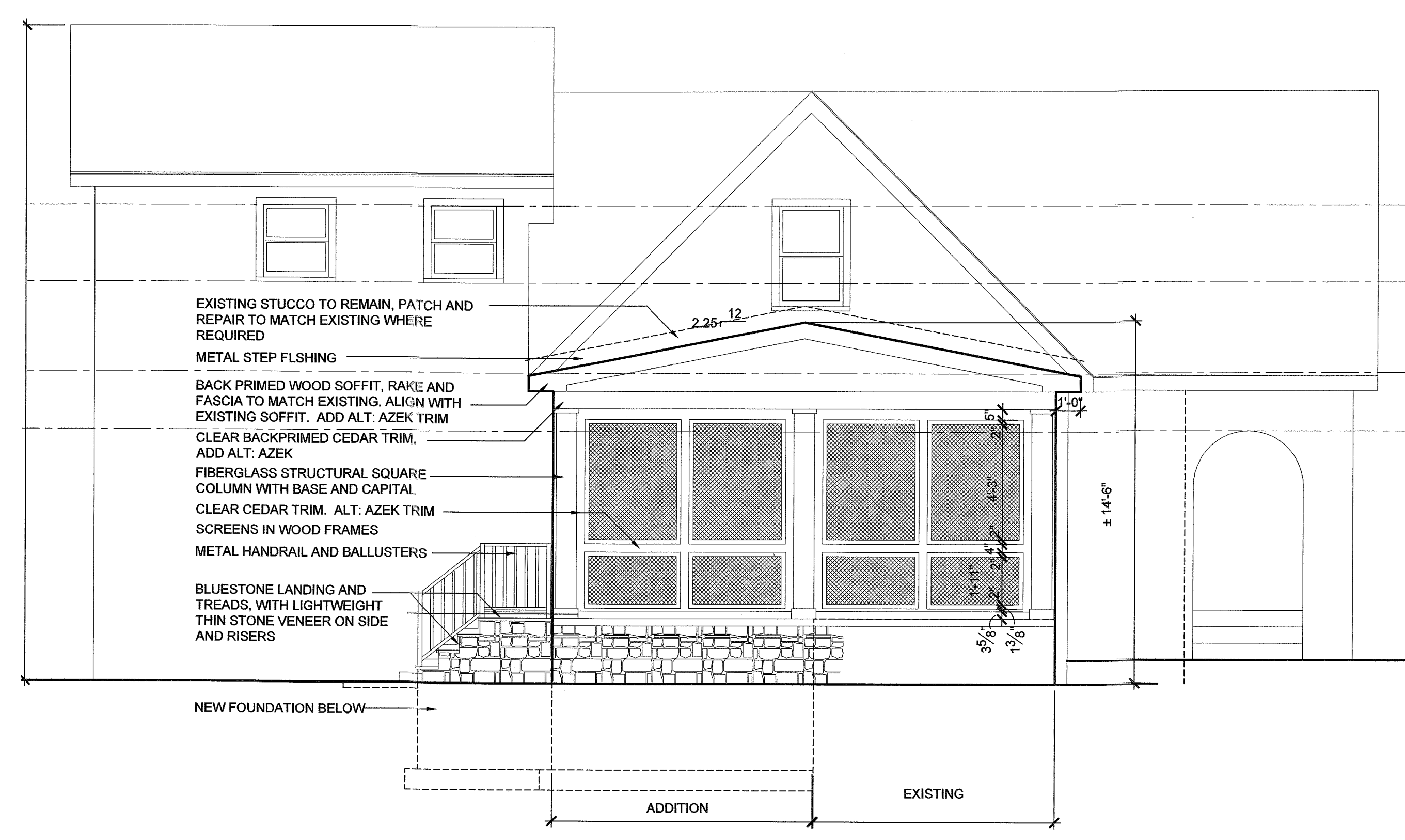
PROJECT NAME:
NEBOT RESIDENCE
RENOVATION

PROJECT ADDRESS:
11 BROOKSIDE AVENUE
NYACK, NY 10960

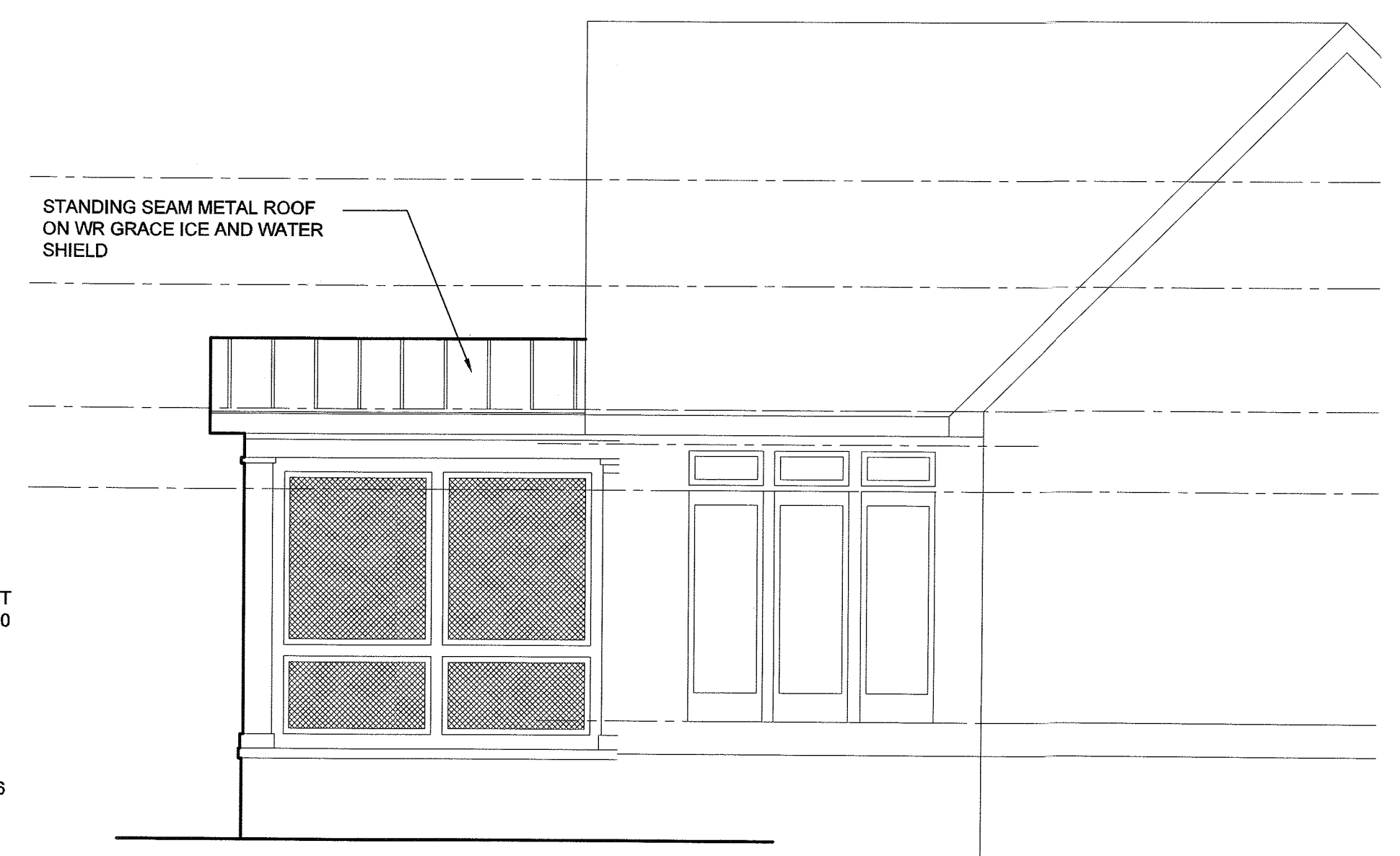


MICHAEL A. PICCIRILLO, AIA
345 KEAR STREET
YORKTOWN HEIGHTS, NEW YORK 10598
TELEPHONE: 914-368-9838
FACSIMILE: 914-302-2933
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

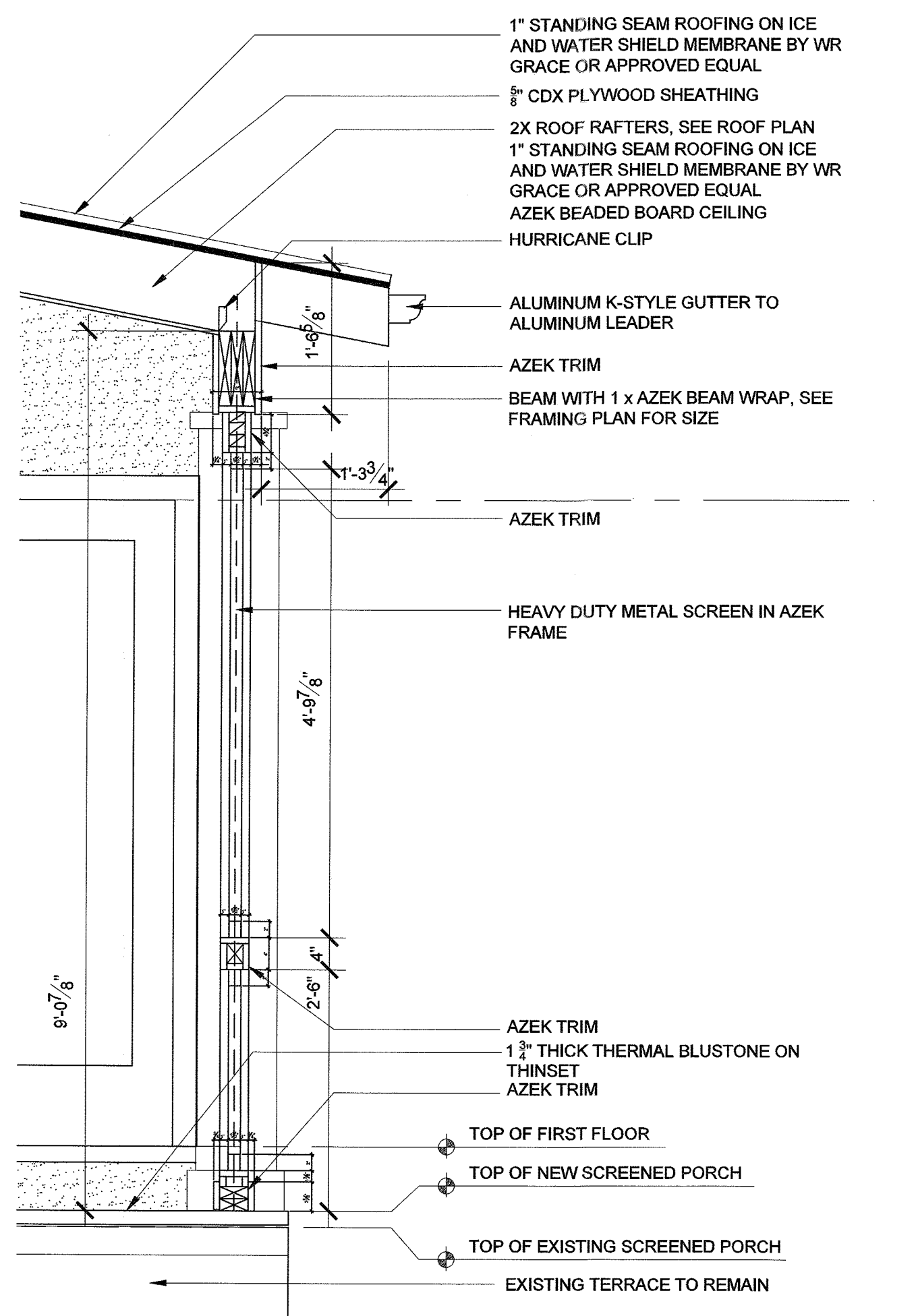
SECTIONS	
ELEVATIONS	
DETAILS	
SCALE: AS NOTED	DATE: 04-01-22
DRAWN BY: MAP	A-200
CHKD BY: MAP	
1 OF 1	



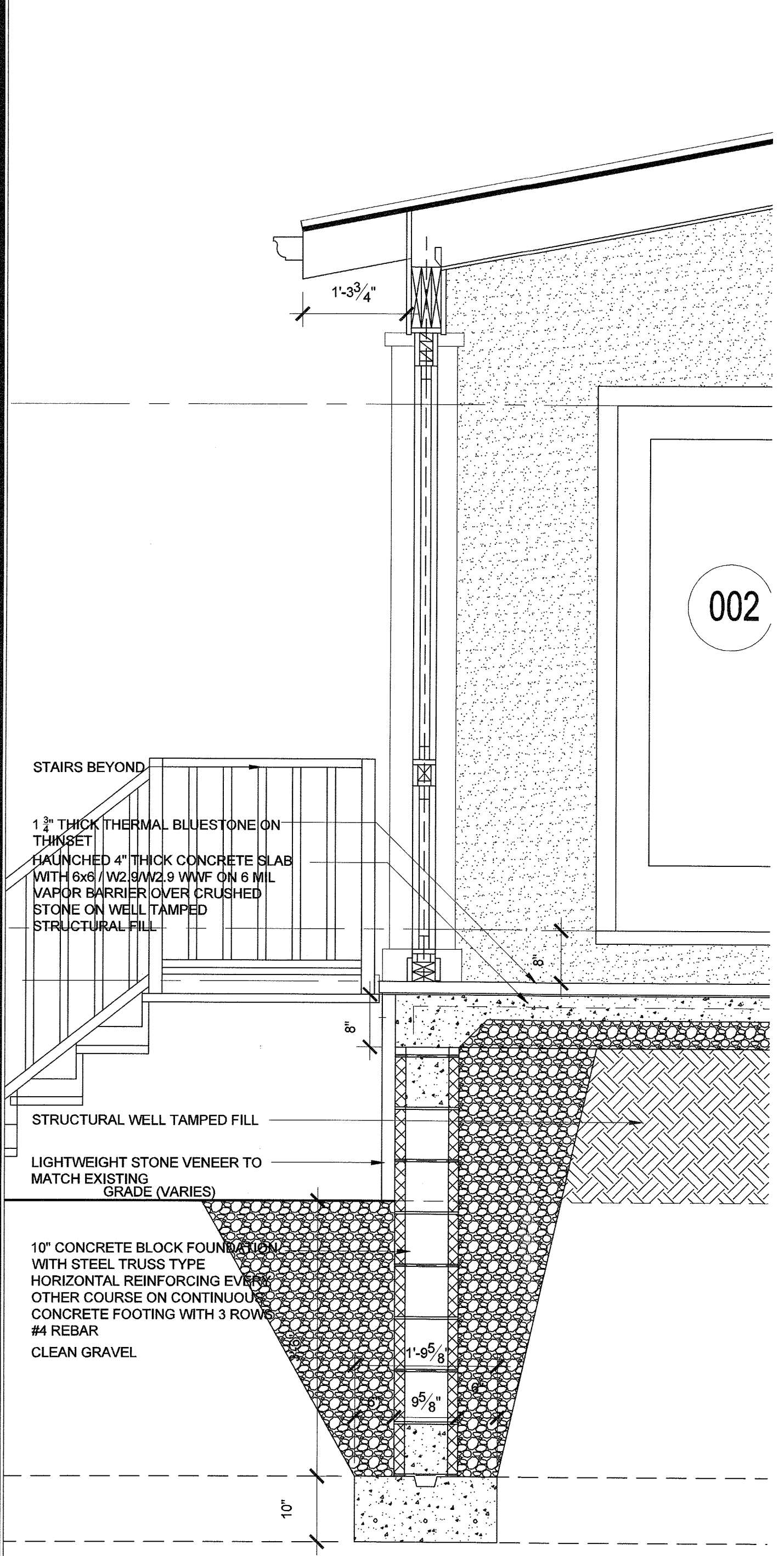
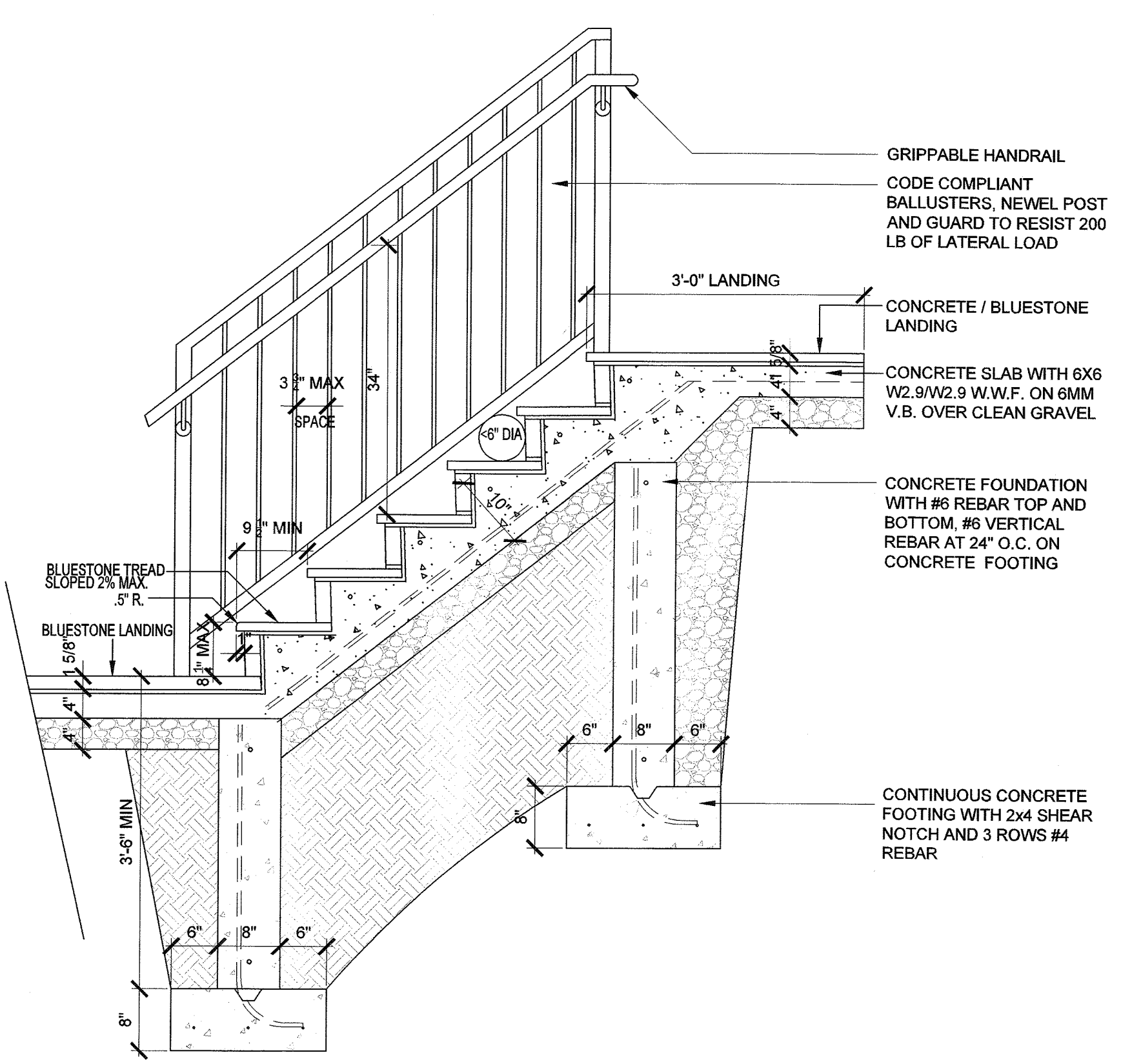
1 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



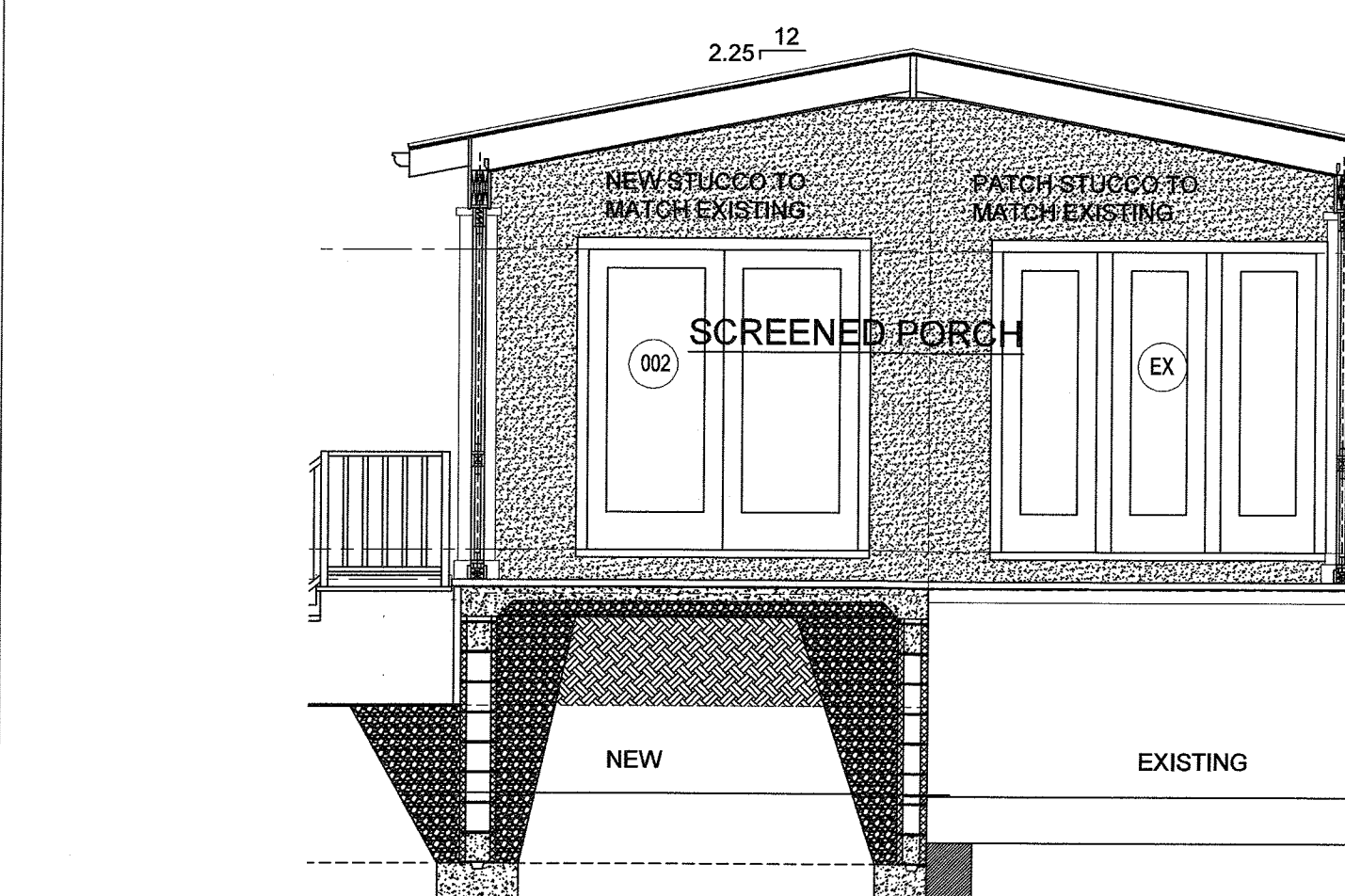
2 PARTIAL FRONT ELEVATION
SCALE: 1/4" = 1'-0"



3 DETAIL
SCALE: 3/4" = 1'-0"



A SECTION
SCALE: 3/4" = 1'-0"



B SECTION
SCALE: 1/4" = 1'-0"

NOTE: DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY, OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES.
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.
Copyright 2010 MICHAEL PICCIRILLO ARCHITECTURE

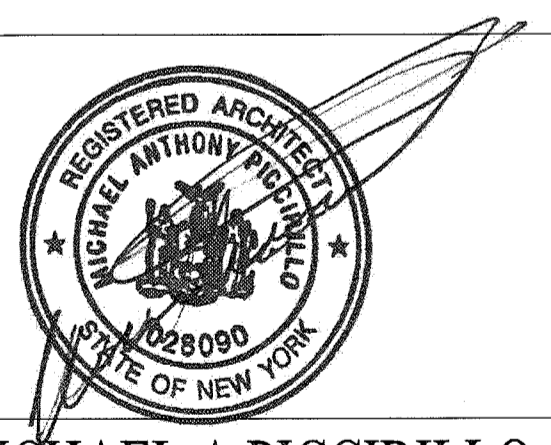
CONNECTOR SCHEDULE

SIMPSON STRONG TIE CONNECTORS:	
STRUCTURAL MEMBERS	CONNECTOR MODEL NO.
EXTERIOR DECK	
GUARDRAIL POST TO DECK	DTT2Z
DECK TO HOUSE LATERAL LOAD, AND REFER TO S106, LEDGER DETAIL	DTT2Z
STAIR STRINGER	LSCZ
STAIR TREAD	TA TREAD ANGLE
BEAM TO CMU PIER	CCQM, CCTQM
POST/BASE	
POST BASE	ABU88Z
POST CAP	PCZ
FLOOR/DECK JOISTS	
JOIST HANGER (DIMENSIONAL LUMBER)	LUC 2102
JOIST HANGER (TJI)	ITT
MULTI LVL HANGER	EGQ
ROOF RAFTERS	
RAFTER TO RIDGE REFER TO DETAIL (H5)	LSSU
TJI RAFTER DETAILS FOR STRAP SPEC	
RAFTER (UPLIFT, TWIST STRAP)	HTS 30

No.	DATE	ISSUE
2	8-8-22	ISSUED FOR PLANNING BOARD REVIEW

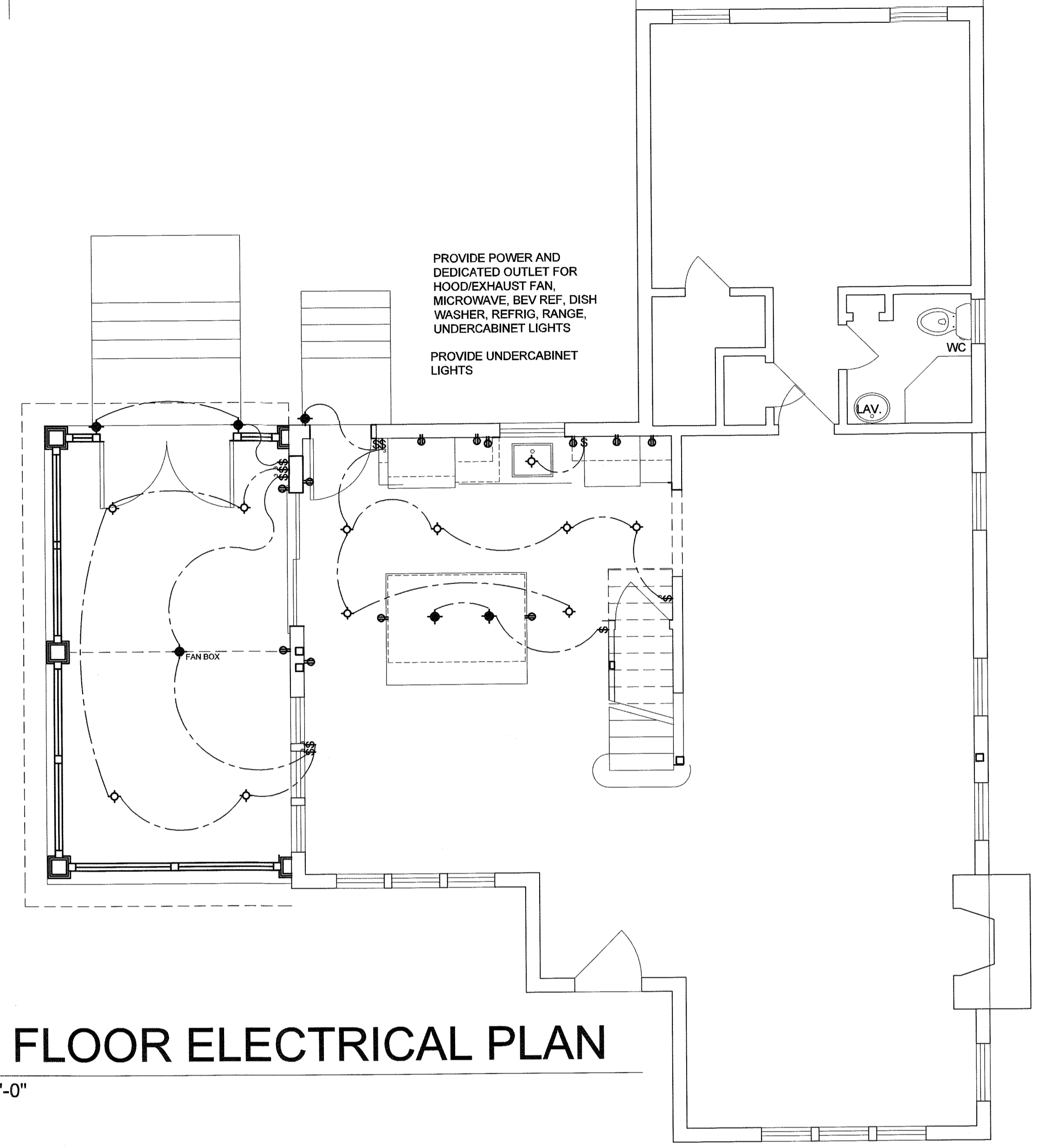
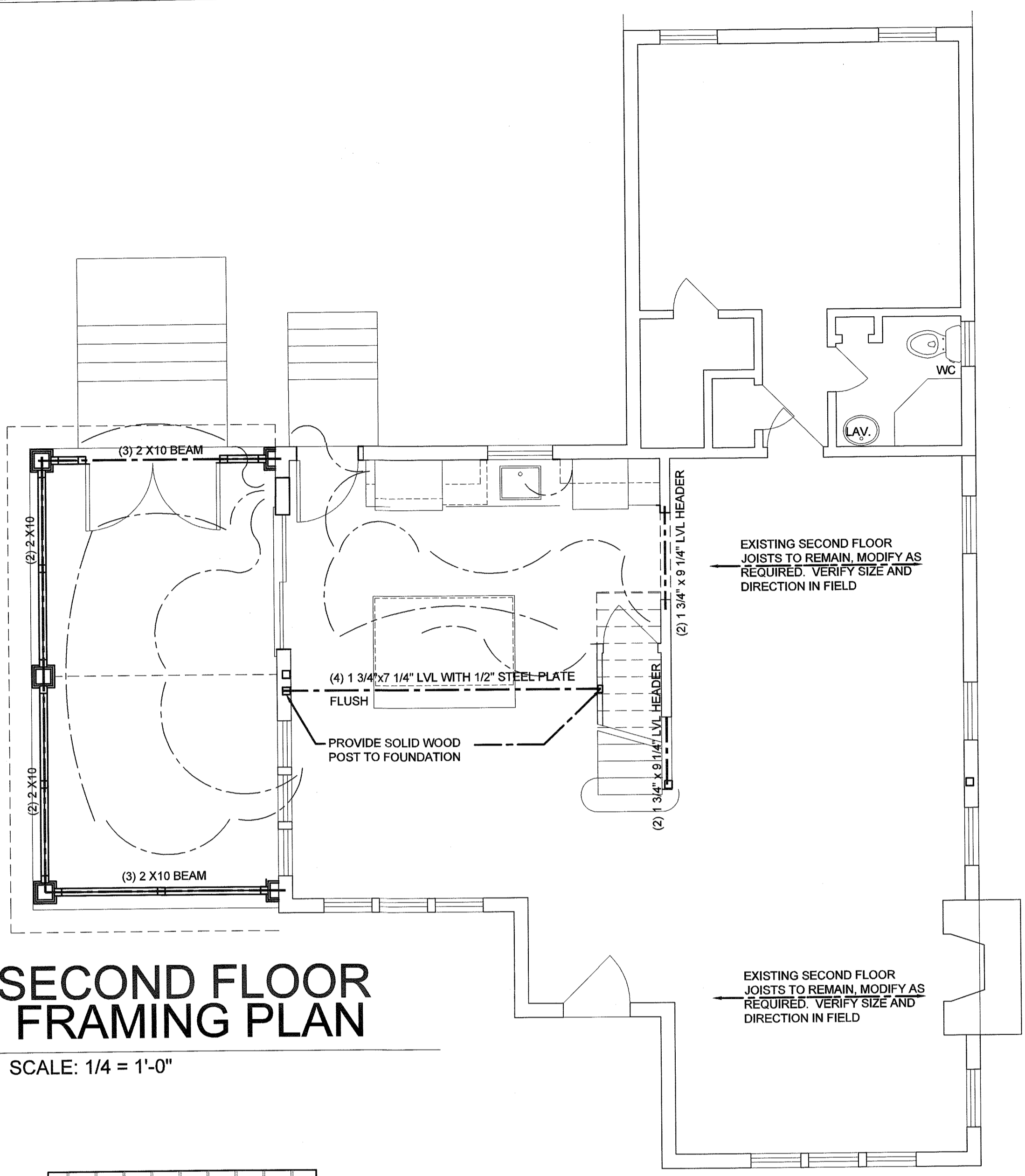
PROJECT NAME:
NEBOT RESIDENCE
RENOVATION

PROJECT ADDRESS:
11 BROOKSIDE AVENUE
NYACK, NY 10960



MICHAEL A. PICCIRILLO, AIA
345 KEAR STREET
YORKTOWN HEIGHTS, NEW YORK 10598
TELEPHONE: 914-368-9838
FACSIMILE: 914-302-2933
michael@mpiccirilloarchitect.com
www.mpiccirilloarchitect.com

FRMING PLANS
ELECTRICAL PLANS
SCALE: AS NOTED DATE: 1-5-21
DRAWN BY: MAP
CHKD BY: MAP
1 OF 1
S-100



ELECTRICAL LEGEND

	220 VOLT WALL RECEPTACLE		SINGLE POLE SWITCH
	EXISTING WALL RECEPTACLE		THREE WAY SWITCH
	NEW WALL RECEPTACLE		FOUR WAY SWITCH
	WALL RECEPTACLE AT 48" A.F.F.		JAMB SWITCH
	SPEAKER WIRE		NEW 140 CFM EXHAUST FAN BY PANASONIC WITH HUMIDISTAT BY JOHNSON CONTROL
	WEATHER PROOF/GFI		NEW CABLE TELEVISION RECEPTACLE
	4 OUTLET (QUAD) RECEPTACLE		NEW TELEPHONE (2 LINES)
	GROUND FAULT RECEPTACLE (GFI)		STRIP FLUORESCENT (SINGLE BULB)
	RECESSED LIGHT FIXTURE		CARBON MONOXIDE DETECTOR
	LOW VOLTAGE RECESSED		SMOKE DETECTOR HARD WIRED WITH BATTERY BACKUP
	RECESSED LIGHT FIXTURE IN WET AREA		HEAT DETECTOR
	SURFACE MOUNTED LIGHT FIXTURE		2 BULB FLUORESCENT FIXTURE 4'-0" LONG FIXTURE
	WALL MOUNTED LIGHT FIXTURE		NEW DOOR BELL
	WALL MOUNTED LIGHT FIXTURE WITH LENSE, IN CLOSET		CEILING MOUNTED FAN WITH LIGHT KIT
	PORCELAIN LIGHT FIXTURE		
	SCONCE		
	WALL WASHER		
	EXTERIOR WALL MOUNTED LIGHT FIXTURE		

