

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(914) 359-8410 (ex. 4331)

Date: August 18, 2022

TO: OBAPAE

- Environmental Management and Engineering
- ✓ Rockland County Sewer District #1
- New York State Dept. of Transportation
- Palisades Interstate Park Commission
- Orange and Rockland Utilities
- Orangetown Highway
- Fire Prevention (Performance Standards)

- Rockland County Drainage ✓
- Rockland County Health ✓
- Rockland County Planning ✓
- Rockland County Highway ✓

DOT

Review of Plans: South Corner Plaza Site Plan, 2 Route 340, Orangeburg, NY
Section 74.11 Block 2 Lot 47 CC zone

This matter is scheduled for:

Chapter 43, CC District, Section 3.11, Group JJ, Columns 11 (Rear Yard: 25' permitted 14' proposed for Dumpster Enclosure), and 12 (Building Height: 22' permitted, 29'5" proposed) and from Section from Section 6.4 (minimum loading berths required is 1 and 0 are proposed) and from Section 13.10 Route 303 Overlay Non-Residential areas: B (1) (Shall be adequately screened to minimize visual impact to passerby on Route 303); B (2) Twenty-five foot vegetative buffer granted in ZBA#15-66 dated July 15, 2015) and B (10): (No more than 35% [18 spots] of all parking shall be located within the front yard of any lot or parcel: 22 spots proposed in the front yard which results in 42%) and from this proposal is for a smaller building.

Please review the information enclosed and provide comments. These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: darbolino@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: September 21, 2022

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, September 21, 2022**. Kindly forward your completed review to this office by **September 21, 2022**.

Reviewing Agency _____

Name _____ date: _____

Signature: _____

Thank you, Deborah Arbolino



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

ZONING BOARD OF APPEALS

Date: August 9, 2022

Applicant: South Corner Plaza

Address: 2 Route 340, Orangeburg, NY

Section: 74.11

Block: 2

Lot: 47

Permit# _____

Plans Submitted: S Corner Plaza dated August 5, 2021 last revised 7/29/22

Atzl & Nasher

Project Name: South Corner Plaza

Date of Submittal to Land Use Board: _____

Date of Board Meeting: TBD

Sincerely,

Debbie Arbolino

Administrative Aide

RECEIVED

AUG - 9 2022

TOWN OF ORANGETOWN
BUILDING DEPARTMENT

Date/Initial of OBZPAE Review Completed: _____

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: July 18, 2022

Please check all that apply:

<input checked="" type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input checked="" type="checkbox"/> Zoning Board of Appeals		<input checked="" type="checkbox"/> Historical Board
		<input checked="" type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision		<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots		<input checked="" type="checkbox"/> Pre-Preliminary/Sketch
<input checked="" type="checkbox"/> Site Plan		<input checked="" type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use		<input checked="" type="checkbox"/> Final
		Interpretation
<input checked="" type="checkbox"/> Special Permit		
<input checked="" type="checkbox"/> Variance		
<input type="checkbox"/> Performance Standards Review		
<input type="checkbox"/> Use Variance		
<input type="checkbox"/> Other (specify): _____		

PERMIT#: _____

ASSIGNED _____

INSPECTOR: _____

Referred from Planning Board: YES / NO

If yes provide date of Planning Board meeting: _____

Project Name: S Corner Plaza

Street Address: 2 Route 340

Orangeburg, NY 10962

Tax Map Designation:

Section: 74.11 Block: 2 Lot(s): 47
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the east side of Route 303, approximately 0 feet ~~of~~ of the intersection of Route 340, in the Town of Orangetown in the hamlet/village of Orangeburg

Acreage of Parcel <u>1.157 ACS</u>	Zoning District <u>CC</u>
School District <u>South Orangetown</u>	Postal District <u>Orangeburg</u>
Ambulance District <u>South Orangetown</u>	Fire District <u>Orangeburg</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*

Site plan approval for the demolition all existing structures, and construction of a 10,165 sq. ft. shopping center with 53 parking spaces. See attached narrative for details.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 8/1/2022 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision: NA

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 3,188 sq. ft. (TO BE REMOVED)
- 2) Total square footage 10,165 sq. ft.
- 3) Number of dwelling units 0

If special permit, list special permit use and what the property will be used for.

NA

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area 385 sq. ft.

Are there **streams** on the site? If yes, please provide the names. Sparkill Creek

Are there **wetlands** on the site? If yes, please provide the names and type:

Wetlands are shown on site plan

Project History:

Has this project ever been reviewed before? Yes

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

Refer to note on site plan regarding past ZBA case numbers (ZBA #17-03 & ZBA #15-66)

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None



ATZL, NASHER & ZIGLER P.C.

ENGINEERS - SURVEYORS - PLANNERS

Web: www.anzny.com

July 18, 2022

South Corner Plaza

Narrative Summary

The project site is identified on the Town of Orangetown Tax Map as Section 74.11 Block 2 Section 47. It is zoned CC Retail-Commerce Zone District and is located in the Route 303 Zone Overlay. The site address is 2 Route 340 in Orangeburg, New York. The existing site has a gross lot area of approximately 50,381 square feet. Currently, there are three structures along with a driveway on the site.

The Applicant is seeking site plan approval for the demolition all existing structures, and construction of a 10,165 sq. ft. shopping center with 53 parking spaces. The site is proposed to have two access ways from both Route 340 and Route 303 via a proposed bridge, which meets the fire code.

Variations from the Town of Orangetown Zoning Board of Appeals for maximum building height (required 22 ft., provided 29 ft.) and loading berth (required 1, provided 0). Variance is also required from the Route 303 Overlay Zone landscaping requirement. The requested variations are minimal in nature and there are no anticipated impacts on the surrounding community.

On July 13, 2022, the Town of Orangetown Planning Board granted preliminary approval to the proposed site plan. The application was referred to the Zoning Board of Appeals and Architecture & Community Appearance Board of Review for review.

We wish to thank you for your time and consideration.

2858 Narr 7-18-22_ZBA and ACABOR

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**OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT**
TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

**Jane Slavin, RA
Director**

(845) 359-8410

Fax: (845) 359-8526

Date: July 5, 2022

To: Planning Board

From: Jane Slavin, RA.,
Director O.B.Z.P.A.E.

Subject: **South Corner Plaza Site Plan**
Final Site Plan, Reapproval of Prepreliminary
Preliminary/Final Site Plan & SEQRA
2 Route 340, Orangeburg
74.11/2/47, CC zoning district

PB #17-37

Submission Reviewed:

Revised Site Plan Package for S Corner Plaza as prepared by Atzl, Nasher & Zigler, PE, last revised 4-13-22.

1) The following approvals were granted;

- PB#09-20 – 9/26/2011 - Prepreliminary for a proposed site development plan and 12,089 square foot building.
- ZBA#16-66 – July 15, 2015 – variances granted for same plan for Parking in the Rear yard, number of parking spaces, screening and required buffer per 12.10B(1) and B(2).
- ACABOR #16-61 – October 20, 2016 - Site/Structure Plans
- ZBA#17-03 – January 4, 2017 – Building Height variance.

2) The current plan is for a smaller building, 10,165 square feet.

3) The drawings indicate that 18 parking spots are proposed in the front yard. This is incorrect as 22 spots are indicated in the front yard which results in 41.5% of the parking in the front yard, with 35% permitted. Calculations must be revised to indicate the correct number and a variance obtained.

4) The dumpster location is indicated in the rear yard (south side of proposed lot). Variances required per Chapter 43, Section 5.224.

- 5) The ZBA required a loading dock per decision #16-66, however no loading dock is proposed on this plan. Variance is required per Chapter 43, Section 6.41 (c).
- 6) The proposed building height is 29 feet with 22 feet allowed. Variance required.
- 7) Plans, elevations and details must be submitted for the proposed bridge over the Sparkill Creek and approval must be obtained from all required agencies.
- 8) Site distance calculations shall be provided and utilize the current speed limit. These site distance calculations shall be reviewed and approved by the NYSDOT.
- 9) A Floodplain development permit must be submitted along with a letter from the engineer of record certifying that all construction and site development is in compliance with The Town of Orangetown floodplain regulations and FEMA regulations.
- 10) No signage is shown. All proposed signage shall be shown, or a separate application will be required for any future signage along with the required board approvals.
- 11) ACABOR review and approval is required.
- 12) The LEAF must be revised as follows:

Part B (a) and (f) should be checked NO

Part D.2 (e) should be checked NO

Part D.2 (l) Hours of Operation per Town Code for Saturday is 8AM to 7PM and on Sunday 9AM to 7PM

DECISION

REAR YARD, SECTION 5.224 OFF-STREET PARKING; SECTION 3.11, CC DISTRICT, COLUMN 6 #9 PARKING: 61 SPACES REQUIRED, 59 SPACES PROVIDED; AND SECTION 13.10 B(1) SCREENING & B (2) 25' BUFFER VARIANCES APPROVED

To: Donald Brenner (South Corner Plaza)
4 Independence Avenue
Tappan, New York 10983

ZBA #15-66
Date: July 15, 2015

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA#15- 66: Application of South Corner Plaza Site Plan for variances from Zoning Code (Chapter 43) of the Town of Orangetown Code, CC District, Group JJ, Section 3.12 Column 11 (Rear Yard: 25' required, 14.8' existing); Section 5.224 (No off-street parking shall be located within any other required yard as regulated by § 6.1); Section 6.41, paragraph c: (one outdoor loading berth required, modified to **one** proposed); **Section 3.11, CC District, Column 6 #9(Parking Spaces: 61 spaces required, 59 spaces provided)**; and from Section 13.10 Route 303 Overlay Non-residential areas: B (1) (shall be adequately screened to minimize visual impact to passersby on Route 303) B(2) Twenty-five foot vegetative buffer); for a site plan for a proposed shopping plaza. The premises are located at 2 Route 340, Orangeburg, New York and are identified on the Orangetown Tax Map as Section 74.11, Block 2, Lot 47; in the CC zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, July 15, 2015 at which time the Board made the determination hereinafter set forth.

Donald Brenner, Attorney, Diane Samini, Owner, and Siavash Hoomehr, P.E., appeared and testified.

The following documents were presented:

1. Plans labeled " Site Development Plans prepared for S Corner Plaza" dated 03/10/2008 with the latest revision date of 06/10/2011 signed and sealed by Leonard Jackson, P.E. (15 pages).
2. Three memorandums from John Giardiello, P.E., Director, Office of Building Zoning and Planning Administration and Enforcement, Town of Orangetown, dated April 6, 2009, February 24, 2010, and September 26, 2011.
3. Planning Board Decision #09-20 dated September 26, 2011.
4. A letter dated July 13, 2015 from the County of Rockland Department of Planning signed by Douglas J. Schuetz, Acting Commissioner of Planning.
5. A letter dated July 8, 2015 from the County of Rockland Department of Highways signed by Sonny Lin, P.E..
6. A letter dated June 26, 2015 from the County of Rockland Sewer District No.1 signed by Joseph La Fiandra, Engineer II.
7. A letter dated July 15, 2015 from the Department of Transportation signed by Joseph Taylor, MRP.

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TOWN CLERK'S OFFICE

Mr. Sullivan, Chairman, made a motion to open the Public Hearing which motion was seconded by Mr. Bosco and carried unanimously.

On advice of Dennis Michaels, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Mr. Sullivan moved for a Board determination that since the Planning board noticed its intent to declare itself Lead Agency and distributed that notice of intention to all Involved Agencies, including the ZBA who consented or did not object to the Planning Board acting as Lead Agency for this application, pursuant to coordinated review under the State Environmental Quality Review Act Regulations §617.6 (b) (3); and since the Planning Board conducted a SEQRA review and on September 26, 2011, rendered an environmental determination of **no** significant adverse environmental impacts to result from the proposed land use action (i.e., a "Negative Declaration" or

“Neg. Dec”), the ZBA is bound by the Planning Board’s Neg Dec and the ZBA cannot require further SEQRA review pursuant to SEQRA Regulation § 617.6 (b)(3). The motion was seconded by Ms. Salomon and carried as follows: Mr. Bosco, aye; Mr. Feroldi, aye; Mr. Quinn, aye; Ms. Salomon, aye; and Mr. Sullivan, aye. Ms. Castelli was absent.

Donald Brenner testified that his client purchased the property a few years ago; that it has been in disrepair for many years; that his clients are planning to clean it up and proceed with a small retail service area; that the project is taking a long time to move forward because of the sensitivity of the Sparkill Creek; that they have received preliminary approval and a neg dec from the Planning board and would like to move forward with the project; that they have been in business in Nanuet for 22 years and would like to own the property that they work from; that they would remove two parking spaces to accommodate a loading dock if the Board would prefer to grant a variance for less than the required parking and not the loading dock variance.

Diane Samini testified that she and her husband own Deans Deli in Nanuet for the last 22 years; that they are located by Costco; that they have a deli, bakery and catering business; that her husband takes care of the shopping center that they are presently located in and they purchased this property with the hope of owning their own shopping center and that the property is like the movie “The Money Pit”.

Public Comment:

No public comment.

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Mr. Sullivan made a motion to close the Public Hearing which motion was seconded by Mr. Quinn and carried unanimously.

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing all the documents submitted, the Board found and concluded that the benefits to the applicant if the variance(s) are granted outweigh the detriment (if any) to the health, safety and welfare of the neighborhood or community by such grant, for the following reasons:

1. The requested rear yard; Section 5.224-off-street parking; Section 3.11, CC District, Column 6, #9 (Parking: 61 spaces required, 59 spaces proposed); and Section 13.10 B(1)-screening and B(2) -25’ buffer, variances will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. The applicant has agreed to provide a loading berth at the request of the Zoning Board and the Board has agreed to grant a variance for less than the required parking spaces.
2. The requested rear yard; Section 5.224-off-street parking; Section 3.11, CC District, Column 6, #9 (Parking: 61 spaces required, 59 spaces proposed); and Section 13.10 B(1)-screening and B(2) -25’ buffer, variances will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. The applicant has agreed to provide a loading berth at the request of the Zoning Board and the Board has agreed to grant a variance for less than the required parking spaces.

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TOWN CLERK'S OFFICE

3. The benefits sought by the applicant cannot be achieved by other means feasible for the applicant to pursue other than by obtaining variances.

4. The requested rear yard; Section 5.224-off-street parking; Section 3.11, CC District, Column 6, #9 (Parking: 61 spaces required, 59 spaces proposed); and Section 13.10 B(1)-screening and B(2) -25' buffer, variances, although somewhat substantial, afford benefits to the applicant that are not outweighed by the detriment, if any, to the health, safety and welfare of the surrounding neighborhood or nearby community. The applicant has agreed to provide a loading berth at the request of the Zoning Board and the Board has agreed to grant a variance for less than the required parking spaces.

5. The applicant purchased the property subject to Orangetown's Zoning Code (Chapter 43) and is proposing a new addition and/or improvements, so the alleged difficulty was self-created, which consideration was relevant to the decision of the Board of Appeals, but did not, by itself, preclude the granting of the area variances.

DECISION: In view of the foregoing and the testimony and documents presented, the Board: RESOLVED, that the application for the requested rear yard; Section 5.224-off-street parking; Section 3.11, CC District, Column 6, #9 (Parking: 61 spaces required, 59 spaces proposed); and Section 13.10 B(1)-screening and B(2) -25' buffer, variances are APPROVED; and FURTHER RESOLVED, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

General Conditions:

- (i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.

- (ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.

- (iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.

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TOWN CLERKS OFFICE

(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

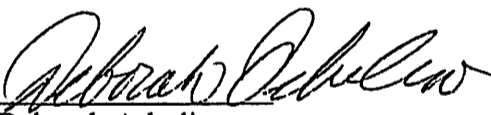
(v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

The foregoing resolution to approve the application for the requested rear yard; Section 5.224-off-street parking; Section 3.11, CC District, Column 6, #9 (Parking: 61 spaces required, 59 spaces proposed); and Section 13.10 B(1)-screening and B(2) -25' buffer, variances was presented and moved by Mr. Bosco, seconded by Ms. Salomon and carried as follows: Mr. Bosco, aye; Mr. Feroldi, aye; Mr. Quinn, aye ;Mr. Sullivan, aye; and Ms. Salomon, aye. Ms. Castelli was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: July 15, 2015

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
Deborah Arbolino
Administrative Aide

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR-N.A.

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
MGMT. and ENGINEERING
FILE,ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

TOWN OF ORANGETOWN
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TOWN CLERKS OFFICE

**ZBA SEQRA FINDINGS & MOTIONS
FOR "TYPE II" EXEMPT ACTIONS
and
WHERE PLANNING BOARD, AS LEAD AGENCY,
ISSUED NEGATIVE DECLARATION:
FOR PUBLIC HEARINGS OF 07/15/2015**

~~ZBA #15-61 (Applicant, DeRobertis), ZBA #15-62 (Applicant, Gerasimopoulos), ZBA #15-63 (Applicant, Luczaj), ZBA #15-64 (Applicant, Cavanaugh) and ZBA #15-65 (Applicant, Hovsepian):~~

"Based upon the testimony heard by this Board, and the facts as presented in the application submissions and in the record, since applications ZBA numbers ~~15-61 (Applicant, DeRobertis)~~, 15-62 (Applicant, Gerasimopoulos), 15-63 (Applicant, Luczaj), 15-64 (Applicant, Cavanaugh) and 15-65 (Applicant, Hovsepian)

- ⇒ seek to construct or expand a single, two or three family residence on an approved lot;
- ⇒ seek to construct, expand or place a minor accessory/appurtenant residential structure;
- ⇒ seek area or bulk variances for construction or expansion of, or relating to, a single, two or three family residence; and/or
- ⇒ seek only setback or lot line variances;

these applications are exempt from environmental review under the State Environmental Quality Review Act pursuant to SEQRA Regulations 617.5(c)(9), (10), (12) and/or (13).

If you don't have any questions or comments, any Board member may adopt my legal opinion as a motion, if you wish."

ZBA #15-66 (Applicant, South Corner Plaza Site Plan):

"With respect to ZBA number 15-66 (Applicant, South Corner Plaza Site Plan), since the Planning Board noticed its intent to declare itself Lead Agency and distributed that notice of intention to all Involved Agencies, including the ZBA who consented or did not object to the Planning Board acting as Lead Agency for this application, pursuant to coordinated review under State Environmental Quality Review Act Regulation §617.6(b)(3); and since the Planning Board conducted a SEQRA review and, on September 26, 2011, rendered an environmental determination of no significant adverse environmental impacts to result from the proposed land use action (i.e., a "Negative Declaration" or "Neg Dec"), the ZBA is bound by the Planning Board's Neg Dec and the ZBA cannot require further SEQRA review pursuant to SEQRA Regulation §617.6(b)(3).

If you don't have any questions or comments, any Board member may adopt my legal opinion as a motion, if you wish."

ZBA #15-67 (Applicant, Safeguard Biosystems):

"Based upon the testimony heard by this Board, and the facts as presented in the application submissions and in the record, since application ZBA number 15-67 (Applicant, Safeguard Biosystems) entails the ZBA engaging in a review to determine compliance with technical requirements, this application is exempt from environmental review under the State Environmental Quality Review Act pursuant to SEQRA Regulation 617.5(c)(28).

If you don't have any questions or comments, any Board member may adopt my legal opinion as a motion, if you wish."

DECISION

BUILDING HEIGHT VARIANCE APPROVED

To: Donald Brenner (South Corner Plaza)
4 Independence Avenue
Tappan, New York 10983

ZBA #17-03
Date: January 4, 2017
Permit # Not assigned

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA#17-03: Application of South Corner Plaza for a variance from Zoning Code (Chapter 43) of the Town of Orangetown Code, CC District, Group JJ, Column 12 (Building Height: 19' 11.94" permitted from the northeast property line, 33'8" proposed for the clock tower, 24' to the parapet, 35' 7" to arch canopy arc proposed) for a proposed shopping plaza. The commercial property is located at 2 Route 340, Orangeburg, New York and is identified on the Orangetown Tax Map as Section 74.11, Block 2, Lot 47; in the CC zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, January 4, 2017 at which time the Board made the determination hereinafter set forth.

Donald Brenner, Diane Samimi and Matthew Oscar, Architect, appeared and testified.

The following documents were presented:

1. Architectural plans with site plan dated of September 26, 2016 by Matthew Oscar, Registered Architect (2 pages).
2. Zoning Board Decision #15-66 dated July 15, 2015.
3. A letter from the County of Rockland Drainage Agency dated January 4, 2016 signed by Vincent Altieri, Executive Director.
4. A letter dated December 21, 2016 from the Rockland County Department of Planning signed by Douglas J. Schuetz, Acting Commissioner.
5. A letter dated December 29, 2016 from the Rockland County Sewer District #1, signed by Joseph La Fiandra, Engineer II.
6. A letter dated December 31, 2016 from the Rockland County Highway Department signed by Sonny Lin, P.E..

Ms. Castelli, Acting Chair, made a motion to open the Public Hearing which motion was seconded by Ms. Salomon and carried unanimously.

On advice of Dennis Michaels, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Ms. Castelli moved for a Board determination that since the Planning Board noticed its intent to declare itself Lead Agency and distributed that notice of intention to all Involved Agencies, including the ZBA who consented or did not object to the Planning Board acting as Lead Agency for these applications, pursuant to coordinated review under the State Environmental Quality Review Act Regulations § 617.6 (b)(3); and since the Planning conducted SEQRA reviews and, on September 26, 2011 (PB#09-20) rendered environmental determinations of no significant adverse environmental impacts to result from the proposed land use actions (i.e. a "Negative Declarations" of "Neg Dec."), the ZBA is bound by the Planning Board's Neg Dec and the ZBA cannot require further SEQRA review pursuant to SEQRA Regulations § 617.6 (b)(3). The motion was seconded by Ms. Salomon and carried as follows: Mr. Quinn, aye; Mr. Feroldi, aye; Ms. Castelli, aye; Mr. Bosco, aye; and Ms. Salomon, aye. Mr. Sullivan was absent.

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TOWN OF ORANGETOWN

Donald Brenner, Attorney, testified that this application was before this Board on July 15, 2015 and received variances for the parking and rear yard and Route 303 Overlay; that they went to ACABOR after that and when they reviewed the plans they liked a plan that was presented with the clock tower; that this plan needs a height variance to accommodate the clock tower; that it is a very attractive plan; that the existing house on the property is probably as high as the requested variance and that they would like to request an override from #5 of the letter from Rockland County Department of Planning, to keep things clean; that they were already granted variances from the Overlay zone in ZBA#15-66; that the Planning Board already granted SEQRA approval and the bridge from Route 303 to the property has been approved and the curb cut from Route 340 has been approved; that a full traffic study was done by John Collins; that the bridge does not touch the Moore & Moore building and it will be built from steel and concrete.

Public Comment:

Marianne Garrecht, 20 Delongis Court, Sparkill, NY expressed her concern about access to the property being so close to the Moore & Moore building; and questioned what type of access there would be and how close it would be from the Moore & Moore building and about concerns regarding parking and the creek.

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Ms. Castelli made a motion to close the Public Hearing which motion was seconded by Ms. Salomon and carried unanimously.

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing all the documents submitted, the Board found and concluded that the benefits to the applicant if the variance(s) are granted outweigh the detriment (if any) to the health, safety and welfare of the neighborhood or community by such grant, for the following reasons:

1. The requested building height variance will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. The property is substantially lower than Route 303 and the clock tower is attractive.
2. The requested building height variance will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. The property is substantially lower than Route 303 and the clock tower is attractive.
3. The benefits sought by the applicant cannot be achieved by other means feasible for the applicant to pursue other than by obtaining a variance.
4. The requested building height variance, although somewhat substantial, affords benefits to the applicant that are not outweighed by the detriment, if any, to the health, safety and welfare of the surrounding neighborhood or nearby community. The existing non-conforming house on the property is at least as tall as the proposed height variance for the shopping center, which will be set back further from the road.

5. The applicant purchased the property subject to Orangetown's Zoning Code (Chapter 43) and is proposing a new addition and/or improvements, so the alleged difficulty was self-created, which consideration was relevant to the decision of the Board of Appeals, but did not, by itself, preclude the granting of the area variance.

DECISION: In view of the foregoing and the testimony and documents presented, the Board: **RESOLVED**, that the application for the requested building height variance is **APPROVED** and the Board overrides #5 from the Rockland County Department of Planning letter dated December 21, 2016, (see ZBA Decision #15-66 dated July 15, 2016); and **FURTHER RESOLVED**, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

General Conditions:

(i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.

(ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.

(iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.

(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

(v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for purposes hereof.

South Corner Plaza
ZBA#17-03
Page 4 of 4

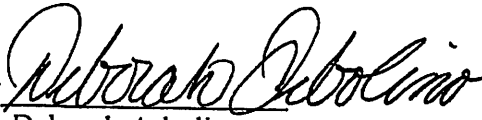
Permit # not assigned

The foregoing resolution to approve the application for the requested building height variance and to override modification #5 of the letter dated December 21, 2016 from the County of Rockland Department of Planning (see ZBA Dccision #15-66 dated July 15, 2016) was presented and moved by Mr. Feroldi, seconded by Ms. Salomon and carried as follows: Mr. Bosco, aye; Mr. Feroldi, aye; Mr. Quinn, aye ;Ms. Castelli, aye; and Ms. Salomon, aye. Mr. Sullivan was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: January 4, 2017

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
Deborah Arbolino
Administrative Aide

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR-N.A.

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
MGM'T. and ENGINEERING
FILE,ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

TOWN CLERKS OFFICE
2017 JAN 19 PM 12 22
TOWN OF ORANGETOWN

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No	stream bank disturbance application	
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No 		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: * _____ height; IRREGULAR width; and IRREGULAR length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

* Widths: 10.9 ft., 24.2 ft., and 76 ft.
 Lengths: 17 ft., 179.3 ft., and 132.5 ft.

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day *

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

* According to the 2012 U.S. Energy Information Administration's Commercial Buildings Energy Consumption Survey data, mercantile buildings had a water consumption (per 1,000 sq. ft.) of 34.3 gallons per day.

Calculation: 10,165 sq. ft. (building)/1,000 sq. ft. = 10.16
10.16 x 34.3 gallons per day=348

- Do existing sewer lines serve the project site? Yes No
- Will a line extension within an existing district be necessary to serve the project? Yes No

 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:

- How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
- Describe types of new point sources. _____

- Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 - If to surface waters, identify receiving water bodies or wetlands: _____

 - Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:

- Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

- Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

- Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:

- Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
- In addition to emissions as calculated in the application, the project will generate:
 - _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 - _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 - _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 - _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 - _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 - _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No
 If Yes:
 i. Estimate methane generation in tons/year (metric): _____
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No
 If Yes:
 i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
 iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____
 iv. Does the proposed action include any shared use parking? Yes No
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No
Proposed pedestrian concrete walk.

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No
 If Yes:
 i. Estimate annual electricity demand during operation of the proposed action:* _____
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____
 iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.
 i. During Construction:
 • Monday - Friday: _____
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____
 ii. During Operations:
 • Monday - Friday: _____
 • Saturday: _____
 • Sunday: _____
 • Holidays: _____

* According to the 2012 U.S. Energy Information Administration's Commercial Buildings Energy Consumption Survey data, mercantile buildings had a electricity consumption of 18.3 kWh per square foot.

Calculation: 10,165 sq. ft. (building) x 18.3 kWh. = 186,019 kWh

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Coverture	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, <u>grasslands</u> or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
NO SPILL OR REMEDIAL ACTION ADJACENT OR ON THE SITE
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):*

*** Additional DEC sites flagged:**

4. DEC ID C344073: Located at 170 Route 303 where remediation at the site is complete.
5. DEC ID C344078: Located at 5 Greenbush Road where the site is classified as A (Active).

Note: A Letter of No Impact has been received from the NYSDEC Division of Environmental Remediation (Attached). The NYSDEC Environmental Site Remediation Database Search Details results have been attached for the sites listed above.

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ NA _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

HaB, Haven loam	_____	_____	16 %
Ux, Urban land	_____	_____	84 %
_____	_____	_____	_____ %

d. What is the average depth to the water table on the project site? Average: _____ >6 feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained - HaB	_____	16 % of site
<input checked="" type="checkbox"/> NA - Ux	_____	84 % of site
<input type="checkbox"/> Poorly Drained	_____	_____ % of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	_____	86 % of site
<input checked="" type="checkbox"/> 10-15%:	_____	4 % of site
<input checked="" type="checkbox"/> 15% or greater:	_____	10 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 856-6 Classification C(T)
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name Federal Waters Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: Principal Aquifer

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: Palisades Interstate Parkway, Tappan Zee Bridge, Hudson River

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): State Scenic Byway, State Scenic Road, Scenic River

iii. Distance between project and resource: 0.4-2.4 miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

* SHPO has responded with a Letter of No Effect dated January 21, 2022 (see attached).

F. Additional Information


Attach any additional information which may be needed to clarify your project.

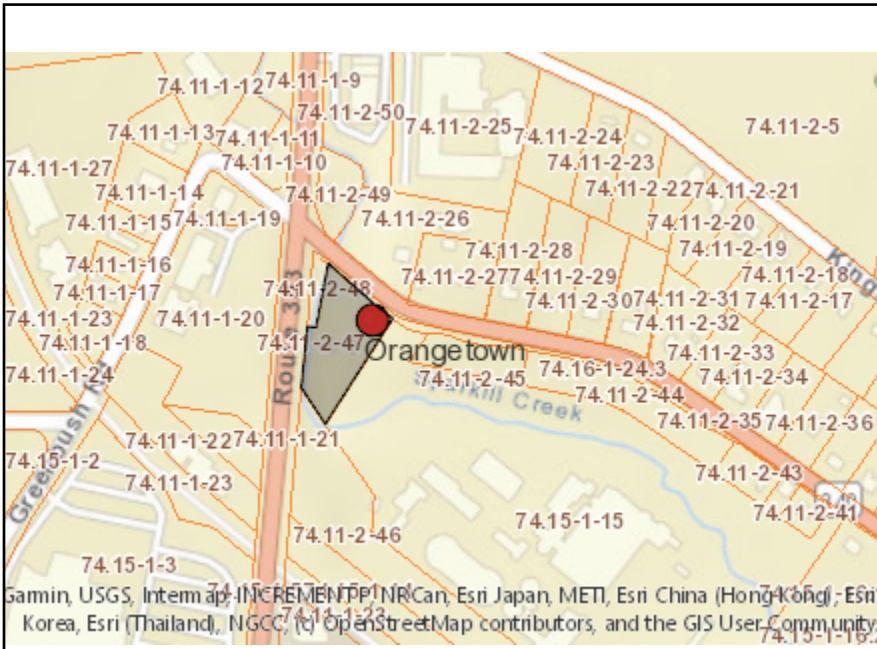
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Daniel H. Samimi Date 04/13/2022 ; 8/16/2022

Signature  Title Applicant



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	C344066, V00579, V00343, C344073, C344078
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	856-6
E.2.h.iv [Surface Water Features - Stream Classification]	C(T)
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Yes

E.2.j. [100 Year Floodplain]	Yes
E.2.k. [500 Year Floodplain]	Yes
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Principal Aquifer
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Remediation, Remedial Bureau C
625 Broadway, 12th Floor, Albany, NY 12233-7014
P: (518) 402-9662 | F: (518) 402-9679
www.dec.ny.gov

Transmitted Via Email Only

January 3, 2022

Ramanathan, AICP
Planning Analyst
Atzl, Nasher & Zigler, P.C.
232 North Main Street
New City, NY 10956
rramanathan@anzny.com

Re: 2858 South Corner Plaza & Orangetown Commerce Center
NYSDEC Site No. C344078

Dear Ramya Ramanathan,

The New York State Department of Environmental Conservation (DEC) has reviewed your request for a determination on whether contamination present at the Orangetown Commerce Center site (Site) will have any impact on the proposed development at 2858 South Corner Plaza, 2 Route 340, Orangeburg, Orangetown NY. Based upon our review of groundwater data previously described in the DEC-approved Remedial Action Work Plan for the Site, as well as the location of the proposed development cross-gradient from the projected groundwater flow direction, it does not appear likely that any contamination present at the Site will produce an impact at the proposed development location.

If you have any questions, please feel free to contact me at justin.starr@dec.ny.gov or 518-402-9662.

Sincerely,



Justin C. Starr, P.G.
Assistant Geologist, Remedial Bureau C
Division of Environmental Remediation

ec: A. Omorogbe
J. Starr
D. Bendell
D2



Department of
Environmental
Conservation



Environmental Site Remediation Database Search Details

Site Record

Document Repository

Site-related documents are available for review through the DECInfo Locator on line at [DECInfoLocator](#)

Administrative Information

Site Name: Orangeburg (Orangetown) Shopping Center

Site Code: C344066

Program: Brownfield Cleanup Program

Classification: C

EPA ID Number:

Location

DEC Region: 3

Address: 1-45 Orangetown Shopping Center

City:Orangetown Zip: 10962

County:Rockland

Latitude: 41.044645384

Longitude: -73.952601448

Site Type:

Estimated Size: 1.33 Acres

Institutional And Engineering Controls

Control Type:

[Environmental Easement](#)

Control Elements:

Ground Water Use Restriction

Groundwater Treatment System

Vapor Mitigation

Soil Management Plan

Cover System

Landuse Restriction

Monitoring Plan

Site Management Plan

O&M Plan

IC/EC Plan

Site Owner(s) and Operator(s)

Current Owner Name: UB Orangeburg, LLC

Current Owner(s) Address: Urstadt Biddle Properties Inc.
Greenwich,CT, 06830

Current On-Site Operator: SPARKLE CLEANERS
Stated Operator(s) Address: 12 ORANGETOWN SHOPPING CENTER
ORANGEBURG,NY 10962

Site Document Repository

Name: Orangeburg Library
Address: 20 South Greenbush Road
Orangeburg,NY 10962
Name: NYSDEC Region 3
Address: 21 S. Putt Corners Road
New Paltz,NY 12561

Site Description

Location: The Orangeburg Shopping Center site is located in a suburban area of the Town of Orangetown, Rockland County. The shopping center property is generally bounded by Orangeburg Road to the north, Dutch Hill Road to the west, Highview Avenue to the south and Oak Street to the east. The site consists of approximately 1.33-acres in the southeastern portion of the 11-acre shopping plaza parcel. Site Features: The shopping plaza contains three buildings with various commercial businesses. The site comprises a portion of the eastern building and an adjacent parking area and roadway. The eastern portion of the property and the site drops steeply along a wooded slope. Current Zoning/Use(s): The site is zoned commercial and is part of a commercial property which contains several businesses. There is an active dry cleaning facility located near the southern end of the eastern building. The surrounding area is used for a mixture of commercial and residential purposes. The site adjoins several residential parcels. Historical Uses(s): A dry cleaner has been present in the plaza since approximately 1966. Contamination has been identified in the vicinity of the dry cleaner and former dry cleaning operations/disposal practices are considered to be the source of the contamination. Site Geology and Hydrogeology: Soil at the site consists of hard, dense reddish till. The depth to bedrock ranges from approximately 30 feet adjacent to the on-site buildings to approximately 10 feet along Oak Street. Bedrock is reported to be a reddish-brown shale-like mudstone with alternating layers of red-brown sandstone, with the top 10 to 20 feet being weathered. Shallow groundwater flow is to the east. Perched groundwater was encountered above the regional groundwater table on-site, in some instances directly beneath the asphalt parking lot. The groundwater table was typically encountered around 30 to 40 feet below grade.

Summary of Project Completion Dates

Projects associated with this site are listed in the Project Completion Dates table and are grouped by Operable Unit (OU). A site can be divided into a number of operable units depending on the complexity of the site and the number of issues associated with a site. Sites are often divided into operable units based on the media to be addressed (such as groundwater or contaminated soil), geographic area, or other factors.

Project Completion Dates

Contaminants of Concern (Including Materials Disposed)

Contaminant Name/Type

1,1 dichloroethene
trichloroethene (TCE)
vinyl chloride
tetrachloroethene (PCE)

Site Environmental Assessment

Nature and Extent of Contamination: Remediation at the site is complete. Prior to remediation, the primary contaminants of concern were dry cleaning solvents and associated degradation products, which include tetrachloroethene (PCE), trichloroethene (TCE), cis-1,2-dichloroethene (DCE) and vinyl chloride (VC). Remedial actions have successfully achieved soil cleanup objectives for commercial use. Residual contamination exists in the soil and groundwater. The remaining contamination is being managed under a Site Management Plan.

Site Health Assessment

Since some contaminated soil remains at the site below buildings or clean backfill, people will not come in contact with contaminated soils unless they dig below the surface. Contaminated groundwater at the site is not used for drinking or other purposes and the site is served by a public water supply that obtains water from a different source not affected by this contamination. Volatile organic compounds in the groundwater or soil may move into the soil vapor (air spaces within the soil), which in turn may move into overlying buildings and affect the indoor air quality. This process, which is similar to the movement of radon gas from the subsurface into the indoor air of buildings, is referred to as soil vapor intrusion. Sub-slab depressurization systems (systems that ventilate/remove the air beneath the building) have been installed in on-site tenant spaces to prevent the indoor air quality from being affected by the contamination in soil vapor beneath the buildings. Sampling indicates soil vapor intrusion is not a concern for off-site buildings.

For more Information: [E-mail Us](#)

Refine This Search



Environmental Site Remediation Database Search Details

Site Record

Document Repository

Site-related documents are available for review through the DECInfo Locator on line at [DECInfoLocator](#)

Administrative Information

Site Name: Former Orangeburg Pipe Mfg-Lowe's Site

Site Code: V00579

Program: Voluntary Cleanup Program

Classification: C

EPA ID Number:

Location

DEC Region: 3

Address: Route 303

City:Orangetown Zip: 10962

County:Rockland

Latitude: 41.042062426

Longitude: -73.946972739

Site Type:

Estimated Size: 12.4 Acres

Institutional And Engineering Controls

Control Type:

Deed Restriction

Control Elements:

Ground Water Use Restriction

Soil Management Plan

Cover System

Landuse Restriction

Site Owner(s) and Operator(s)

Current Owner Name: ORANGEBURG HOLDINGS,LLC

Current Owner(s) Address: 505 Main Street
Hackensack,NJ, 07601

Site Description

The Former Orangeburg Pipe Manufacturing Facility - Lowes Site is located at 206 Route 303 in a suburban area in the Town of Orangetown, Rockland County. The site is approximately 12.4 acres in size and is located in Orangeburg on the west side of Route 303, approximately 0.25 mile south of the intersection of Route 303 and Route 340. The site is currently the location of a Lowe's retail store. The surrounding area is currently used for a combination of commercial, residential, light industrial, and municipal uses. The nearest residential area is 0.1 miles west on Western Highway. Until 1973 the site was used to manufacture Orangeburg pipe. The former Orangeburg Pipe manufacturing facility began operations in 1893 as the Fibre Conduit Company. The company later changed its name to Orangeburg Pipe. It made pipes by impregnating paper fiber cylinders with coal tar pitch. The company disposed of off-spec piping on-site. Flintkote bought Orangeburg Pipe in 1958 and operated the facility until 1973. After 1973, the on-site building was destroyed by fire. The site was left littered with discarded pipe and other detritus from the manufacturing operation and subsequent fire. The site remedial program was performed by the property owner, Orangeburg Holdings, LLC, as a volunteer in the DEC's Voluntary Cleanup Program. As part of the remedial program, certain areas of contamination were excavated for off-site disposal, a cover system was constructed across the site and a groundwater pump and treat system was installed. The system discharges to the local sewer system. Also, a deed restriction was attached to the property. The volunteer/owner has completed the remedial program and since leased the site to Lowe's Home Centers, Inc. who constructed a large retail store on the site. The site is subject to a Site Management Plan which addresses operation, maintenance and reporting requirements.

Contaminants of Concern (Including Materials Disposed)

Contaminant Name/Type

coal tar pitch volatiles

Site Environmental Assessment

Remediation at the site is complete. Prior to remediation, the primary contaminants of concern were volatile organic compounds (VOCs) and semi-volatile organic compounds (SVOCs) in soil and groundwater and asbestos, which is present in wastes remaining at the site. Remedial actions have successfully achieved soil cleanup objectives for commercial use. Residual contamination in the soil and groundwater is being managed under a Site Management Plan.

Site Health Assessment

Remedial actions are complete and measures are in place to prevent people from coming into contact with any residual contamination at the site.

For more information: [E-mail Us](#)

Refine This Search



Environmental Site Remediation Database Search Details

Site Record

Document Repository

Site-related documents are available for review through the DECInfo Locator on line at [DECInfoLocator](#)

Administrative Information

Site Name: Former Orangeburg Pipe Landfill DS&HM

Site Code: V00343

Program: Voluntary Cleanup Program

Classification: N *

EPA ID Number:

Location

DEC Region: 3

Address: NYS Route 303

City:Orangetown Zip: 10962

County:Rockland

Latitude: 41.042566957

Longitude: -73.948994027

Site Type:

Estimated Size: 0 Acres

Site Owner(s) and Operator(s)

Current Owner Name: FB Orangetown, LLC

Current Owner(s) Address: c/o RD Management Corp
New York,NY, 10019

Site Description

Location: The Former Orangeburg Pipe Landfill site is located in a suburban portion area of the Town of Orangetown, Rockland County. The site is located on the west side of Route 303 and is bordered to the south by the Route 303/Palisades Interstate Parkway interchange (Palisades Exit 5) and to the north by a home improvement store. **Site Features:** The site is a portion of the former Orangeburg Pipe facility and does not contain any buildings or structures. Weeds and other scrubby vegetation cover much of the site. Other site features include a small wetland area on the southeastern portion of the site. **Current Zoning/Use(s):** The site is currently vacant, but is proposed to be used for commercial purposes. The surrounding area is used for commercial and residential purposes. **Historical Use(s):** The site was formerly used to dispose of off-spec Orangeburg pipe. Orangeburg pipe was produced at the manufacturing facility (formerly located immediately

north of the site) from 1893 to 1972. Orangeburg pipe is a tar-impregnated paper pipe. From 1946 to 1970, asbestos fibers were added to control delamination of the pipe. The plant facility was demolished in 1974, and all underground tanks were reportedly excavated and removed. Site Geology: Groundwater was encountered from approximately 8 to 12 feet below grade and flows to the east.

Contaminants of Concern (Including Materials Disposed)

Contaminant Name/Type

coal tar pitch volatiles
naphthalene

Site Environmental Assessment

Contamination exists as a result of discarded Orangeburg pipe, which is present across much of the site. Primary contaminants of concern include several polycyclic aromatic hydrocarbons (PAHs), including naphthalene; benzene, toluene, ethylbenzene and xylenes (BTEX); and asbestos. PAHs and BTEX are present primarily as a result of the coal tar used to manufacture Orangeburg pipe. Soil sampling results show elevated levels of total PAHs ranging from 46 parts per million (ppm) to 37,869 ppm, compared to the guidance values for total PAHs of 1 ppm for surface soil and 10 ppm for sub-surface soil. Most soil samples exhibited exceedances of soil guidance values for several individual PAHs, as well. Groundwater sampling showed levels of naphthalene as high as 2,300 micrograms per Liter (ug/L), compared to its groundwater guidance value of 10 ug/L. Naphthalene was detected above guidance in 5 of 11 groundwater samples collected in December 2006.

* **Class N Sites:** "DEC offers this information with the caution that the amount of information provided for Class N sites is highly variable, not necessarily based on any DEC investigation, sometimes of unknown origin, and sometimes is many years old. Due to the preliminary nature of this information, significant conclusions or decisions should not be based solely upon this summary."

[For more Information: E-mail Us](#)

[Refine This Search](#)



Environmental Site Remediation Database Search Details

Site Record

Document Repository

Site-related documents are available for review through the DECInfo Locator on line at [DECInfoLocator](#)

Administrative Information

Site Name: Orangeburg Commons

Site Code: C344073

Program: Brownfield Cleanup Program

Classification: C

EPA ID Number:

Location

DEC Region: 3

Address: 170 Route 303

City:Orangeburg **Zip:** 10962

County:Rockland

Latitude: 41.039722222

Longitude: -73.9475

Site Type:

Estimated Size: 15.8 Acres

Institutional And Engineering Controls

Control Type:

[Environmental Easement](#)

Control Elements:

IC/EC Plan

Ground Water Use Restriction

Vapor Mitigation

Soil Management Plan

Cover System

Landuse Restriction

Monitoring Plan

Site Management Plan

O&M Plan

Site Owner(s) and Operator(s)

Current Owner Name: FB Orangetown LLC

Current Owner(s) Address: 810 Seventh Avenue, 10th Floor
New York,NY, 10019

Site Document Repository

Name: Orangeburg Library

Address: 20 South Greenbush Road
Orangeburg, NY 10962

Name: NYSDEC Region 3 Office

Address: 21 S. Putt Corners Road
New Paltz, NY 12561

Site Description

Location: The site is approximately 15.8 acres and is located on State Rt. 303 in Orangeburg in the Town of Orangetown. It is pentagon-shaped and bordered by Stevens Way and a Lowe's Home Improvement Store to the north; New York State Route 303 and commercial properties to the east; the Palisades Parkway to the south; and railroad tracks followed by residential properties to the west. **Site Features:** The site was previously vacant and partially cleared of trees and brush. The site contains a newly constructed Stop and Shop and Residence Inn. **Current Zoning and Land Use:** The site is zoned commercial and light industrial. The surrounding area is used for commercial and residential purposes. **Past Use of the Site:** The site was once a portion of the Orangeburg Pipe property which began manufacturing pipe in the 1890s. This site was reported to be used primarily for storage, but pipe not meeting specifications was also disposed of at the site. Prior to 1946, the pipe was manufactured by impregnating paper fiber cylinders with coal tar pitch; from 1946 - 1970, a paper/asbestos mixture was used to make the cylinders; after 1970, wollastonite (a fibrous, magnesium oxide mineral) replaced asbestos in the process. After manufacturing ceased in 1973, most of the manufacturing facility on the adjacent property was destroyed by fire with the remaining structures reportedly demolished and deposited at the project site. **Site Geology and Hydrogeology:** The top 5 to 15 feet (ft) of material over most of the area is a mixture of fill containing topsoil, sand and gravel, and varying amounts of construction and demolition (C&D) debris, brick, glass fragments, and pieces of Orangeburg pipe. The fill materials are underlain by a layer of glacial till containing a low-permeability mixture of reddish brown sand, gravel, silt and clay. Deeper native overburden above the bedrock contains some stratified drift deposits. Depth to bedrock surface ranges from 35 to 45 ft below grade and the Brunswick bedrock formation is a sandstone conglomerate. Groundwater exists beneath the site in three distinct units: the shallow water table is at depths ranging from 9 to 15 ft within fill material and shallow till sediments; the second distinct groundwater unit exists in the deep till and stratified drift deposits; and the third unit consists of a bedrock aquifer. Groundwater flow in the shallow aquifer is to the southeast while in the deep and bedrock aquifer, groundwater flows to the east.

Summary of Project Completion Dates

Projects associated with this site are listed in the Project Completion Dates table and are grouped by Operable Unit (OU). A site can be divided into a number of operable units depending on the complexity of the site and the number of issues associated with a site. Sites are often divided into operable units based on the media to be addressed (such as groundwater or contaminated soil), geographic area, or other factors.

Project Completion Dates

Contaminants of Concern (Including Materials Disposed)

Contaminant Name/Type

coal tar pitch volatiles

naphthalene

Site Environmental Assessment

Nature and Extent of Contamination: Remediation at the site is complete. Prior to remediation, the primary contaminants of concern (COCs) were semi-volatile organic compounds (SVOCs) and volatile organic compounds (VOCs) in waste, soils and groundwater, which were attributable to the coal tar with which the pipe was manufactured. Other COCs included asbestos in waste materials and chlorinated VOCs in soil gas.

Remedial actions have successfully achieved soil cleanup objectives for commercial use. Residual contamination exists in the soil and groundwater. The remaining contamination is being managed under a Site Management Plan.

Site Health Assessment

Measures are in place to control the potential for direct contact with subsurface soil and groundwater contamination remaining on site. Contaminated groundwater at the site is not used for drinking or other purposes and the area is served by a private water supplier that obtains water from a source not affected by this contamination. Volatile organic compounds in contaminated groundwater or soil may move into the soil vapor (air spaces within the soil), which in turn may move into overlying buildings and affect the indoor air quality. This process, which is similar to the movement of radon gas from the subsurface into the indoor air of buildings, is referred to as soil vapor intrusion. On-site buildings have been constructed with passive sub-slab depressurization systems to prevent indoor air quality from being affected by contaminated soil vapor. These passive systems have been determined effective in preventing soil vapor intrusion from affecting indoor air quality. Measures are in place to prevent inhalation of site contaminants in indoor air for any future on-site development. Environmental sampling indicates that soil vapor intrusion is not a concern for off-site buildings.

For more Information: [E-mail Us](#)

Refine This Search



Environmental Site Remediation Database Search Details

Site Record

Document Repository

Site-related documents are available for review through the DECInfo Locator on line at [DECInfoLocator](#)

Administrative Information

Site Name: Orangetown Commerce Center

Site Code: C344078

Program: Brownfield Cleanup Program

Classification: A

EPA ID Number:

Location

DEC Region: 3

Address: 5 Greenbush Road

City:Orangeburg Zip: 10962

County:Rockland

Latitude: 41.042733333

Longitude: -73.948669444

Site Type:

Estimated Size: 5.84 Acres

Site Owner(s) and Operator(s)

Current Owner Name: BF Orangetown LLC

Current Owner(s) Address: c/o RD Management LLC
New York,NY, 10019

Current On-Site Operator: BF Orangetown LLC

Stated Operator(s) Address: c/o RD Management LLC
New York,NY 10019

Site Document Repository

Name: Orangeburg Library

Address: 20 South Greenbush Road
Orangeburg,NY 10962

Site Description

Location: The subject property is about 5.84 acres in size and is located at 5 Greenbush Road, Orangetown, New York. The site is bounded to the east by Greenbush Road, to the west by Western Highway and to the north by Highview Avenue. **Site Features:** The property is currently undeveloped and no buildings remain. Concrete

pads from the former buildings, as well as an underground storage tank (UST), have been removed. Small trees, brush and natural growth cover the property . A small portion of the site is currently being used as a storage yard for construction equipment. Current Zoning and Land Use: The property is currently zoned as Light Industrial (LI), which allows for manufacturing, wholesale, warehouse and storage uses, offices, commercial, recreation and theaters. A portion of the property is used as a contractor's storage yard. The nearest residential area is about 175 feet west of the Site. The surrounding parcels are currently used for a combination of commercial, light industrial and residential use, and utility and railroad rights-of-way. Past Use of the subject property: The subject property was part of a larger facility used for the manufacturing of Orangeburg Pipe beginning in about the 1890s. Prior to 1946, the Orangeburg Pipe was manufactured by impregnating paper fiber cylinders with coal tar pitch. From 1946 to 1970, a paper and asbestos mixture was used to make the pipe cylinders. After 1970, wollastonite (a fibrous, magnesium oxide mineral) was used in place of asbestos. Most of the manufacturing operations were located on the adjacent current Lowe's property. The subject property was reportedly used mainly for storage during this time. In 1953, manufacturing operations were acquired by Flintkote. Pipe manufacturing was reported to have discontinued in 1973. After ceasing operations, most of the facility was destroyed by fire. The remaining structures were reportedly demolished and deposited on the subject property. Site Geology and Hydrogeology: The top 2 to 12 feet consists of a mixture of fill containing topsoil, sand, and gravel. The underlying soils are reported to consist of glacial till containing a low permeability mixture of reddish grey sand, gravel, silt and clay. The deeper native overburden above the bedrock was reported to contain some stratified drift deposits. The depth to the bedrock surface ranges from 35 to 45 feet below grade. Previous groundwater studies show that groundwater exists beneath the Orangeburg Pipe complex in three distinct units. The shallow water table exists at depths ranging from approximately 9 to 15 feet below grade and flows southeast. The second distinct unit exists in the deep till and the third unit consists of a bedrock aquifer. Groundwater flow in the deep till and bedrock aquifers to the east.

Contaminants of Concern (Including Materials Disposed)

Contaminant Name/Type

manganese
benzo(a)pyrene
sodium
benzo(a)anthracene
dibenz[a,h]anthracene
iron
lead
benzo(k)fluoranthene
phenanthrene
benzo(b)fluoranthene
chrysene
indeno(1,2,3-cd)pyrene

Site Environmental Assessment

Nature and Extent of Contamination : Remedial Investigation activities over the past three decades have analyzed groundwater, soil, and soil vapor samples at the site. The primary contaminants of concern at the Site include semi-volatile organic compounds (SVOCs), metals, and petroleum constituents. Non-aqueous phase liquid (NAPL) has been observed during multiple investigations. Volatile organic compounds (VOCs) were detected in groundwater during past investigations; however, recent sampling does not indicate the presence of VOCs at the site currently. Soil Investigations beginning in 1986 and conducted through 2016 have analyzed soil samples at the site at varying intervals for VOCs, SVOCs, pesticides, PCBs, and metals. Chromium, lead, and manganese were detected above commercial use SCOs. Chromium was detected at maximum concentrations of 38.4 parts per million (ppm). The commercial use soil cleanup objective (CUSCO) for chromium is 36 ppm. Lead was detected at a maximum concentration of 2,250 ppm (CUSCOs for lead is 1,000 ppm) and manganese was detected at a maximum concentration of 2,640 ppm (CUSCOs for manganese is 2,000 ppm.) SVOCs, primarily polyaromatic hydrocarbons (PAHs), including benzo[a]anthracene, benzo[a]pyrene, benzo[b]fluoranthene and chrysene etc., were detected at maximum concentrations of 110,000, 97,000, 120,000 and 110,000 ppm respectively. The CUSCO for each of these compounds is 1,000 ppm. Separate phase coal tar was observed at two locations on the site near and within the former tank area. The bulk of contaminated soil was encountered between 5 and 9 feet below ground surface (bgs), with contamination found in one location at 1 to 5 feet bgs. Pesticides and PCBs were not detected in soil samples. Based on the investigations completed, the potential for soil contamination to extend off-site beneath the existing road cannot be ruled out. However, DEC will work with Rockland County Highway Department and NYSDOH to ensure that appropriate actions are taken to evaluate the potential for contamination and to minimize associated human exposures if this off-site area becomes accessible or is to be accessed. Groundwater - Past investigations analyzed groundwater for VOCs, SVOCs, pesticides, PCBs, and metals. Analyses detected VOCs (mainly chlorinated solvents and petroleum constituents), SVOCs (primarily PAHs), and metals above ambient water quality standards. Volatile organic compounds were previously detected in groundwater during sampling events in the late 1980s and early 1990s; however, recent sampling (2009-2016) has indicated that VOCs are no longer impacting groundwater. SVOCs detected in groundwater include benzo[a]pyrene, benzo[b]fluoranthene and chrysene, which were detected at maximum concentrations of 1.8 ppb (standard of non-detect), 2.4 ppb (guidance of 0.002 ppb), and 2.4 ppb (guidance of 0.002 ppb), respectively. One pesticide (trans-Chlordane) was detected in two groundwater samples at concentrations of 0.013 ug/L and 0.01 ug/L. PCBs were not detected in groundwater. Soil Vapor Analysis of soil vapor was conducted during a sampling event in 1990. Three locations were sampled for VOCs, located in the northern half of the site: one point in the northeastern corner of the site, and two points each about 100 feet from the site boundaries in the northwestern portion of the site. Perchloroethylene (PCE) was detected at one of the three soil vapor samples collected at maximum of concentration of 2,442 mcg/m³ (micrograms per cubic meter). Benzene was detected at 32 mcg/m³ and xylenes at 651 mcg/m³. No buildings currently exist on the Site, eliminating the potential for soil vapor intrusion into indoor air on the Site at this time.

Site Health Assessment

The site is not fenced and persons who enter the site could contact contaminants in the soil by walking on the soil, digging or otherwise disturbing the soil. Contaminated groundwater at the site is not used for drinking or

other purposes and the site is served by a public water supply that obtains water from a different source not affected by this contamination. Volatile organic compounds in the groundwater may move into the soil vapor (air spaces within the soil), which in turn may move into nearby buildings and affect the indoor air quality. This process, which is similar to the movement of radon gas from the subsurface into the indoor air of buildings, is referred to as soil vapor intrusion. Because the site is vacant, the inhalation of site-related contaminants due to soil vapor intrusion does not represent a current concern. Furthermore, environmental sampling indicates soil vapor intrusion is not a concern for off-site buildings.

For more Information: [E-mail Us](#)

Refine This Search



**Parks, Recreation,
and Historic Preservation**

KATHY HOCHUL
Governor

ERIK KULLESEID
Commissioner

January 21, 2022

Ramya Ramanathan
Planning Analyst
ATZL, NASHER & ZIGLER, P.C.
232 North Main St.
New City, NY 10956

Re: DEC
S Corner Plaza Shopping Center: Demolition & New Construction
2 Route 340, Orangeburg, NY 10962
21PR08708

Dear Ramya Ramanathan:

Thank you for requesting the comments of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the project in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the OPRHP and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6 NYCRR Part 617).

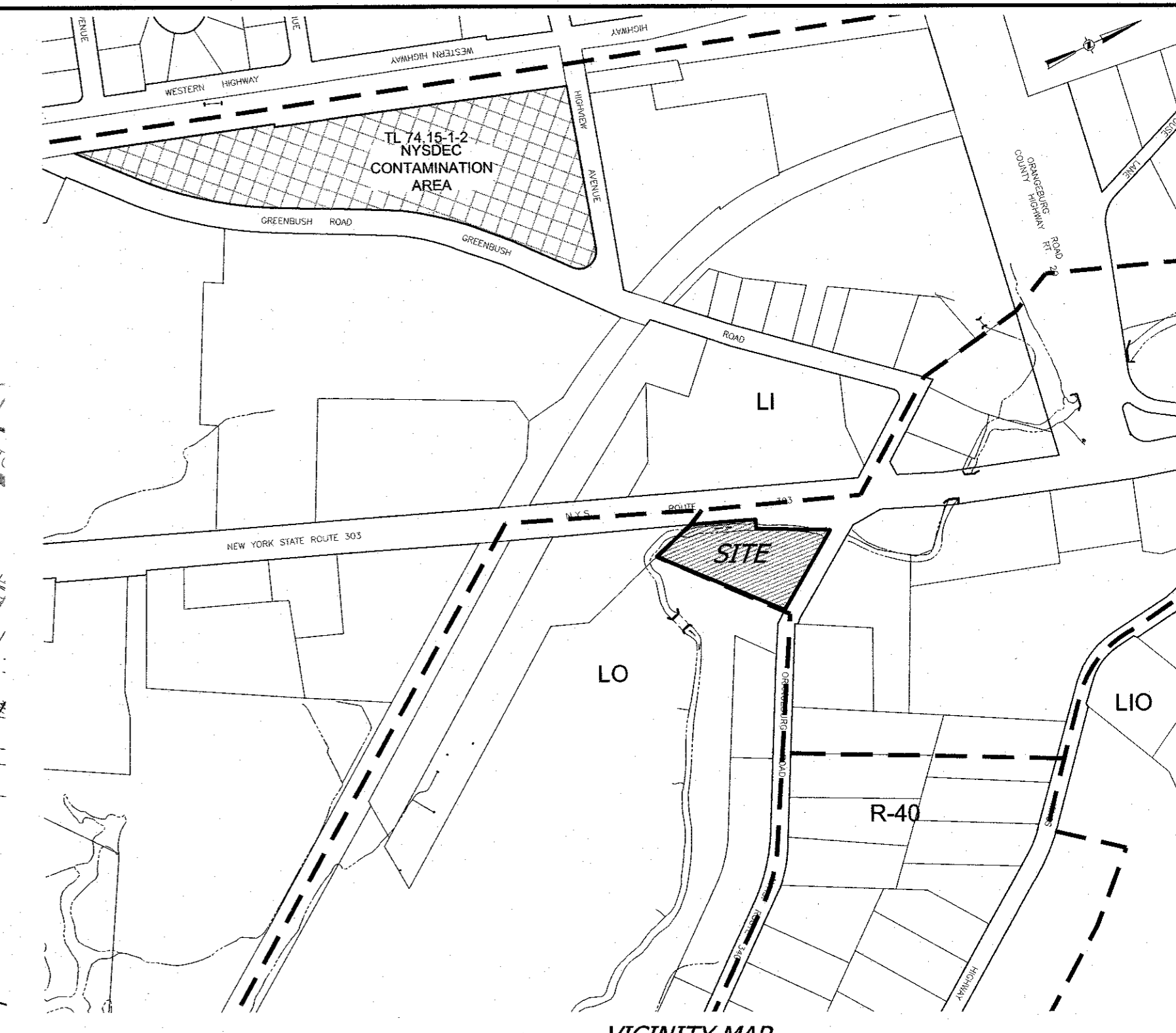
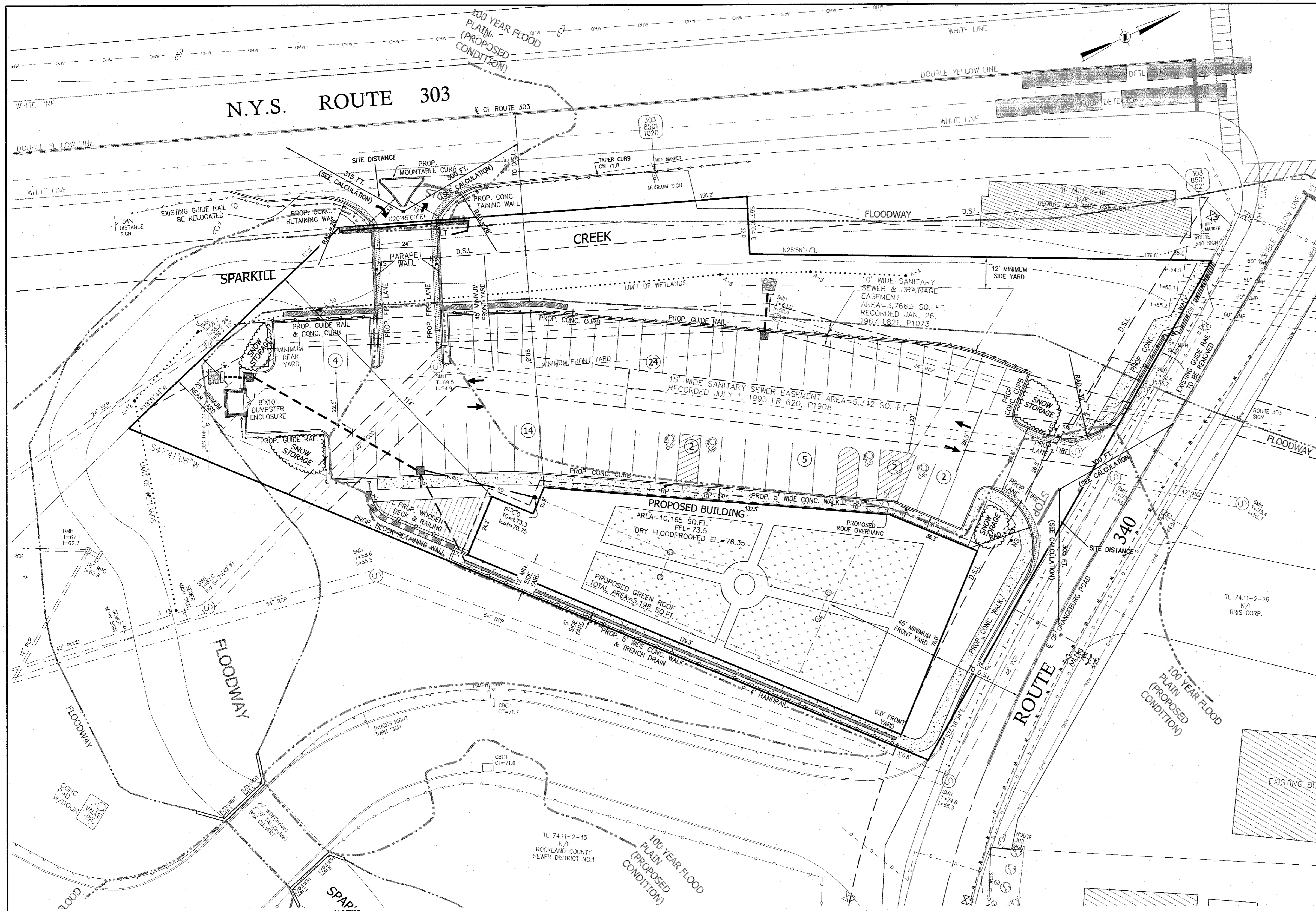
Based upon this review, it is the opinion of OPRHP that no properties, including archaeological and/or historic resources, listed in or eligible for the New York State and National Registers of Historic Places will be impacted by this project.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above.

Sincerely,

R. Daniel Mackay

Deputy Commissioner for Historic Preservation
Division for Historic Preservation



DRAWING LIST:

DRAWING No.	TITLE	ORIGIN	REVISION
DRAWING 1	SITE PLAN	AUGUST 05, 2021	AUGUST 16, 2022
DRAWING 2	EXISTING CONDITION	AUGUST 05, 2021	AUGUST 16, 2022
DRAWING 3	GRADING PLAN	AUGUST 05, 2021	AUGUST 16, 2022
DRAWING 4	SPARKILL CREEK PLAN & PROFILE	AUGUST 05, 2021	AUGUST 16, 2022
DRAWING 5	CROSS SECTIONS PROFILE VIEW & PLAN	AUGUST 05, 2021	AUGUST 16, 2022
DRAWING 6	CROSS SECTIONS PROFILE VIEW	AUGUST 05, 2021	AUGUST 16, 2022
DRAWING 7	EROSION & SEDIMENT CONTROL PLAN	AUGUST 05, 2021	AUGUST 16, 2022
DRAWING 8	DETAILS	AUGUST 05, 2021	AUGUST 16, 2022
DRAWING 9	DETAILS	AUGUST 05, 2021	AUGUST 16, 2022
DRAWING 10	LIGHTING PLAN	AUGUST 05, 2021	AUGUST 16, 2022
DRAWING 11	LIGHTING DETAILS	AUGUST 05, 2021	AUGUST 16, 2022
DRAWING 12	TRUCK TURNING RADIUS & SIGHT DISTANCE PLAN	AUGUST 05, 2021	AUGUST 16, 2022
DRAWING 13	LANDSCAPING PLAN	APRIL 13, 2022	APRIL 13, 2022

BULK REQUIREMENTS:

ZONE: CC GROUP: JJ	REQUIRED	PROVIDED
MAXIMUM FLOOR AREA RATIO	0.30	0.21
MINIMUM LOT AREA	2,500 SQ. FT.	50,381 SQ. FT.
MINIMUM LOT WIDTH	25 FT.	212.54 FT.
MINIMUM STREET FRONTAGE	25 FT.	376 FT.
MINIMUM FRONT YARD	0/45 FT.	0 FT.
MINIMUM SIDE YARD	0/12 FT.	0 FT.
MINIMUM TOTAL SIDE YARD	0/25 FT.	0 FT.
MINIMUM REAR YARD	25 FT.	114 FT.
MAXIMUM BUILDING HEIGHT	22 FT.	29 FT.*

(1"-4" FROM D.S.L. FOR BLDG. 255 FT. VEGETATIVE BUFFER PER ROUTE 303 OVERLAY DISTRICT (S13.10(B)(2)) GREATER THAN 22 FT.)

LOADING BERTH: 1

DUMPSTER: 25 FT. 14 FT.*

* VARIANCE REQUIRED

PARKING REQUIREMENTS:

REQUIRED: 1 SPACE/200 SQ.FT. OF GROSS FLOOR AREA
 TOTAL PARKING REQUIRED: TOTAL FLOOR AREA/200 SQ.FT.
 = 10,165 SQ.FT./200 SQ.FT.
 = 51 SPACES

PROVIDED: 53 SPACES

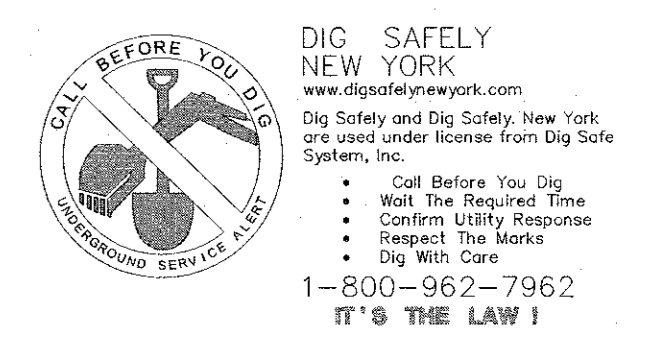
MAX. PARKING PERMITTED IN FRONT YARD: 35%
 PARKING PROVIDED IN FRONT YARD: 22 SPACES

PROPORTION OF PARKING IN FRONT YARD = 22 X 100% = 42% *

NOTE:

ON JANUARY 4, 2017, THE ZBA GRANTED A VARIANCE FOR BUILDING HEIGHT: 19'-11.94" PERMITTED FROM THE NORTHEAST PROPERTY LINE, 33'-8" PROPOSED FOR THE CLOCK TOWER, 24' TO THE PARAPET, 35'-7" TO ARCH CANOPY ARE PROPOSED. (ZBA #17-03)

ON JULY 15, 2015, THE ZBA GRANTED VARIANCES FOR REAR YARD (25' EXISTING), SECTION 5.2.2.4 (NO OFF-STREET PARKING SHALL BE LOCATED WITHIN ANY OTHER REQUIRED YARD AS REGULATED BY § 6.1); SECTION 6.4.1, PARAGRAPH C: (ONE OUTDOOR LOADING BERTH REQUIRED, MODIFIED TO ONE PROPOSED); SECTION 3.11, CC DISTRICT, COLUMN 6 #9 (PARKING SPACES: 61 SPACES REQUIRED, 59 SPACES PROVIDED); AND FROM SECTION 13.10 ROUTE 303 OVERLAY NON-RESIDENTIAL AREA B(1); (SHALL BE ADEQUATELY SCREENED TO MINIMIZE VISUAL IMPACT TO PASSENGERS ON ROUTE 303) B(2) TWENTY-FIVE FOOT VEGETATIVE BUFFER). (ZBA #15-06)



REVISION	DATE	DESCRIPTION
4	08-16-22	PER DIRECTORS COMMENTS 08/09/22
3	07-29-22	ROUTE 303 OVERLAY REQ.
2	04-13-22	PER PLANNING BOARD 12/08/21
1	10-28-21	PER BROKER ENGINEERING 09/29/21

ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SURVEYORS-PLANNERS

232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4694
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.ANZNY.com

S CORNER PLAZA

TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

SITE PLAN

DRAWN BY: JS
 DATE: AUGUST 05, 2021
 PROJECT NO: 2858

CHECKED BY: JRA
 SCALE: 1" = 20' FT.
 DRAWING NO: 1

LEGEND

--- 2' ---	EXISTING 2' CONTOUR	--- 2' ---	PROPOSED 2' CONTOUR
--- 10' ---	EXISTING 10' CONTOUR	--- 10' ---	PROPOSED 10' CONTOUR
---	EXISTING WATERLINE	---	PROPOSED ROOF DRAIN
---	EXISTING GAS LINE	---	PROPOSED RETAINING WALL
---	EXISTING CATCH BASIN	---	PROPOSED FENCE
---	EXISTING SEWER MAINLINE	---	PROPOSED RESERVED PARKING
---	EXISTING SEWER MANHOLE	---	PROPOSED NO STANDING
---	EXISTING SPOT ELEVATION	---	PROPOSED NO LEFT TURN
---	EXISTING SIGN	---	PROPOSED EMPLOYEE PARKING
---	EXISTING LIGHT POLE	---	LOCATION OF TEST HOLE
---	EXISTING UTILITY POLE	---	PROPOSED WATERSHED
---	EXISTING LIMIT OF WETLANDS	---	LIMIT OF DISTURBANCE
---		---	PROPOSED FIRE LANE
---		---	FLOODWAY
---		---	100 YEAR FLOOD PLAIN (PROPOSED CONDITION)
---		---	PROPOSED WATER SERVICE
---		---	PROPOSED GAS SERVICE
---		---	PROPOSED UNDERGROUND SERVICE

- NOTES:**
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
 - NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT AND/OR THE TOWN OF ORANGETOWN.
 - LOT DRAINAGE ON THIS PLAN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND SHALL NOT BE DISTURBED.
 - ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
 - NO OPEN BURNING DURING CONSTRUCTION WITHOUT SPECIFIC PERMISSION FROM NEW YORK STATE DEPARTMENT OF HEALTH.
 - NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPARTMENT.
 - DURING THE COURSE OF CONSTRUCTION, ALL STORM DRAIN INLETS SHALL BE PROTECTED WITH A MAY BALE FILTER (SEE DETAIL).
 - ALL AREAS DISTURBED BY ONSITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
 - THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER, AND AT LEAST 30" IN LENGTH (TO BE INSTALLED AFTER FINAL GRADING), SAID PINS SHOWN TRUS.
 - THIS SITE PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION DRAWINGS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK.
 - SEWERMAKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH HIGHWAY DEPARTMENT SPECIFICATIONS.
 - TEMPORARY SEDIMENT ENTRAPMENT AREAS SHALL BE PROVIDED AS SHOWN TO INTERCEPT AND CLARIFY SILT LAIDEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING CARTON BRIMS, SIP-RAP OR CRUSHED STONE DAMS, MAY RALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR THE CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LAIDEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
 - ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN THIRTY (30) DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2 LB. OF RYE GRASS OR MICHIGAN WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS EARLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
 - SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
 - AT THE COMPLETION OF THE PROJECT ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 - PERMANENT VEGETATION COVER SPECIFICATIONS:
 LAWN AREA - PER 1,000 SQ.F.
 15 LBS. 10-6-4 50% SLOW RELEASE FERTILIZER
 70 LBS. GRANULATE LIMESTONE
 4 LBS. SEED MIXTURE
 40% KENTUCKY BLUE
 40% RED FESCUE
 20% PERENNIAL RYEGRASS
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L&M OF THE GENERAL MUNICIPAL LAW.
 - CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER, ENGINEER AND APPROVED BY THE DIRECTOR, DIVISION OF SEWERS.
 - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRECONSTRUCTION MEETING MUST BE HELD WITH THE DEPT. SUPERINTENDENT OF HIGHWAYS AND THE DISTRICT OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
 - TREE PROTECTION:
 A TREE PROTECTION PROGRAM WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS, WHICH WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES, ARE AS FOLLOWS:
 A) NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 B) THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
 C) TREES TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES.
 D) TREES TO BE SAVED WILL BE FENCED AT THE OUTER GRIP LINE.
 E) NO EARTH FILLS GREATER THAN 6" IN DEPTH WILL BE MADE BENEATH TREES TO BE PRESERVED.
 F) IN FILL AREAS, TREES WILL BE PRESERVED IN TREE WELLS, OR THROUGH THE USE OF RETAINING WALLS.
 G) IN CUT AREAS, TREES WILL BE PRESERVED WITH RETAINING WALLS.
 - ADDITIONAL CERTIFICATION, BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE TWO REGULATIONS:
 A) A DRAINAGE PERMIT IS REQUIRED FROM THE ROCKLAND COUNTY DRAINAGE AGENCY PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 B) PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A FLOOD ELEVATION CERTIFICATE IS TO BE SUBMITTED TO THE TOWN OF ORANGETOWN BUILDING DEPT.
 - THE CONTRACTOR SHALL NOTIFY THE ROCKLAND COUNTY SEWER DISTRICT NO.1 TWO (2) WORKING DAYS IN ADVANCE PRIOR TO WORK WITHIN CLOSE PROXIMITY TO THE SEWER EASEMENT BOUNDARY.
 IF EXISTING SEWER CONNECTIONS ARE HOOKED UP TO DISTRICT'S SEWER, THEY MUST BE PLUGGED WITH THE SEWER EASEMENT WITH A PERMANENT WATER TIGHT PLUG OR CAP INCAISED IN CONCRETE.
 - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRECONSTRUCTION MEETING MUST BE HELD WITH THE DEPT. SUPERINTENDENT OF HIGHWAYS AND THE DISTRICT OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.

OWNER:
 COYNE & SAMIMI ENTERPRISE, LLC
 120 MONTE VISTA AVENUE
 RIDGEWOOD, N.J. 07450

APPLICANT:
 DANIEL H. SAMIMI
 120 MONTE VISTA AVENUE
 RIDGEWOOD, N.J. 07450

TAX MAP REFERENCE:
 TOWN OF ORANGETOWN TAX MAP
 SECTION 74.11, BLOCK 2, PARCEL 47

SITE ADDRESS:
 2 ROUTE 340
 ORANGETOWN, NY 10962

AREA:
 50,381 SQ.FT. OR 1.157 ACS.

DATUM: NAVD 1988

STATE OF NEW YORK
 RYAN A. NASHER, P.E.
 N.Y.S. P.L.S. LIC. NO. 89066

STATE OF NEW YORK
 JOHN E. ATZL, P.E.
 N.Y.S. P.L.S. LIC. NO. 50228

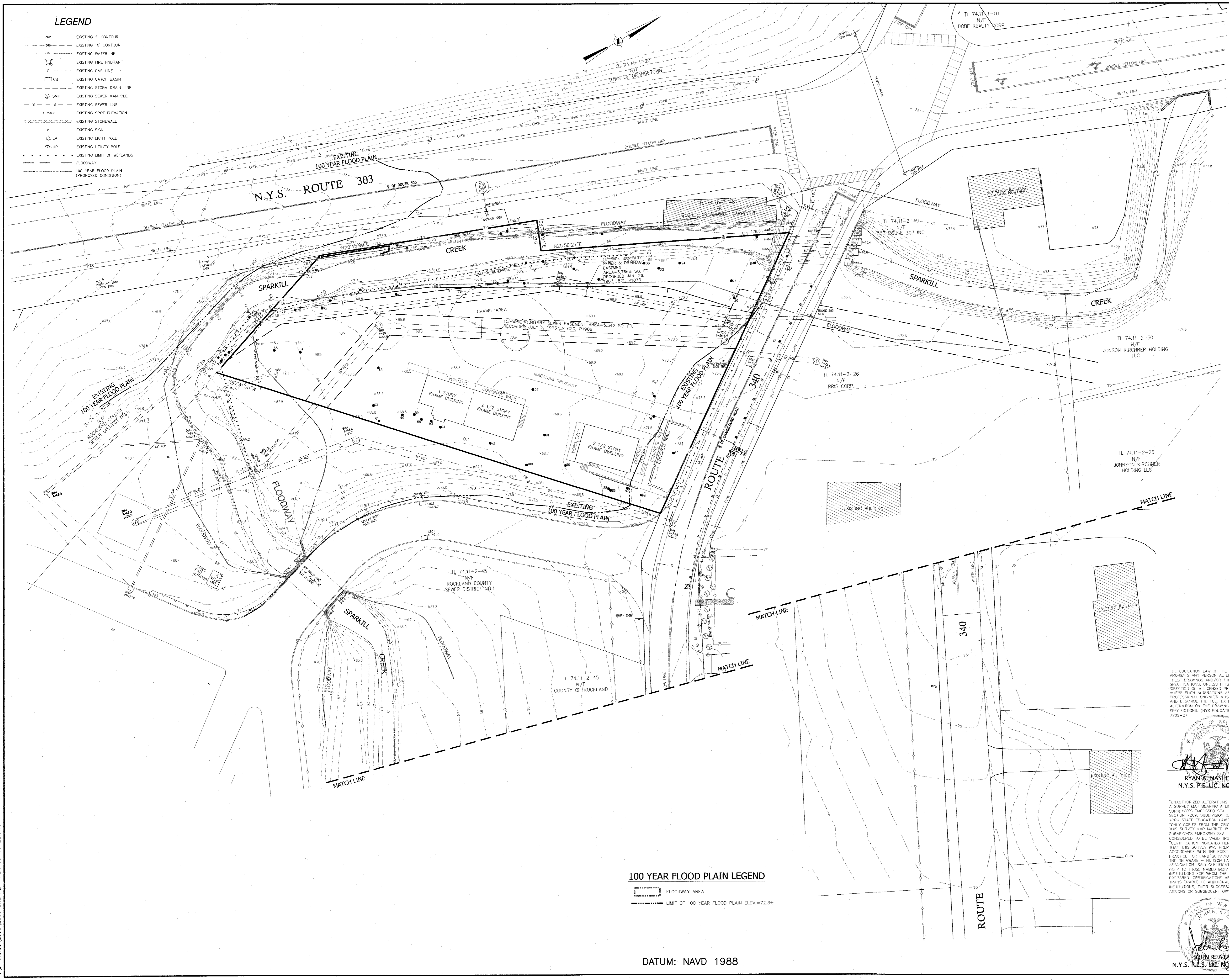
P:\DRAWINGS\2858\2858 SITE PLAN NEW 08-16-22.DWG

LEGEND

- 362 --- EXISTING 2' CONTOUR
- 360 --- EXISTING 10' CONTOUR
- W --- EXISTING WATERLINE
- G --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- SD --- EXISTING STORM DRAIN LINE
- SMH --- EXISTING SEWER MANHOLE
- S --- EXISTING SEWER LINE
- 360.0 --- EXISTING SPOT ELEVATION
- --- EXISTING STONEWALL
- --- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- UP --- EXISTING UTILITY POLE
- --- EXISTING LIMIT OF WETLANDS
- --- FLOODWAY
- --- 100 YEAR FLOOD PLAIN (EXISTING CONDITION)
- --- 100 YEAR FLOOD PLAIN (PROPOSED CONDITION)

TREE LIST

NUMBER	SIZE (IN)	TYPE
5	8	OAK
6	10	SYCAMORE
7	12	OAK
8	20	SYCAMORE
10	20	SYCAMORE
11	7	CHERRY
12	24	OAK
15	12	OAK
17	20	PINE
18	12	CEDAR
19	24	ASH
20	8	PINE
21	8	PINE
22	6	PINE
23	10	PINE
24	12	PINE
25	30	MAPLE
26	12	CHERRY
27	30	OAK
30	10	MAPLE
32	10	OAK
38	24	ASH
40	6	OAK
40	40	ASH
61	18	ELM
62	8	ELM
63	38	ASH
64	20	PINE
65	12	PINE
70	6/10	OAK
71	6/12/12	MAPLE
72	12	TWIN MAPLE
73	6	SYCAMORE
74	10	OAK
75	20	ASH
76	20	OAK
77	8	OAK
78	24	BEECH
79	24	ELM
80	6	CHERRY
81	15	OAK
82	15	OAK
83	15	ASH
84	15	PINE
86	15	OAK
87	12	ASH
88	15	ASH
89	12	PINE
90	22	OAK
91	12	TULIP
92	12	OAK
93	12	ELM
94	24	OAK
100	6	APPLE



100 YEAR FLOOD PLAIN LEGEND

--- FLOODWAY AREA

--- LIMIT OF 100 YEAR FLOOD PLAIN ELEV.=72.34'

DATUM: NAVD 1988

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 2209-2)

STATE OF NEW YORK
 JOHN R. ATZL
 RYAN A. NASHER, P.E.
 N.Y.S. P.E. LIC. NO. 89066

"UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 2209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."
 "ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES."
 "CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE DELAWARE - HUDSON LAND SURVEYORS ASSOCIATION. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS, AND/OR ASSIGNS OR SUBSEQUENT OWNERS."

STATE OF NEW YORK
 JOHN R. ATZL
 N.Y.S. P.E. LIC. NO. 50228

REVISION	DATE	DESCRIPTION
4	08-16-22	PER DIRECTORS COMMENTS 08/09/22
3	07-29-22	ROUTE 303 OVERLAY REQ.
2	04-13-22	PER PLANNING BOARD 12/08/21
1	10-28-21	PER BROOKER ENGINEERING 09/29/21

AN&Z ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SURVEYORS-PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4694
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.ANZNY.com

PROJECT: **S CORNER PLAZA**

TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

TITLE: **EXISTING CONDITION**

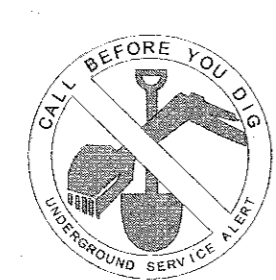
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 DATE: AUGUST 05, 2021 SCALE: 1" IN. = 30 FT.
 PROJECT NO: DRAWING NO:
2858 **2**

P:\DRAWINGS\2858\2858 SITE PLAN NEW 08-16-22.DWG

P:\DRAWINGS\2549\2549 SITE PLAN NEW 08-16-22.DWG

LEGEND

- 2' --- EXISTING 2' CONTOUR
- 10' --- EXISTING 10' CONTOUR
- W --- EXISTING WATERLINE
- H --- EXISTING FIRE HYDRANT
- G --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- S --- EXISTING STORM DRAIN LINE
- SMH --- EXISTING SEWER MANHOLE
- S --- EXISTING SEWER LINE
- S --- EXISTING SPOT ELEVATION
- --- EXISTING STONEWALL
- --- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- --- EXISTING UTILITY POLE
- --- EXISTING LIMIT OF WETLANDS
- 2' --- PROPOSED 2' CONTOUR
- 10' --- PROPOSED 10' CONTOUR
- --- PROPOSED ROOFRAIN
- --- PROPOSED RETAINING WALL
- --- PROPOSED GUIDE RAIL
- --- PROPOSED FENCE
- --- PROPOSED STANDING PARKING
- --- PROPOSED NO STANDING
- --- PROPOSED NO LEFT TURN
- --- PROPOSED EMPLOYEE PARKING
- --- LOCATION OF TEST HOLE
- --- PROPOSED WATERSHED
- --- LIMIT OF DISTURBANCE
- --- PROPOSED FIRE LANE
- --- FLOODWAY
- --- 100 YEAR FLOOD PLAIN (PROPOSED CONVICTION)
- P-WS --- PROPOSED WATER SERVICE
- P-CS --- PROPOSED GAS SERVICE
- UGE --- PROPOSED UNDERGROUND SERVICE



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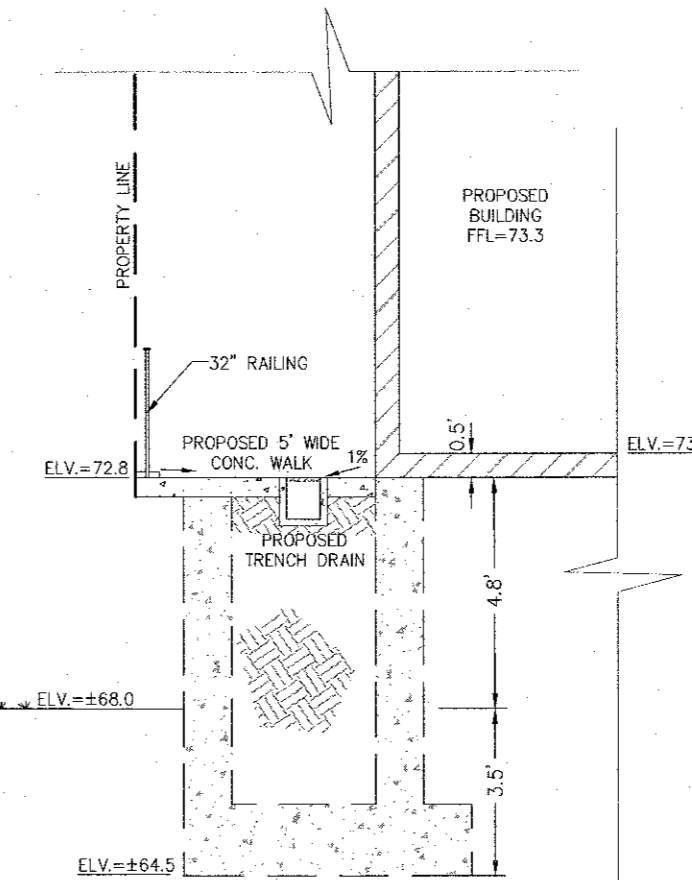
CUT/FILL LEGEND:

- [White Box] CUT = 1.45 CU.YD.
- [Hatched Box] FILL = 2526.91 CU.YD.

NOTES:

- ANY FILL MATERIALS BEING BROUGHT TO THE SITE SHALL BE CERTIFIED PER NYSDEC CODE.

DATUM: NAVD 1988



SECTION A-A
SCALE 1"=4"

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALtering ANYTHING IN THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-2)

RYAN A. NASHER, P.E.
 N.Y.S. P.E. LIC. NO. 89066

JOHN R. ATZL
 N.Y.S. P.L.S. LIC. NO. 50228

GENERAL & UTILITY NOTES:

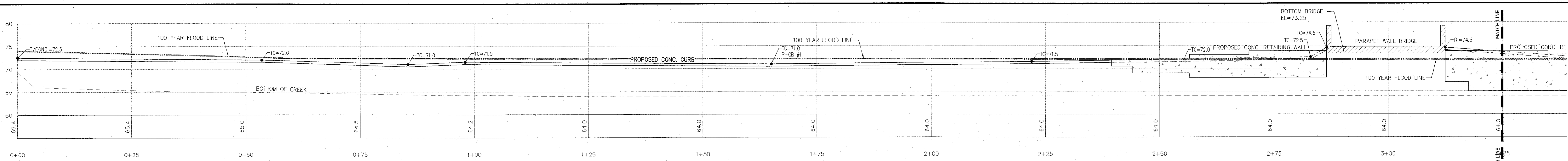
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- STORMWATER MANAGEMENT PHASE I REGULATIONS: ADDITIONAL CERTIFICATION BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWING AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS.
- CONTRACTOR TO VERIFY LOCATION, SIZE AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
- ALL EXISTING OFF-SITE PAVEMENT, FENCES, CURBS, WALKS AND OTHER FACILITIES DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- EXISTING QUINTILES THAT ARE TO BE REMOVED AND/OR REPLACED SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- UTILITIES AND UTILITY STRUCTURES WHOSE LOCATIONS ARE UNKNOWN MAY BE AFFECTED BY THE PROPOSED WORK. UPON FINDING SUCH UTILITIES, THE CONTRACTOR'S RESPONSIBILITY SHALL BE TO NOTIFY THE OWNER AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
- CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE, WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO COMPLETED WORK.
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
- THE EXTENT OF THE CONSTRUCTION AND DISTURBANCE AREAS SHALL BE THE MINIMUM REQUIRED TO PERFORM THE CONTRACT WORK, WITH AS MINIMAL EFFECT ON ADJACENT AREAS AS POSSIBLE.
- ALL HOUSE CONNECTION TO BE 6" DIA. DUCTILE IRON PIPE.
- ALL WATER LINES TO BE CLASS 54 DUCTILE IRON PIPE.
- GAS, ELECTRIC AND TELEPHONE UTILITIES ARE SHOWN IN CONCEPTUAL FASHION. FINAL LOCATIONS, SIZES AND MATERIAL SHALL BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES.
- ALL STORM DRAINAGE TO BE HIGH DENSITY POLYETHYLENE PIPE (HDPE), UNLESS OTHERWISE SPECIFIED.
- ALL FIRE CONNECTIONS TO BE APPROVED BY THE FIRE DEPARTMENT. SIGNAGE IDENTIFYING CONNECTION SHALL BE PROVIDED. CONNECTIONS SHALL NOT BE OBSTRUCTED BY PLANTINGS.
- SIDE WALKS AND CURB SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPARTMENT'S SPECIFICATIONS FOR SIDEWALKS AND CURBS.
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.6M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
- SHEETING SHALL BE USED WHEN CONSTRUCTION ACTIVITIES ARE PERFORMED IN THE VICINITY OF PROPERTY LINES.
- DATUM OF EXISTING TOPOGRAPHY IS NAVD88.
- FLOODPLAIN AND FLOODWAY DELINEATIONS FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), DATES 3/3/2014.
- ALL EXISTING STRUCTURE TO BE DEMOLISHED.

REVISION	DATE	DESCRIPTION
4	08-16-22	PER DIRECTORS COMMENTS 08/09/22
3	07-29-22	ROUTE 303 OVERLAY REQ.
2	04-13-22	PER PLANNING BOARD 12/08/21
1	10-28-21	PER BROOKER ENGINEERING 09/29/21

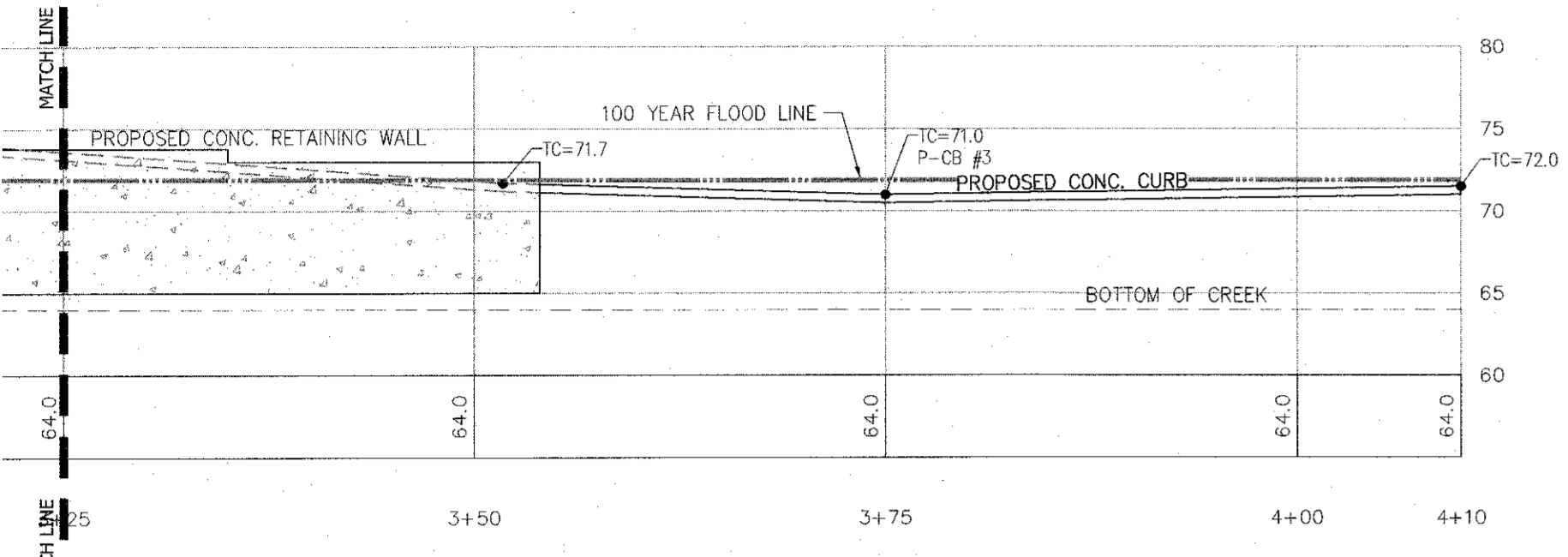
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PROJECT: **S CORNER PLAZA**
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK
 TITLE: **GRADING PLAN**

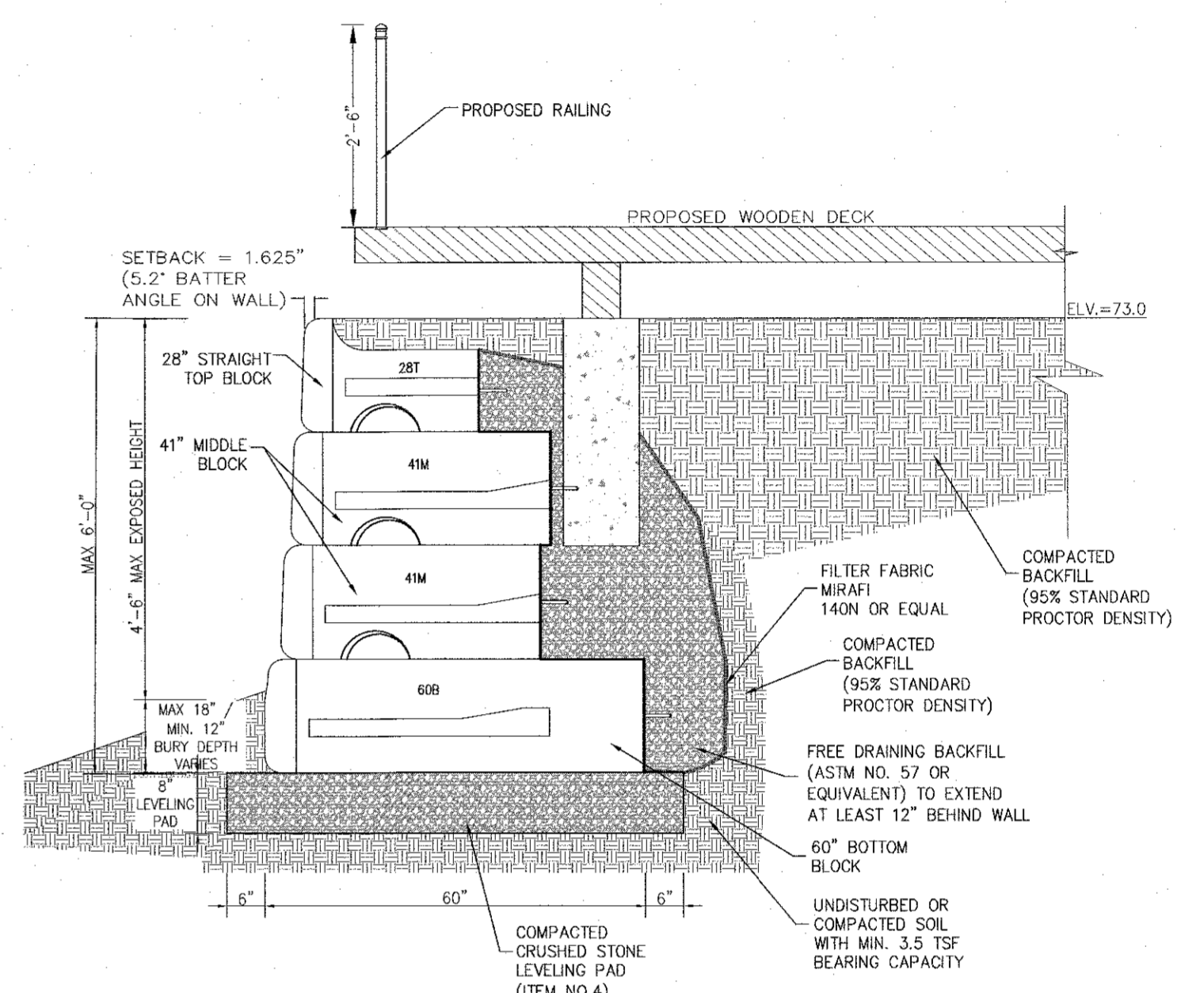
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DATE: AUGUST 05, 2021	SCALE: 1 IN. = 40 FT.
PROJECT NO: 2858	DRAWING NO: 3



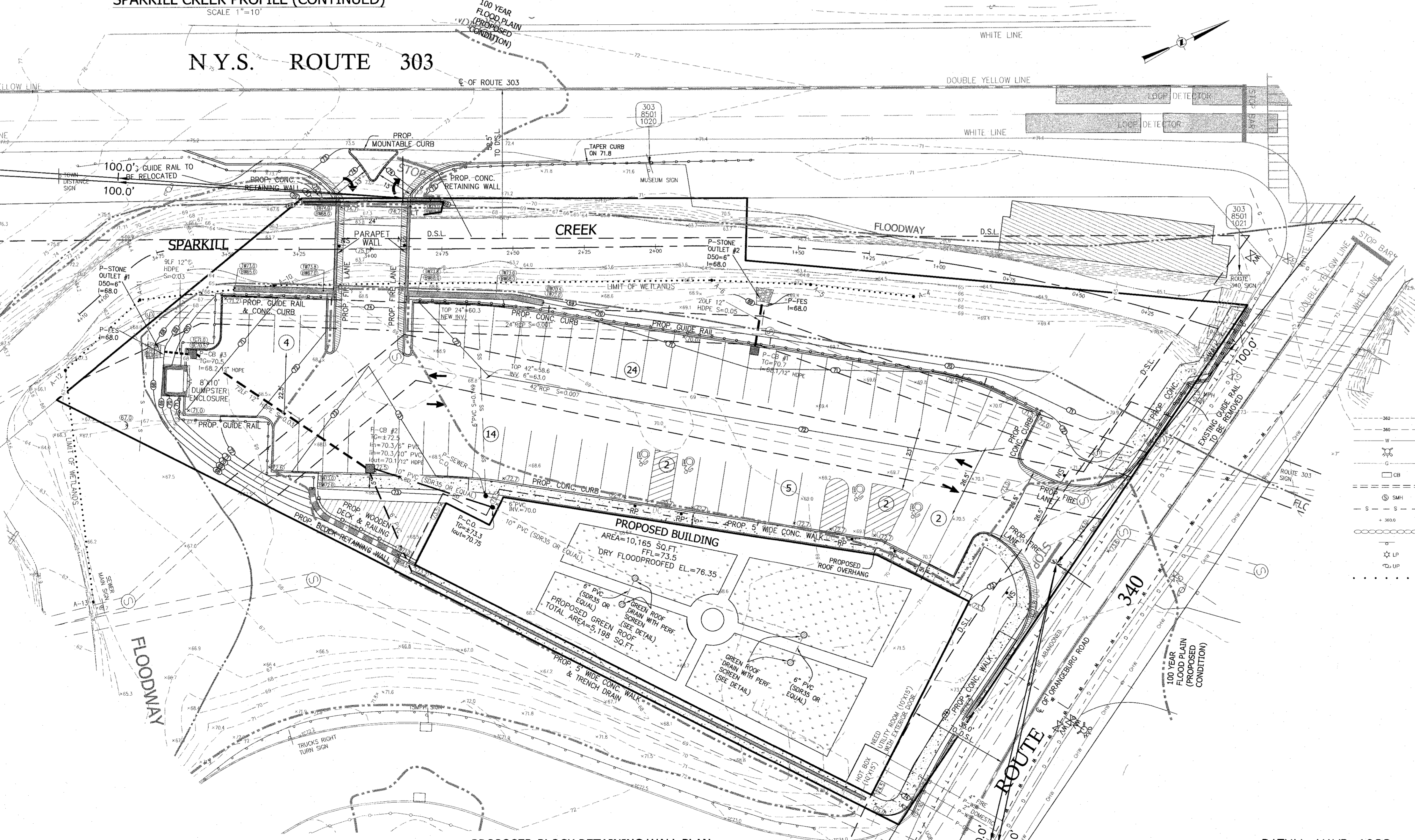
SPARKILL CREEK PROFILE
SCALE 1"=10'



SPARKILL CREEK PROFILE (CONTINUED)
SCALE 1"=10'



TYPICAL BLOCK RETAINING WALL SECTION
SCALE 1"=2'



PROPOSED BLOCK RETAINING WALL PLAN
SCALE 1"=20'

LEGEND

- 2' --- EXISTING 2' CONTOUR
- 10' --- EXISTING 10' CONTOUR
- W --- EXISTING WATERLINE
- F --- EXISTING FIRE HYDRANT
- G --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- SD --- EXISTING STORM DRAIN LINE
- SMH --- EXISTING SEWER MANHOLE
- S --- EXISTING SEWER LINE
- + 100.0 --- EXISTING SPOT ELEVATION
- --- EXISTING STONEWALL
- --- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- UP --- EXISTING UTILITY POLE
- --- EXISTING LIMIT OF WETLANDS
- 2' --- PROPOSED 2' CONTOUR
- 10' --- PROPOSED 10' CONTOUR
- --- PROPOSED ROOF DRAIN
- --- PROPOSED RETAINING WALL
- --- PROPOSED GUIDE RAIL
- --- PROPOSED FENCE
- --- PROPOSED RESERVED PARKING
- --- PROPOSED NO STANDING
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- --- PROPOSED EMPLOYEE PARKING
- --- LOCATION OF TEST HOLE
- WS --- PROPOSED WATERSHED
- L00 --- LIMIT OF DISTURBANCE
- --- PROPOSED FIRE LINE
- --- FLOODWAY
- --- 100 YEAR FLOOD PLAN (PROPOSED CONDITION)
- P-WS --- PROPOSED WATER SERVICE
- P-GS --- PROPOSED GAS SERVICE
- UGE --- PROPOSED UNDERGROUND SERVICE

REVISION	DATE	DESCRIPTION
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PROJECT:
S CORNER PLAZA
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

TITLE:
SPARKILL CREEK
PLAN & PROFILE

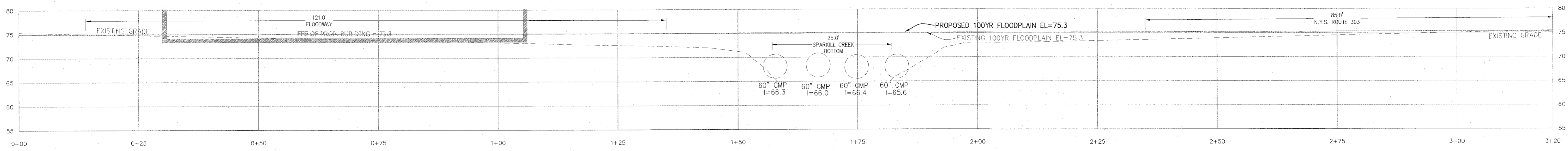
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PROJECT NO: 2858	DRAWING NO: 4

DATUM: NAVD 1988

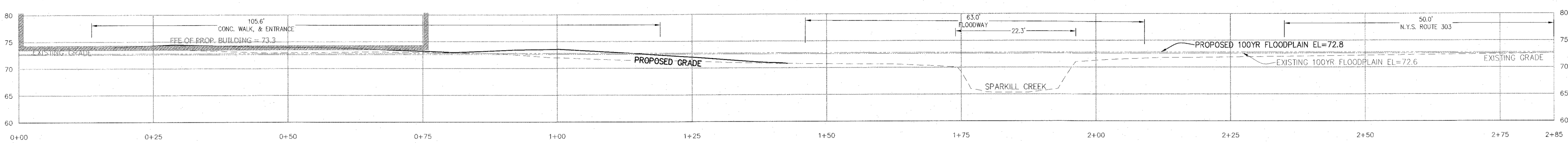
STATE OF NEW YORK
SEAL OF RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
SEAL OF JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

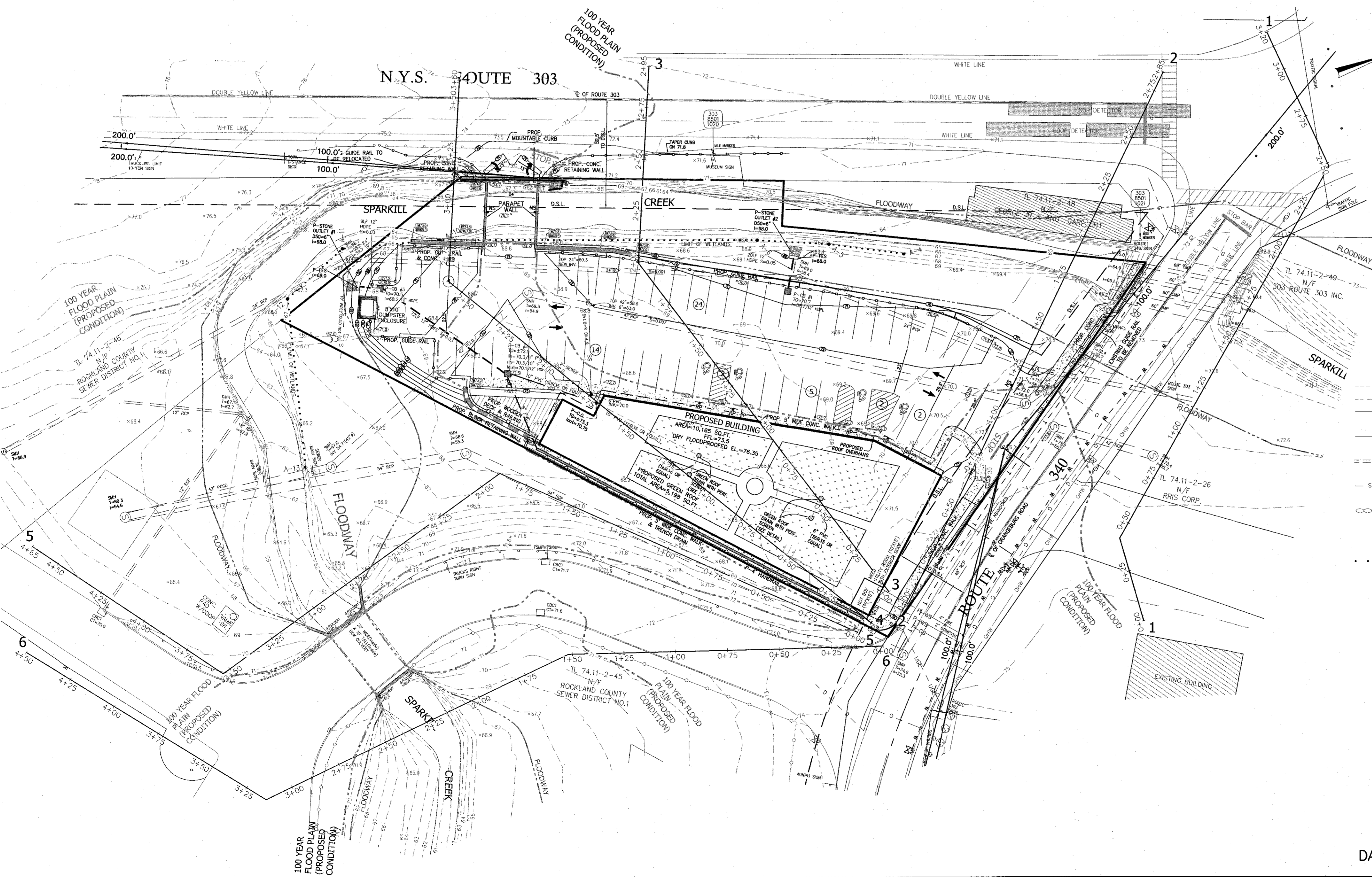
P:\DRAWINGS\2858\2858 SITE PLAN NEW 08-16-22.DWG



CROSS SECTION 1-1 PROFILE VIEW
SCALE 1"=10'



CROSS SECTION 2-2 PROFILE VIEW
SCALE 1"=10'



100 YEAR FLOOD PLAIN (NAVD88)

SECTION	EXISTING CONDITION	PROPOSED CONDITION	DIFFERENCE
1-1	75.3	75.3	0.0
2-2	72.6	72.8	0.2
3-3	72.2	72.5	0.3
4-4	72.2	72.2	0.0
5-5	71.8	71.8	0.0
6-6	70.3	70.3	0.0

LEGEND

--- 2' CONTOUR	--- 10' CONTOUR	--- PROPOSED 2' CONTOUR	--- PROPOSED 10' CONTOUR
--- EXISTING WATERLINE	--- EXISTING FIRE HYDRANT	--- EXISTING GAS LINE	--- EXISTING CATCH BASIN
--- EXISTING STORM DRAIN LINE	--- EXISTING SEWER MANHOLE	--- EXISTING SPOT ELEVATION	--- EXISTING STONEWALL
--- EXISTING SIGN	--- EXISTING LIGHT POLE	--- EXISTING UTILITY POLE	--- EXISTING LIMIT OF WETLANDS
--- PROPOSED ROOF DRAIN	--- PROPOSED RETAINING WALL	--- PROPOSED GUIDE RAIL	--- PROPOSED FENCE
--- PROPOSED RESERVED PARKING	--- PROPOSED NO STANDING	--- PROPOSED NO LEFT TURN	--- PROPOSED EMPLOYEE PARKING
--- LOCATION OF TEST HOLE	--- PROPOSED WATERSHED	--- LIMIT OF DISTURBANCE	--- PROPOSED FIRE LANE
--- FLOODWAY	--- 100 YEAR FLOOD PLAIN (PROPOSED CONDITION)	--- PROPOSED WATER SERVICE	--- PROPOSED GAS SERVICE
--- PROPOSED UNDERGROUND SERVICE			

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PROJECT:
S CORNER PLAZA
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

TITLE:
CROSS SECTIONS PROFILE VIEW & PLAN

DRAWN BY: IS	CHECKED BY: JRA
DATE: AUGUST 05, 2021	SCALE: 1 IN. = 30 FT.
PROJECT NO: 2858	DRAWING NO: 5

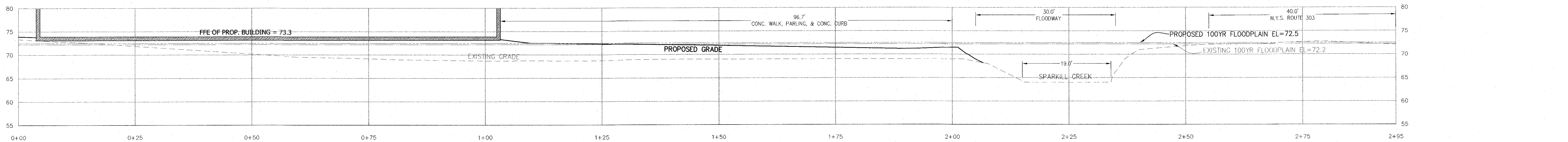
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 2209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW.
 ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
 "CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE DELAWARE - HUDSON LAND SURVEYORS ASSOCIATION. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS."

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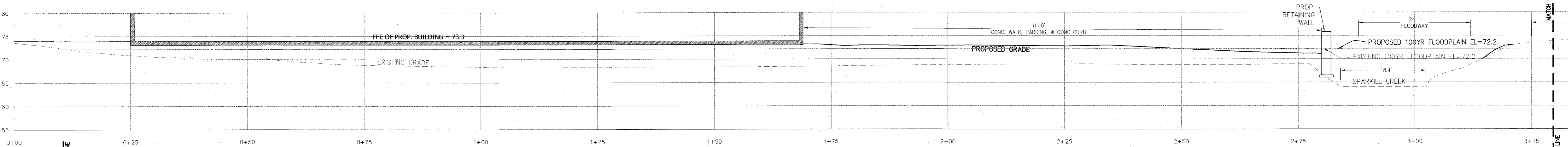
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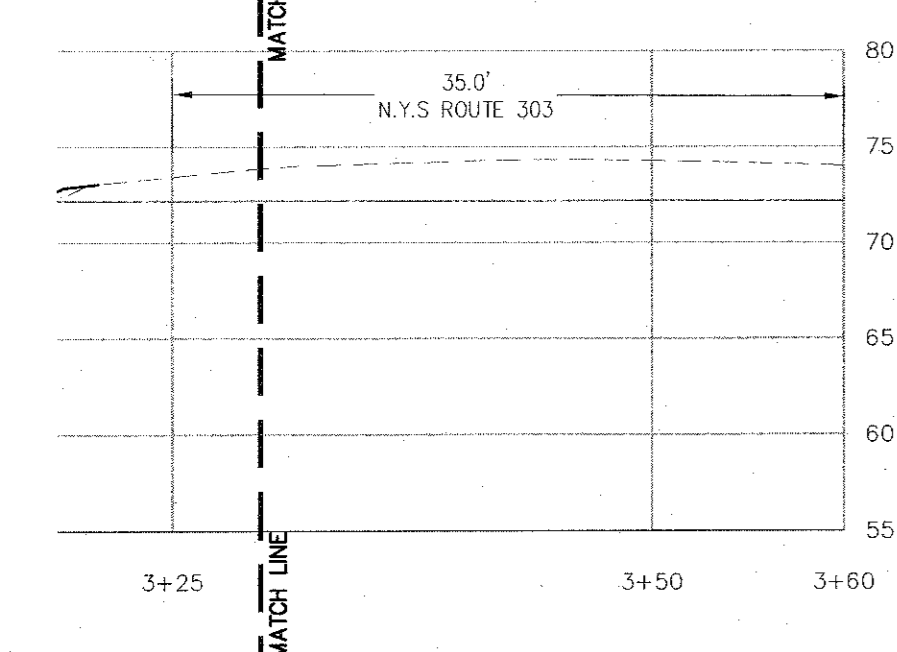
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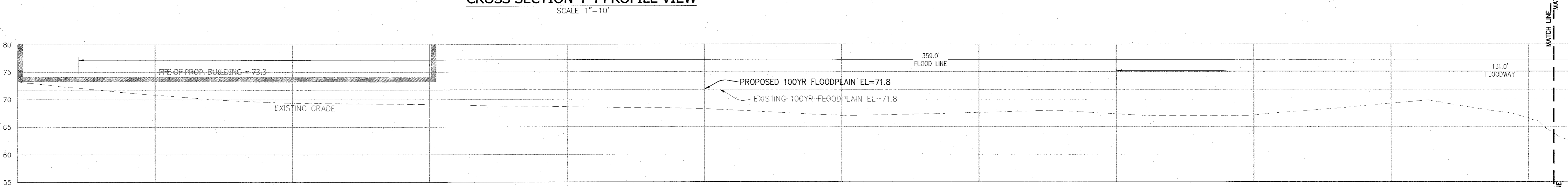
CROSS SECTION 3-3 PROFILE VIEW
SCALE 1"=10'



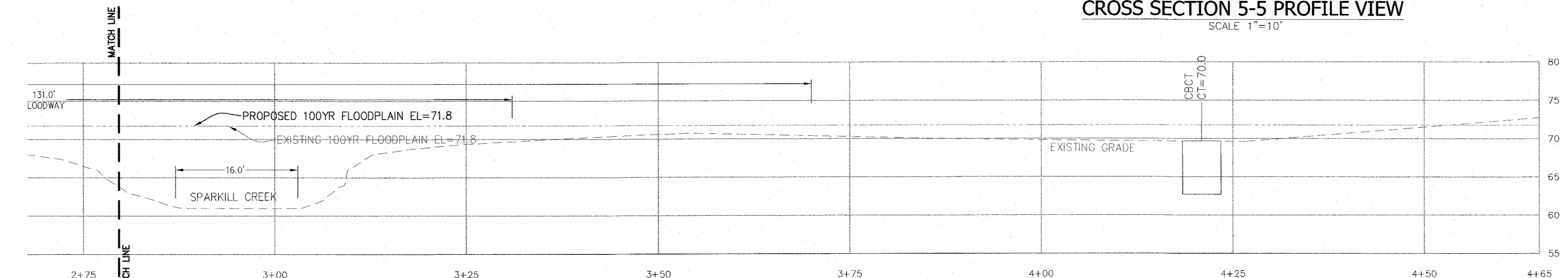
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SCALE 1"=10'



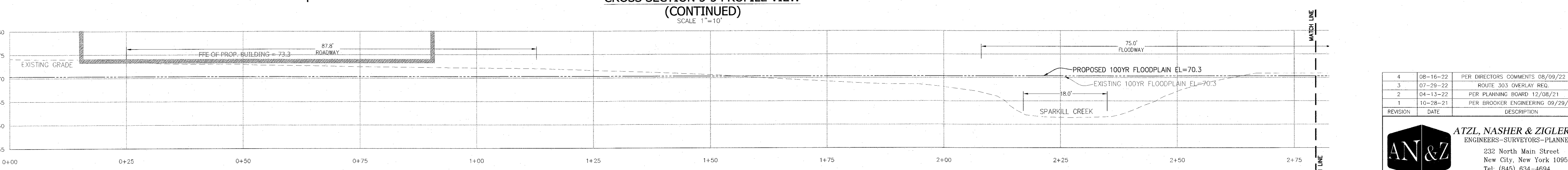
CROSS SECTION 4-4 PROFILE VIEW
(CONTINUED)
SCALE 1"=10'



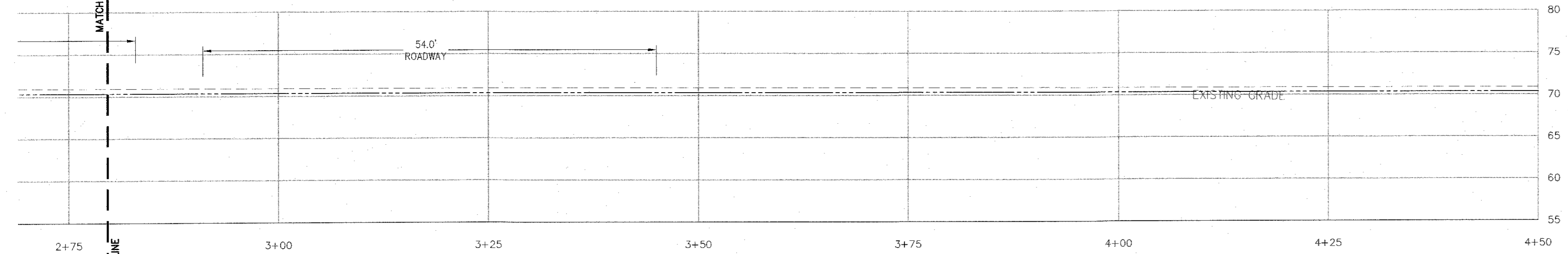
CROSS SECTION 5-5 PROFILE VIEW
SCALE 1"=10'



CROSS SECTION 5-5 PROFILE VIEW
(CONTINUED)
SCALE 1"=10'

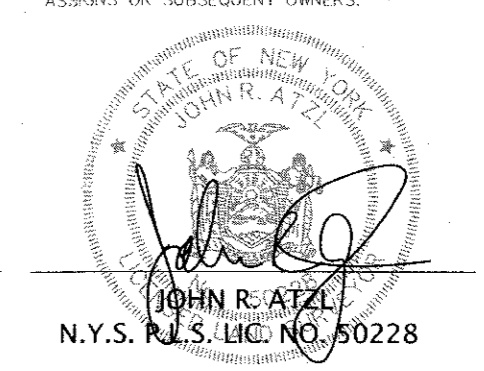
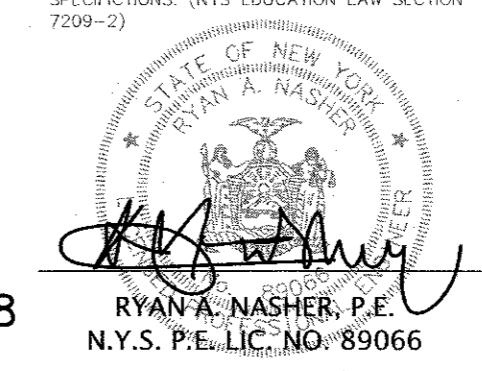


CROSS SECTION 6-6 PROFILE VIEW
SCALE 1"=10'



CROSS SECTION 6-6 PROFILE VIEW
(CONTINUED)
SCALE 1"=10'

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"ONLY COMES FROM THE ORIGINAL TRAINING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID 'TRUE COPIES'."
"CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED BY ACCREDITED SURVEYORS WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE DECLARABLE LAWS/JUDSON LAND SURVEYORS ASSOCIATION. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS."



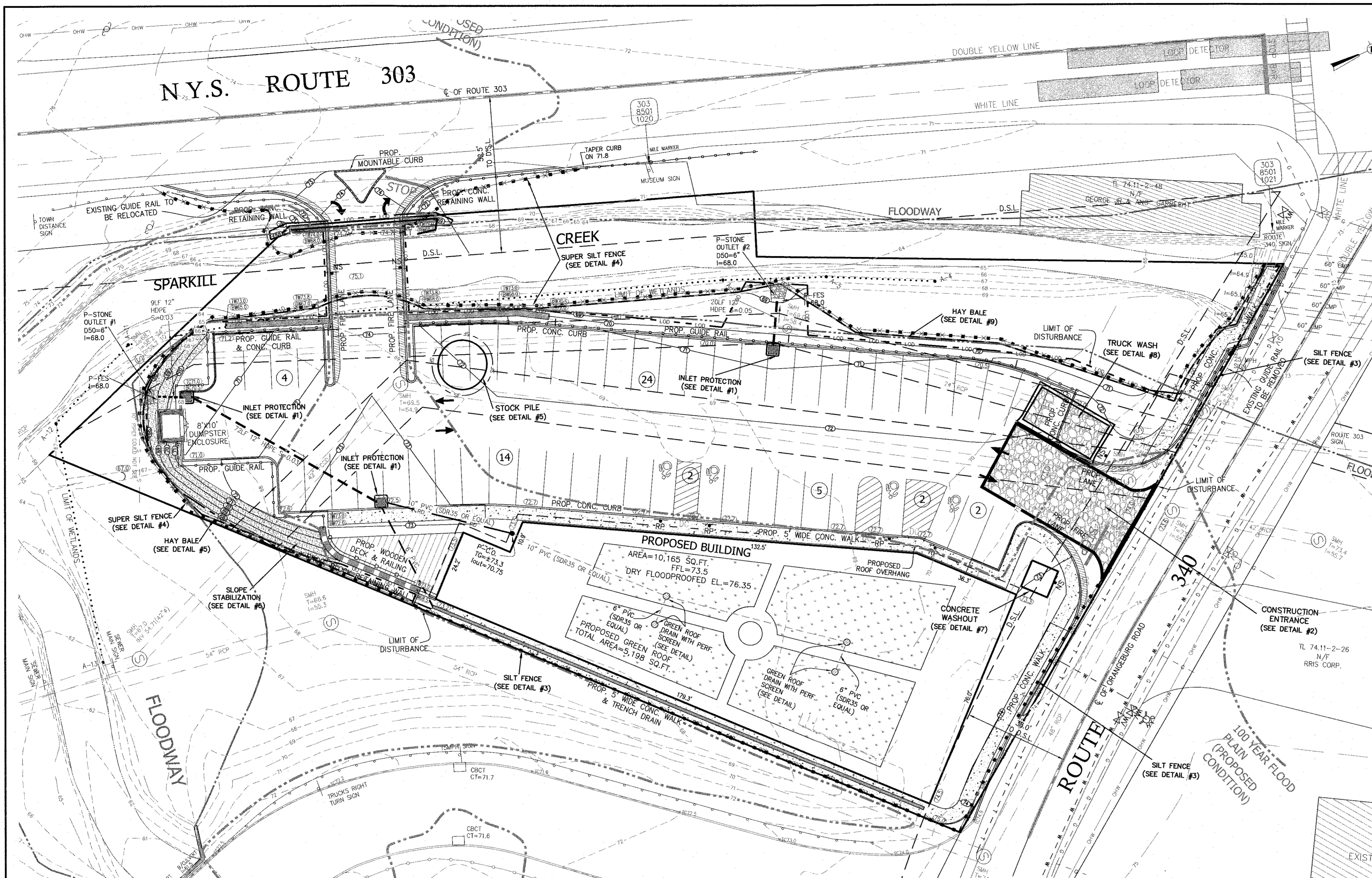
DATUM: NAVD 1988

REVISION	DATE	DESCRIPTION
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PROJECT:	S CORNER PLAZA	
TITLE:	CROSS SECTIONS PROFILE VIEW	
DRAWN BY:	IS	CHECKED BY: JRA
DATE:	AUGUST 05, 2021	SCALE: 1 IN. = 30 FT.
PROJECT NO.:	2858	DRAWING NO.:
		6

P:\DRAWINGS\2858\2858 SITE PLAN NEW 08-16-22.DWG

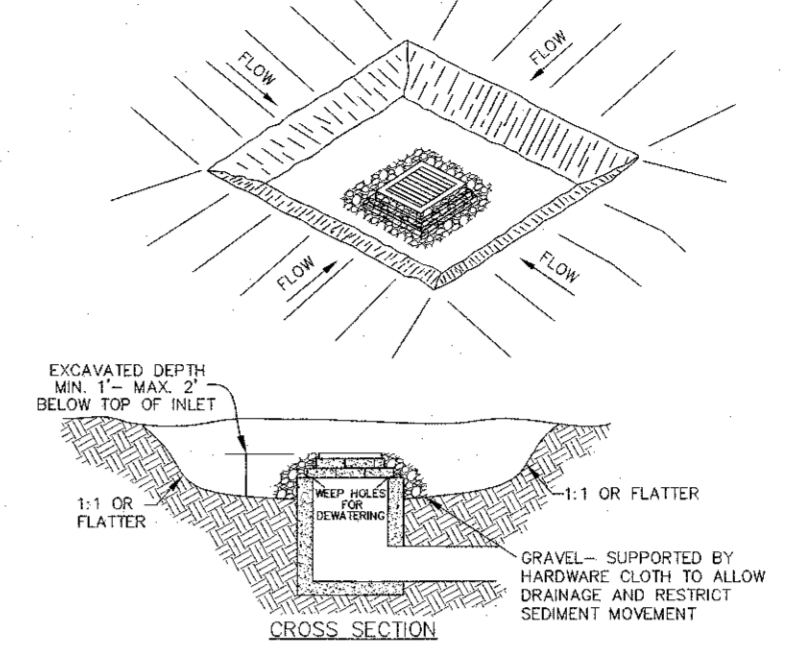


SPECIFICATIONS FOR STORM INLET PROTECTION

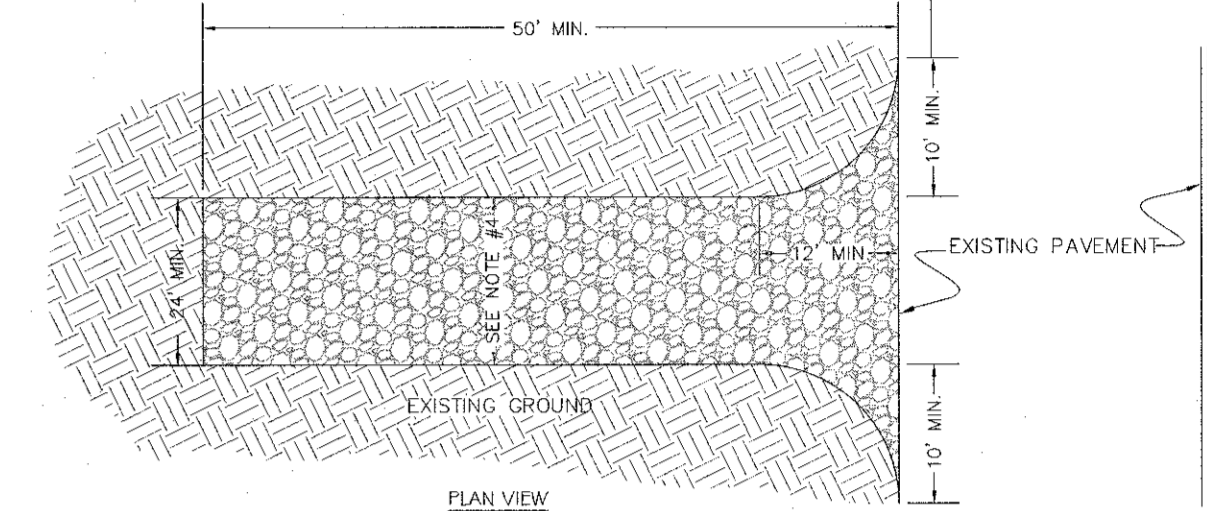
1. SEDIMENT SHALL BE REMOVED AND THE TRAP RETURNED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
2. THE VOLUME OF SEDIMENT STORAGE SHALL BE 1800 CUBIC FEET PER ACRE OF CONTRIBUTORY DRAINAGE.
3. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
5. THE SEDIMENT TRAP SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE CONSTRUCTED DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
6. ALL CUT SLOPES SHALL BE 1:1 OR FLATTER.

SPECIFICATIONS FOR CONSTRUCTION ENTRANCE

1. STONE SIZE - USE 2' STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN 6".
4. WIDTH - 12" MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR. 24" IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACEMENT OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



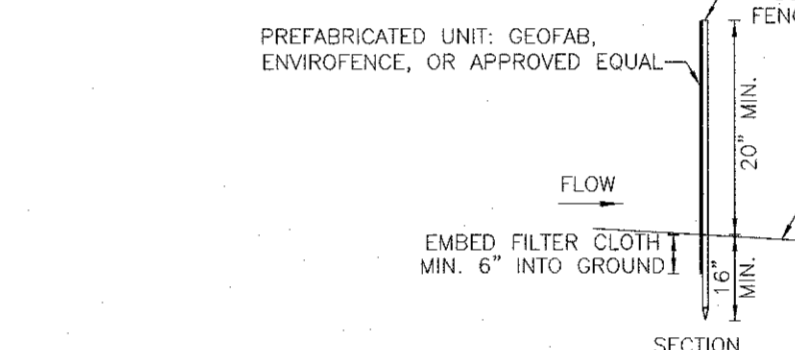
STORM INLET PROTECTION DETAIL #1
N.T.S.



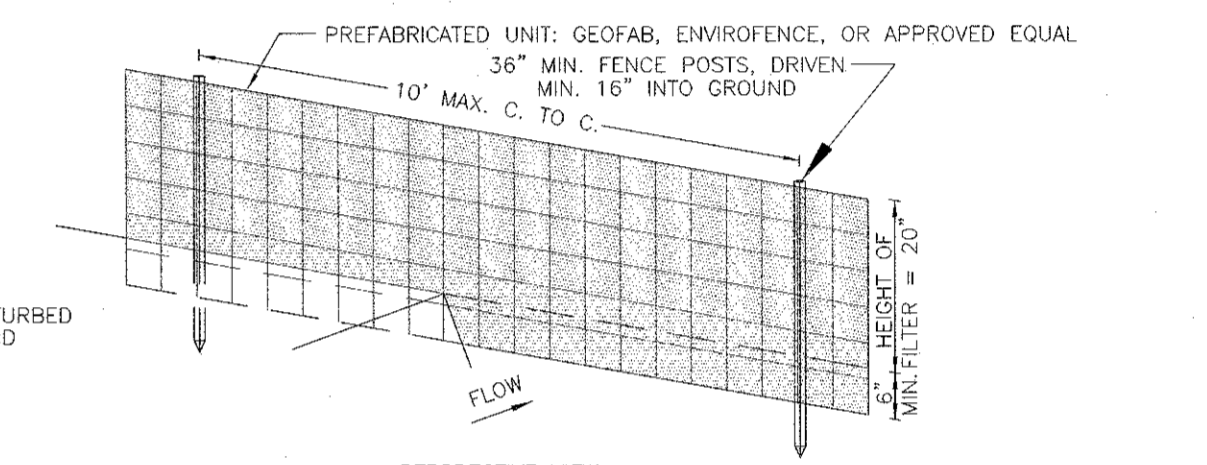
CONSTRUCTION ENTRANCE DETAIL #2
N.T.S.

CONSTRUCTION NOTES FOR PRE-FABRICATED SILT FENCE

- PREFABRICATED UNIT: GEOFAB, ENVROFENCE, OR APPROVED EQUAL.
1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 2. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



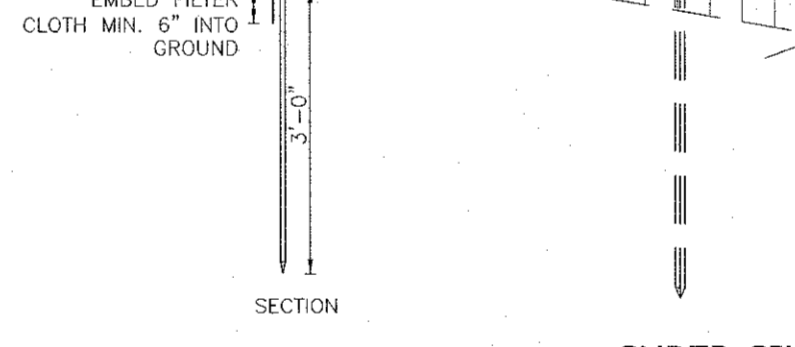
SILT FENCE DETAIL #3
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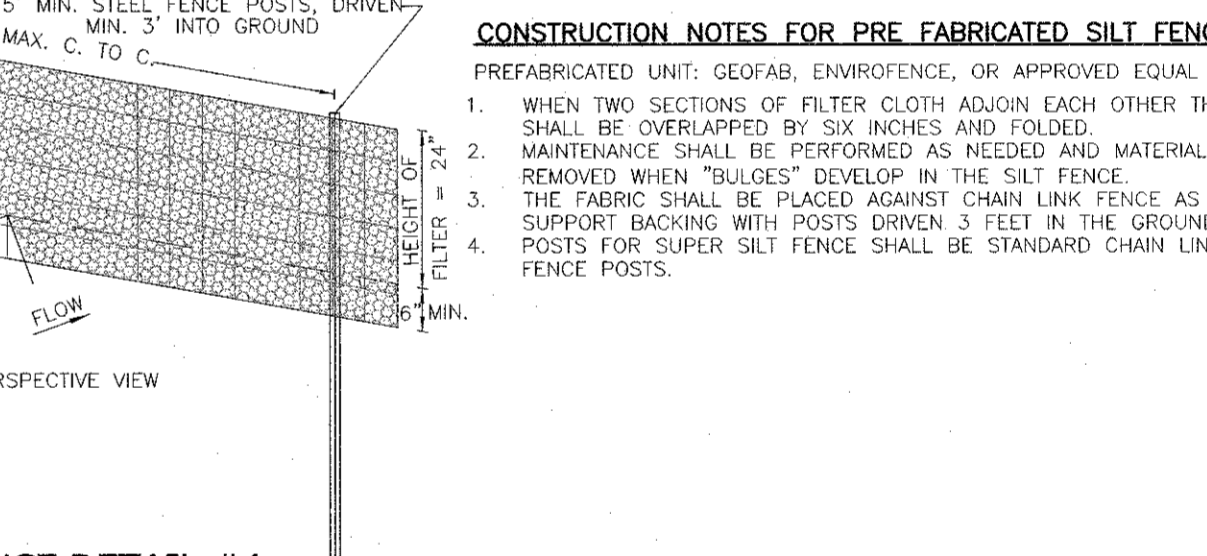
SILT FENCE DETAIL #3
N.T.S.

CONSTRUCTION NOTES FOR PRE-FABRICATED SILT FENCE

- PREFABRICATED UNIT: GEOFAB, ENVROFENCE, OR APPROVED EQUAL.
1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 2. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
 3. THE FABRIC SHALL BE PLACED AGAINST CHAIN LINK FENCE AS SUPPORT BACKING WITH POSTS DRIVEN 3 FEET IN THE GROUND.
 4. POSTS FOR SUPER SILT FENCE SHALL BE STANDARD CHAIN LINK FENCE POSTS.



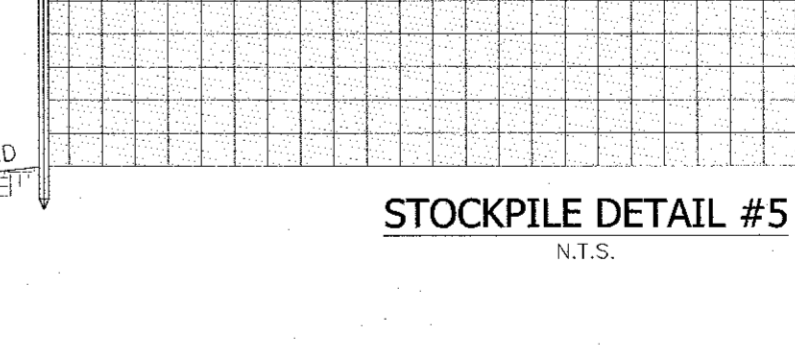
SUPER SILT FENCE DETAIL #4
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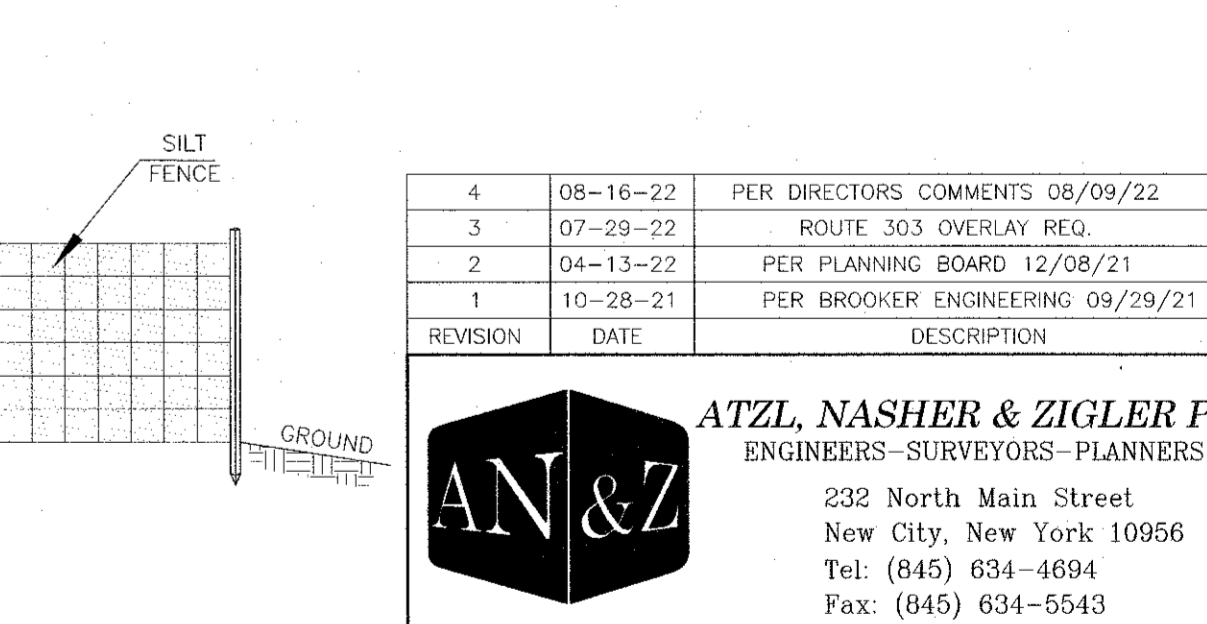
SUPER SILT FENCE DETAIL #4
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CONSTRUCTION NOTES FOR PRE-FABRICATED SILT FENCE

- PREFABRICATED UNIT: GEOFAB, ENVROFENCE, OR APPROVED EQUAL.
1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 2. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
 3. THE FABRIC SHALL BE PLACED AGAINST CHAIN LINK FENCE AS SUPPORT BACKING WITH POSTS DRIVEN 3 FEET IN THE GROUND.
 4. POSTS FOR SUPER SILT FENCE SHALL BE STANDARD CHAIN LINK FENCE POSTS.



STOCKPILE DETAIL #5
N.T.S.

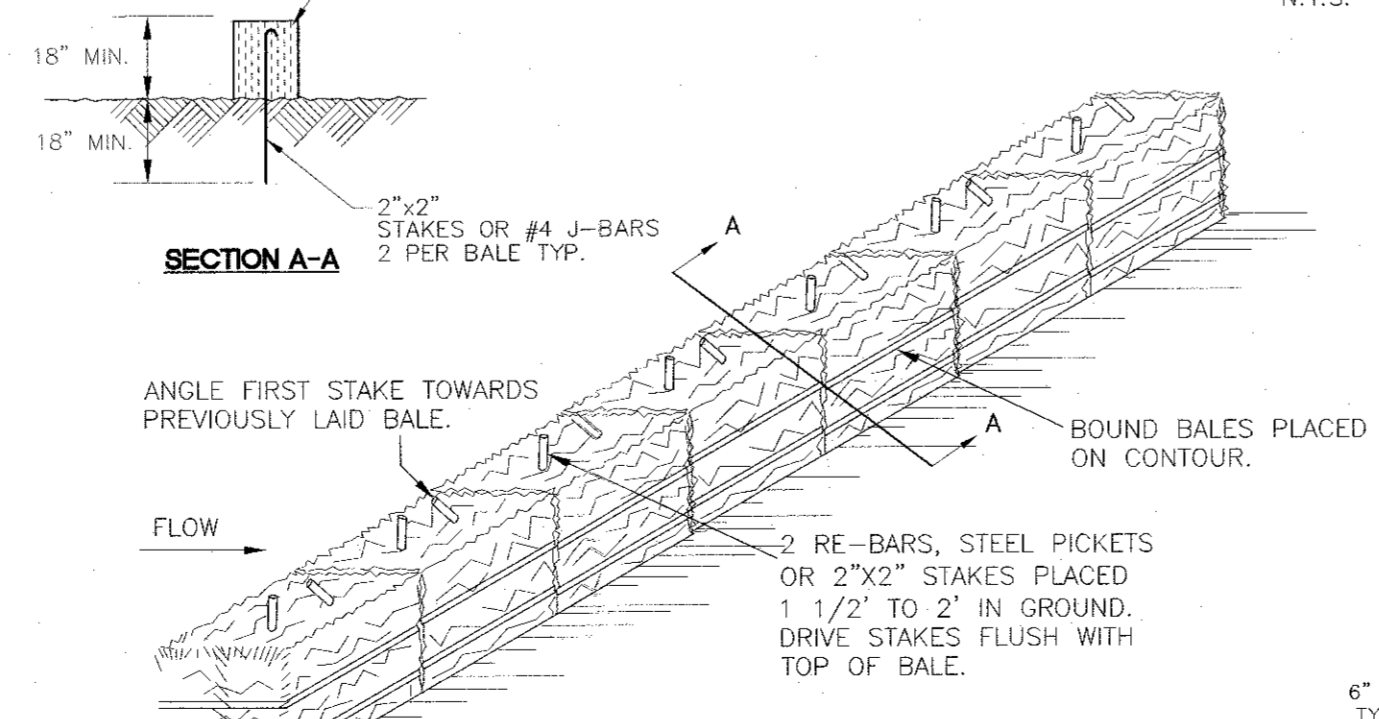


STOCKPILE DETAIL #5
N.T.S.

TOTAL AREA OF DISTURBANCE = 0.902 ACRE

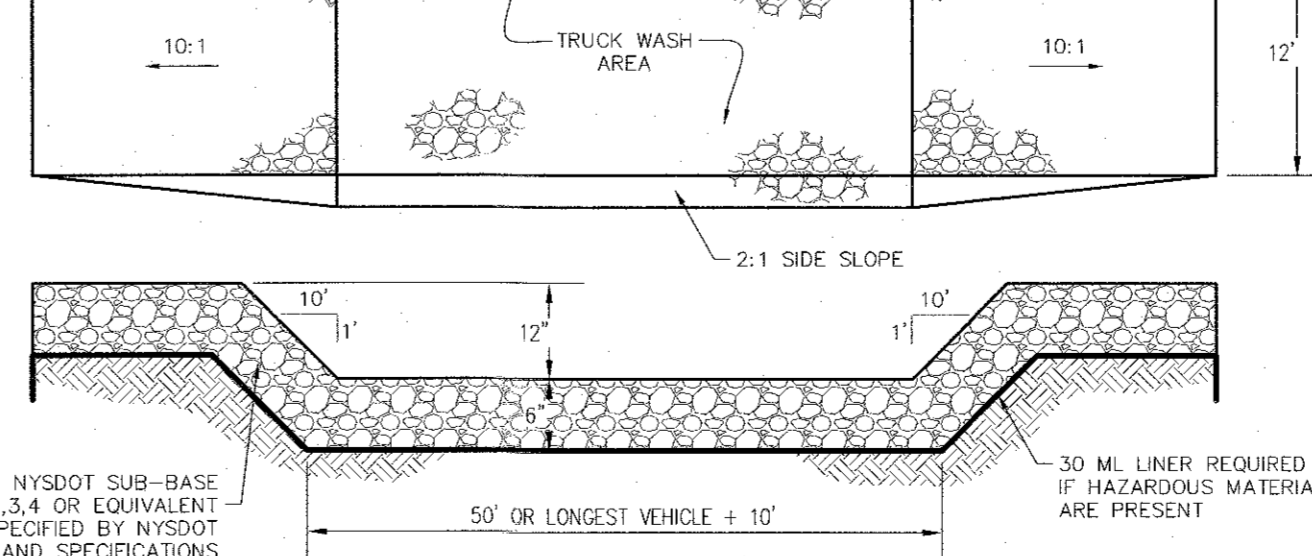
- NOTE:** REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPES INSTALLATIONS.
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
 - NOTE: WHEN USING CEL-0-SEED DO NOT USE PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH, BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
 - WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

SLOPE BLANKET INSTALLATION DETAIL #6



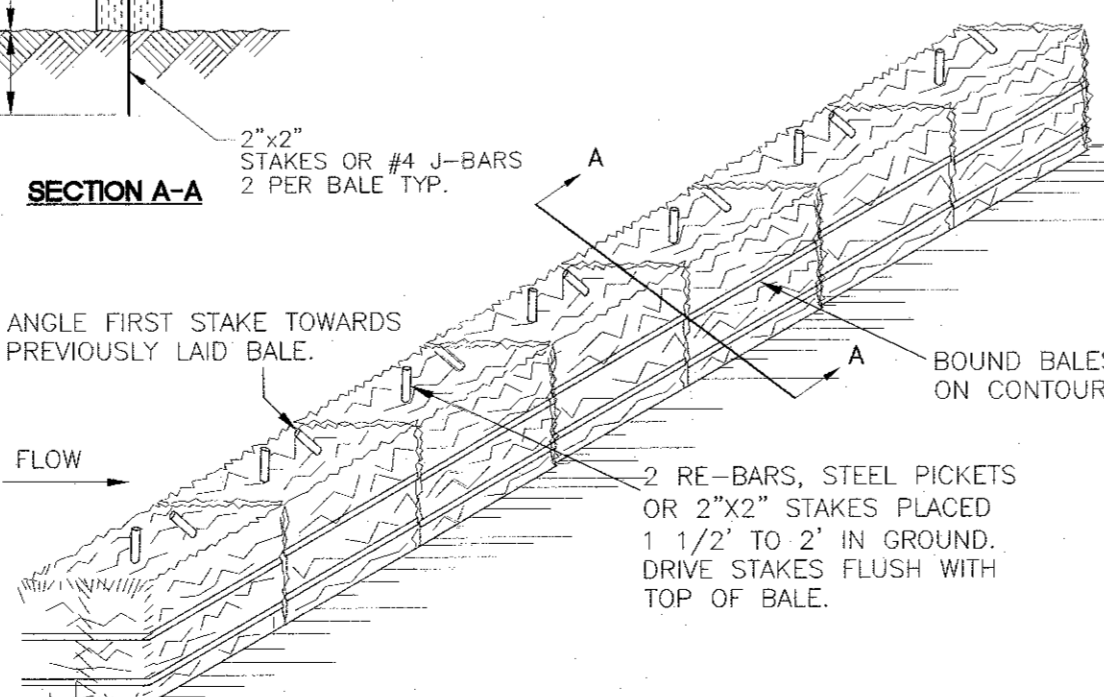
SLOPE BLANKET INSTALLATION DETAIL #6
N.T.S.

TRUCK WASH DETAIL #8



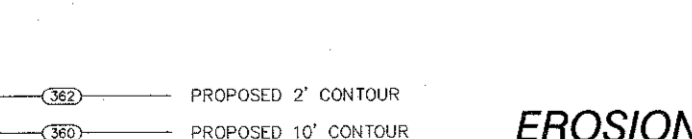
TRUCK WASH DETAIL #8
N.T.S.

HAY BALE DETAIL #9



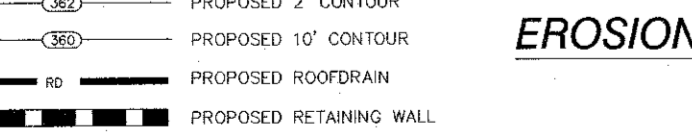
HAY BALE DETAIL #9
N.T.S.

CONCRETE WASHOUT DETAIL #7



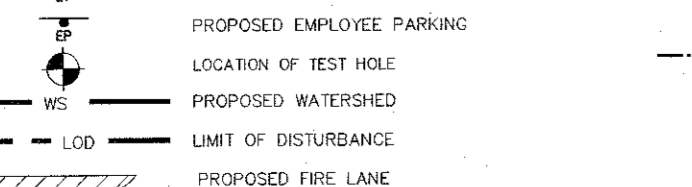
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SECTION A-A



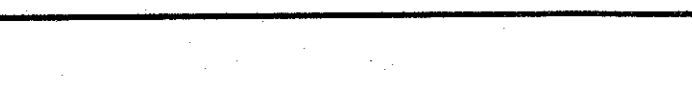
SECTION A-A
N.T.S.

BALE CONFIGURATION



BALE CONFIGURATION
N.T.S.

EROSION & SEDIMENT CONTROL LEGEND



EROSION & SEDIMENT CONTROL LEGEND
N.T.S.

- NOTES:**
1. - FACE SIGN TOWARD NEAREST STREET OR ACCESS POINT
 2. - CONCRETE WASHOUT SHALL BE LOCATED BEHIND CURB AND 50 FT. MINIMUM FROM DRAINAGE INLETS OR WATERCOURSES
- LEGEND**
- 362 --- EXISTING 2' CONTOUR
 - 360 --- EXISTING 10' CONTOUR
 - 360 --- EXISTING WATERLINE
 - 360 --- EXISTING FIRE HYDRANT
 - 360 --- EXISTING GAS LINE
 - 360 --- EXISTING CATCH BASIN
 - 360 --- EXISTING STORM DRAIN LINE
 - 360 --- EXISTING SEWER MANHOLE
 - 360 --- EXISTING SEWER LINE
 - 360 --- EXISTING SPOT ELEVATION
 - 360 --- EXISTING STONEWALL
 - 360 --- EXISTING SIGN
 - 360 --- EXISTING LIGHT POLE
 - 360 --- EXISTING UTILITY POLE
 - 360 --- EXISTING LIMIT OF WETLANDS
 - 360 --- PROPOSED 2' CONTOUR
 - 360 --- PROPOSED 10' CONTOUR
 - 360 --- PROPOSED ROOF DRAIN
 - 360 --- PROPOSED RETAINING WALL
 - 360 --- PROPOSED GUIDE RAIL
 - 360 --- PROPOSED RESERVED PARKING
 - 360 --- PROPOSED NO LEFT TURN
 - 360 --- PROPOSED EMPLOYEE PARKING
 - 360 --- LOCATION OF TEST HOLE
 - 360 --- PROPOSED WATERSHED
 - 360 --- LIMIT OF DISTURBANCE
 - 360 --- PROPOSED FIRE LANE
 - 360 --- FLOODWAY
 - 360 --- 100 YEAR FLOOD PLAN (PROPOSED CONDITION)
 - 360 --- PROPOSED WATER SERVICE
 - 360 --- PROPOSED GAS SERVICE
 - 360 --- PROPOSED UNDERGROUND SERVICE

REVISION	DATE	DESCRIPTION
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TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

EROSION & SEDIMENT CONTROL PLAN

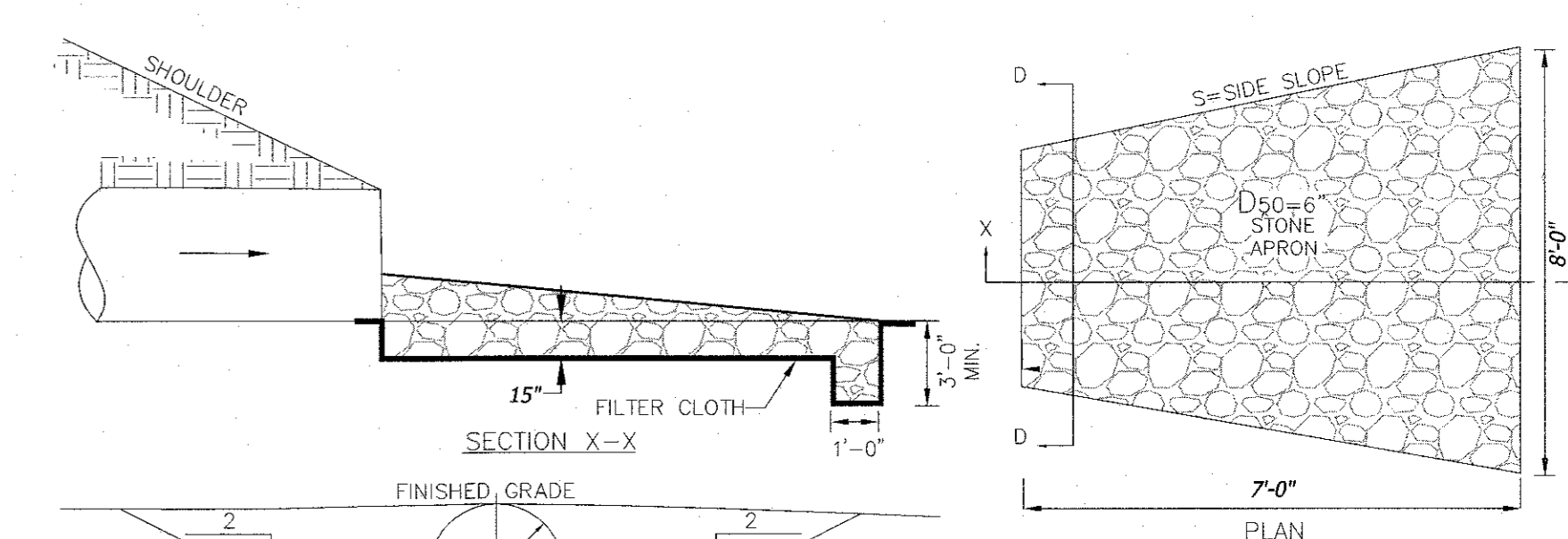
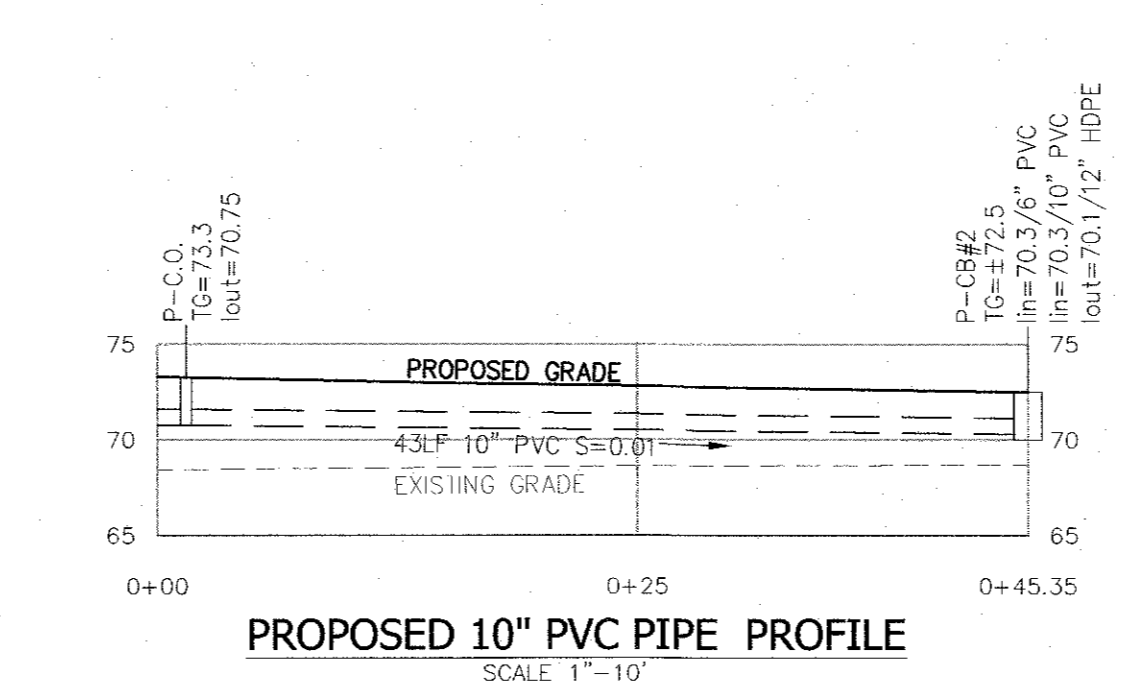
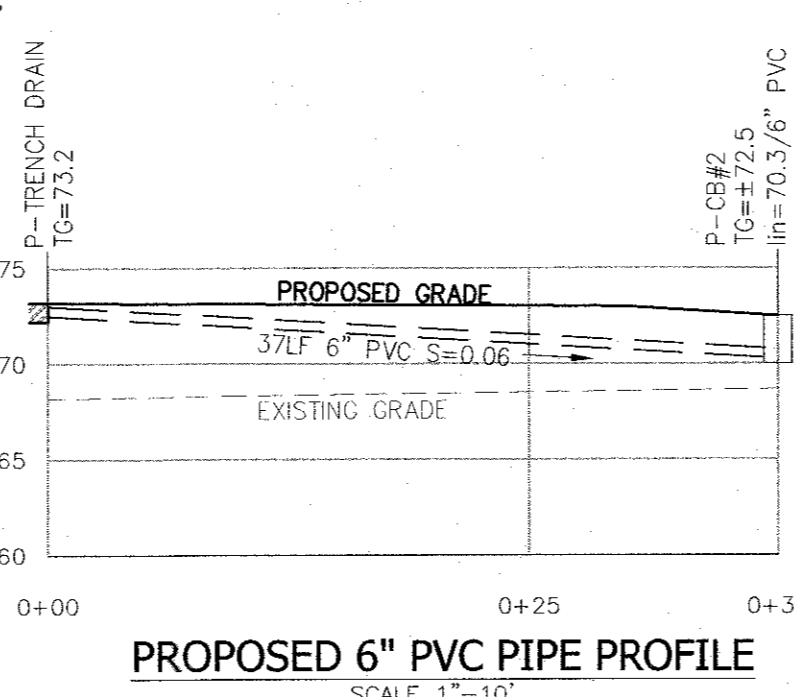
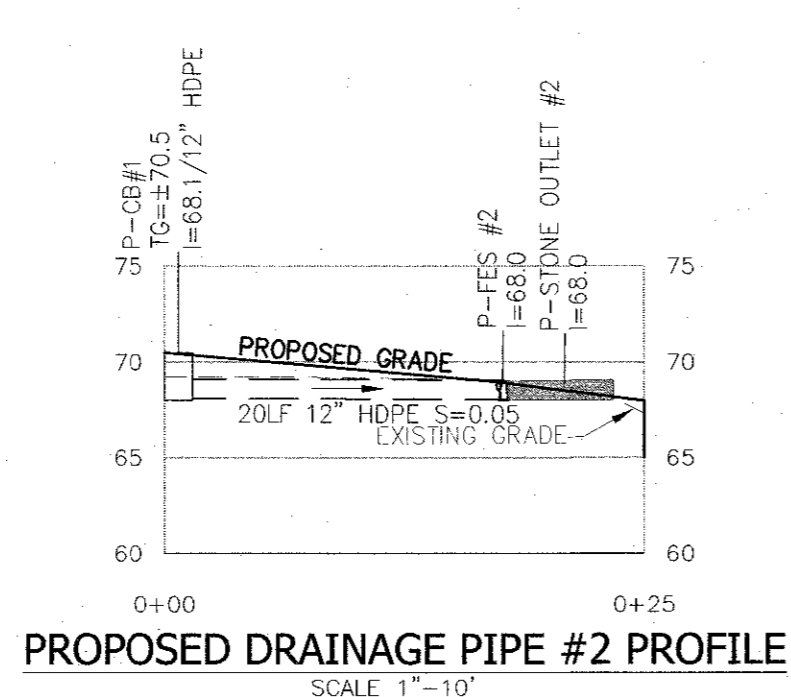
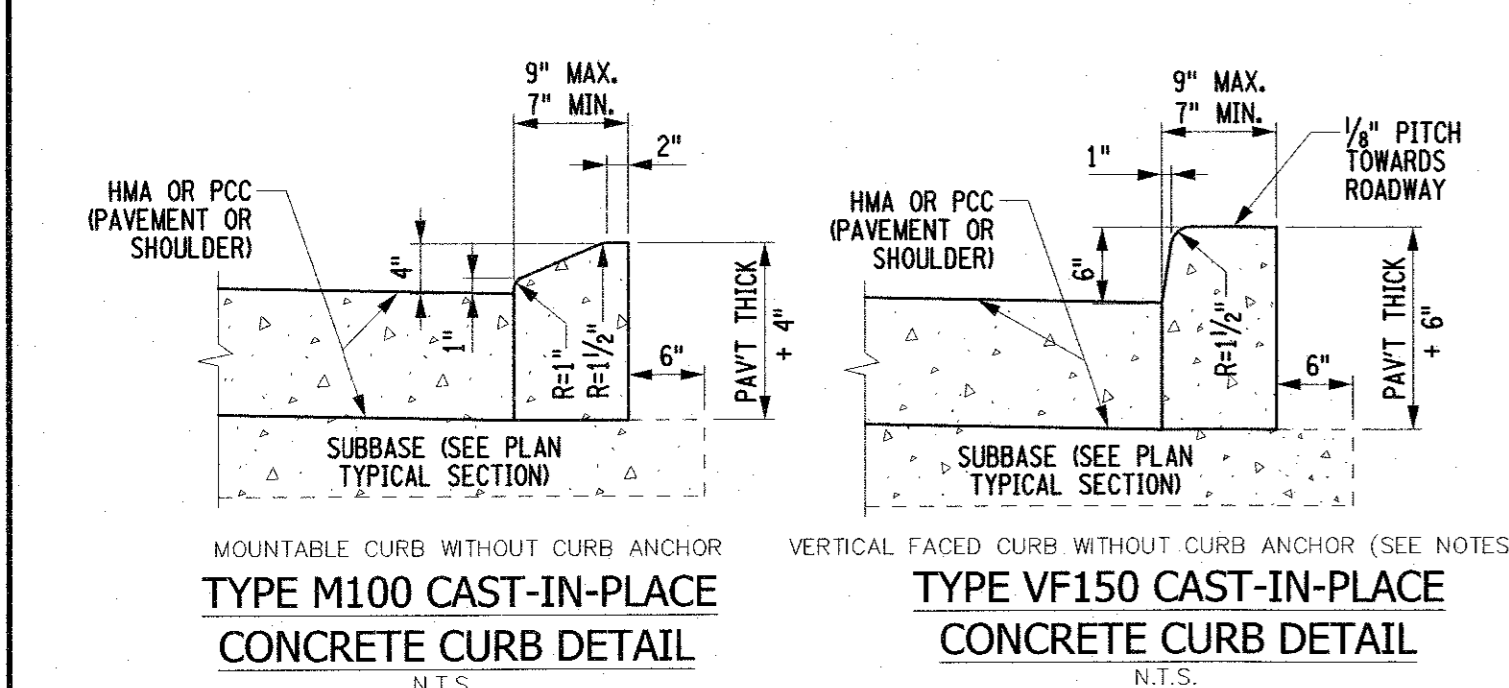
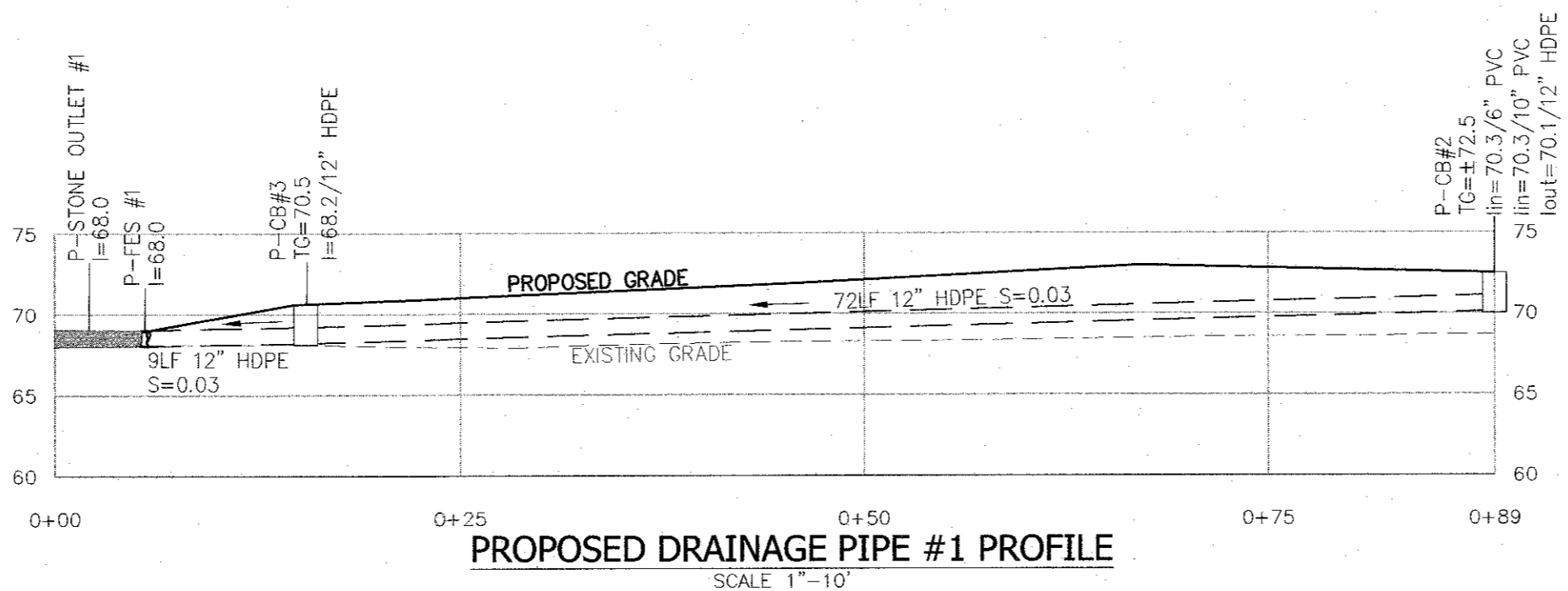
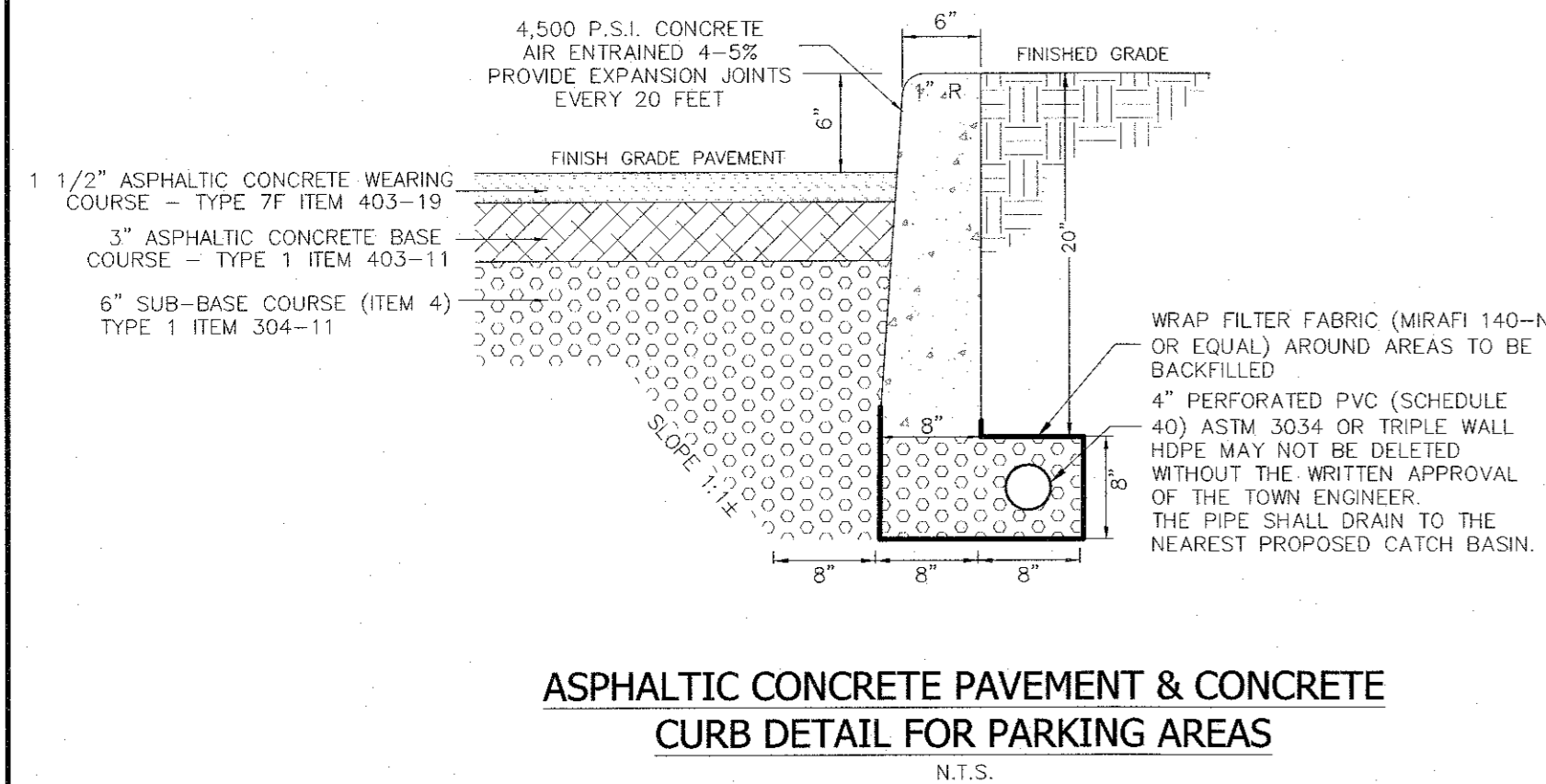
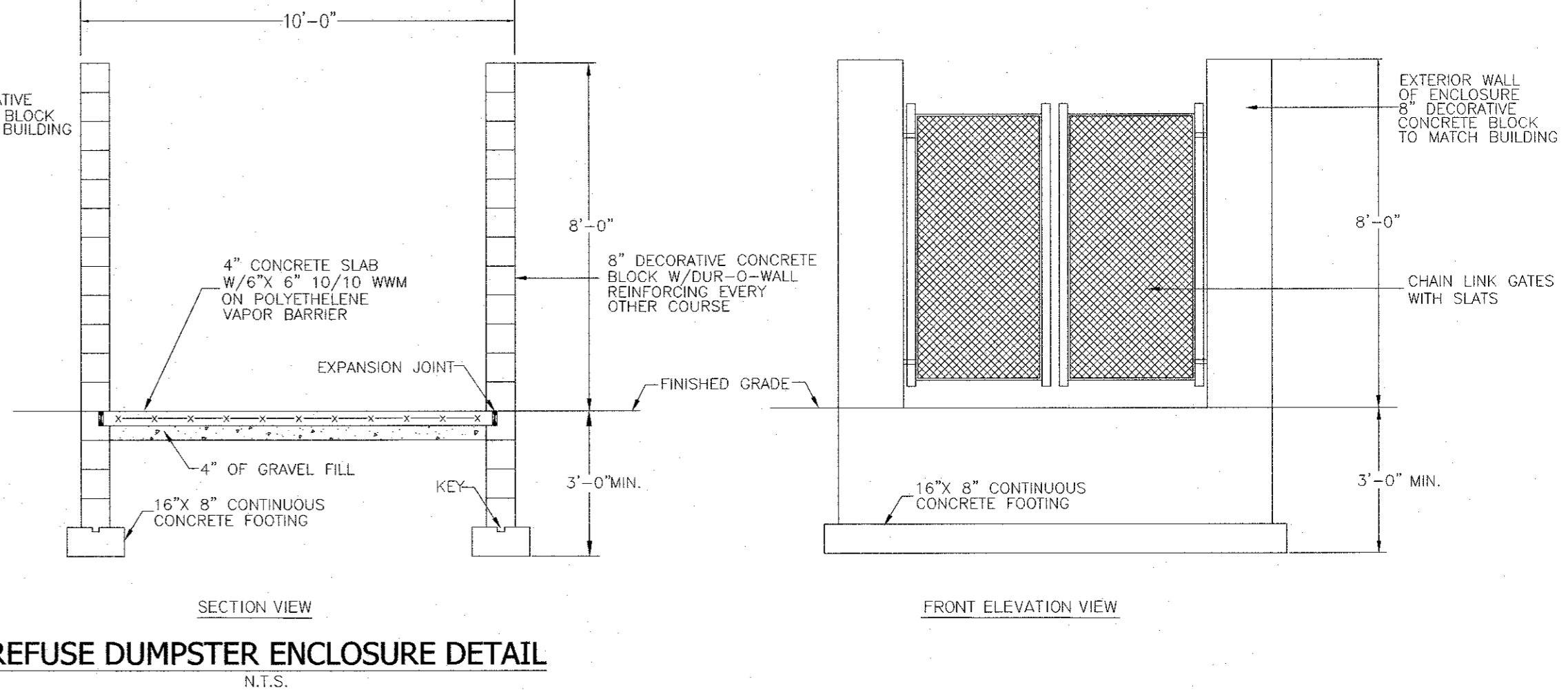
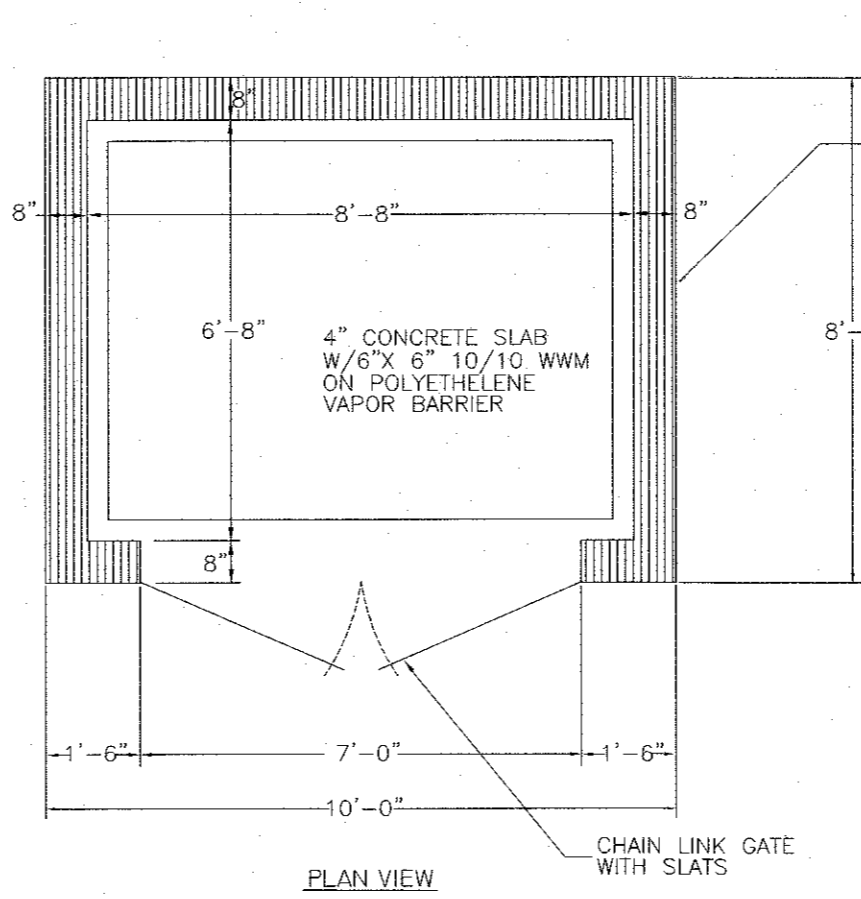
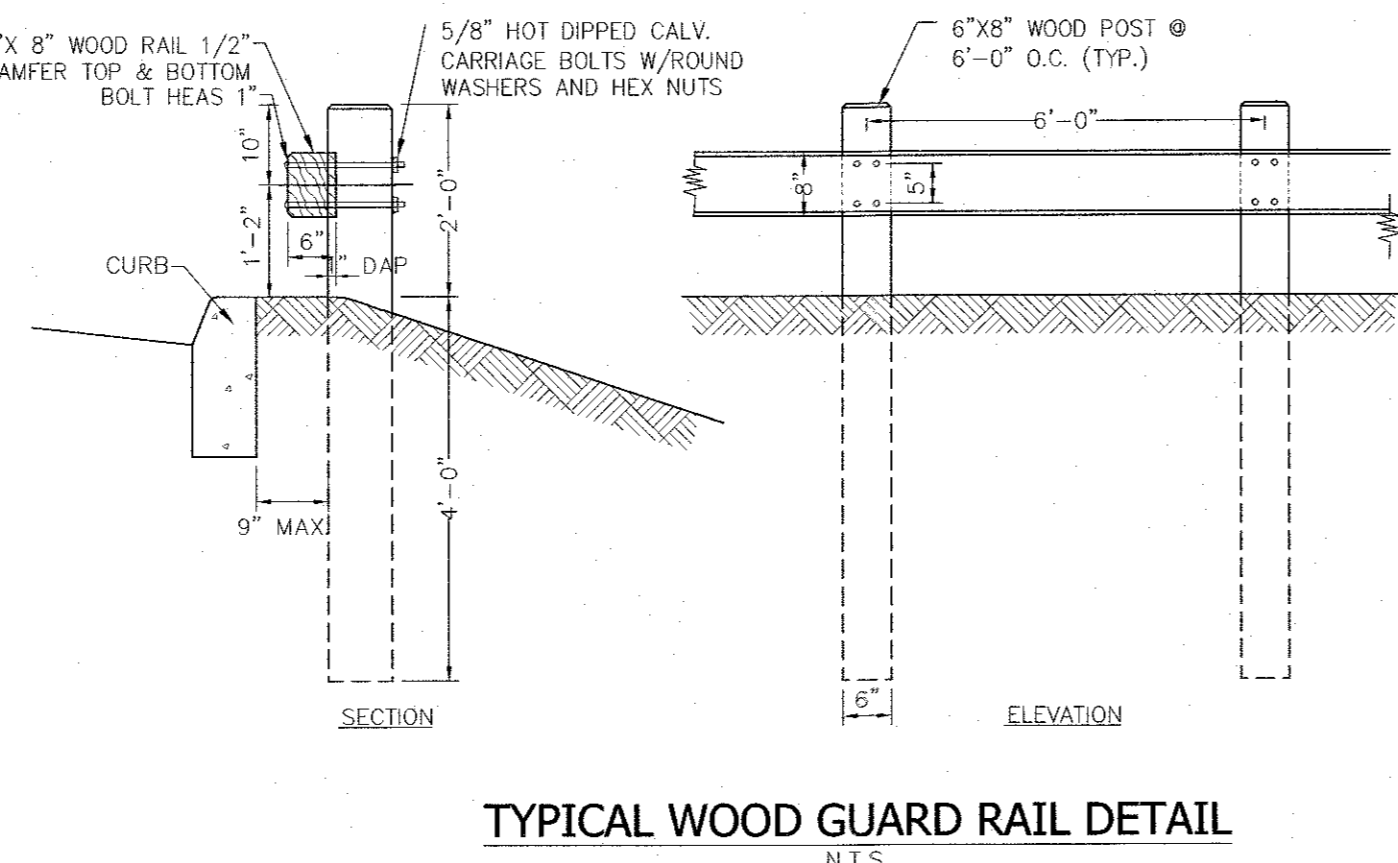
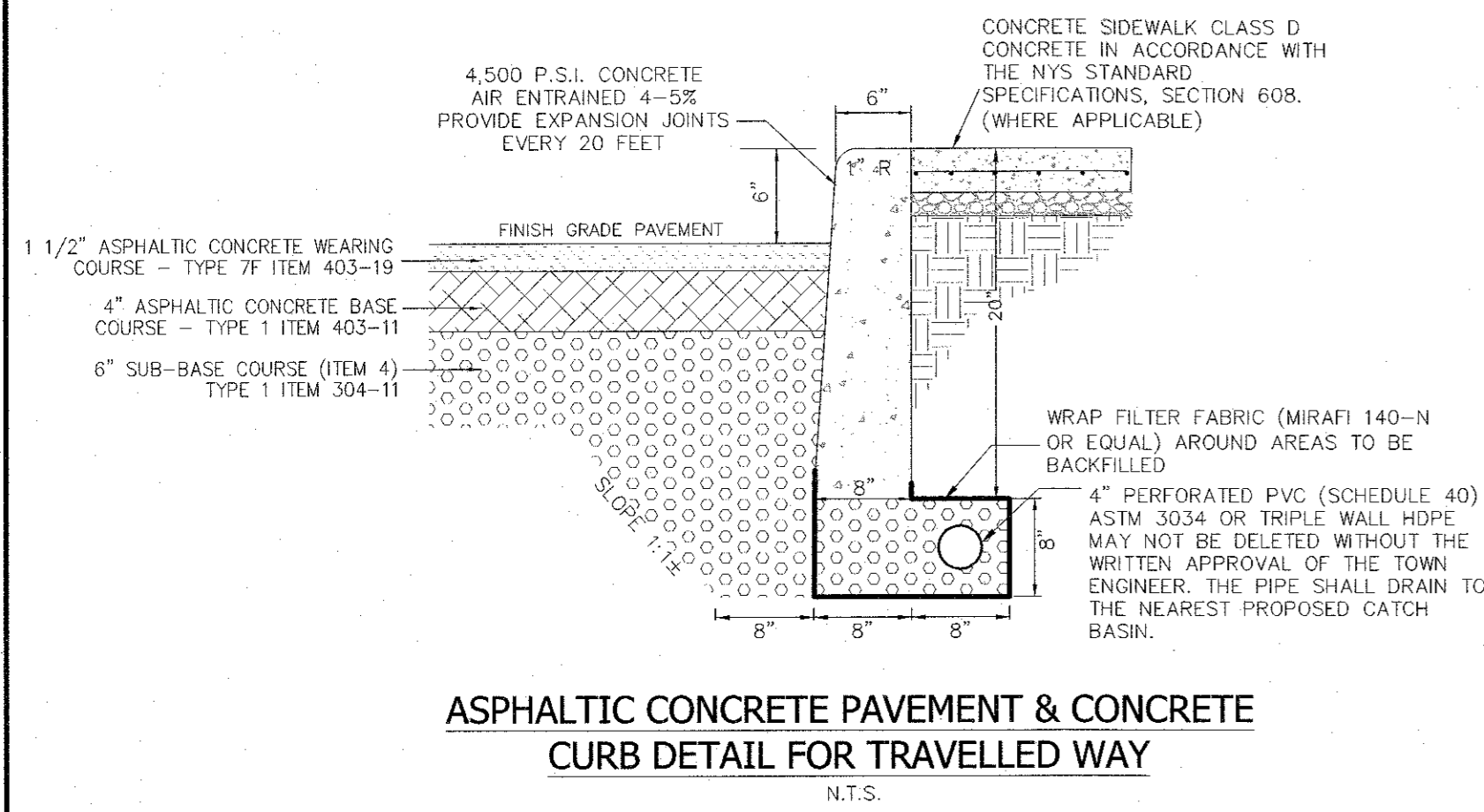
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DATE: AUGUST 05, 2021 SCALE: 1" IN. = 20' FT.
PROJECT NO: DRAWING NO:

2858 7

"UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW."
"ONLY COPIES FROM THE ORIGINAL TRACKING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES."
"CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE ILLAWARRA - HUDSON LAND SURVEYORS ASSOCIATION, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER WHERE SUCH ALTERATIONS ARE MADE. THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWING AND/OR IN THE SPECIFICATIONS. ONYS EDUCATION LAW SECTION 7209-2)"

RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

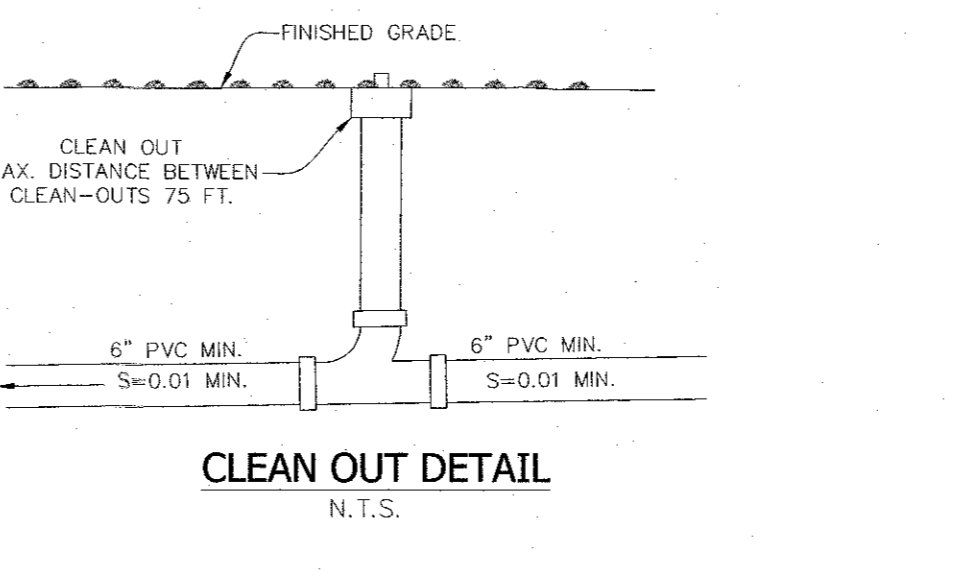
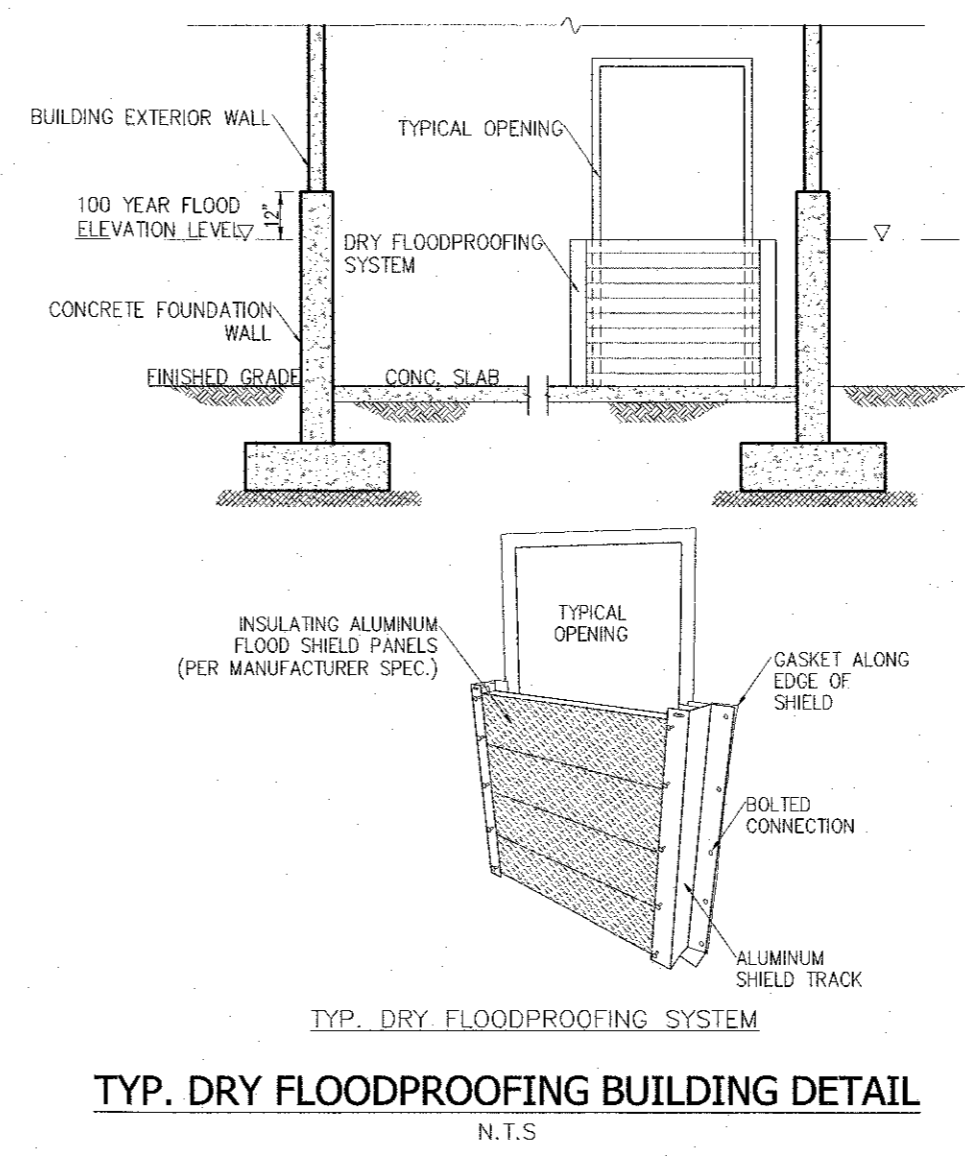
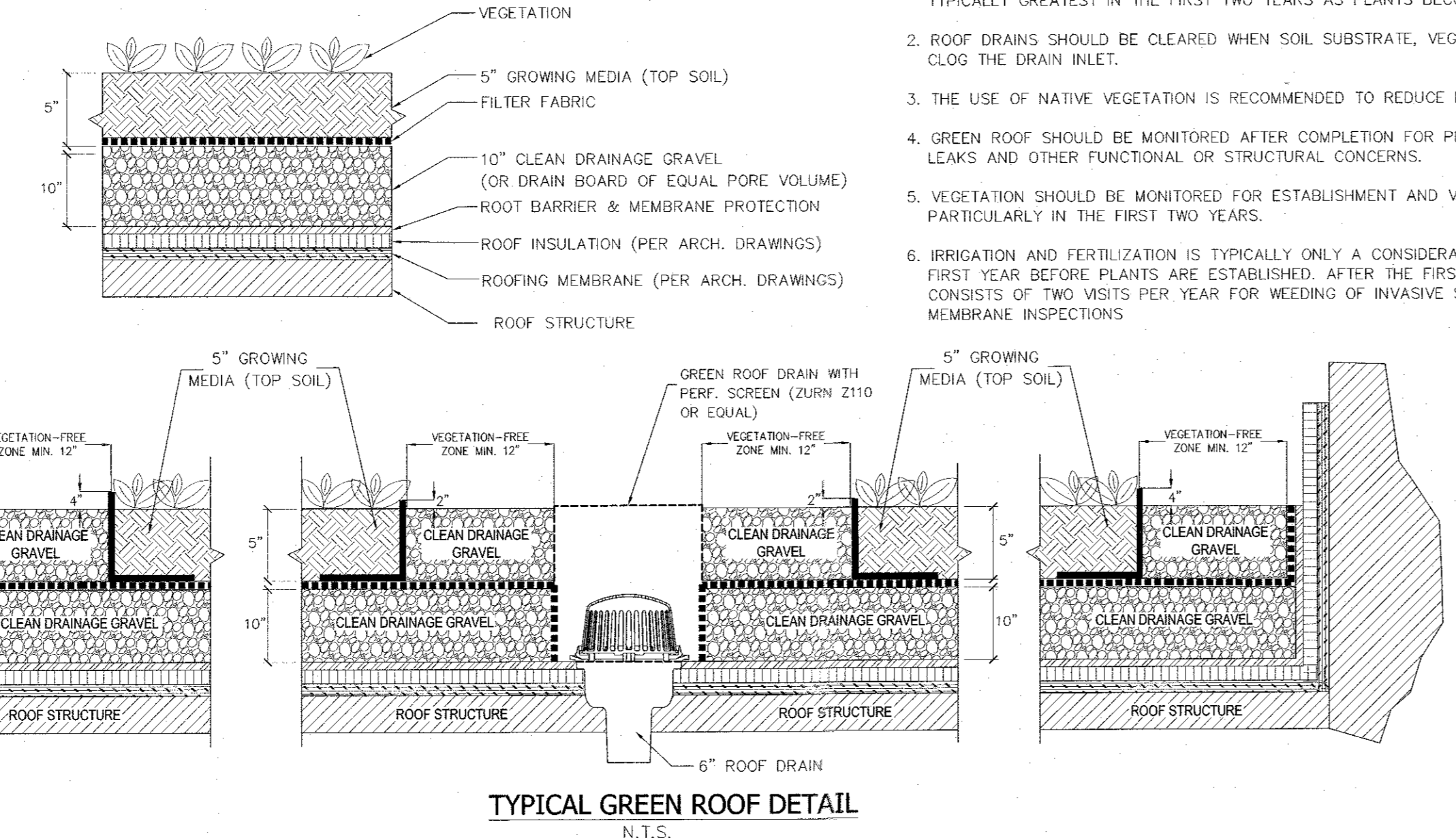
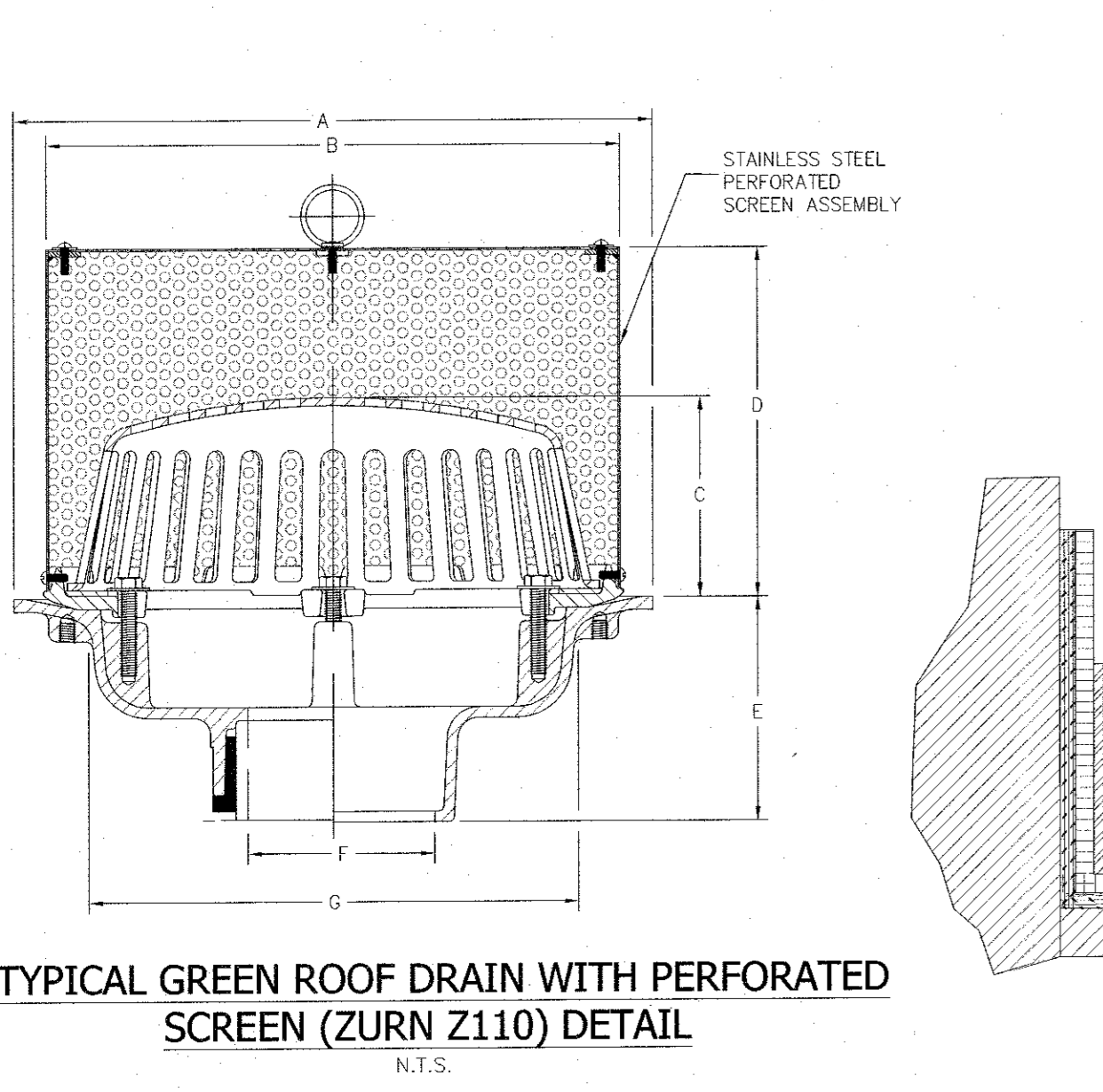
JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228



- NOTES:**
- USE CURB AND GUTTER MEETING THE MATERIAL AND CONSTRUCTION REQUIREMENTS OF SECTION 609 OF THE STANDARD SPECIFICATIONS.
 - CURB ANCHOR (NEW CONSTRUCTION). THIS DETAIL SHOWS PLACEMENT OF CURB ANCHORS. PUSH-IN TYPE ANCHORS MAY BE USED (SHOWN ON THE STANDARD SHEET FOR LONGITUDINAL TIES).
 - CURB TYPES M150A, VF150A AND M100A REQUIRE CURB ANCHOR. CURB AND GUTTER TYPES VF150G AND M100G REQUIRE ANCHORS WHEN PLACED ADJACENT TO CONCRETE PAVEMENT OR SHOULDER.
 - WHEN VERTICAL FACED CURB LESS THAN 9" WIDE IS USED WITH CURB BOXES CU1, CU2, AND CU3 AND CONCRETE SIDEWALK IS PLACED ADJACENT TO THIS CURB, SEE STANDARD SHEET MISCELLANEOUS CURB DETAILS FOR CURB BOX JOINTS.
 - USE WITH CURB BOXES, CM1, CM2, AND CM3.

GREEN ROOF MAINTENANCE NOTES (PER NYSDEC MANUAL):

- GREEN ROOF MAINTENANCE MAY INCLUDE WATERING, FERTILIZING AND WEEDING. TYPICALLY GREATEST IN THE FIRST TWO YEARS AS PLANTS BECOME ESTABLISHED.
- ROOF DRAINS SHOULD BE CLEARED WHEN SOIL SUBSTRATE, VEGETATION OR DEBRIS CLOG THE DRAIN INLET.
- THE USE OF NATIVE VEGETATION IS RECOMMENDED TO REDUCE PLANT MAINTENANCE.
- GREEN ROOF SHOULD BE MONITORED AFTER COMPLETION FOR PLANT ESTABLISHMENT, LEAKS AND OTHER FUNCTIONAL OR STRUCTURAL CONCERNS.
- VEGETATION SHOULD BE MONITORED FOR ESTABLISHMENT AND VIABILITY, PARTICULARLY IN THE FIRST TWO YEARS.
- IRRIGATION AND FERTILIZATION IS TYPICALLY ONLY A CONSIDERATION DURING THE FIRST YEAR BEFORE PLANTS ARE ESTABLISHED. AFTER THE FIRST YEAR, MAINTENANCE CONSISTS OF TWO VISITS PER YEAR FOR WEEDING OF INVASIVE SPECIES, SAFETY, AND MEMBRANE INSPECTIONS.



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4	08-16-22	PER DIRECTORS COMMENTS 08/09/22
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TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

DETAILS

DRAWN BY: IS
DATE: AUGUST 05, 2021
PROJECT NO: 2858

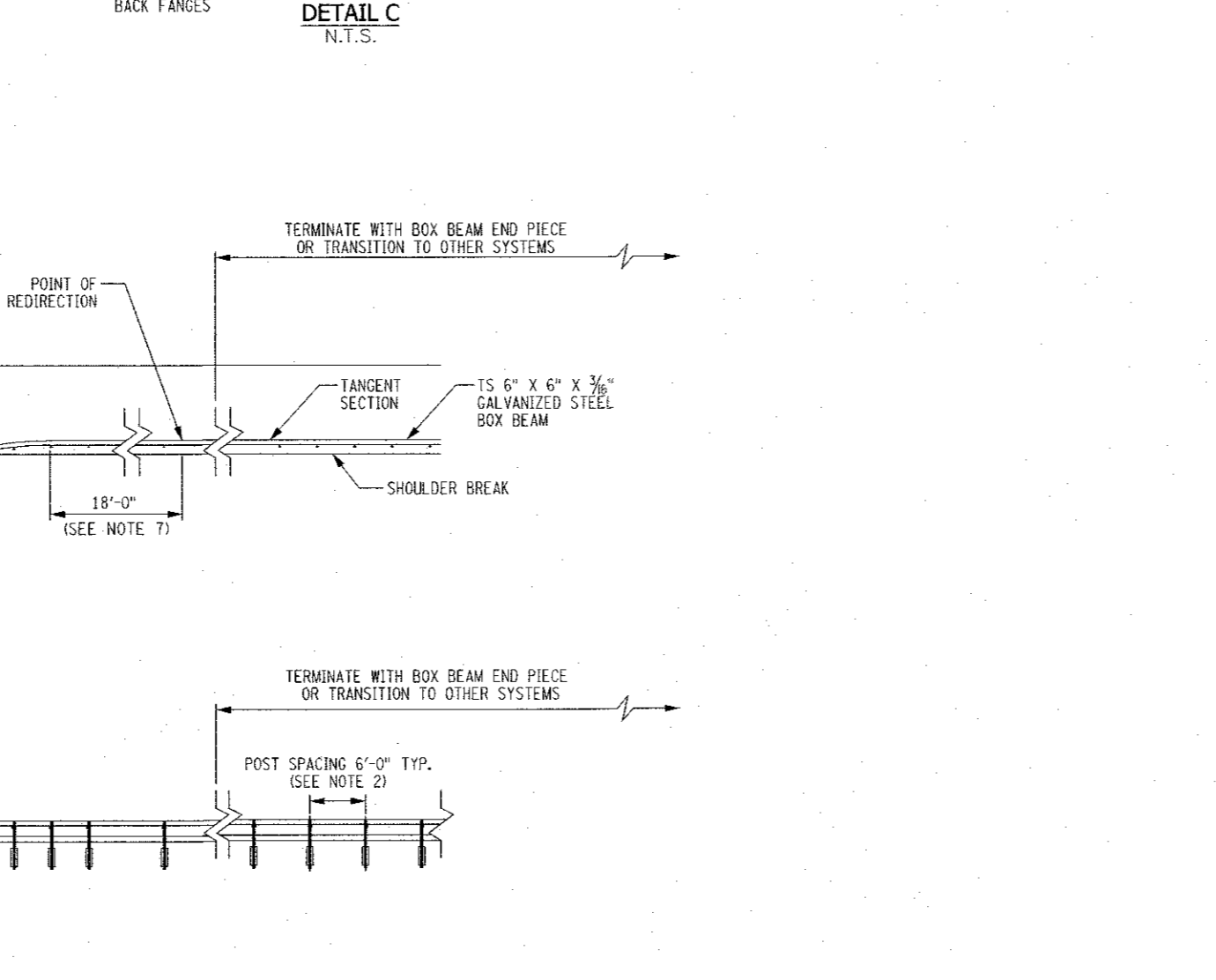
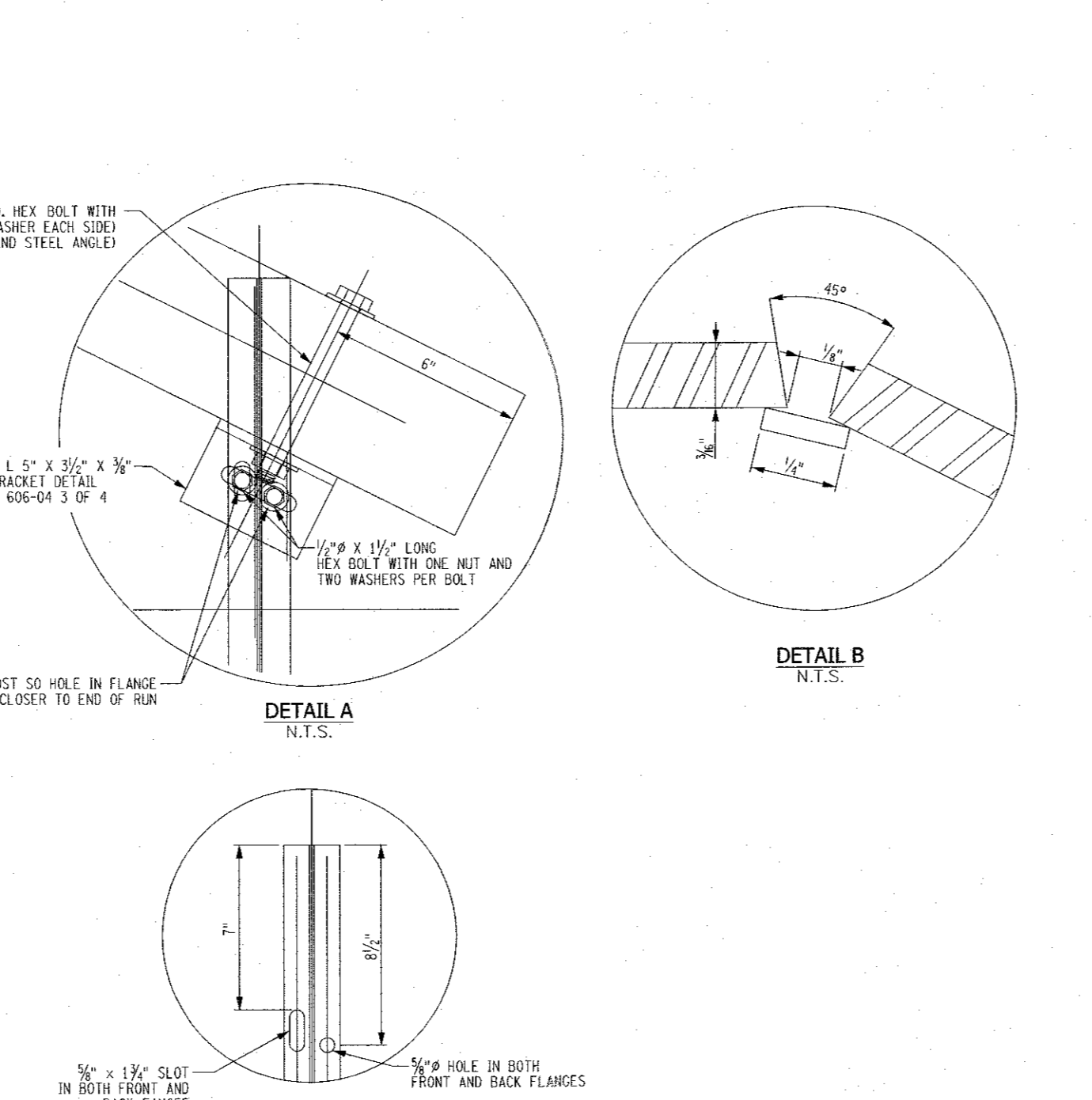
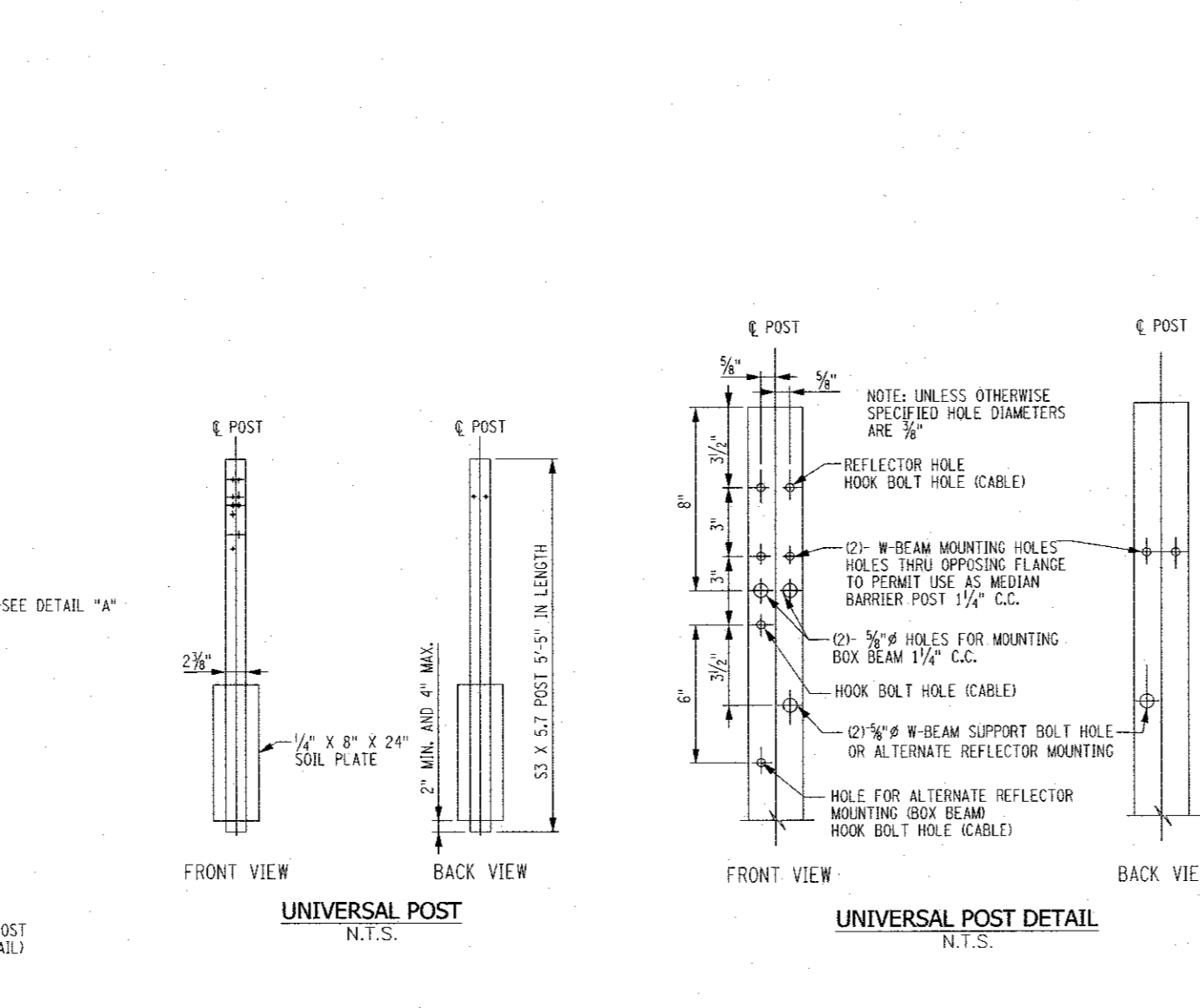
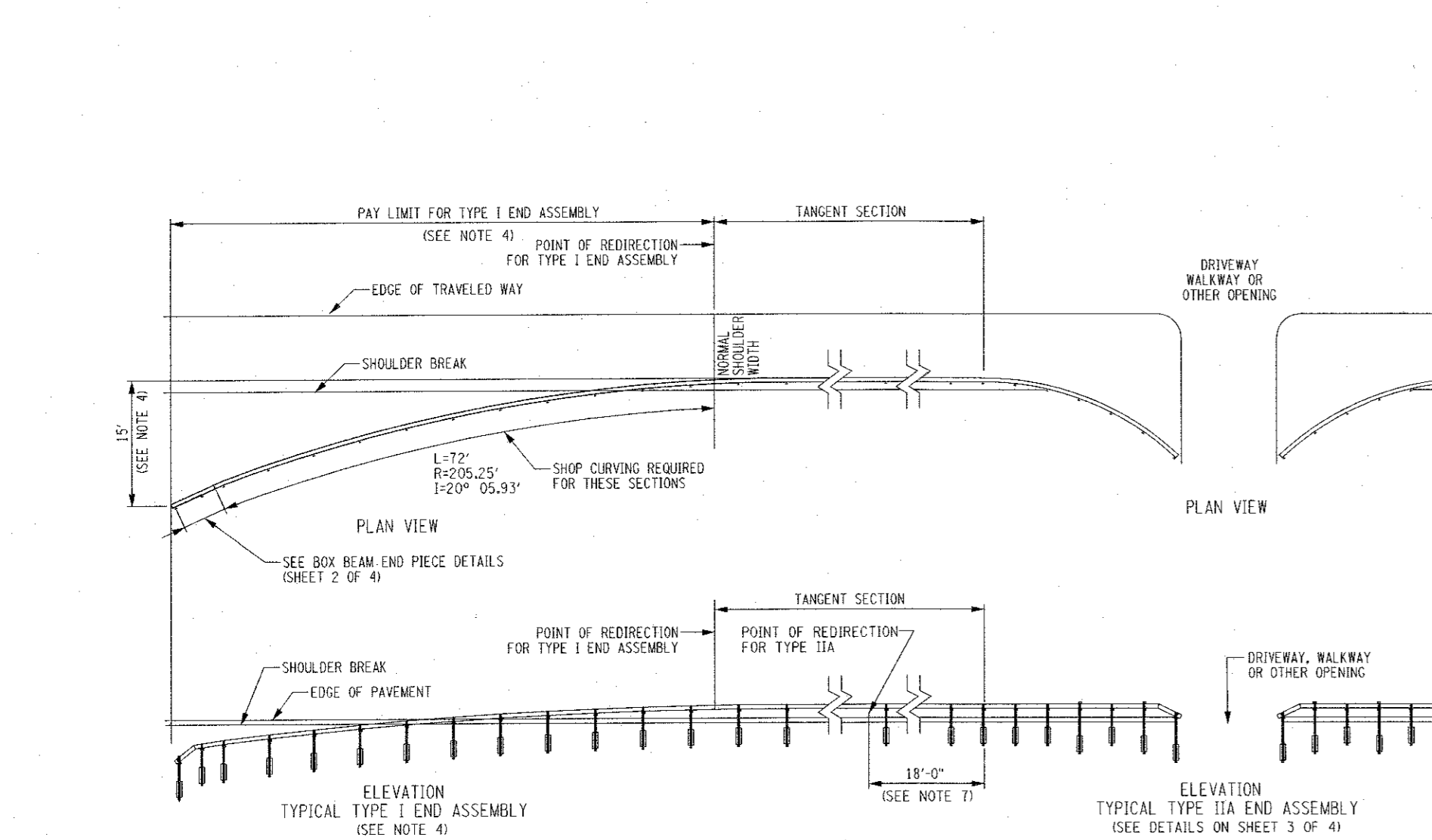
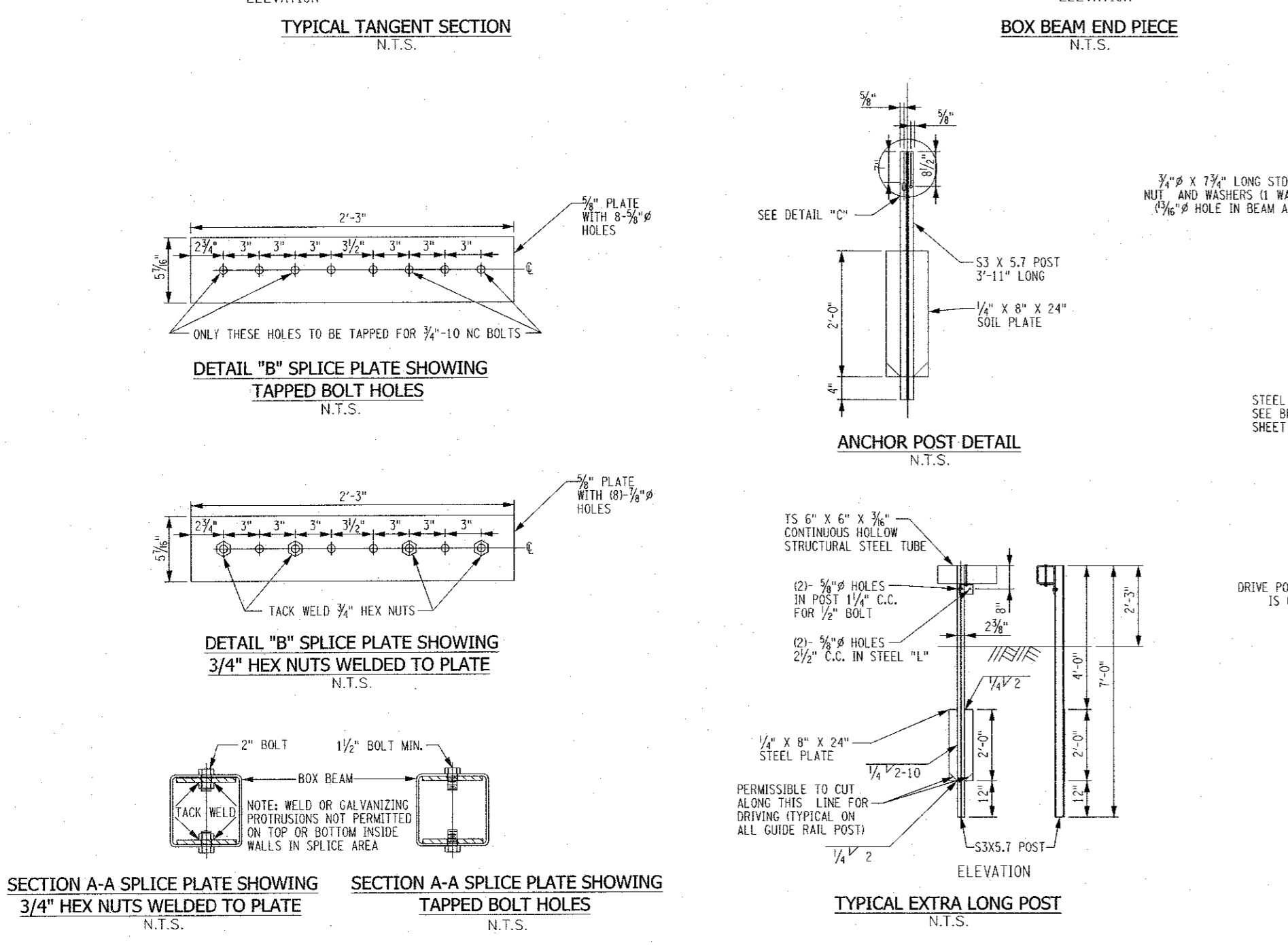
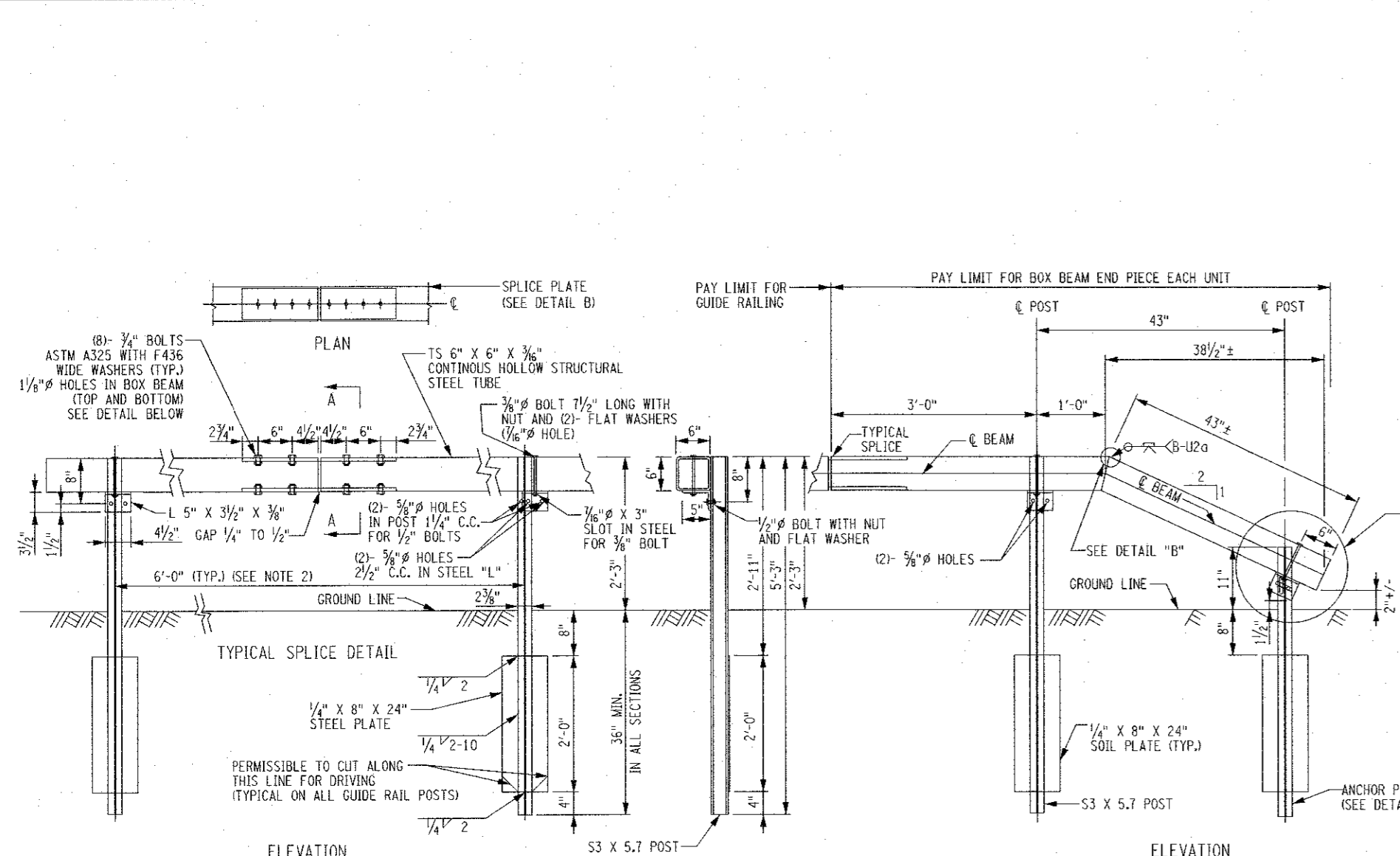
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SCALE: AS SHOWN
DRAWING NO: 8

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER WHERE SUCH ALTERATIONS ARE MADE. THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 2209-2)

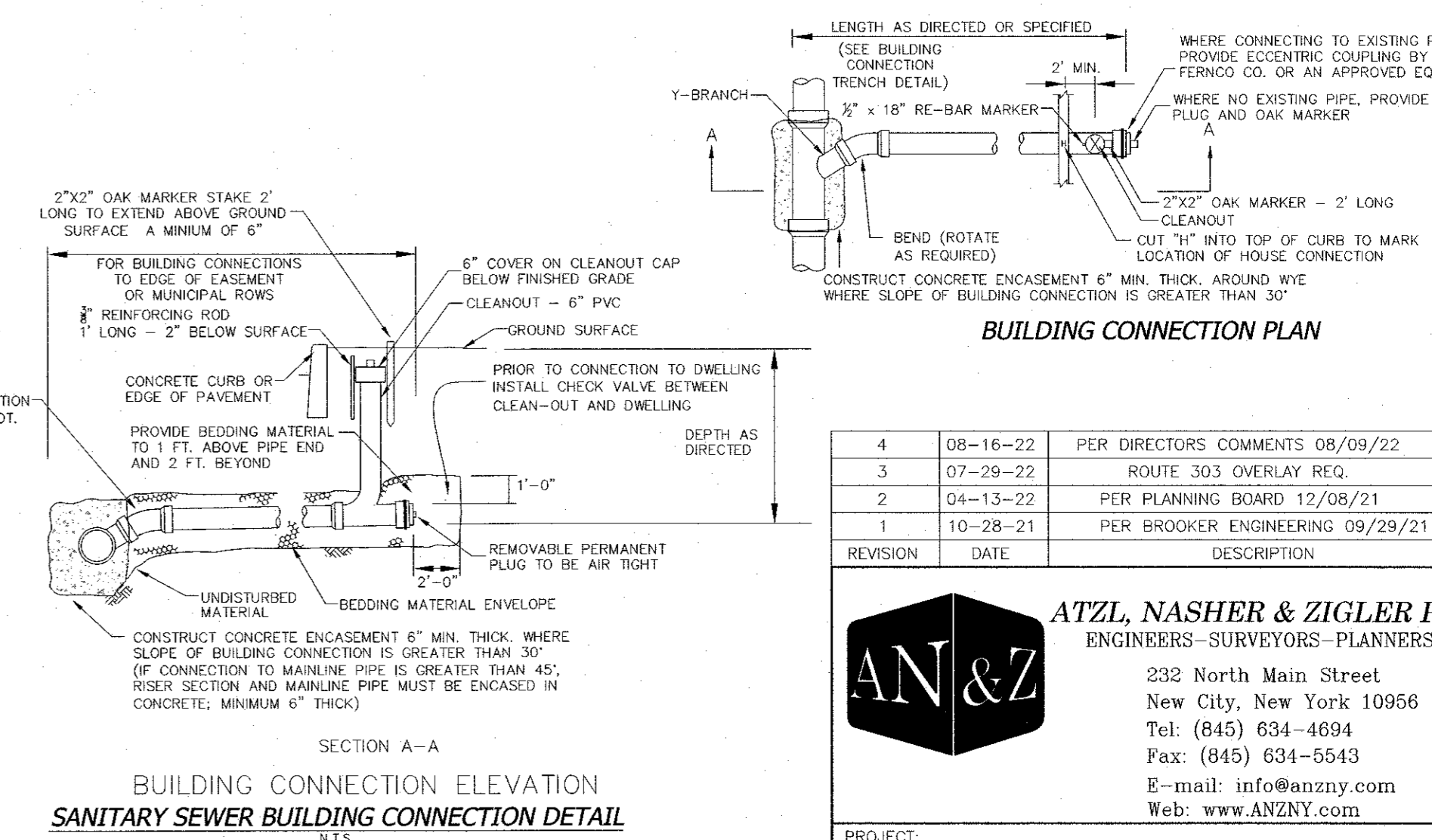
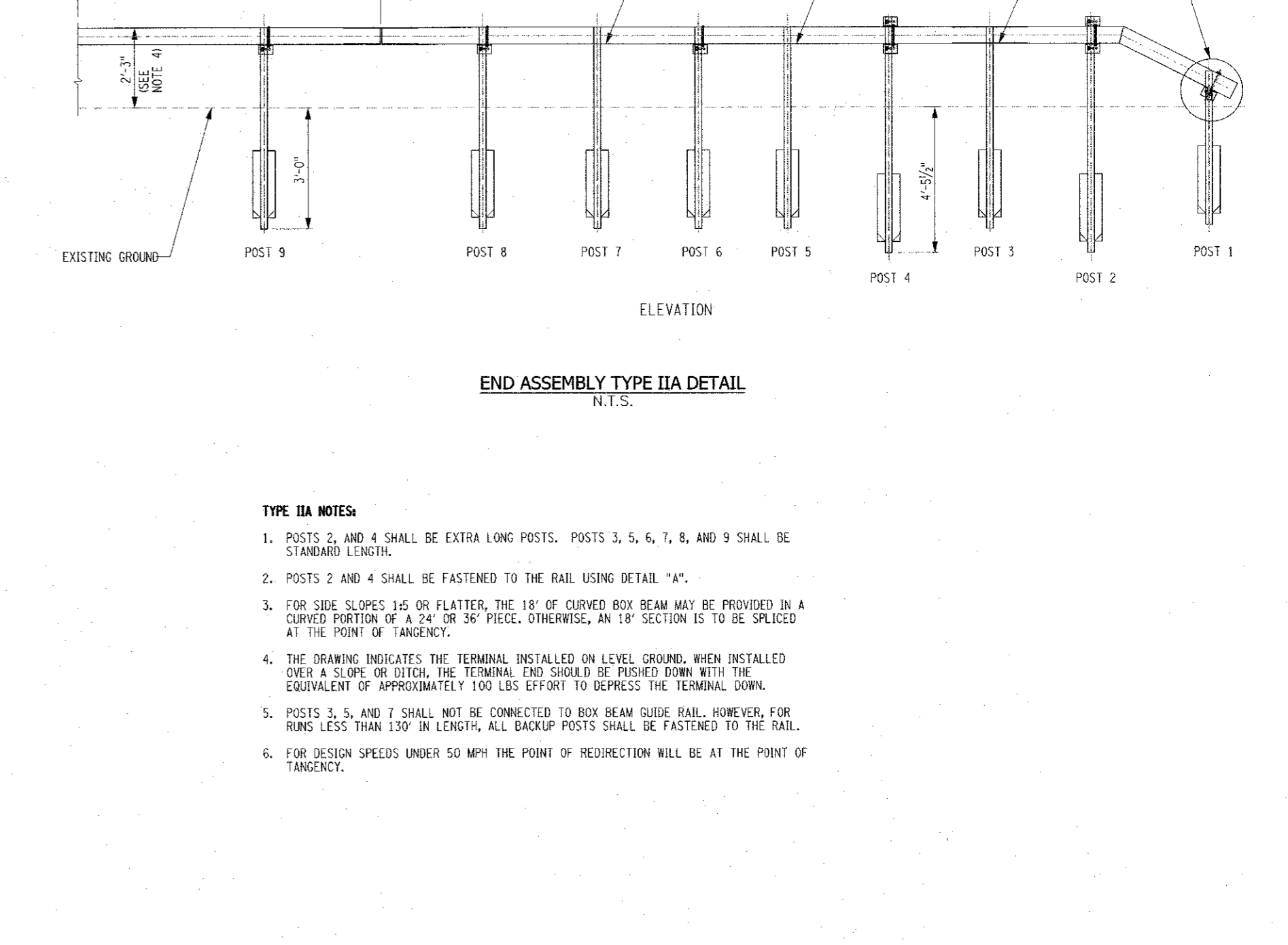
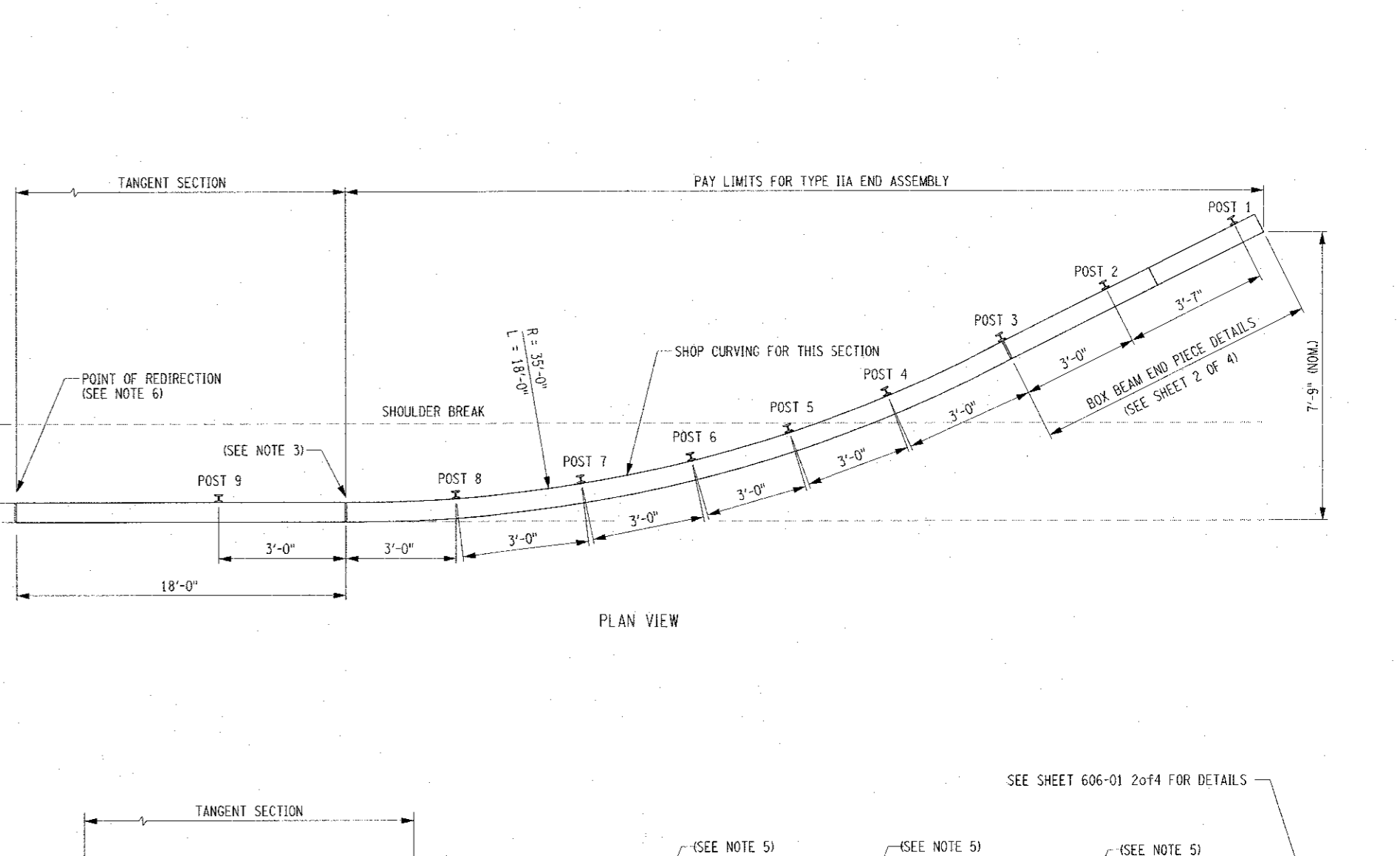
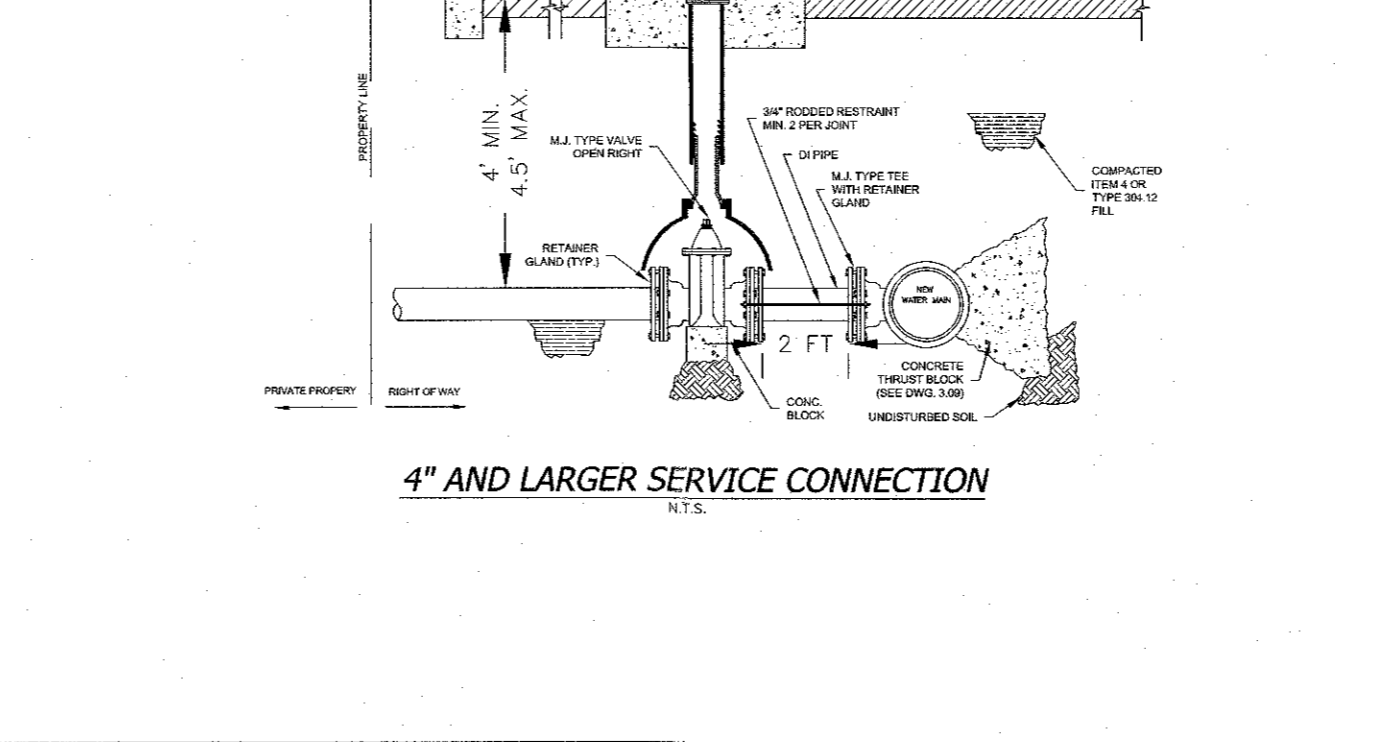
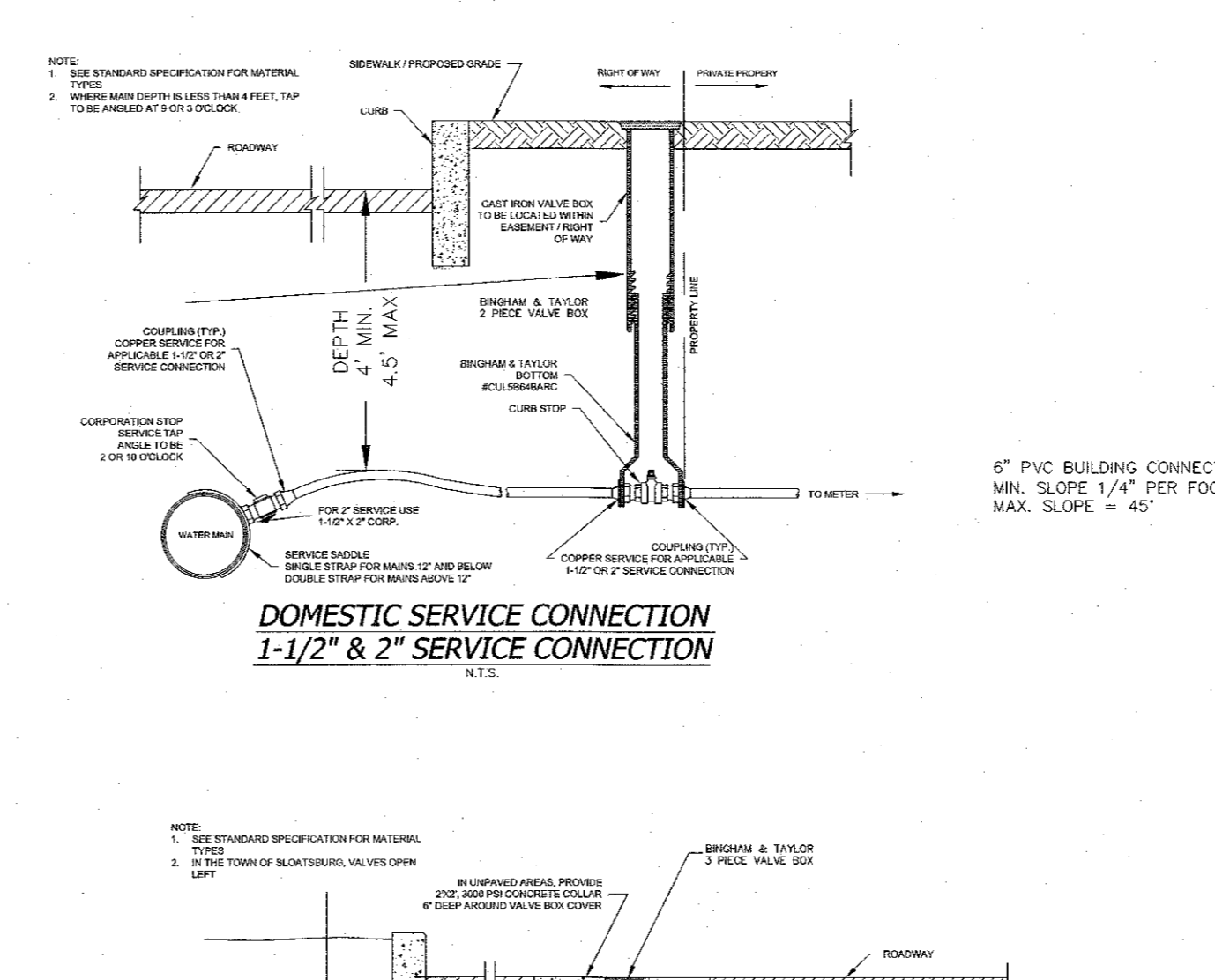
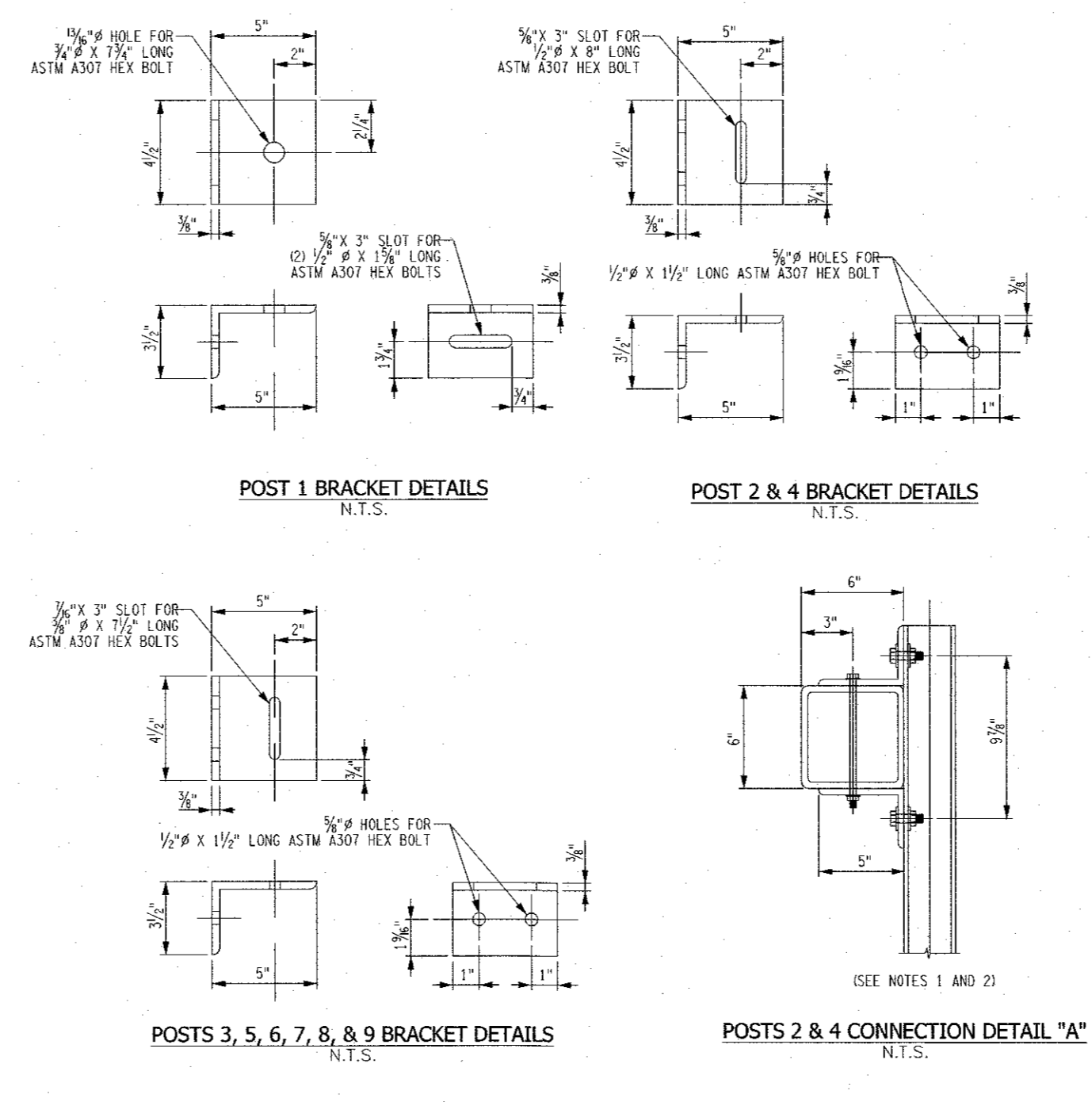
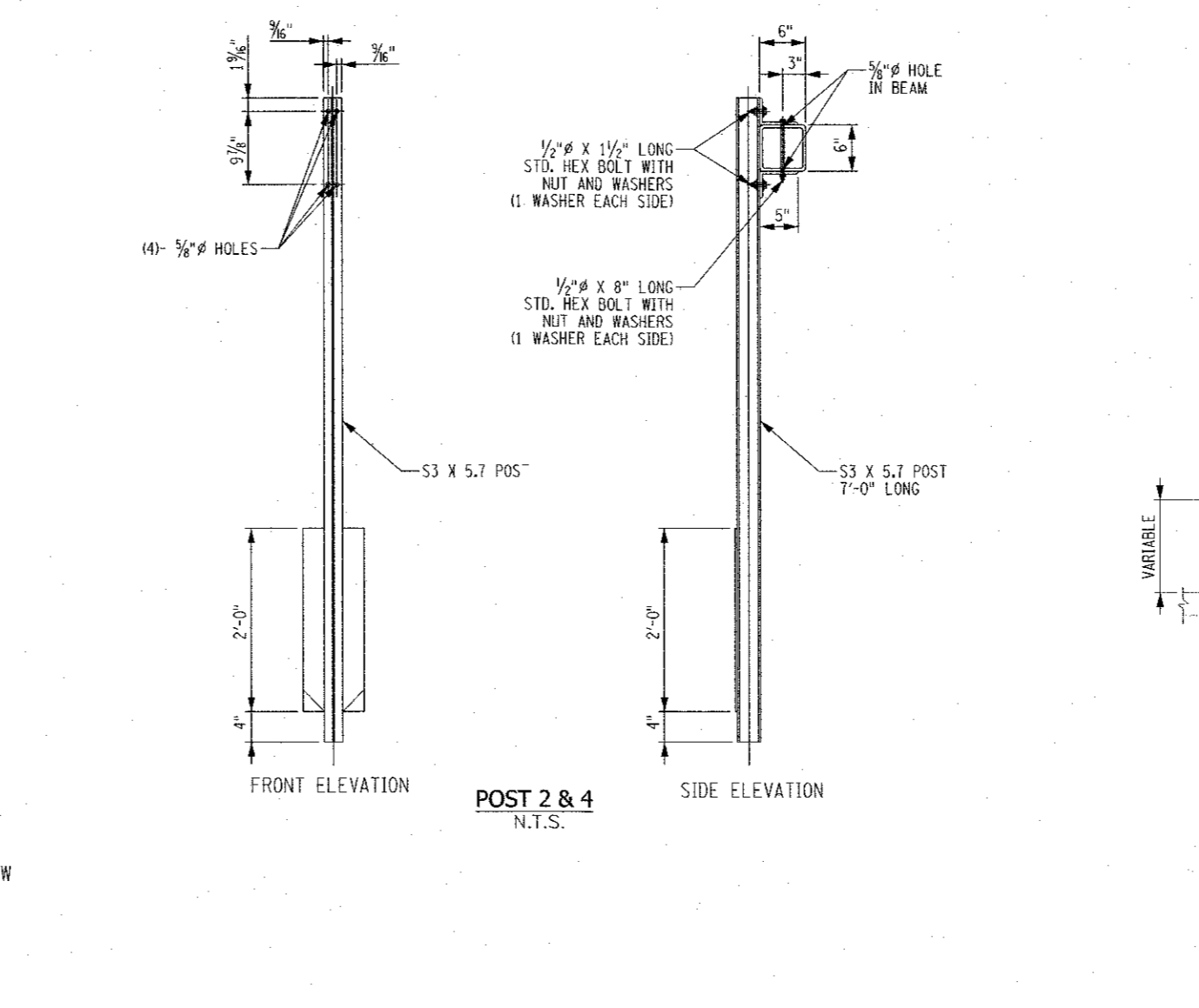
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 80228

P:\DRAWINGS\2858\2858 SITE PLAN NEW 08-16-22.DWG



- GENERAL NOTES**
1. POST SPACING SHALL BE 6'-0" EXCEPT WHERE REDUCED POST SPACING IS INDICATED ON THE CONTRACT PLANS. FOR RUNS UNDER 130 FEET IN LENGTH, BACKUP POSTS ARE REQUIRED TO REDUCE POST SPACING TO 3'-0" AND SHALL BE FASTENED TO RAIL, EXCEPT AT SPLICE LOCATIONS.
 2. SEE BRIDGE PLANS FOR GUIDE RAIL DETAILS, POST SPACING AND PAY ITEMS FOR TRANSITIONS AND CONNECTIONS TO BRIDGE RAIL.
 3. THE LINE OF BOX BEAM GUIDE RAIL, WHEN COMPLETED, SHALL PRESENT A SMOOTH AND PLEASING GRADE LINE IN BOTH HORIZONTAL AND VERTICAL PLANES. BOX BEAM WITH RADIUS OF 720'-0" OR LESS SHALL BE SHOP WORKED TO THE REQUIRED CURVATURE. PAYMENT FOR SUCH CURVED LENGTHS SHALL BE MADE UNDER THE APPROPRIATE ITEM.
 4. THE END MAY BE EXTENDED BY ONE 18'-0" STRAIGHT SECTION, PLACED BETWEEN THE CURVED SECTION AND THE END PIECE, TO MOVE THE END CLOSER TO THE EDGE OF THE CLEAR ZONE. PAYMENT SHALL BE MADE UNDER THE APPROPRIATE ITEM.
 5. BACKUP MAY REMAIN IN PLACE.
 6. THE RAIL MOUNTING HEIGHT OF ALL GUIDE RAIL OR MEDIAN BARRIER PLACED BEHIND CURB (REGARDLESS OF THE CURB HEIGHT OR SPEED) SHALL BE MEASURED FROM THE PAVEMENT SURFACE WHEN THE OFFSET IS 12" OR LESS AND TO THE GROUND SURFACE UNDER THE FACE OF THE RAIL WHEN THE OFFSET IS GREATER.
 7. FOR DESIGN SPEEDS UNDER 50 MPH THE POINT OF REDIRECTION WILL BE AT THE POINT OF TANGENCY.



TYPE IIA NOTES

1. POSTS 2, AND 4 SHALL BE EXTRA LONG POSTS. POSTS 3, 5, 6, 7, 8, AND 9 SHALL BE STANDARD LENGTH.
2. POSTS 2 AND 4 SHALL BE FASTENED TO THE RAIL USING DETAIL "A".
3. FOR SIDE SLOPES 1/5 OR FLATTER, THE 18' OF CURVED BOX BEAM MAY BE PROVIDED IN A CURVED PORTION OF A 24' OR 36' PIECE. OTHERWISE, AN 18' SECTION IS TO BE SPLICED AT THE POINT OF TANGENCY.
4. THE DRAWING INDICATES THE TERMINAL INSTALLED ON LEVEL GROUND. WHEN INSTALLED OVER A SLOPE OR DITCH, THE TERMINAL END SHOULD BE PUSHED DOWN WITH THE EQUIVALENT OF APPROXIMATELY 100 LBS EFFORT TO DEPRESS THE TERMINAL.
5. POSTS 3, 5, AND 1 SHALL NOT BE CONNECTED TO BOX BEAM SIDE RAIL, HOWEVER, FOR RUNS LESS THAN 150' IN LENGTH, ALL BACKUP POSTS SHALL BE FASTENED TO THE RAIL.
6. FOR DESIGN SPEEDS UNDER 50 MPH THE POINT OF REDIRECTION WILL BE AT THE POINT OF TANGENCY.

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PROJECT:
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TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

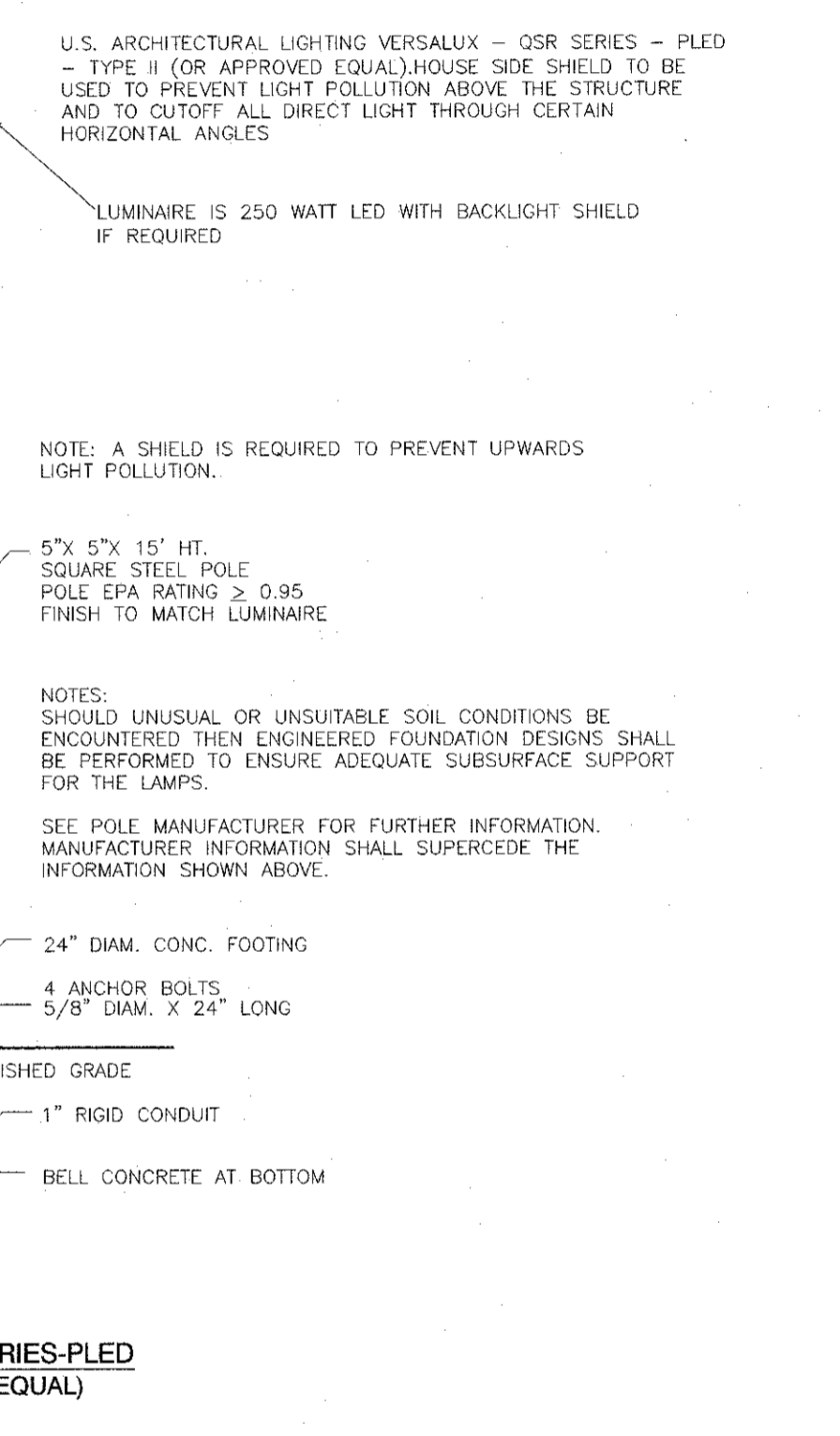
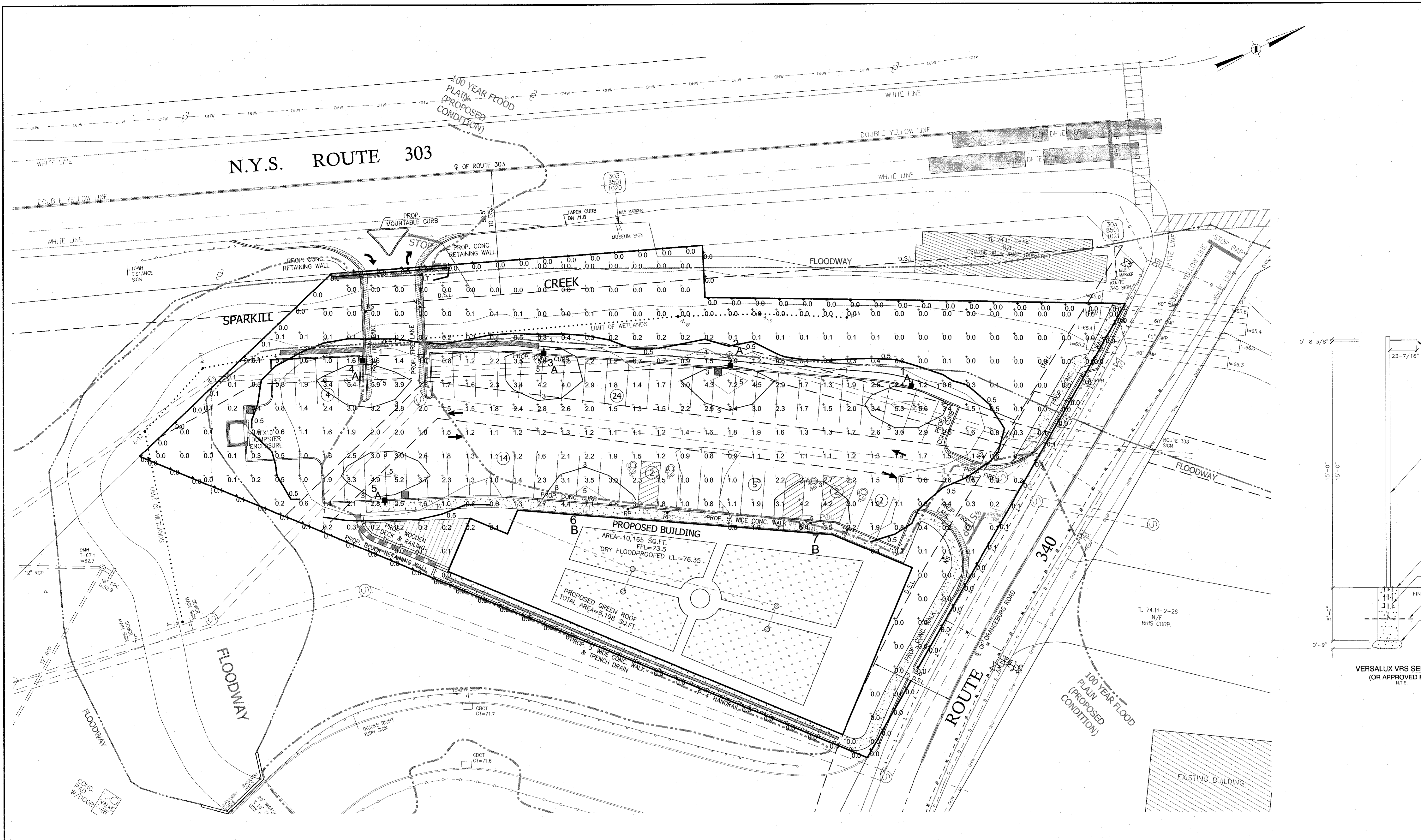
TITLE:
DETAILS

DRAWN BY:	CHECKED BY:
IS	JRA

DATE:	SCALE:
AUGUST 05, 2021	AS SHOWN

PROJECT NO.:	DRAWING NO.:
2858	9

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REVISION	DATE	DESCRIPTION
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TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

TITLE: **LIGHTING PLAN**

DRAWN BY: VC CHECKED BY: JRA
DATE: AUGUST 05, 2021 SCALE: 1" = 30' FT.
PROJECT NO: DRAWING NO:
2858 10

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpClr	PtSpCtB	Meter Type
Property Line	Illuminance	Fc	0.02	0.1	0.0	N.A.	N.A.		10	N.A.	Horizontal
Site	Illuminance	Fc	1.17	7.2	0.0	N.A.	N.A.		10	10	Horizontal
Parking	Illuminance	Fc	2.18	7.2	0.3	7.27	24.00				

Symbol	Qty	Label	Tag	Arrangement	Total Lamp Lumens	LLF	Description
⊕	5	ALED3T50	A	SINGLE	N.A.	1,000	Pole Mounted (Type III)
⊕	2	WPLED3T50FX	B	SINGLE	N.A.	1,000	Wall Mounted (Type III)

LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A	391.268	315.63	15	255.499	0
2	A	315.306	324.054	15	265.966	0
3	A	237.1	330.166	15	267.809	0
4	A	161.081	325.635	15	271.405	0
5	A	170.33	268.594	15	93.348	0
6	B	255.118	263.004	15	85.675	0
7	B	349.815	255.882	15	88.937	0
Total Quantity: 7						

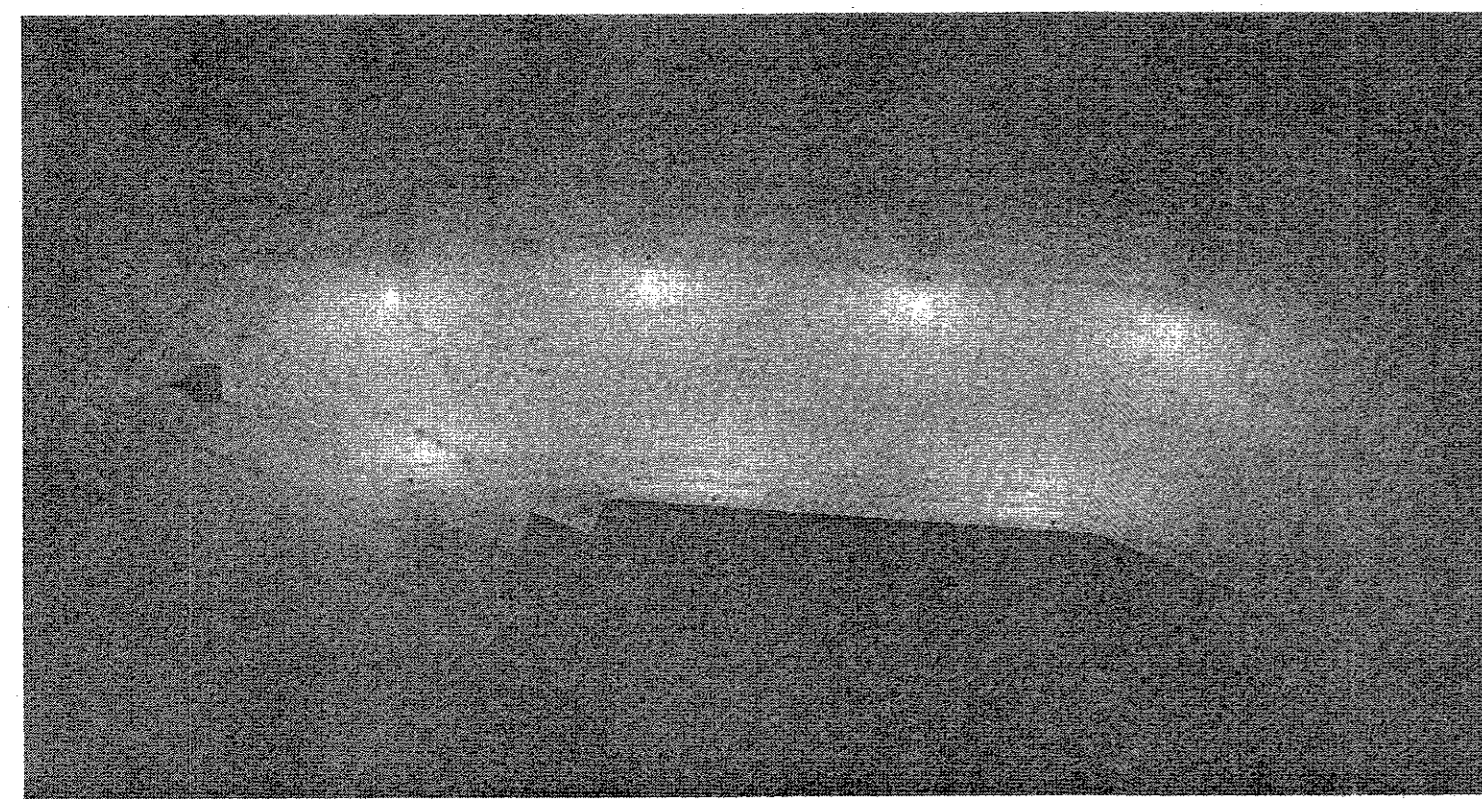
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 1209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES." (CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 1209-2)

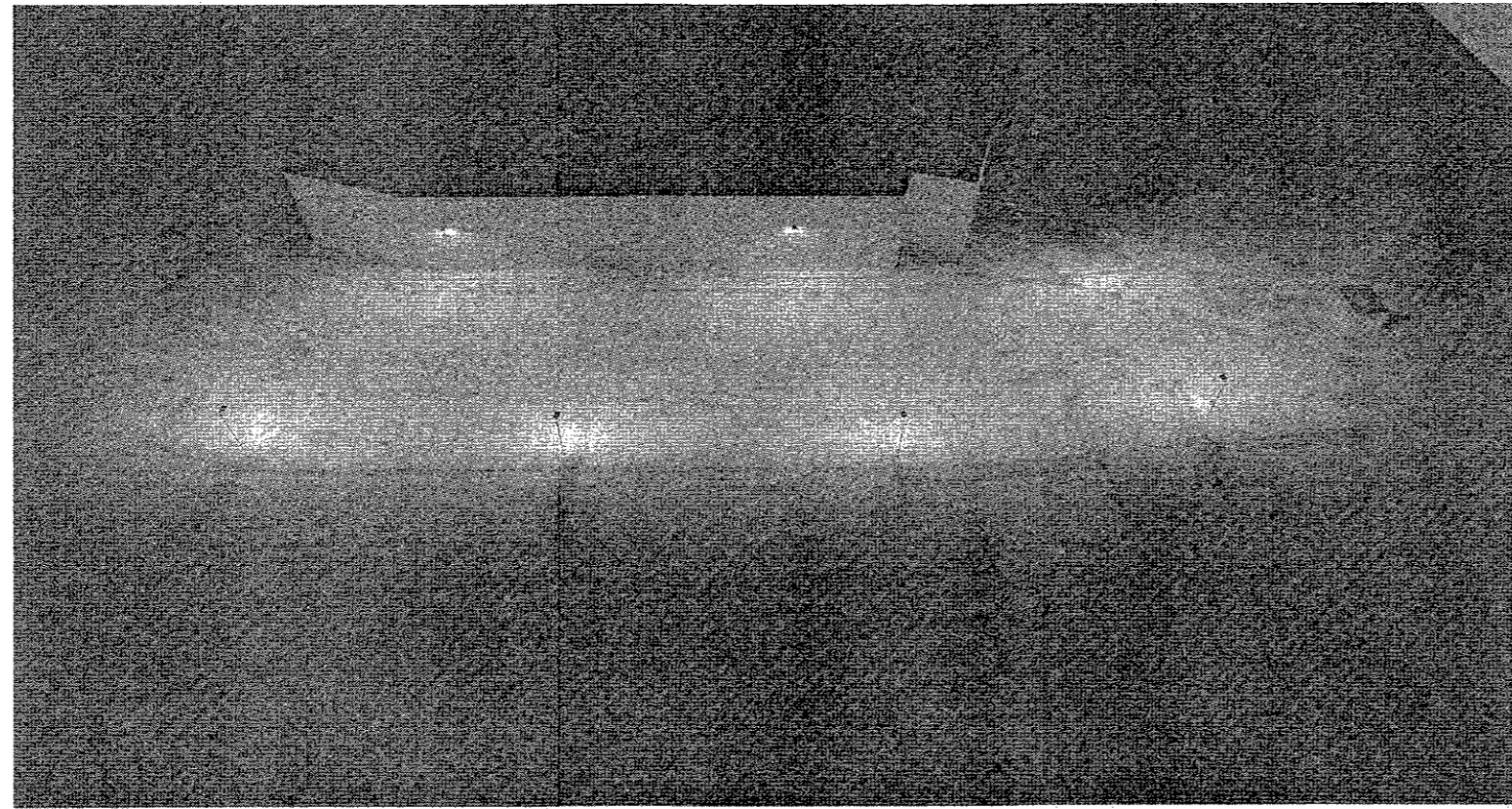
STATE OF NEW YORK
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
JOHN R. ATZL
N.Y.S. P.L.S. LIC. NO. 50228

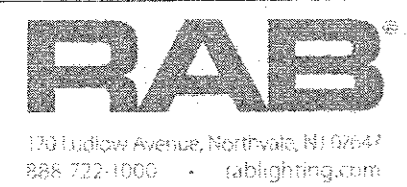
P:\DRAWINGS\2858\2858 SITE PLAN NEW 08-16-22.DWG



Plan View



Iso View



Prepared For:
Dimitri Sales
28 Brunswick Avenue
Edison, NJ 08818-0377
Tel: 732-985-8866

Job Name:
S. Corner Plaza
Orangeburg, NY
Lighting Layout
Version B

Scale: as noted

Project #: 177131

Date: 4/18/2022

CASE #: 00648890

Filename: S Corner Plaza Layout 00648890B.AGI

Drawn By: Margaret Koezig

The Lighting Analysis, eTask, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by the RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB does not warrant, either implied or stated, with regard to actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. RAB neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design unless it complies with any applicable regulatory code requirements with the exception of those specifically stated on drawings created and submitted by RAB. The Lighting Design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction nor a part of a project's construction documentation package.

Filename: Z:\03-Files\Demetri Sales\Demetri Sales 1033616_S_Corner Plaza\Working Files\00648890_S_Corner Plaza Layout 00648890B.AGI

PS4-11-15D2

RAB Outdoor



Project:

Type:

Prepared By:

Date:

Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze Weight: 105.8 lbs

Technical Specifications

Listings
CSA Listed:
Suitable for wet locations
Construction
Shaft:
46,000 p.s.i. minimum yield.
Hand Holes:
Reinforced with grounding lug and removable cover
Base Plates:
Slotted base plates 36,000 p.s.i.
Shipping Protection:
All poles are shipped in individual corrugated cartons to prevent finish damage
Color:
Bronze powder coating
Height:
15 FT

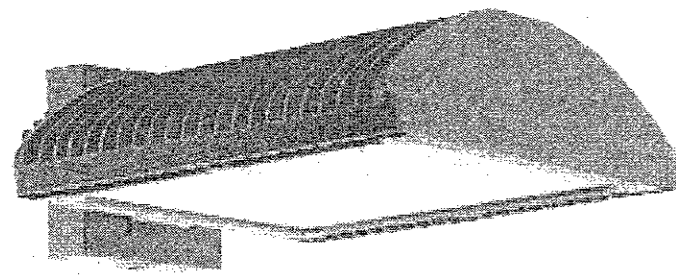
Weight:
106 lbs
Gauge:
11
Wall Thickness:
1/8"
Shaft Size:
4"
Hand Hole Dimensions:
3" x 5"
Bolt Circle:
8 1/2"
Base Dimension:
8"

Anchor Bolt:
Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.
Anchor Bolt Templates:
WARNING: Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available [online](#).
Pre-Shipped Anchor Bolts:
Bolts can be pre-shipped upon request for additional freight charge
Max EPA's/Max Weights:
70MPH 14.0 fl./400 lb.
80MPH 10.2 fl./295 lb.
90MPH 7.6 fl./220 lb.
100MPH 5.6 fl./165 lb.
110MPH 4.2 fl./125 lb.
120MPH 3.0 fl./95 lb.
130MPH 2.1 fl./70 lb.
140MPH 1.4 fl./50 lb.
150MPH 0.8 fl./35 lb.
Other
Terms of Sale:
Pole Terms of Sale is available [online](#).

WPLED3T50FX



ALED3T50



Color: Bronze Weight: 34.8 lbs

Project:

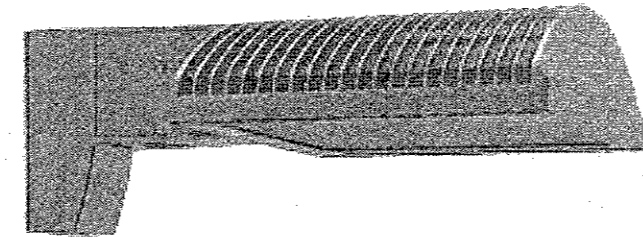
Type:

Prepared By:

Date:

Driver Info
Type Constant Current Watts 50.00W
120V 0.46A Color Temp 5000K (Cool)
208V 0.27A Color Accuracy 71 CRI
240V 0.23A L70 Lifespan 100,000
277V 0.20A Lumens 6,855
Input Watts 55.17W Efficacy 124.3 LPW
Efficiency 91%

LED Info
Type Constant Current Watts 50.00W
120V 0.46A Color Temp 5000K (Cool)
208V 0.27A Color Accuracy 71 CRI
240V 0.23A L70 Lifespan 100,000
277V 0.20A Lumens 6,855
Input Watts 55.17W Efficacy 124.3 LPW
Efficiency 91%



Color: Bronze Weight: 32.5 lbs

Project:

Type:

Prepared By:

Date:

Driver Info
Type Constant Current Watts 50.00W
120V 0.46A Color Temp 5000K (Cool)
208V 0.27A Color Accuracy 71 CRI
240V 0.23A L70 Lifespan 100,000
277V 0.20A Lumens 6,855
Input Watts 55.17W Efficacy 124.3 LPW
Efficiency 91%

LED Info
Type Constant Current Watts 50.00W
120V 0.46A Color Temp 5000K (Cool)
208V 0.27A Color Accuracy 71 CRI
240V 0.23A L70 Lifespan 100,000
277V 0.20A Lumens 6,855
Input Watts 55.17W Efficacy 124.3 LPW
Efficiency 91%

Technical Specifications

Listings
UL Listed:
Suitable for wet locations as a downlight
DLC Listed:
This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: P00001794
IESNA LM-79 & IESNA LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
LED Characteristics
Lifespan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations
LEDs:
Multi-chip, high-output, long-life LEDs
Color Consistency:
7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color
Color Stability:
LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period

Color Uniformity:
RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.
Construction
IES Classification:
The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.
IP Rating:
Ingress Protection rating of IP66 for dust and water
Ambient Temperature:
Suitable For use in 40°C (104°F)
Cold Weather Starting:
Minimum starting temperature is -40°C (-40°F)
Thermal Management:
Superior thermal management design with external Air-Flow fins provides maximum operational life, even in high ambient temperature environments
Housing:
Die-cast aluminum housing, lens frame and mounting arm

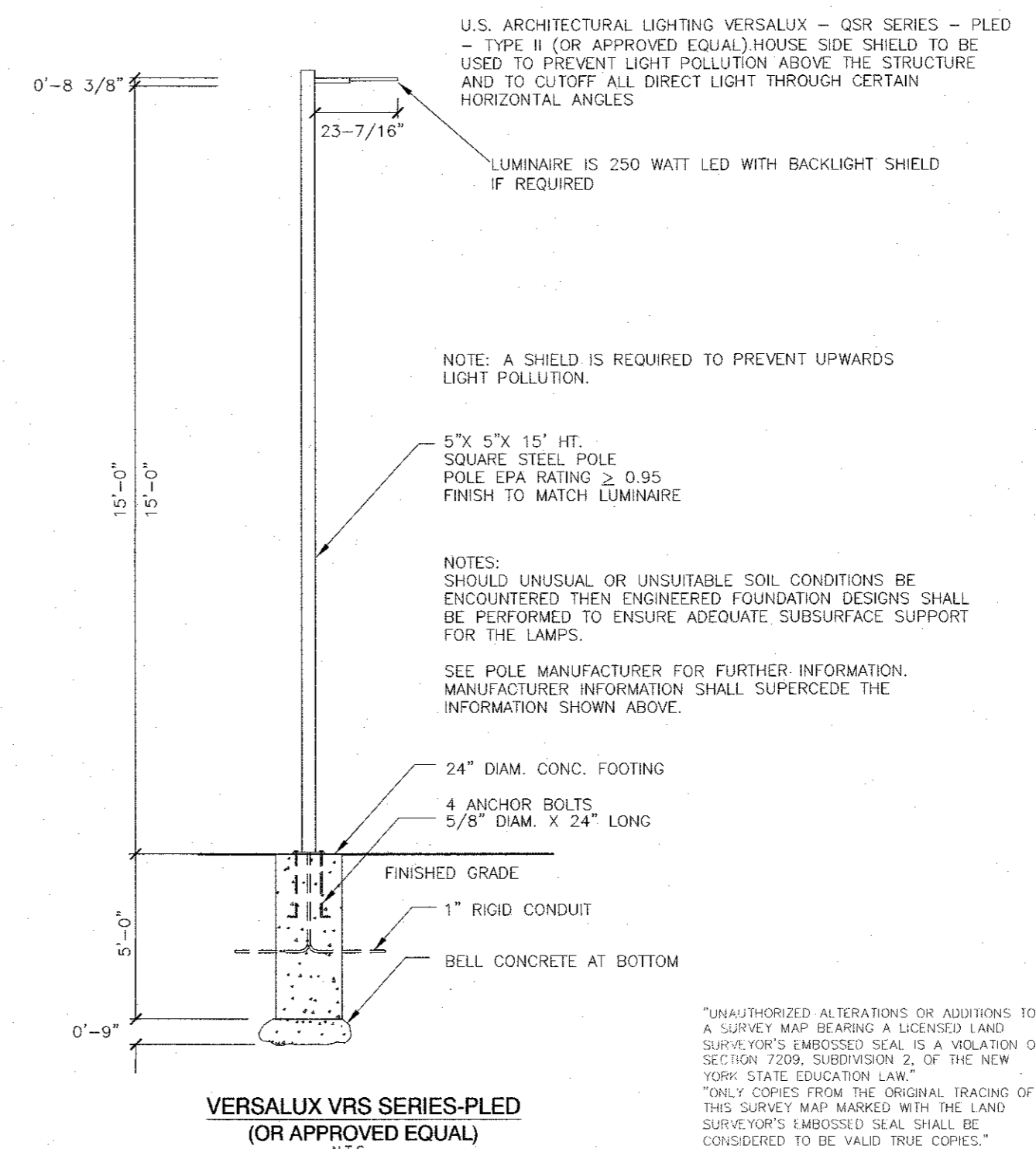
Mounting:
Heavy-duty mounting arm with "O" ring seal & stainless steel screws
Reflector:
Specular vacuum-metallized polycarbonate
Gaskets:
High-temperature silicone gaskets
Finish:
Formulated for high durability and long-lasting color
Green Technology:
Mercury and UV free, RoHS-compliant components.
Electrical
Driver:
Constant Current, Class 2, 1400mA, 100-277V, 50-60Hz, 0.8A, Power Factor 99%

Technical Specifications

Listings
UL Listed:
Suitable for wet locations as a downlight
IESNA LM-79 & IESNA LM-80 Testing:
RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
Dark Sky Conformance:
Conforms to (allows for conformance to) the IDA's fully shielding requirement, emitting no light above 90 degrees (with the exclusion of incidental light reflecting from fixture housing, mounts, and pole).
LED Characteristics
Lifespan:
100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations
LEDs:
Multi-chip, high-output, long-life LEDs
Color Consistency:
7-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color
Color Stability:
LED color temperature is warranted to shift no more than 200K in CCT over a 5-year period

Color Uniformity:
RAB's range of CCT (Correlated Color Temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.
Construction
IES Classification:
The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.
IP Rating:
Ingress Protection rating of IP66 for dust and water
Ambient Temperature:
Suitable For use in 40°C (104°F)
Cold Weather Starting:
Minimum starting temperature is -40°C (-40°F)
Thermal Management:
Superior thermal management design with external Air-Flow fins provides maximum operational life, even in high ambient temperature environments
Effective Projected Area:
EPA = 0.75

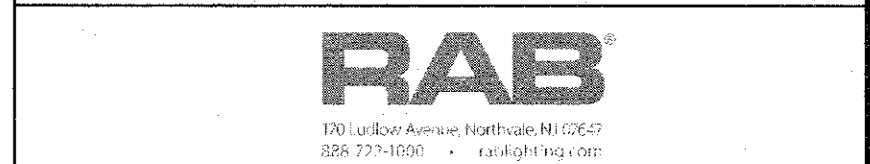
Housing:
Die-cast aluminum housing, lens frame and mounting arm
Mounting:
Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture with ease. Round pole diameter must be >4" to mount fixtures at 90° orientation.
Reflector:
Specular vacuum-metallized polycarbonate
Gaskets:
High-temperature silicone gaskets
Finish:
Formulated for high durability and long-lasting color
Green Technology:
Mercury and UV free, RoHS-compliant components.



4	08-16-22	PER DIRECTORS COMMENTS 08/09/22
3	07-29-22	ROUTE 303 OVERLAY REQ.
2	04-13-22	PER PLANNING BOARD 12/08/21
1	10-28-21	PER BROOKER ENGINEERING 09/29/21
REVISION	DATE	DESCRIPTION

AN&Z ATZL, NASHER & ZIGLER P.C.
ENGINEERS - SURVEYORS - PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.ANZNY.com

S CORNER PLAZA



TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

LIGHTING DETAILS

DRAWN BY: YC	CHECKED BY: JRA
DATE: AUGUST 05, 2021	SCALE: 1 IN. = 30 FT.
PROJECT NO: 2858	DRAWING NO: 11

STATE OF NEW YORK
JOHN R. ATZL
N.Y.S. P.E. LIC. NO. 89066

STATE OF NEW YORK
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

P:\DRAWINGS\2858\2858 SITE PLAN NEW 08-16-22.DWG

VEHICLE TRAVELING DOWNHILL TOWARD THE SITE:

$$\text{SIGHT DISTANCE, } S = (1.47 \times t_p \times V) + \frac{V^2}{30(a/g + G)}$$

- t_p, PERCEPTION TIME = 2.5 SEC.
- V, VEHICLE DESIGN SPEED = 40 MPH
- a, DECELERATION RATE = 11.2 FT./SEC²
- g, ACCELERATION OF GRAVITY = 32.2 FT./SEC²
- G, ROAD SLOPE IN DECIMAL (NEGATIVE IF THE ROADWAY IS DOWNHILL) = - 0.026

$$\text{SIGHT DISTANCE, } S = (1.47 \times 2.5 \times 40) + \frac{40^2}{30 \left(\frac{11.2}{32.2} - 0.026 \right)}$$

=> SIGHT DISTANCE, S = 312.0 FT. => USE 315.0 FT.

VEHICLE TRAVELING UPHILL TOWARD THE SITE:

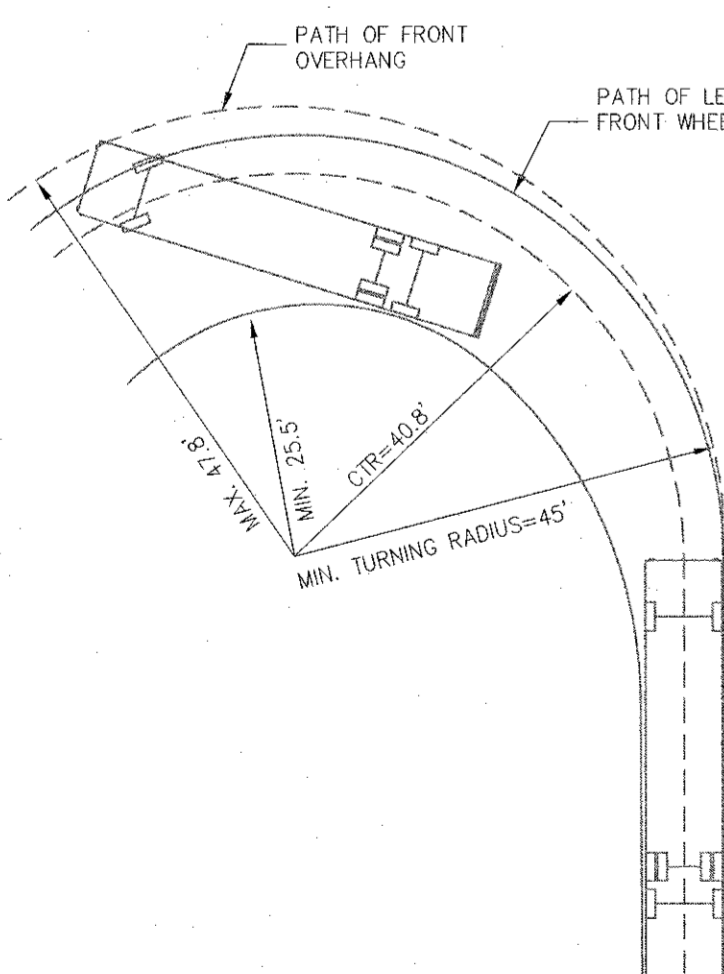
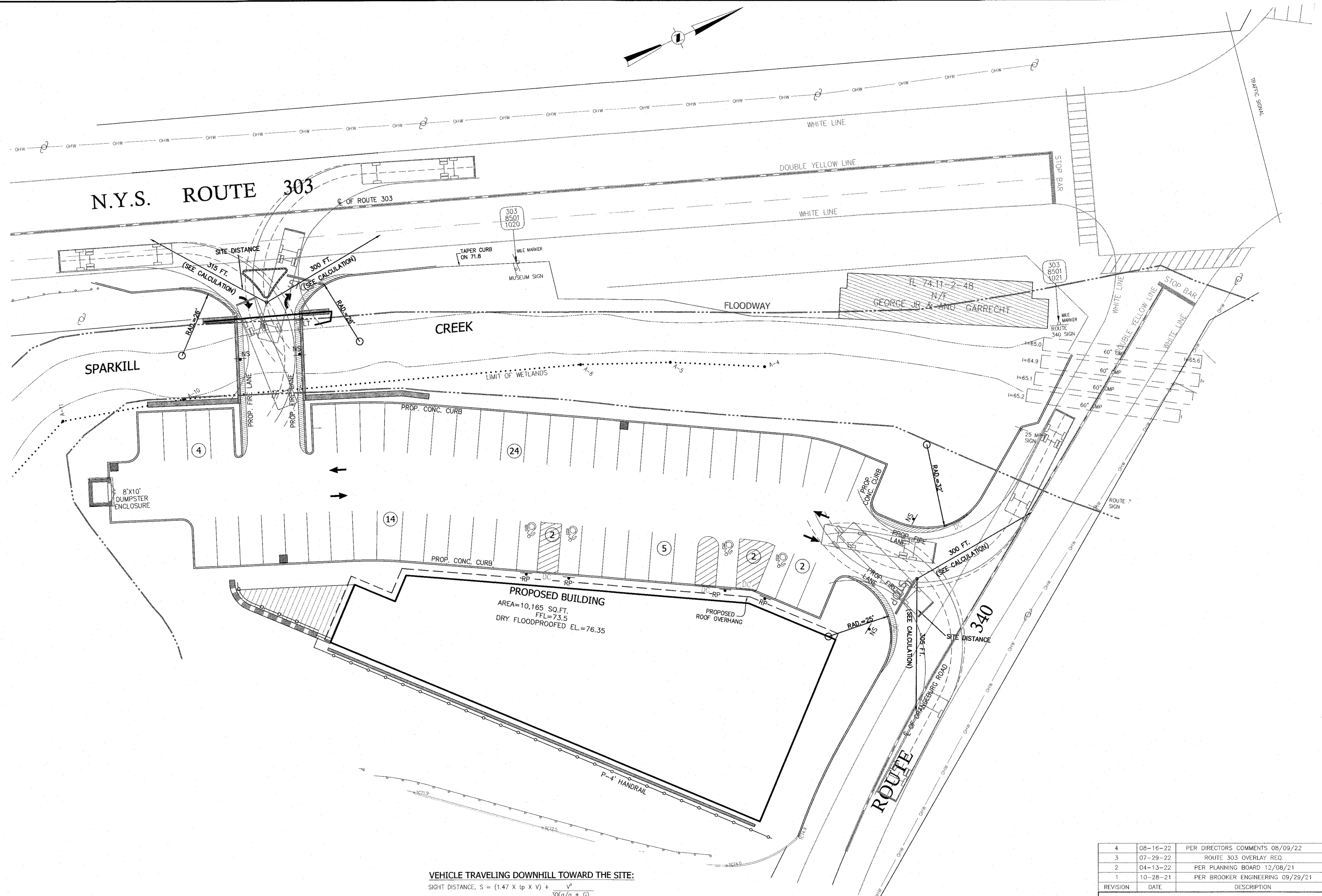
$$\text{SIGHT DISTANCE, } S = (1.47 \times t_p \times V) + \frac{V^2}{30(a/g + G)}$$

- t_p, PERCEPTION TIME = 2.5 SEC.
- V, VEHICLE DESIGN SPEED = 40 MPH
- a, DECELERATION RATE = 11.2 FT./SEC²
- g, ACCELERATION OF GRAVITY = 32.2 FT./SEC²
- G, ROAD SLOPE IN DECIMAL (POSITIVE IF THE ROADWAY IS UPHILL) = + 0.01

$$\text{SIGHT DISTANCE, } S = (1.47 \times 2.5 \times 40) + \frac{40^2}{30 \left(\frac{11.2}{32.2} + 0.01 \right)}$$

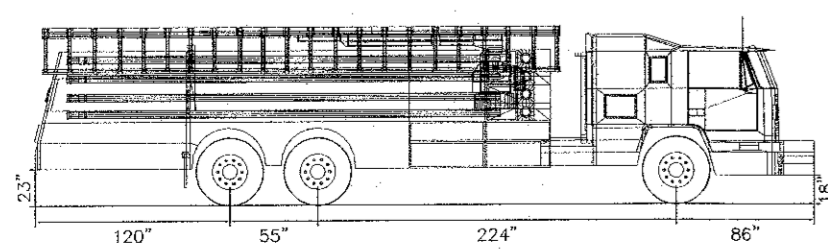
=> SIGHT DISTANCE, S = 296.05 FT. => USE 300.0 FT.

VEHICLE SIGHT DISTANCE CALCULATION FOR N.Y.S. ROUTE 303



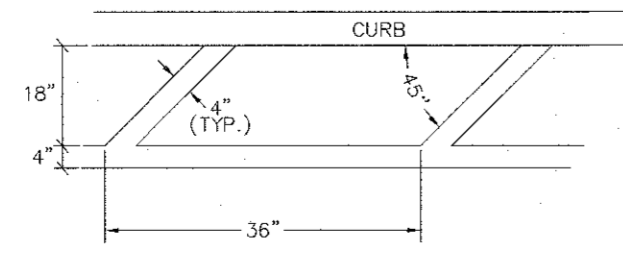
FIRE TRUCK TURNING DETAIL

SCALE: 1 IN. = 20 FT.



FIRE TRUCK DIMENSIONS

SCALE: 1 IN. = 10 FT.



FIRE LANE STRIPING DETAIL

N.T.S.

VEHICLE TRAVELING DOWNHILL TOWARD THE SITE:

$$\text{SIGHT DISTANCE, } S = (1.47 \times t_p \times V) + \frac{V^2}{30(a/g + G)}$$

- t_p, PERCEPTION TIME = 2.5 SEC.
- V, VEHICLE DESIGN SPEED = 40 MPH
- a, DECELERATION RATE = 11.2 FT./SEC²
- g, ACCELERATION OF GRAVITY = 32.2 FT./SEC²
- G, ROAD SLOPE IN DECIMAL (NEGATIVE IF THE ROADWAY IS DOWNHILL) = - 0.006

$$\text{SIGHT DISTANCE, } S = (1.47 \times 2.5 \times 40) + \frac{40^2}{30 \left(\frac{11.2}{32.2} - 0.006 \right)}$$

=> SIGHT DISTANCE, S = 303.0 FT. => USE 305.0 FT.

VEHICLE TRAVELING UPHILL TOWARD THE SITE:

$$\text{SIGHT DISTANCE, } S = (1.47 \times t_p \times V) + \frac{V^2}{30(a/g + G)}$$

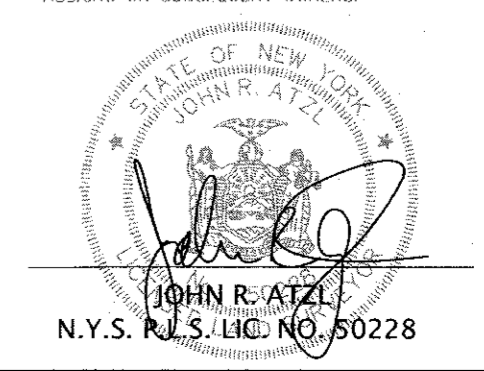
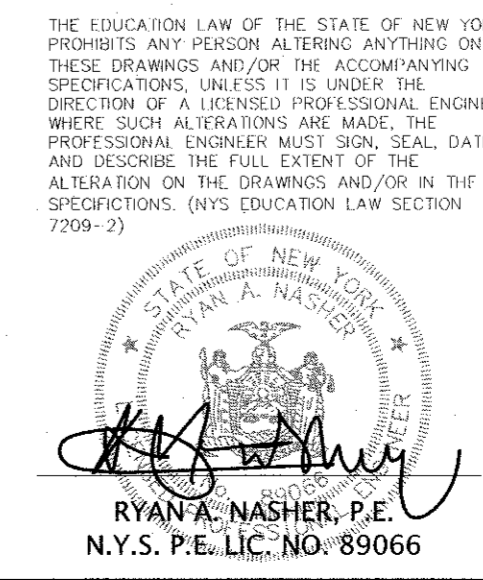
- t_p, PERCEPTION TIME = 2.5 SEC.
- V, VEHICLE DESIGN SPEED = 40 MPH
- a, DECELERATION RATE = 11.2 FT./SEC²
- g, ACCELERATION OF GRAVITY = 32.2 FT./SEC²
- G, ROAD SLOPE IN DECIMAL (POSITIVE IF THE ROADWAY IS UPHILL) = + 0.007

$$\text{SIGHT DISTANCE, } S = (1.47 \times 2.5 \times 40) + \frac{40^2}{30 \left(\frac{11.2}{32.2} + 0.007 \right)}$$

=> SIGHT DISTANCE, S = 297.0 FT. => USE 300.0 FT.

VEHICLE SIGHT DISTANCE CALCULATION FOR N.Y.S. ROUTE 340

"UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 2209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW."
"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES."
"CERTIFICATION INDICATED HERE ON SIGNIFY ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE DELAWARE - HUDSON LAND SURVEYORS ASSOCIATION. SAID CERTIFICATIONS SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS INSTAURATED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS, INSTITUTIONS, THEIR SUCCESSORS, AND/OR ASSIGNS IN SUBSEQUENT OWNERS."



DATUM: NAVD 1988

REVISION	DATE	DESCRIPTION
4	08-16-22	PER DIRECTORS COMMENTS 08/09/22
3	07-29-22	ROUTE 303 OVERLAY REQ.
2	04-13-22	PER PLANNING BOARD 12/08/21
1	10-28-21	PER BROOKER ENGINEERING 09/29/21

AN&Z ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
Fax: (845) 634-5543
E-mail: info@anzny.com
Web: www.anzny.com

PROJECT: **S CORNER PLAZA**
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

TITLE: **TRUCK TURNING RADIUS & SIGHT DISTANCE PLAN**

DRAWN BY: VC	CHECKED BY: JRA
DATE: AUGUST 05, 2021	SCALE: 1 IN. = 20 FT.
PROJECT NO: 2858	DRAWING NO: 12