

N.Y.S. ROUTE 303 VRIESEDAEL ROAD

BULK REQUIREMENTS:

ZONE LO	USE GROUP "X"	REQUIRED	EXISTING	PROPOSED
	MAXIMUM FLOOR AREA RATIO	0.40	0.04	0.10
	MINIMUM LOT AREA	2 ACRES	1,354.5 ACRES	1,354.5 ACRES
	MINIMUM LOT WIDTH	300 FT.	150.5 FT.	150.5 FT.
	MINIMUM STREET FRONTAGE	150 FT.	150.5 FT.	150.5 FT.
	MINIMUM FRONT YARD	100 FT.	29.1 FT.	29.1 FT.
	MINIMUM SIDE YARD	50 FT. (A)	54.3 FT.	15 FT. **
	MINIMUM TOTAL SIDE YARD	100 FT. (A)	118.4 FT.	100 FT.
	MINIMUM REAR YARD	25 FT. (B)	236 FT.	186 FT.
	MAXIMUM BUILDING HEIGHT	3 IN. / FT. FROM DESIGNATED STREET LINE	24 FT.	22 FT. (PROP. GAR.)

* EXISTING NON-COMFORMING CONDITION
 ** VARIANCE REQUIRED FROM ZONING BOARD OF APPEALS
 (A) PER S5.24 TOTAL WIDTH OF EACH REQUIRED SIDE YARD MAY BE REDUCED 1 FT. FOR EACH FOOT THE LOT WIDTH IS LESS THAN 300 FT., PROVIDED THAT NO REQUIRED SIDE YARD MAY BE LESS THAN 50 FT.
 (B) PER S312, ATTACHMENT 18, NOTE 10

EXISTING COVERAGE TABLE:

EXISTING BUILDING:	1,354 SQ. FT.
EXISTING GARAGE:	506 SQ. FT.
PORCH, STEP & PAVER:	744 SQ. FT.
CONCRETE:	356 SQ. FT.
CONTAINER:	806 SQ. FT.
MACADAM PAVEMENT:	13,611 SQ. FT.
GRAVEL & STONE DUST:	22,625 SQ. FT.
TOTAL COVERAGE:	40,053 SQ. FT. OR 0.919 ACS.

PROPOSED COVERAGE TABLE:

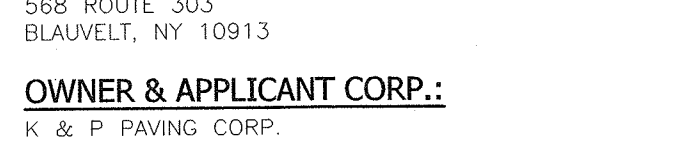
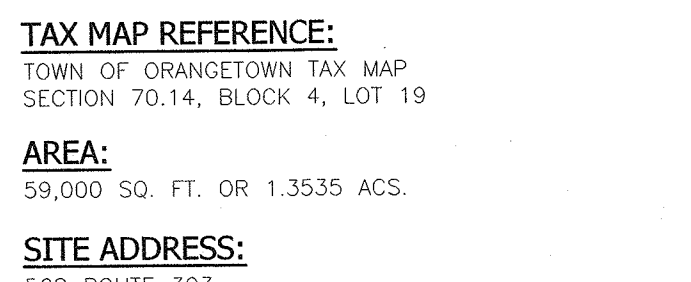
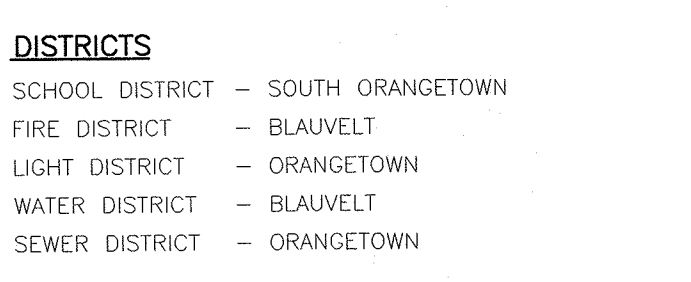
EXISTING BUILDING:	1,354 SQ. FT.
PROPOSED BUILDING:	3,625 SQ. FT.
PORCH, STEP & PAVER:	744 SQ. FT.
MACADAM PAVEMENT:	12,431 SQ. FT.
GRAVEL & STONE DUST:	12,891 SQ. FT.
TOTAL COVERAGE:	31,096 SQ. FT. OR 0.714 ACS.

PARKING REQUIREMENTS:

OFFICE USE:
 1 SPACE PER 200 SQ. FT. OF GROSS FLOOR AREA
 1,595 S.F. ÷ 1 SPACE/200 S.F. = 8 SPACES

APARTMENT:
 1 SPACE PER 1/2 DWELLING UNIT
 1 DWELLING UNIT + 1 SPACE / 1/2 DWELLING UNIT = 2 SPACES

TOTAL REQUIRED SPACES = 10 SPACES
 TOTAL PROVIDED SPACES = 10 SPACES



NOTES:

- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL FOLLOW UNDERGROUND UTILITIES CALL CENTER GUIDELINES.
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
- NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT AND/OR THE TOWN OF ORANGETOWN.
- LOT DRAINAGE ON THIS PLAN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND SHALL NOT BE DISTURBED.
- ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- NO OPEN BURNING DURING CONSTRUCTION WITHOUT SPECIFIC PERMISSION FROM NEW YORK STATE DEPARTMENT OF HEALTH.
- DATUM: U.S.G.S. - BENCHMARK - FINISH FLOOR EXISTING BUILDING.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPARTMENT.
- DURING THE COURSE OF CONSTRUCTION, ALL STORM DRAIN INLETS SHALL BE PROTECTED WITH A HAY BALE FILTER (SEE DETAIL).
- ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
- THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER, AND AT LEAST 30" IN LENGTH (TO BE INSTALLED AFTER FINAL GRADING). SAID PINS SHOWN THUS:
- THIS SITE PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION DRAWINGS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK.
- SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH HIGHWAY DEPARTMENT SPECIFICATIONS.
- TEMPORARY SEDIMENT ENTRAPMENT AREAS SHALL BE PROVIDED AS SHOWN TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED USING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. INVERSION SWALES, BERMS OR CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT ALL TEMPORARY SALTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLAN.
- PERMANENT VEGETATION COVER SPECIFICATIONS:
 LAWN AREA - PER 1,000 S.F.
 15 LBS. 10-6-4 50% SLOW RELEASE FERTILIZER
 70 LBS. GRANULATE LIMESTONE
 4 LBS. SEED MIXTURE
 40% KENTUCKY BLUE
 40% RED FESCUE
 20% PERENNIAL RYEGRASS
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L&M OF THE GENERAL MUNICIPAL LAW.
- CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND EXFILTRATION TESTS FOR SANITARY SEWERS ARE CERTIFIED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR, DIVISION OF SERVICES.
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF FROST CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 23-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 A) NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 B) THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
 C) TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
 D) THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
 DRIFT LINE OF THE TREE CANOPY. THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
 LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 LIGHT IMPACTS ONLY - INSTALLATION OF 3/4 INCH OF PLYWOOD OR BOARDWALK OR EQUAL OVER THE AREA TO BE PROTECTED.
 THE BUILDING OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
- ADDITIONAL CERTIFICATION, BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL, SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS.
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (DEME) SHALL INSPECT THE INSTALLATION OF ALL REQUIRED EROSION AND SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEME AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
- ALL LANDSCAPING SHOWN ON THE PLANTING PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.

DRAWING LIST

DRAWING NO.	TITLE	ORIGIN DATE	LAST REVISION
DRAWING 1	SITE DEVELOPMENT PLAN	MAY 10, 2021	JUNE 02, 2022
DRAWING 2	EXISTING SITE	MAY 10, 2021	JUNE 02, 2022
DRAWING 3	GRADING PLAN	MAY 10, 2021	JUNE 02, 2022
DRAWING 4	EROSION & SEDIMENT CONTROL PLAN	MAY 10, 2021	JUNE 02, 2022
DRAWING 5	LIGHTING PLAN	MAY 10, 2021	JUNE 02, 2022
DRAWING L-701	PLANTING PLAN	NOVEMBER 30, 2021	

LEGEND

- 362 --- EXISTING 2' CONTOUR
- 360 --- EXISTING 10' CONTOUR
- V --- EXISTING WATERLINE
- F --- EXISTING FIRE HYDRANT
- C --- EXISTING GAS LINE
- OB --- EXISTING CATCH BASIN
- S --- EXISTING STORM DRAIN LINE
- SMH --- EXISTING SEWER MANHOLE
- S --- S --- EXISTING SEWER LINE
- + 36.0 --- EXISTING SPOT ELEVATION
- O --- EXISTING STONEWALL
- X --- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- CLUP --- EXISTING UTILITY POLE
- TC --- TOP OF CURB
- DC --- DROP OF CURB
- TW --- TOP OF WALL
- BW --- BOTTOM OF WALL

OWNERS APPROVAL FOR FILING

OWNER _____ DATE _____

PLANNING BOARD
 MEETING
 MAY 14 2022
 TOWN OF ORANGETOWN

1	06-02-22	REV. PROPOSED LAYOUT
REVISION	DATE	DESCRIPTION

DISTRICTS
 SCHOOL DISTRICT - SOUTH ORANGETOWN
 FIRE DISTRICT - BLAUVELT
 LIGHT DISTRICT - ORANGETOWN
 WATER DISTRICT - BLAUVELT
 SEWER DISTRICT - ORANGETOWN

TAX MAP REFERENCE:
 TOWN OF ORANGETOWN TAX MAP
 SECTION 70.14, BLOCK 4, LOT 19

AREA:
 59,000 SQ. FT. OR 1.3535 ACS.

SITE ADDRESS:
 568 ROUTE 303
 BLAUVELT, NY 10913

OWNER & APPLICANT CORP.:
 K & P PAVING CORP.
 568 ROUTE 303
 BLAUVELT, NY 10913

ATZL, NASHER & ZIGLER P.C.
 ENGINEERS-SURVEYORS-PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4694
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.ANZNY.com

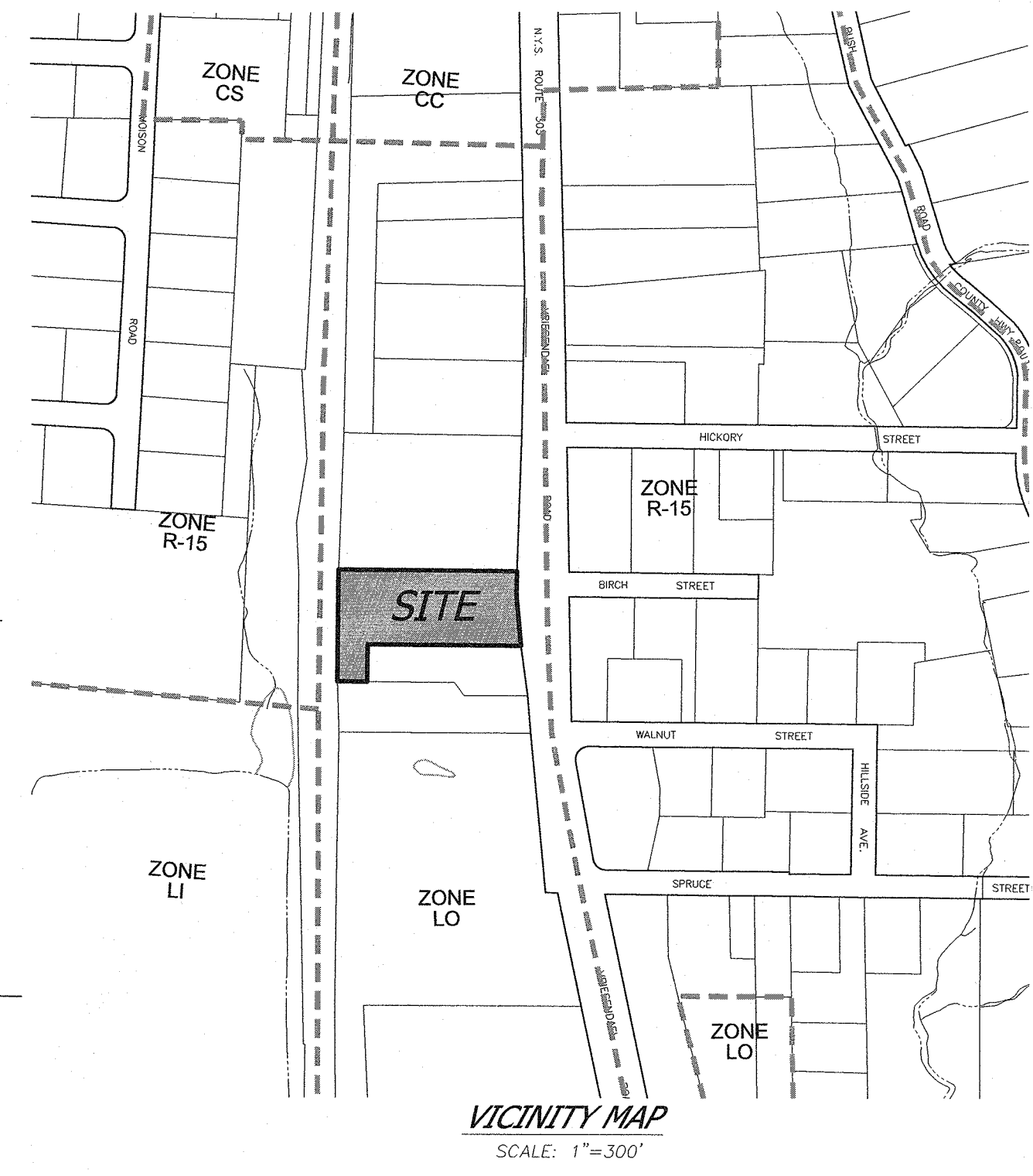
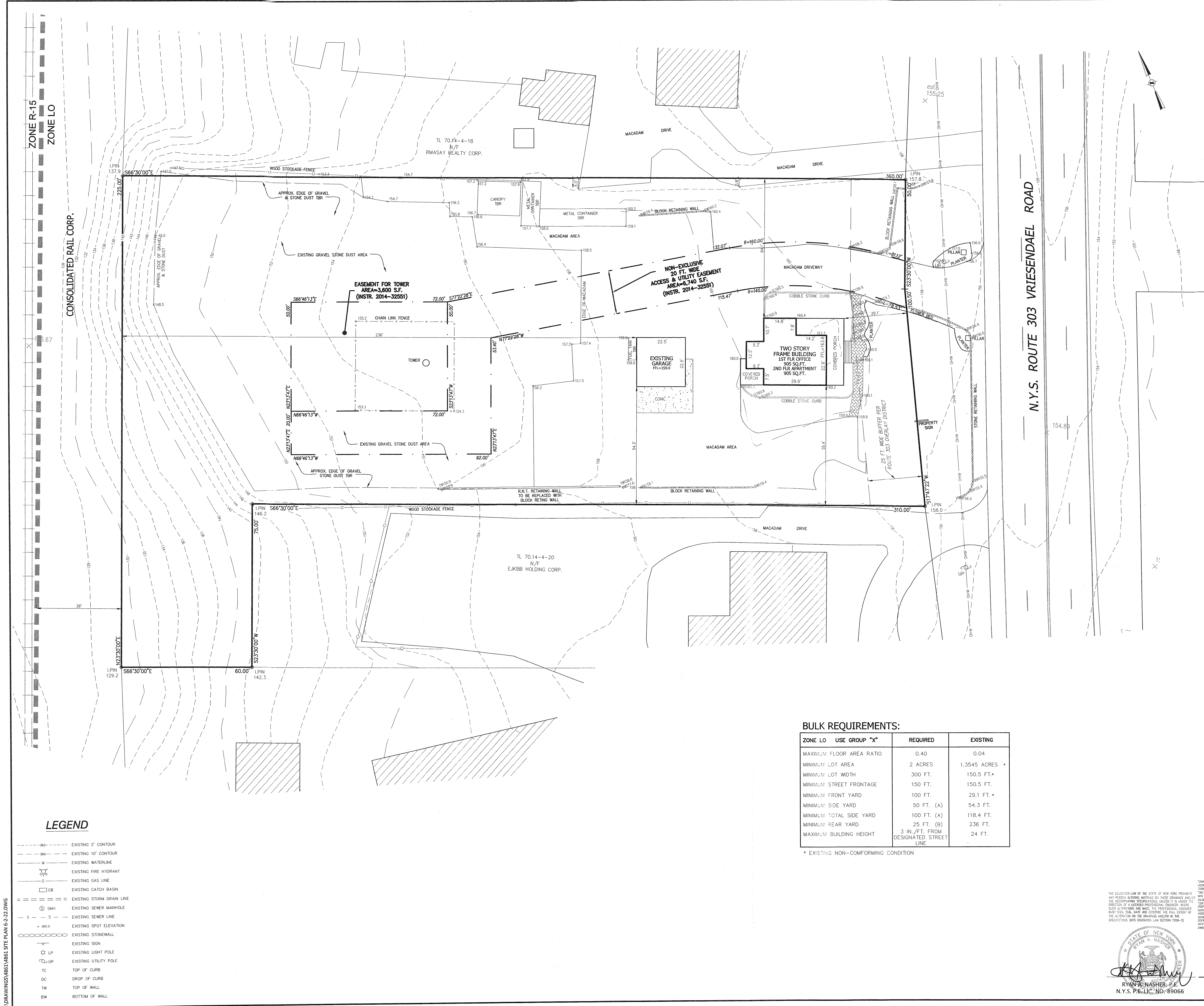
**TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK**

K & P PAVING CORP.

TITLE:
 SITE DEVELOPMENT PLAN

DRAWN BY: LF
 DATE: MAY 10, 2021
 PROJECT NO: 4861

CHECKED BY: JRA
 SCALE: 1 IN. = 20 FT.
 DRAWING NO: 1



LEGEND

- 2' --- EXISTING 2' CONTOUR
- 10' --- EXISTING 10' CONTOUR
- W --- EXISTING WATERLINE
- F --- EXISTING FIRE HYDRANT
- G --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- S --- EXISTING STORM DRAIN LINE
- SMH --- EXISTING SEWER MANHOLE
- S --- EXISTING SEWER LINE
- + 10.0 --- EXISTING SPOT ELEVATION
- --- EXISTING STONEWALL
- --- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- CLIP --- EXISTING UTILITY POLE
- TC --- TOP OF CURB
- DC --- DROP OF CURB
- TW --- TOP OF WALL
- BW --- BOTTOM OF WALL

BULK REQUIREMENTS:

ZONE LO	USE GROUP "X"	REQUIRED	EXISTING
	MAXIMUM FLOOR AREA RATIO	0.40	0.04
	MINIMUM LOT AREA	2 ACRES	1.3545 ACRES *
	MINIMUM LOT WIDTH	300 FT.	150.5 FT.*
	MINIMUM STREET FRONTAGE	150 FT.	150.5 FT.
	MINIMUM FRONT YARD	100 FT.	29.1 FT.*
	MINIMUM SIDE YARD	50 FT. (A)	54.3 FT.
	MINIMUM TOTAL SIDE YARD	100 FT. (A)	118.4 FT.
	MINIMUM REAR YARD	25 FT. (B)	236 FT.
	MAXIMUM BUILDING HEIGHT	3 IN./FT. FROM DESIGNATED STREET LINE	24 FT.

* EXISTING NON-COMFORMING CONDITION

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S BARRED SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY CERTS FROM THE ORIGINAL ISSUANCE OF THIS SURVEY MAP ARE VALID.

THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND THE ACCOMPANYING SPECIFICATIONS UNLESS IT IS UNDER THE DIRECTORSHIP OF A LICENSED PROFESSIONAL ENGINEER. WHERE SUCH ALTERATIONS ARE MADE, THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND CERTIFY THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND IN THE SPECIFICATIONS. (NY EDUCATION LAW SECTION 7209-2)

CONTRACTOR REQUIRED TO BE ON SCENE AND VERIFY AND PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYING AND THE REQUIREMENTS OF THE PROFESSIONAL ENGINEER AND CERTIFICATIONS SHALL RUN ONLY TO THOSE SITES INDIVIDUALLY AND NOT TO THE DRAWING OR SPECIFICATIONS. CONTRACTORS ARE NOT RESPONSIBLE TO ADDITIONAL REVISIONS, INTERFERENCES, NON-CONFORMING AND/OR ASSUMED OR MISLEADING DIMENSIONS.

STATE OF NEW YORK
JOHN R. ATZL
N.Y.S. P.E. LIC. NO. 60228

STATE OF NEW YORK
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066

1	06-02-22	REV. PROPOSED LAYOUT
REVISION	DATE	DESCRIPTION

ATZL, NASHER & ZIGLER P.C.
ENGINEERS-SURVEYORS-PLANNERS
232 North Main Street
New City, New York 10956
Tel: (845) 634-4694
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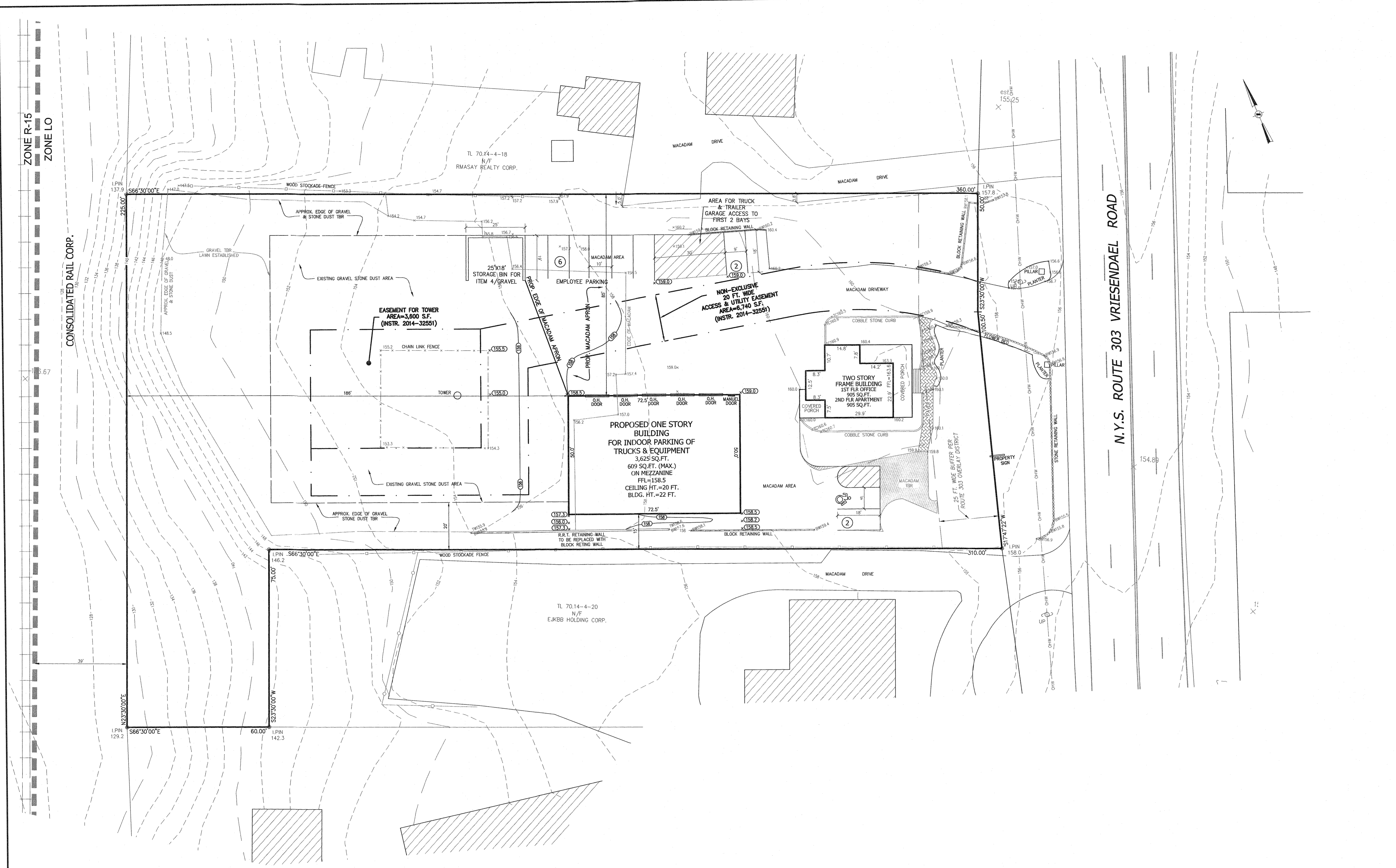
PROJECT:
K & P PAVING CORP.

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

TITLE:
EXISTING SITE

DRAWN BY: LF
DATE: MAY 10, 2021
PROJECT NO: 4861

CHECKED BY: JRA
SCALE: 1 IN. = 20 FT.
DRAWING NO: 2



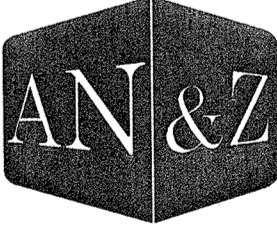
LEGEND

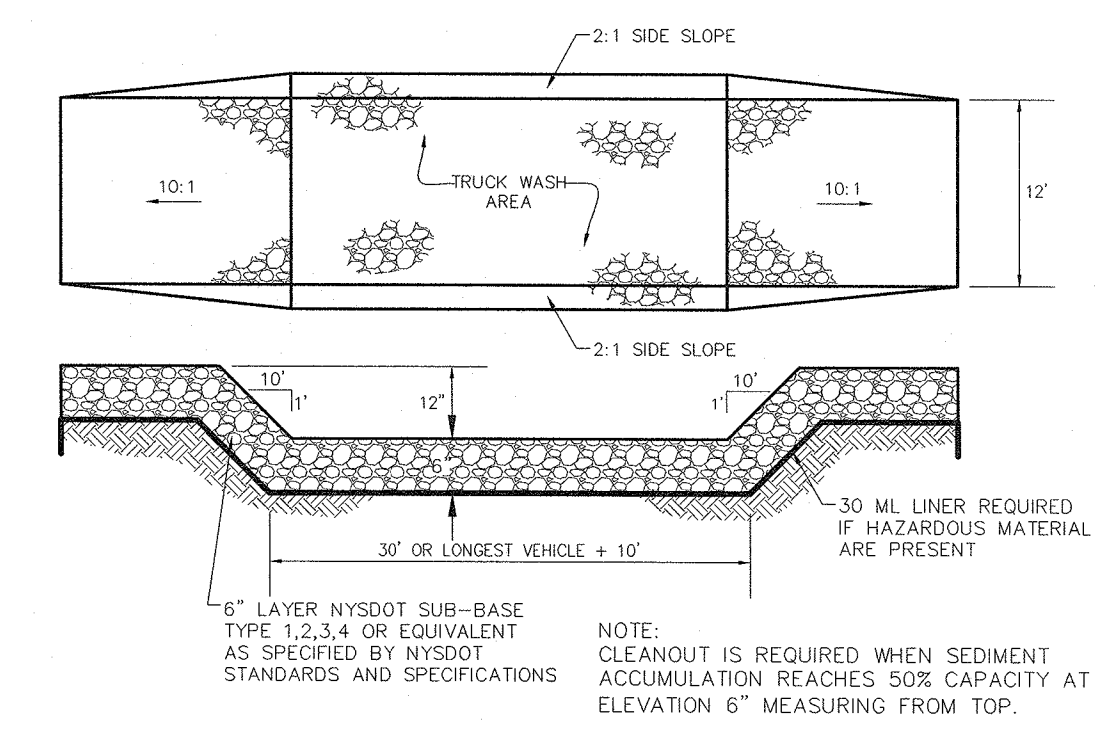
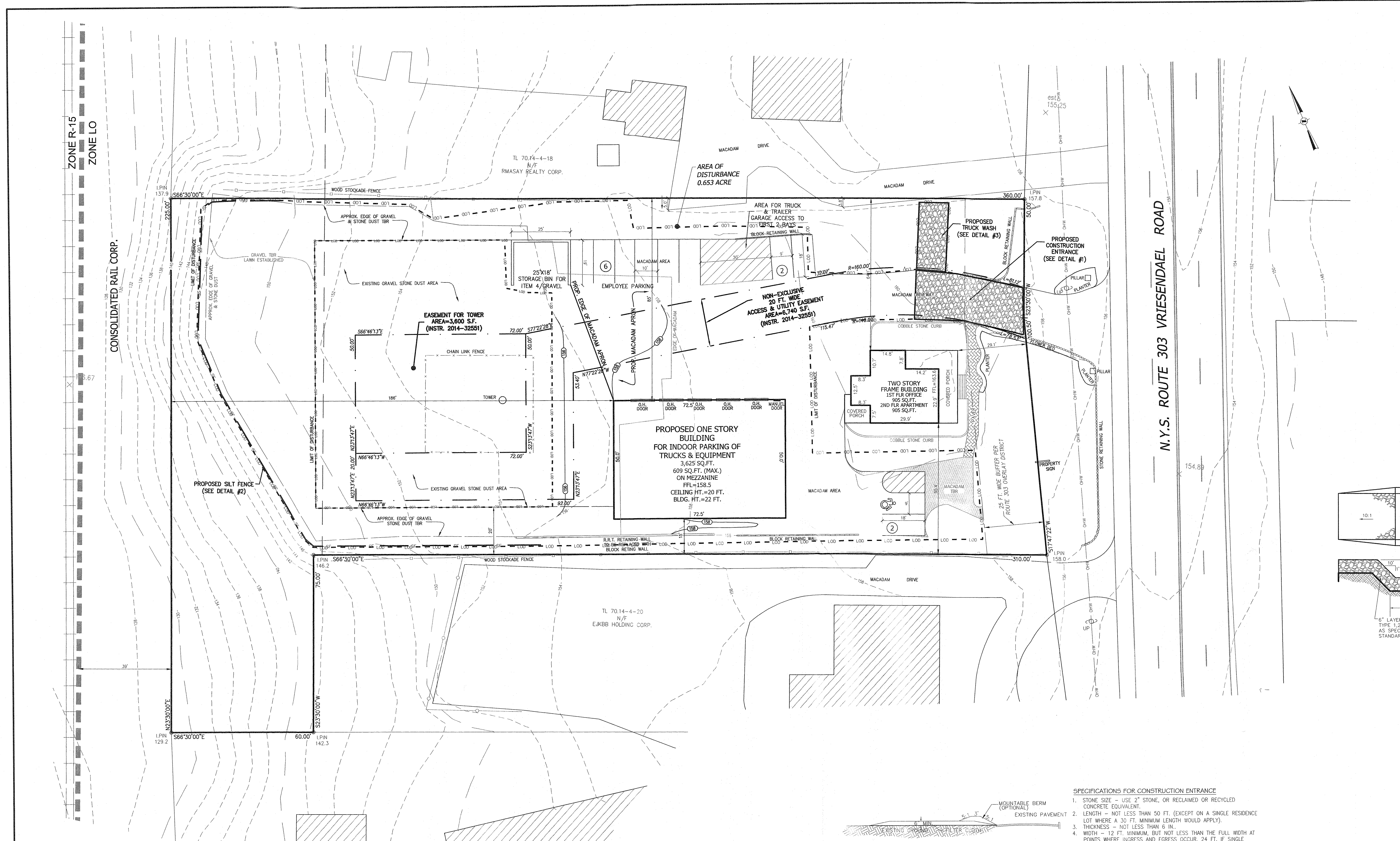
- 32' --- EXISTING 2' CONTOUR
- 30' --- EXISTING 10' CONTOUR
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- --- EXISTING FIRE HYDRANT
- G --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- --- EXISTING STORM DRAIN LINE
- SMH --- EXISTING SEWER MANHOLE
- S --- S --- EXISTING SEWER LINE
- + 300.0 --- EXISTING SPOT ELEVATION
- --- EXISTING STONEWALL
- --- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- --- EXISTING UTILITY POLE
- TC --- TOP OF CURB
- DC --- DROP OF CURB
- TW --- TOP OF WALL
- BW --- BOTTOM OF WALL

THE EDUCATION LAW OF THE STATE OF NEW YORK PREVENTS ANY PERSON FROM SERVING AS AN ENGINEER OR SURVEYOR UNLESS HE OR SHE IS A LICENSED PROFESSIONAL ENGINEER OR SURVEYOR UNDER THE PROVISIONS OF THE EDUCATION LAW OF THE STATE OF NEW YORK AND THE REGULATIONS OF THE BOARD OF REGENTS OF THE STATE OF NEW YORK. THE PROFESSIONAL ENGINEER OR SURVEYOR IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING OR FOR ANY CONSEQUENCES THAT MAY RESULT THEREFROM.

STATE OF NEW YORK
JOHN R. ATZL
N.Y.S. P.E. LIC. NO. 60228

STATE OF NEW YORK
RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 69066

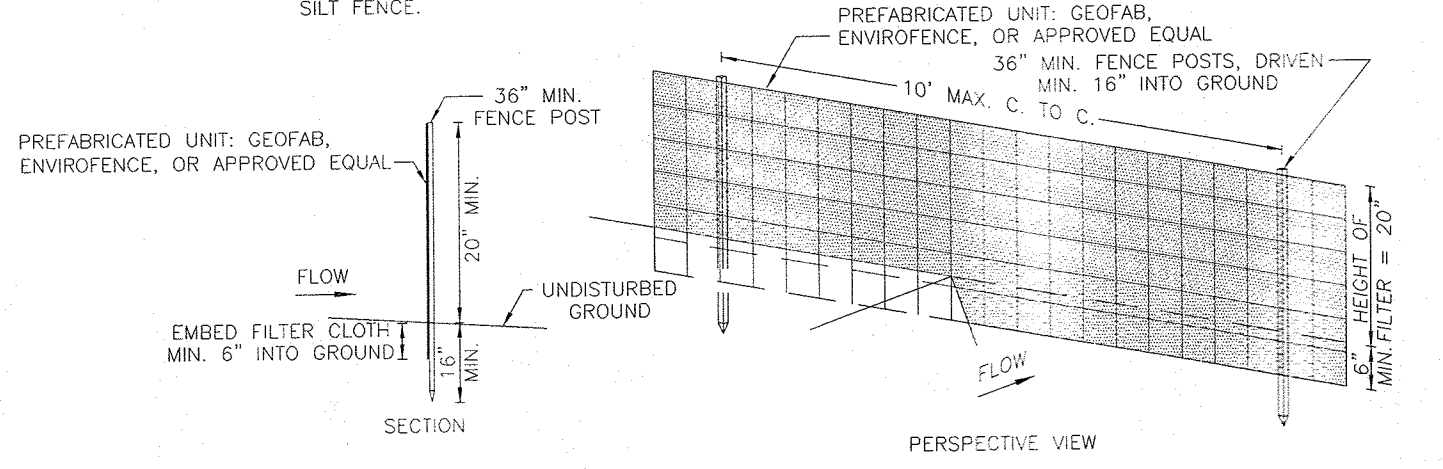
1	06-02-22	REV. PROPOSED LAYOUT
REVISION	DATE	DESCRIPTION
 ATZL, NASHER & ZIGLER P.C. ENGINEERS - SURVEYORS - PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4694 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.ANZNY.com		
PROJECT:		
K & P PAVING CORP.		
TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK		
TITLE:		
GRADING PLAN		
DRAWN BY: LF		CHECKED BY: JRA
DATE: MAY 10, 2021		SCALE: 1 IN. = 20 FT.
PROJECT NO:		DRAWING NO:
4861		3



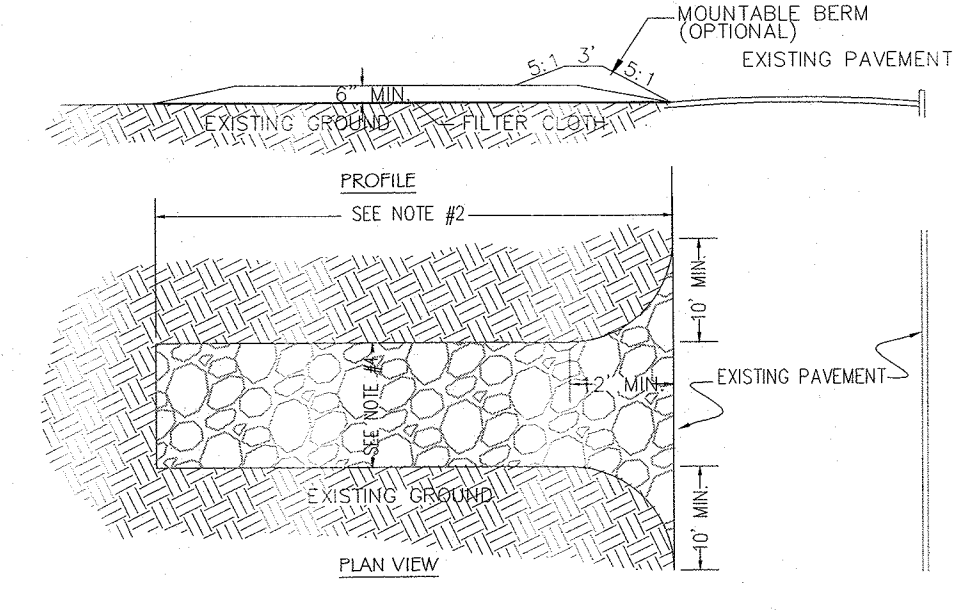
DETAIL #3 TRUCK WASH
N.T.S.

CONSTRUCTION NOTES FOR PRE FABRICATED SILT FENCE

1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
2. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE.



DETAIL #2 SILT FENCE
N.T.S.



DETAIL #1 CONSTRUCTION ENTRANCE
N.T.S.

SPECIFICATIONS FOR CONSTRUCTION ENTRANCE

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FT. (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FT. MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN 6 IN.
4. WIDTH - 12 FT. MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR. 24 FT. IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACEMENT OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

NOTE:
CONTRACTOR(S) MAY CHOOSE TO UTILIZE THE EXISTING DRIVEWAY OFF ROUTE 303 AND NOT TO INSTALL THE STONE CONSTRUCTION ENTRANCE AS LONG AS THE DRIVEWAY ENTRANCE IS SWEEPED AND VACUUMED CLEAN BEFORE THE END TO A WORKING DAY.

LEGEND

- 30' --- EXISTING 2' CONTOUR
- 10' --- EXISTING 10' CONTOUR
- W --- EXISTING WATERLINE
- --- EXISTING FIRE HYDRANT
- G --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- --- EXISTING STORM DRAIN LINE
- SMH --- EXISTING SEWER MANHOLE
- S --- EXISTING SEWER LINE
- --- EXISTING SPOT ELEVATION
- --- EXISTING STONEWALL
- --- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- UP --- EXISTING UTILITY POLE
- TC --- TOP OF CURB
- DC --- DROP OF CURB
- TW --- TOP OF WALL
- BW --- BOTTOM OF WALL

REVISION	DATE	REV. PROPOSED LAYOUT	DESCRIPTION
1	06-02-22		

AN&Z
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PROJECT:
K & P PAVING CORP.

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

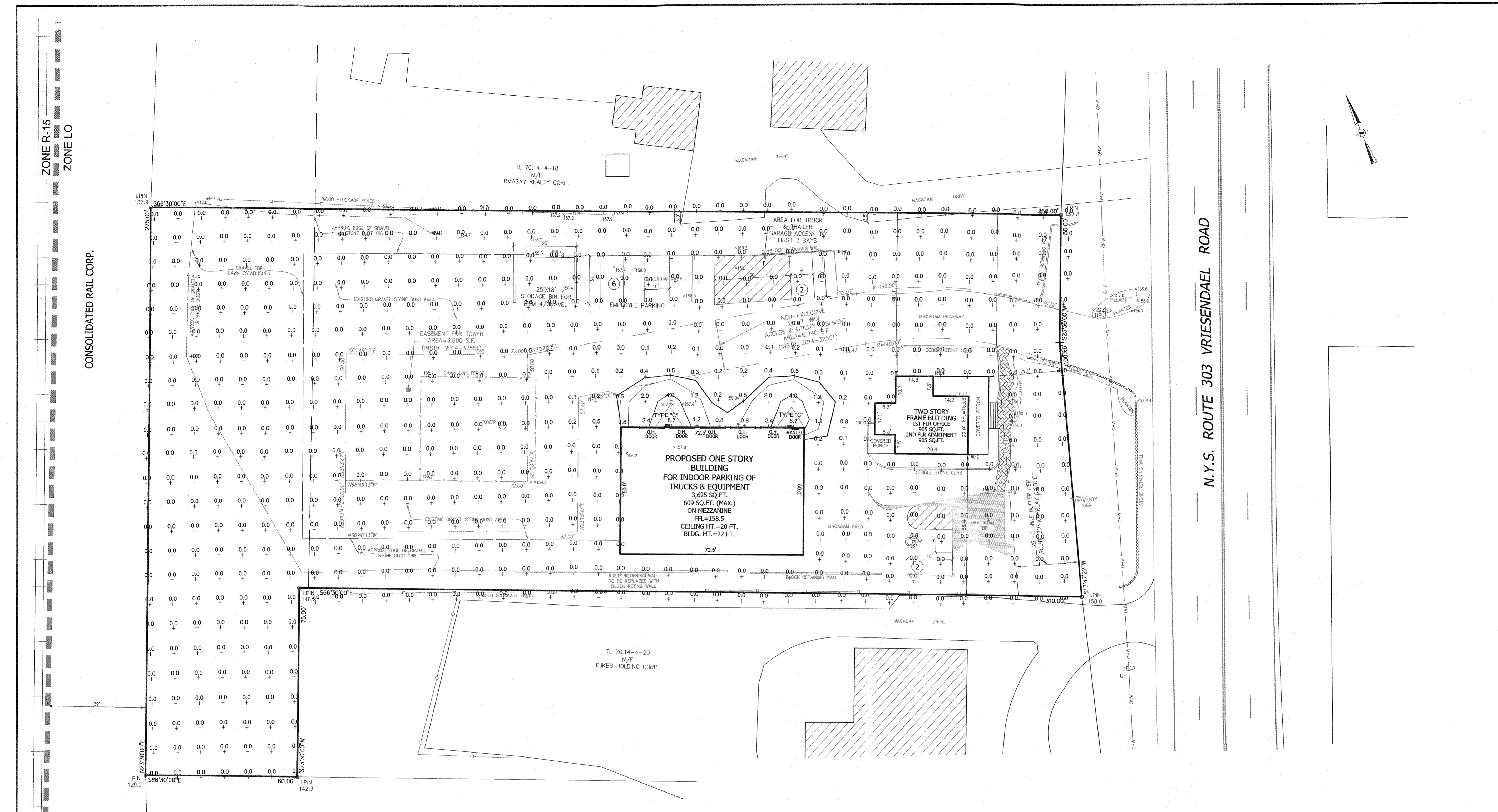
TITLE:
EROSION & SEDIMENT CONTROL PLAN

DRAWN BY: LF	CHECKED BY: JRA
DATE: MAY 10, 2021	SCALE: 1 IN. = 20 FT.
PROJECT NO: 4861	DRAWING NO: 4

THE EDUCATION LAW OF THE STATE OF NEW YORK PRESCRIBES THAT ANY PERSON ALLEGING VIOLATION OF THESE STATUTES AND/OR THE REGULATIONS THEREUNDER, SHALL BE SUBJECT TO THE JURISDICTION OF A JUDICIAL OFFICIAL. THE PROFESSIONAL ENGINEER MUST SIGN, SEAL AND STAMP THE FULL TEXT OF THE ALTERATION OR THE DRAWING AND/OR THE SPECIFICATIONS AND/OR THE ADDITIONAL GENERAL INSTRUCTIONS, THEIR SUCCESSORS AND/OR ASSAULT OR SUCCESSIONS.

STATE OF NEW YORK
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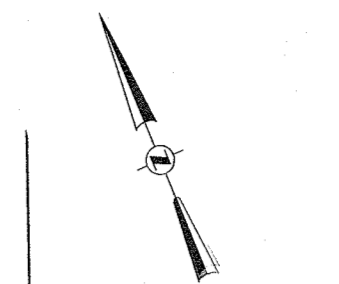
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RYAN A. NASHER, P.E.
N.Y.S. P.E. LIC. NO. 89066



CONSOLIDATED RAIL CORP.

N.Y.S. ROUTE 303 VRIESEDAEL ROAD

ZONE R-15
ZONE LO

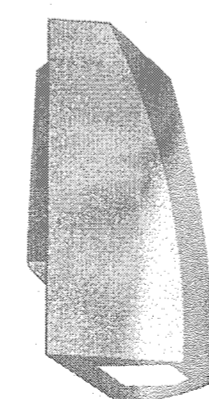


LEGEND

- 30' --- EXISTING 2' CONTOUR
- 10' --- EXISTING 10' CONTOUR
- W --- EXISTING WATERLINE
- EXISTING FIRE HYDRANT
- G --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- EXISTING STORM DRAIN LINE
- SMH --- EXISTING SEWER MANHOLE
- S --- EXISTING SEWER LINE
- EXISTING SPOT ELEVATION
- EXISTING STONEWALL
- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- TC --- TOP OF CURB
- DC --- DROP OF CURB
- TW --- TOP OF WALL
- BW --- BOTTOM OF WALL



CONTACT INFORMATION:
 DAMIN SALES (732) 985-8866
 RAB LIGHTING (201) 931-8062



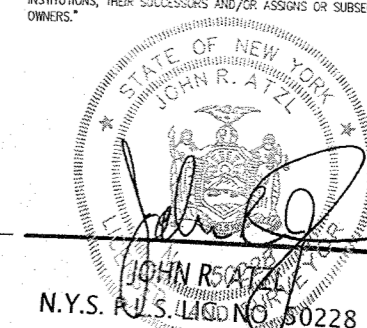
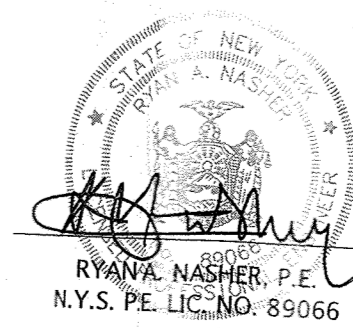
12, 18 AND 28 WATT SLIM WALL MOUNT PACKS ARE ULTRA EFFICIENT AND DELIVER IMPRESSIVE LIGHT DISTRIBUTION WITH A COMPACT LOW-PROFILE DESIGN THAT'S SUPER EASY TO INSTALL AS A DOWNLIGHT OR UPLIGHT.

COLOR: BRONZE WEIGHT: 4.5 LBS

SLIM12Y WALL MOUNT DETAIL

N.T.S.

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	BUG Rating
■	2	SLIM12Y	SINGLE	N.A.	1.000	Wall Mount	B1-U0-G0



REVISION	DATE	DESCRIPTION
1	06-02-22	REV. PROPOSED LAYOUT

AN&Z
ATZL, NASHER & ZIGLER P.C.
 ENGINEERS - SURVEYORS - PLANNERS
 232 North Main Street
 New City, New York 10956
 Tel: (845) 634-4894
 Fax: (845) 634-5543
 E-mail: info@anzny.com
 Web: www.ANZNY.com

PROJECT:
K & P PAVING CORP.

TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

LIGHTING PLAN

DRAWN BY: LF	CHECKED BY: JRA
DATE: MAY 10, 2021	SCALE: 1 IN. = 20 FT.
PROJECT NO:	DRAWING NO:

4861

5

SURVEYOR:

K & P PAVING
568 ROUTE 303
BLAUVELT, NY 10913

DATE: NOVEMBER 30, 2021
DRAWN BY: EER
JOB NO: 211130
SCALE: 1" = 10'-0"
FILENAME: 2021_1130 K&P Paving

REVISIONS:

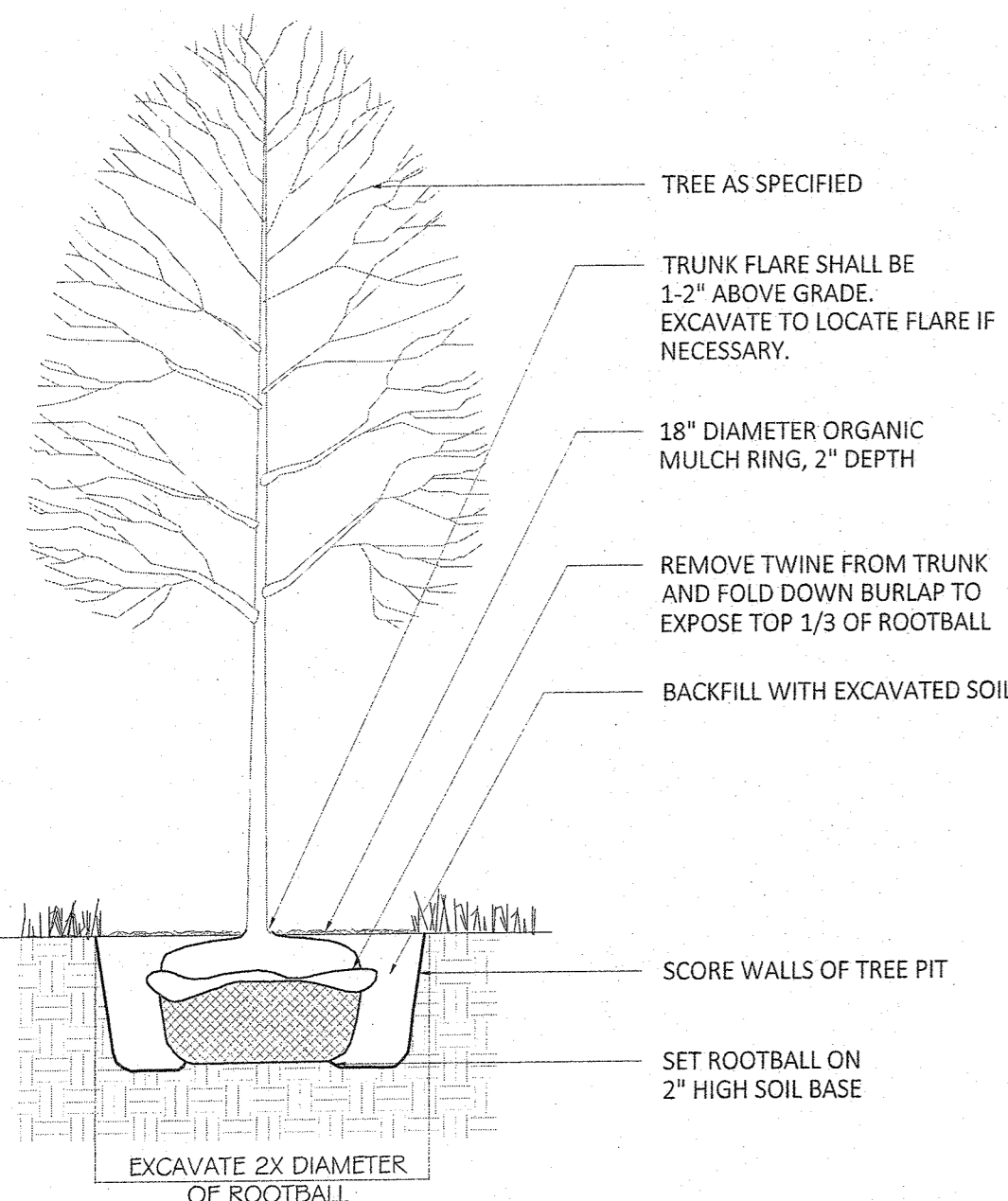
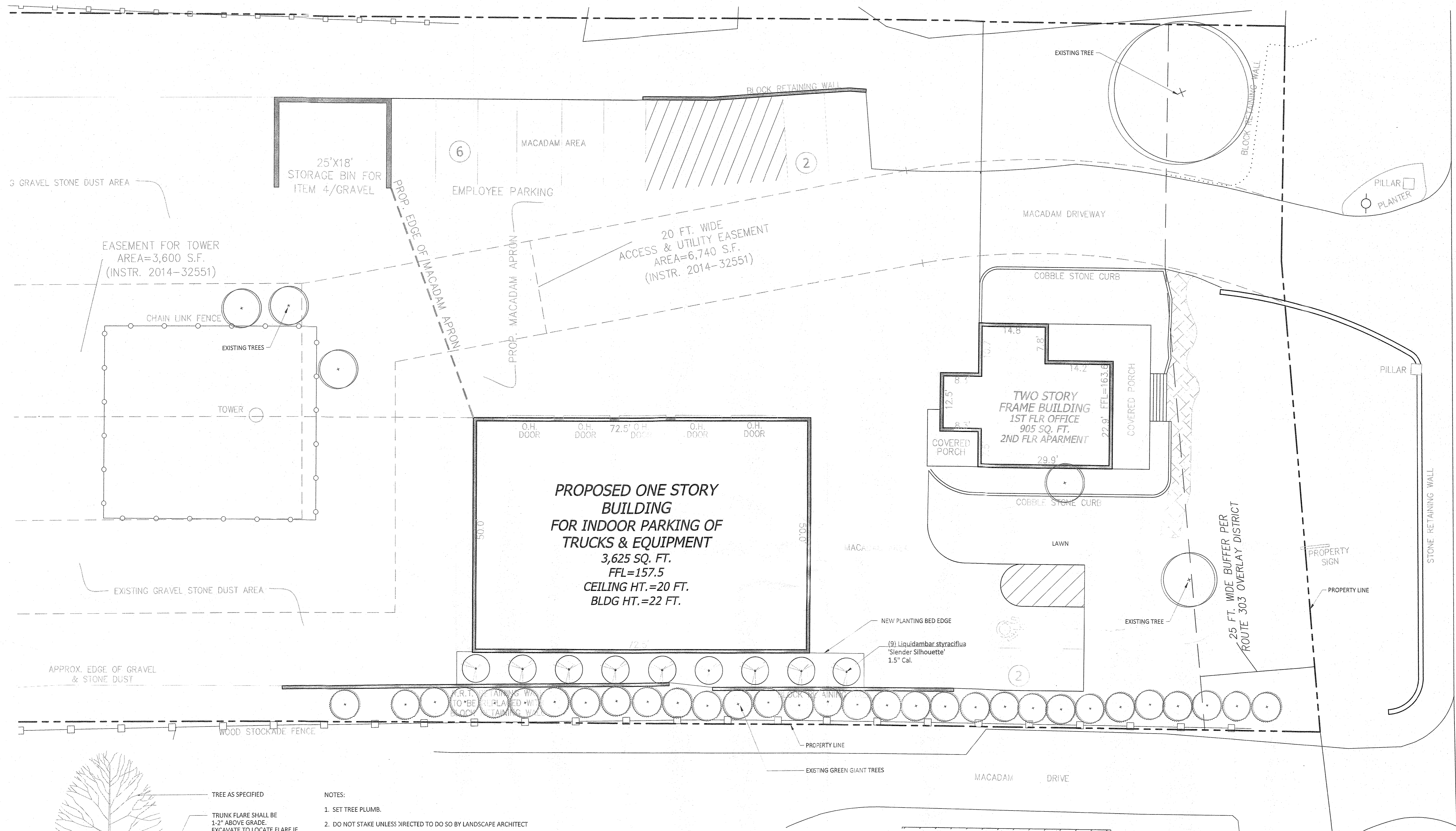
Rlythe M Yost ASLA | Registered Landscape Architect

PLANTING PLAN

SHEET NO.

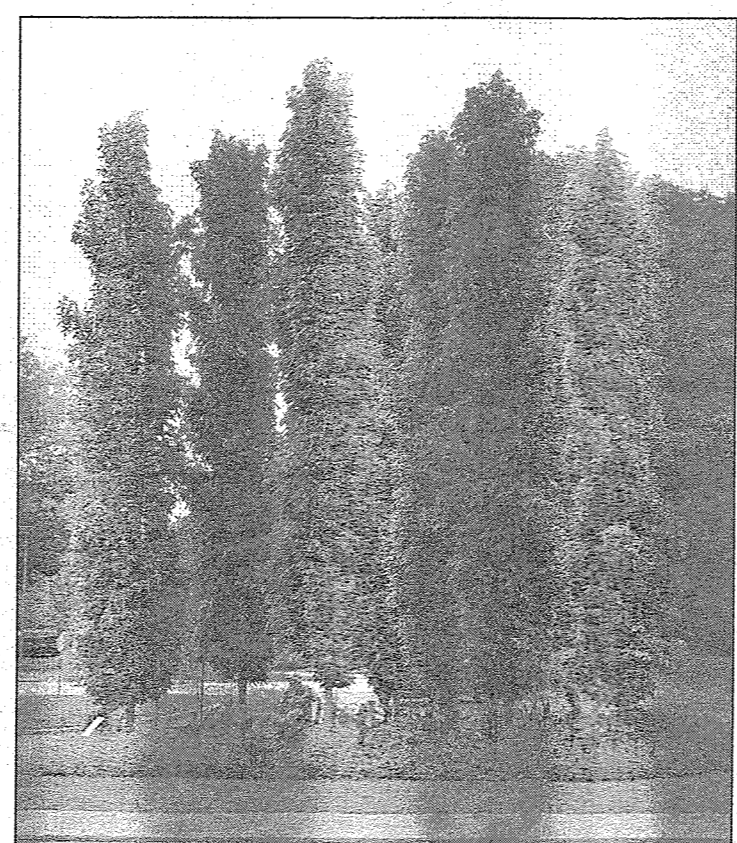
L-701

SHEET: 1 of 1



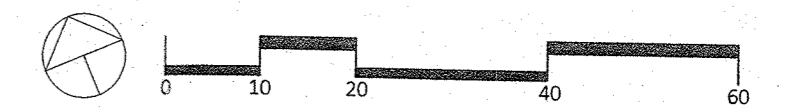
NOTES:

1. SET TREE PLUMB.
2. DO NOT STAKE UNLESS DIRECTED TO DO SO BY LANDSCAPE ARCHITECT
3. REMOVE COMPLETELY ANY NON-BIODEGRADABLE MATERIALS BINDING THE ROOTBALL.
4. REMOVE WIRE BASKET COMPLETELY IF ROOTBALL WILL BARE. OTHERWISE, CLIP AND PEEL BACK WIREBASKET AT LEAST ONE THIRD OF THE WAY FROM THE TOP OF THE ROOTBALL.
5. SATURATE SOIL WITH SIX (6) HOURS OF PLANTING AND WATER AS NECESSARY UNTIL IRRIGATION IS INSTALLED.
6. DO NOT ADD ANY SOIL AMENDMENTS OTHER THAN COMPOST UNLESS DIRECTED TO BY LANDSCAPE ARCHITECT.
7. DO NOT ADD ANY SOIL OR MULCH AGAINST TRUNK OF TREE. IF ROOT FLARE IS NOT EXPOSED, REMOVE SOIL AND EXPOSE.



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	9	Liquidambar styraciflua 'Slender Silhouette'	Slender Silhouette Sweet Gum	1.5" Cal.	B&B



TO SCALE WHEN PLOTTED ON 24x36
PROGRESS SET NOT FOR CONSTRUCTION