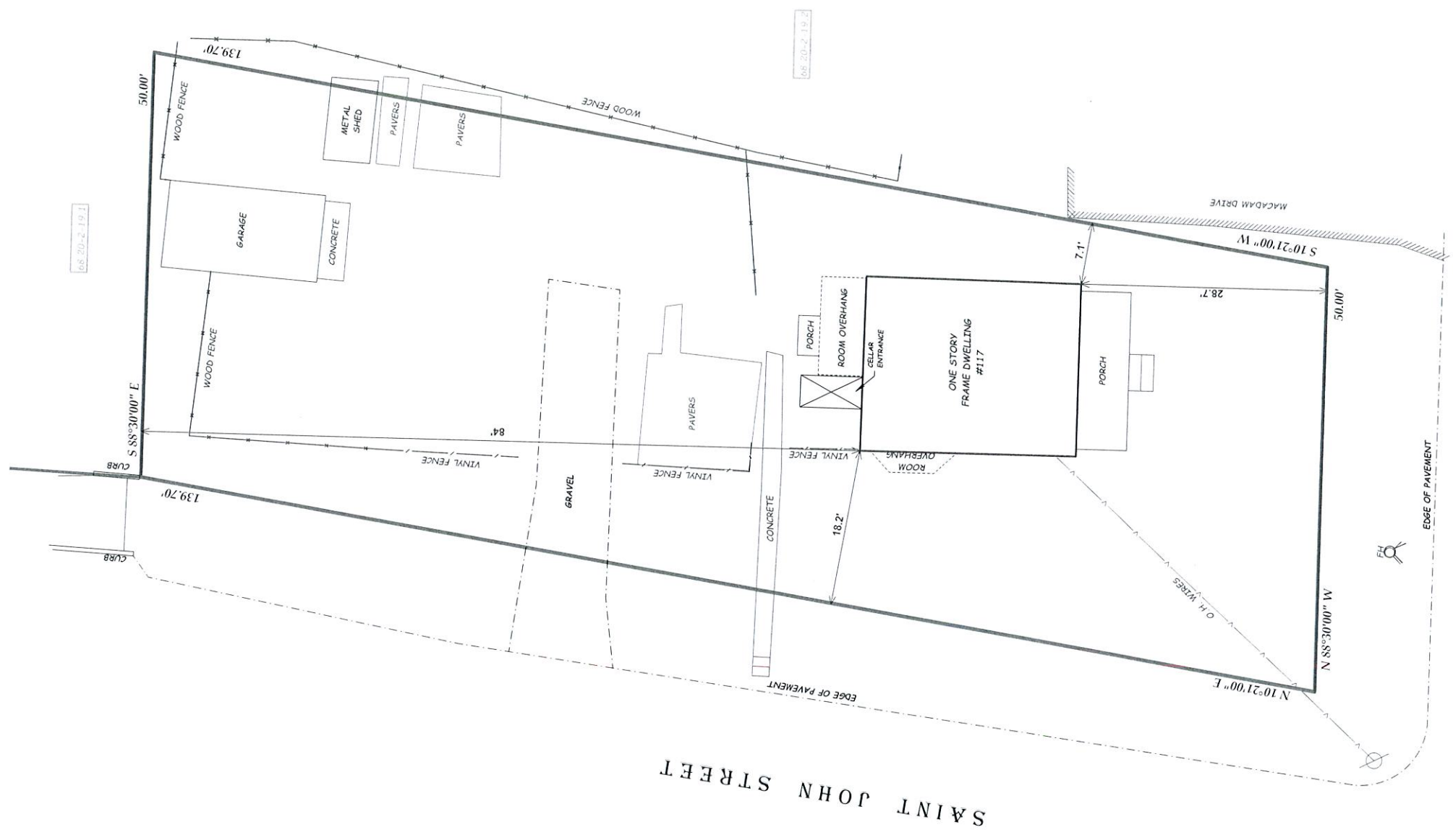


N
W E S



PROSPECT PLACE

LOT AREA = 6,901.84 SQUARE FEET
 JULY 27, 2021

SURVEY FOR
DALTON

TOWN OF ORANGETOWN, ROCKLAND COUNTY
 PEARL RIVER, NEW YORK
 JULY 27, 2021 SCALE: 1" = 10'

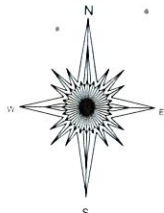
ANTHONY R. CELENTANO P.L.S.
 37 ROSMAN ROAD
 THIELLS, N.Y. 10984
 845 429 5290 FAX 429 5974

Anthony R. Celentano LIC#50633



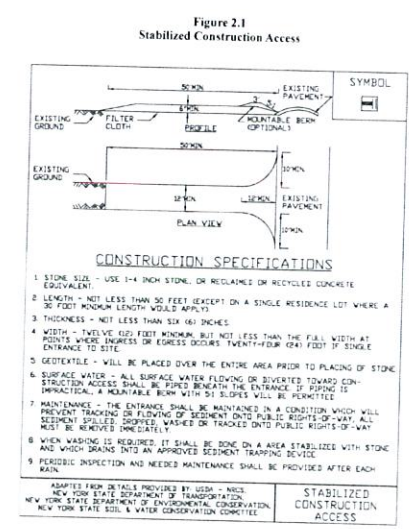
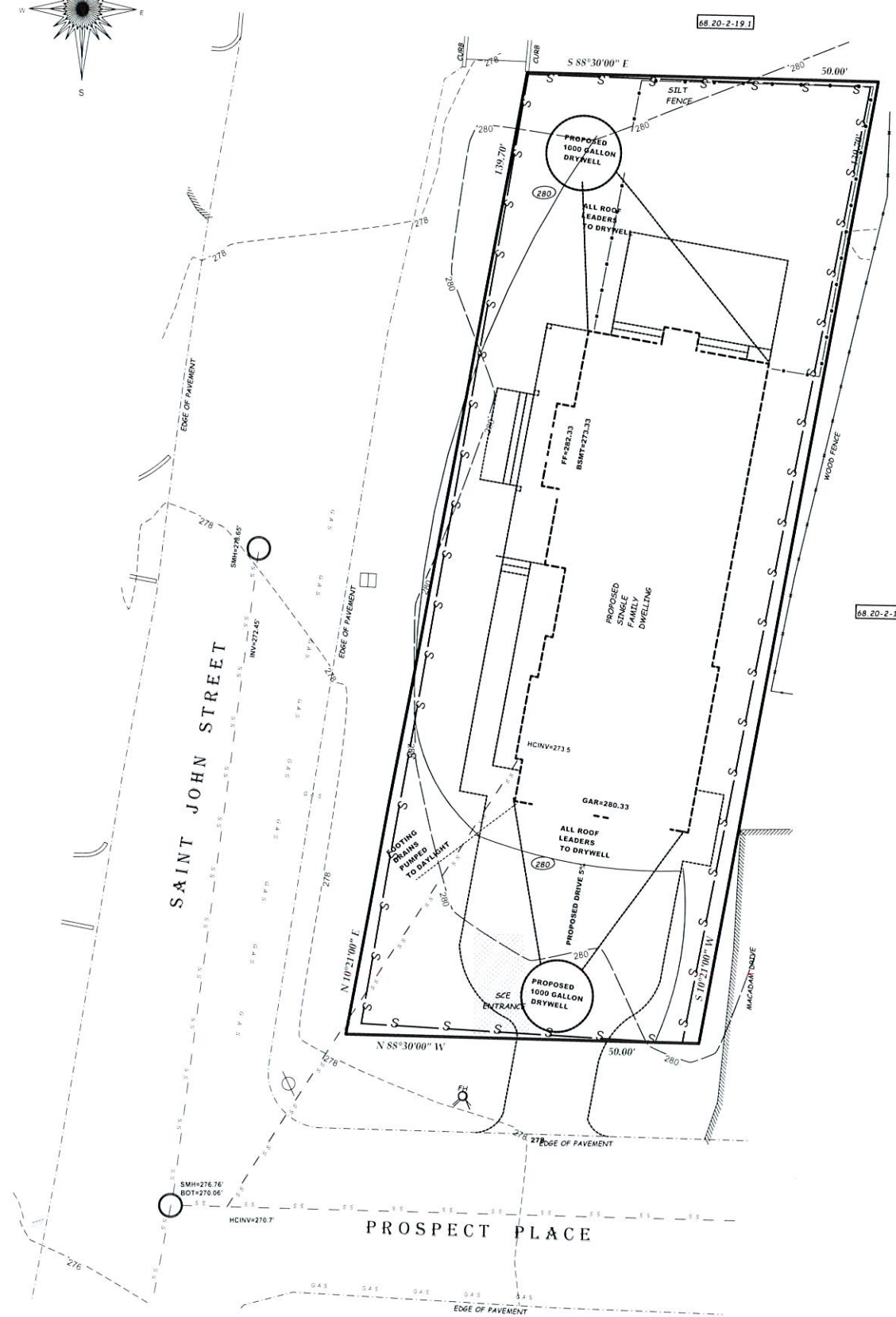
CERTIFIED TO: CHRISTOPHER DALTON
 ESTATE OF GEORGE GROSU
 STEWART TITLE INSURANCE COMPANY

NOTE:
 THIS IS A VULNERATION OF THE STATE EDUCATION LAW
 FOR ANY PERSON UNLESS ACTING UNDER THE
 DIRECTION OF A LICENSED AND SUPERVISOR TO
 "ONLY COPIES OF THIS SURVEY MARKED WITH THE
 LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL
 EMBOSSED OR IMPRESSED SEAL ARE THE PRODUCT OF THE
 PROFESSION AND SHOULD BE USED FOR THE PARTIES AND
 PURPOSES INDICATED HEREIN. ANY EXTENSION OF
 THE USE BEYOND THE PURPOSES AGREED TO
 WITHIN THE SCOPE OF THE ENGAGEMENT."
 THIS SURVEY MAP IS SUBJECT TO AN ACCURATE
 ABSTRACT OF TITLE AND SURVEY ON THE
 SURFACE OF THE GROUND THAT ARE
 NOT VISIBLE ARE NOT SHOWN

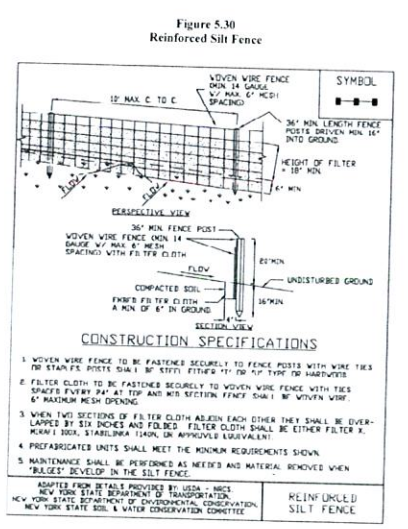


68.20-2-19.1

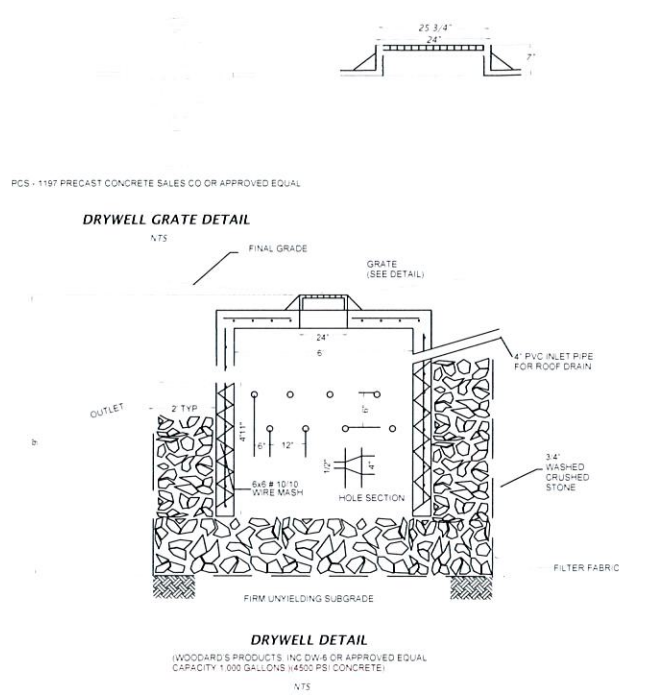
68.20-2-19.2



New York State Standards and Specifications For Erosion and Sediment Control Page 2-31 July 2016



New York State Standards and Specifications For Erosion and Sediment Control Page 5-51 July 2016



LOT AREA = 6,901.84 SQUARE FEET
TAX MAP DESIGNATION: 68.20-2-37

PROPOSED DRAINAGE PLAN FOR DALTON

TOWN OF ORANGETOWN ROCKLAND COUNTY
PEARL RIVER NEW YORK
MAY 16, 2022 SCALE: 1" = 10'

ANTHONY R. CELENTANO P.E.
31 ROSMAN ROAD
THIELLS, NY 10984
845-429-5290 FAX 429-5974

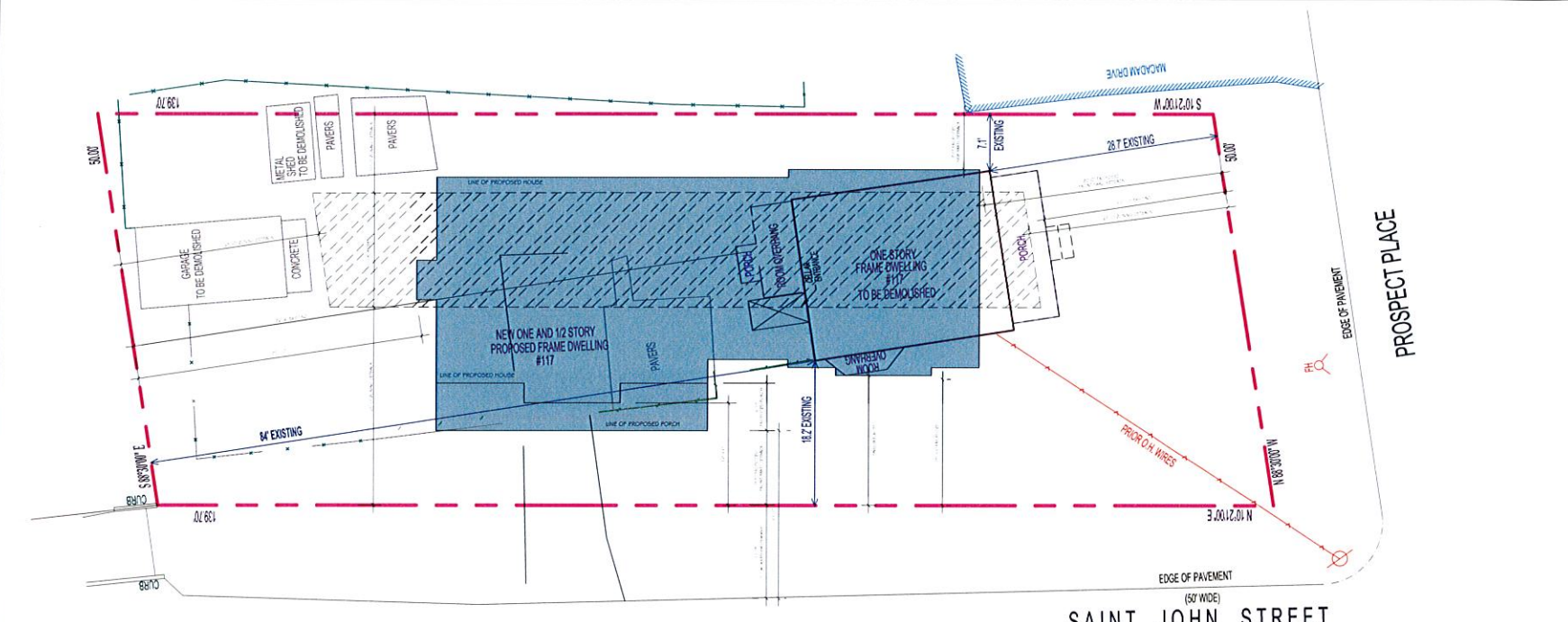
Anthony R. Celentano LIC# 76244



LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS SHEET	DESCRIPTION
A-0	SITE LOCATION PLAN, NOTES, LIST OF DRAWINGS
A-1	FIRST FLOOR / SITE PLAN, SECOND FLOOR PLAN
A-2	ELEVATIONS
A-3	ELEVATIONS

SITE LOCATION PLAN AND BULK TABLE



EXISTING SITE LOCATION PLAN
 THIS SITE PLAN IS BASED ON A SURVEY PROVIDED BY OWNER BY ANTHONY CELENTANO PLS DATED 7/2/12. THE DESIGNER SHALL ASSUME NO RESPONSIBILITY FOR ACCURACY OF ORIGINAL SURVEY. REFER TO ORIGINAL SURVEY FOR ALL ADDITIONAL INFORMATION.
 SCALE 1"=10'-0"

SITE DATA ZONING BULK TABLE

117 PROSPECT PLACE - PEARL RIVER NY 10965
 TAX MAP - SECTION 68.20, BLOCK 2, LOT 37- RG ZONE - Group Q
 EXISTING NON CONFORMING CORNER LOT - (5.112) AND 5.21 (d) and (e)

EXISTING	PROPOSED	REMARKS
LOT REQUIRED 10,000 S.F.	EXISTING LOT AREA= 6,970 +/- SQ. FT. (.16 acres)	EXISTING LOT AREA= 6,970 +/- SQ. FT. (.16 acres)
FAR - .30 (30%)	EXISTING FAR - 1,419 / 6,970 = .2035 (20.35%)	PROPOSED FAR - 3,303 / 6,970 = .4739 (47.39%)
FRONT YARD SET BACK: 25'-0"	22.83' PROSPECT / 16.33' JOHN STREET	9'-5" (Variance John Street) and 30'-0" Prospect
SIDE YARD SET BACK: 10'-0"	7.1'	7.0' (Variance 3' - (5.2 d - 10'))
COMBINED SIDE YARD SETBACK - 30'-0" REQUIRED	N/A - CORNER LOT (5.112)	N/A - CORNER LOT (5.112)
REAR YARD SET BACK: 25'-0"	76.33'	35'-10"
LOT WIDTH: 75'-0"	50'-0"	50'-0"
STREET FRONTAGE: 50'-0"	50'-0"	50'-0"
HEIGHT 1'-0" PER 1'-4"	MAX 20'-0" 5.21 (e)	23'-1" (Variance 3'-1")

EXISTING F.A.R. DATA

EXISTING FIRST FLOOR	718 S.F.
EXISTING SECOND FLOOR	514 S.F.
EXISTING GARAGE	187 S.F.
EXISTING TOTAL S.F.	1,419 S.F.
EXISTING FAR - 1,419 / 6,970 = .2035 (20.35%)	

PROPOSED F.A.R. DATA

FIRST FLOOR	1,156 S.F.
SECOND FLOOR	1,363 S.F.
PROPOSED HOUSE S.F.	2,519 S.F.
GARAGE	592 S.F.
PORCH	192 S.F.
PROPOSED TOTAL S.F.	3,303 S.F.
PROPOSED FAR - 3,303 / 6,970 = .4739 (47.39%)	

IF A CONFORMING LOT
 PROPOSED FAR - 3,303 / 10,000 = .3303 (33.03%)
 WITHOUT A FRONT PORCH
 PROPOSED FAR - 3,111 / 10,000 = .3111 (31.11%)

GENERAL NOTE: (SEE SPECIFICATIONS)

- All work and materials shall conform to all local, county and New York State 2020 Residential Code and NYS Stretch Code.
- Contractor to consider all dimensions approximate pending field verification, prior to construction, consult architect as required.
- Contractor to furnish and provide all labor materials and equipment required to fully complete the job as shown on these documents. Except where specifically agreed on by owner, job shall be ready for occupancy in a good workmanship manner with all work done as shown or reasonable intended on documents. It shall include but not limited to:

A. Building permit	J. Gutters and leaders
B. Certificate of Insurance	K. Insulation
C. Demolition as required	L. Gypsum board and taping
D. Excavation	M. Painting and Finishing
E. Masonry	N. Trim work
F. Carpentry	O. Heating
G. Roofing and Flashing	P. Electrical
H. Siding	Q. Plumbing
I. Caulking/Sealant	
- Contractor shall furnish and install interior paint and exterior paint as specified.
- All framing lumber to be #2 Douglas Fir or better. All new work and materials unless otherwise specified shall match existing construction.
- All materials shall be installed in strict accordance with manufacturers specifications.
- All windows are to be "ANDERSEN Windows" as shown on the drawings. Pricing to include grilles and screens. Contractor to also include interior extension jambs for 4/6" stud walls additional extensions required shall be field installed and casing to match existing house trim. Contractor to also include hand lift hardware. Contractor to consult owner for window finish.
- Heating contractor shall provide a complete system that meets energy star requirements and NYS State Codes.
- Electrical contractor shall provide a complete system as per plans that meets energy star requirements and NYS State Codes. See spec and electrical allowance plans.
- Plumbing contractor shall provide a complete system and connect to existing system.
- See specifications for additional notes & information
- Energy Code Compliance shall be by REScheck submission.

I hereby state to the best of my professional knowledge and abilities that the proposed building design represented in these documents is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the requirements of the Current New York State Energy Conservation Construction Code and adopted stretch code. The signature and seal on such documents attests to the above statement.

KARL ACKERMANN, AIA

NYS ENERGY CODE AND STRETCH ADOPTED CODE COMPLIANCE - SEE RES CHECK FOR COMPLIANCE REPORT - climate zone 3

ENVELOPE COMPONENT	R VALUE REQUIRED	R VALUE PROVIDED
EXTERIOR WALL	R-21 or 20.5 or 13/10c	R-21 Batt and R6p
ROOF/CEILING	R-49	R-49
FLOOR	R-30	R-30
FOUNDATION WALL	R-15/19	NA
SLAB EDGE INSULATION	R-10/4'-0" down	NA
GLAZING		U-.27 Energy Star Compliant
SKYLIGHTS		U-.50
EXTERIOR DOORS		U-.27 Energy Star Compliant

HVAC EQUIPMENT: SHALL BE DESIGNED AND SPECIFIED BY H.V.A.C. CONTRACTOR AND MEET NYS BUILDING CODES AND STRETCH CODE

I hereby state to the best of my professional knowledge and abilities that the proposed building design represented in these documents is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the requirements of the Current New York State Energy Conservation Construction Code and adopted stretch code. The signature and seal on such documents attests to the above statement.

KARL ACKERMANN, AIA

It is a violation of the law for any person, while acting under the direction of a licensed architect, to alter an item in any way if an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal of the architect and shall be held liable for the alteration and the date of such alteration, and a specific description of the alteration.

Karl E. Ackermann, AIA Architect PLLC
 Architect
 159 East Central Avenue
 Pearl River New York 10965
 (845) 752-1932 karl@ackermann.net
 Residential & Commercial Architecture and Green Design
 New York & New Jersey Licensed Architect
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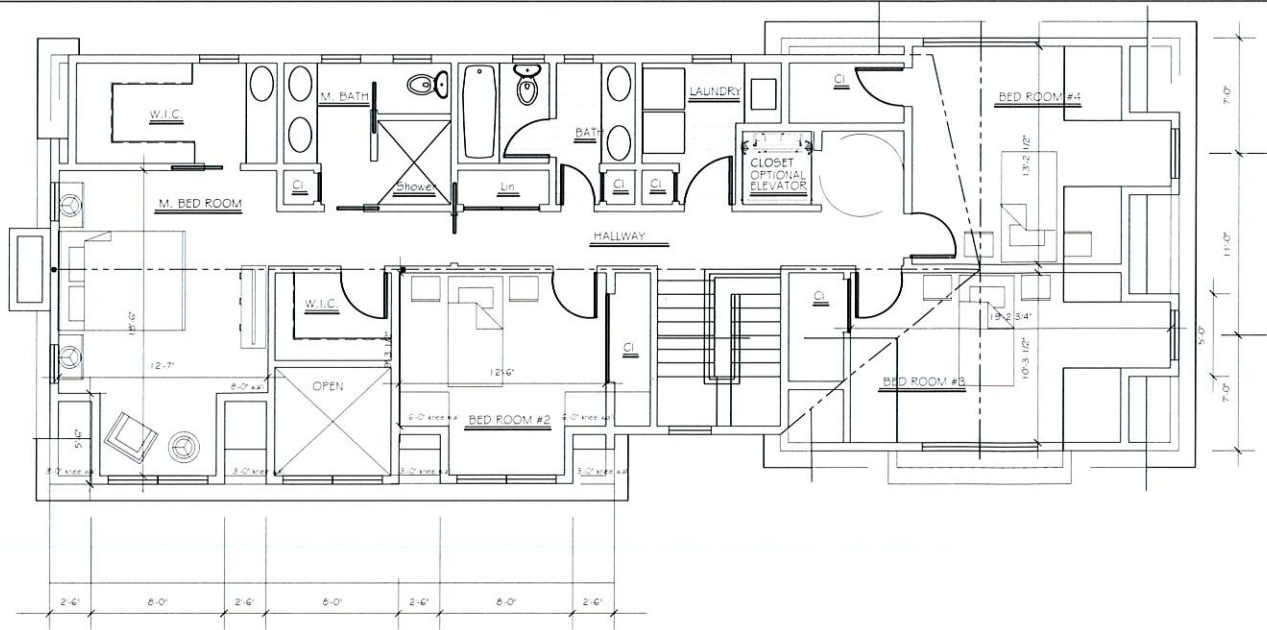


Proposed New Residence For Mr. Dalton / Bluehill Construction, Inc.
 117 Prospect Place, Pearl River New York 10965

Issue Date: 2/15/22

Revisions	
1	Permit - 2/15/22
2	Permit - 3/3/22 Revised FAR
3	ARB - 7/20/22
4	

Sheet No.
A-0



PROPOSED SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

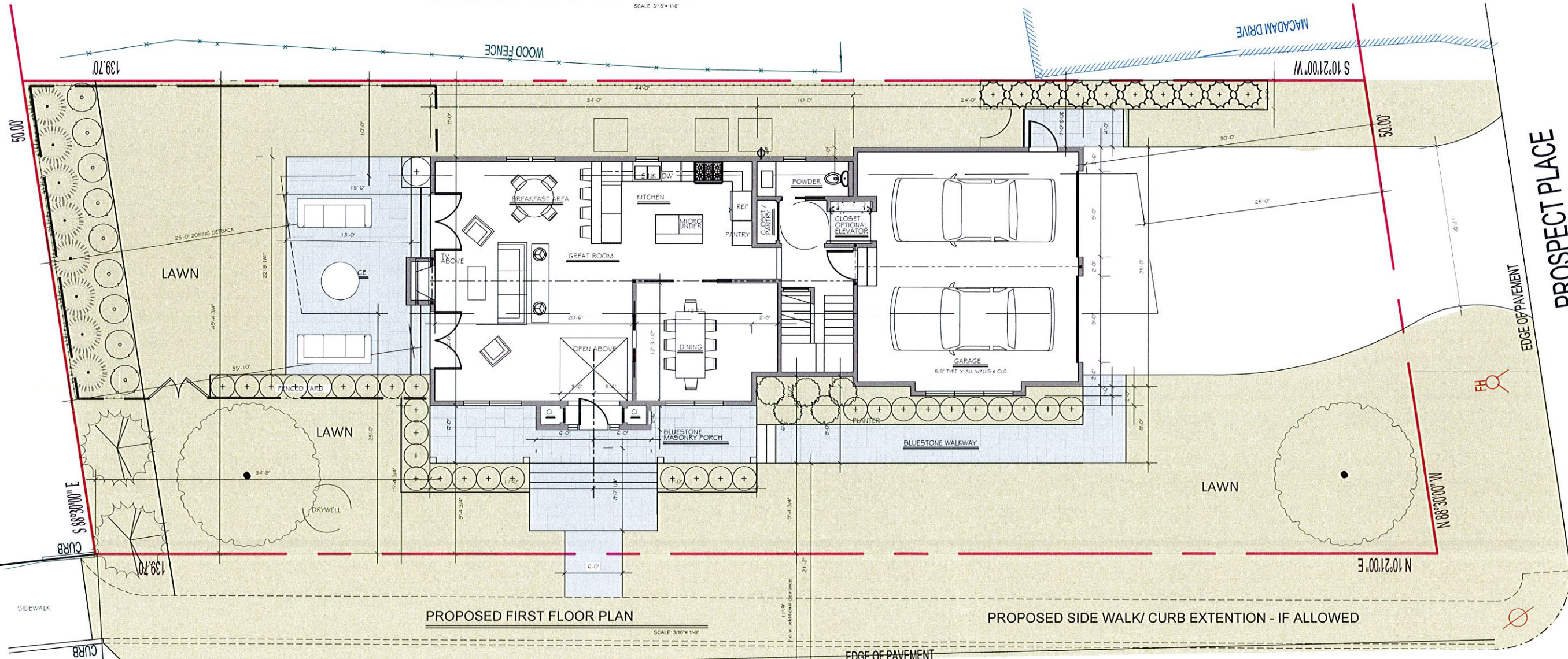


Canam LED 14" Tall LED Outdoor Wall Sconce
Model: LBL 167A 14WACBA
from the LED Collection

It is a violation of the law for any person, whether acting under the direction of a licensed architect, to alter items in any way. If an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

159 East Central Avenue
Pearl River, New York 10965
(845) 732-9722 karl@159central.net
Residential & Commercial Architecture and Green Design
New York & New Jersey Licensed Architect

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PROPOSED FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

PROPOSED SIDE WALK/ CURB EXTENSION - IF ALLOWED

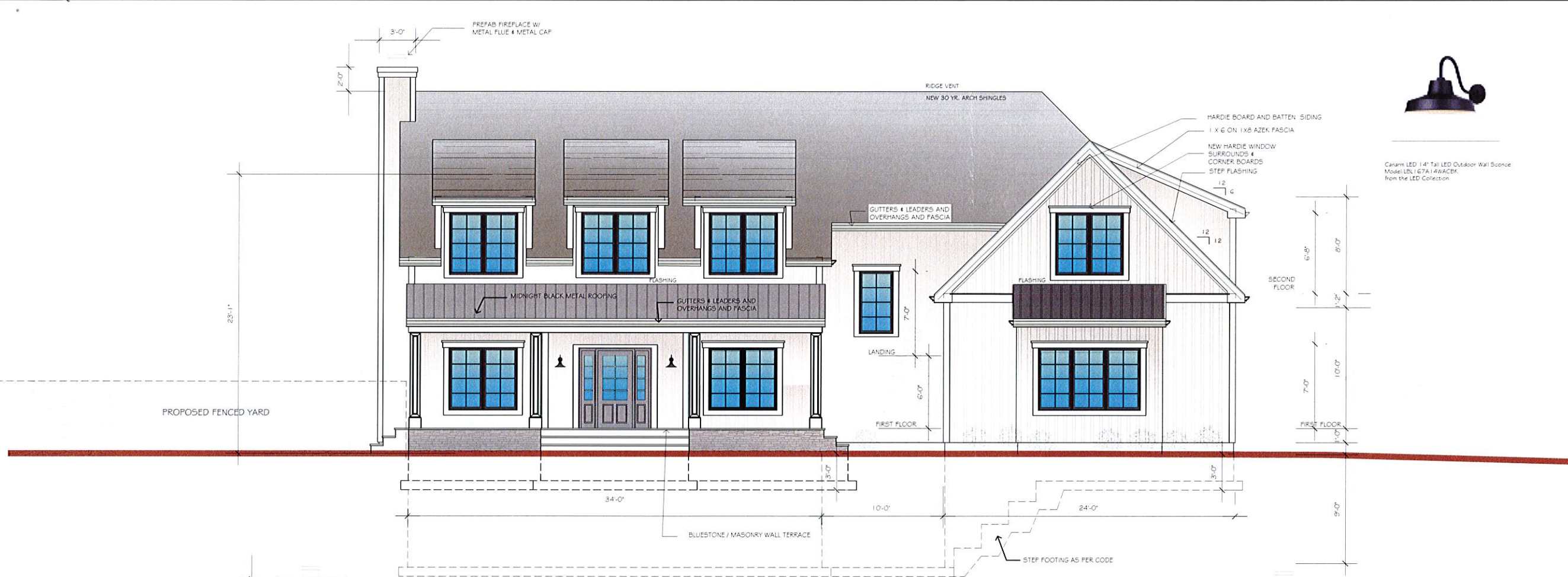
SAINT JOHN STREET



Proposed New
Residence For Mr. Dalton
Bluehill Construction, Inc.
117 Prospect Place, Pearl River New York 10965

Issue Date: 2/15/22	
Revisions	
1	Permit - 2/15/22
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3	ARB - 7/20/22
4	

Sheet No.
A-1

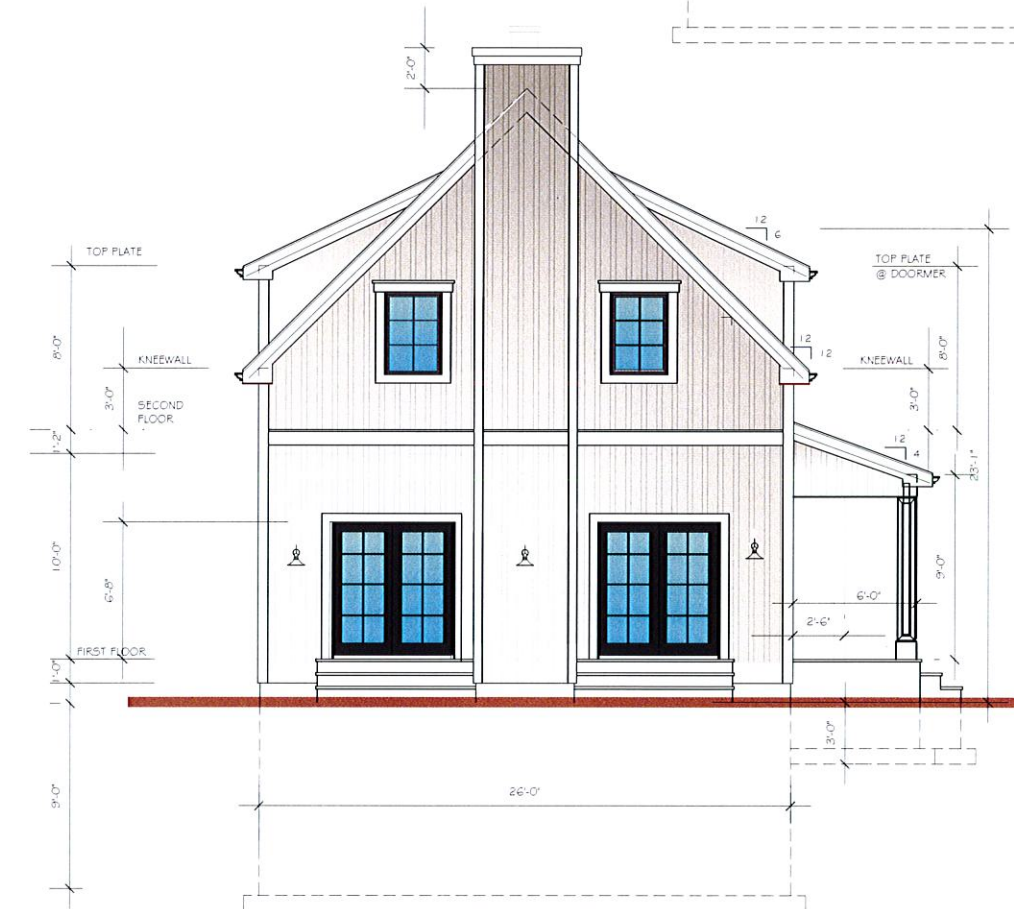


Canam LED 14" Tall LED Outdoor Wall Sconce
Model LBL147A14AACBK
from the LED Collection

It is a violation of the law for any person, without acting under the direction of a licensed architect, to alter an item in any way. If an item bearing the seal of an architect is altered, the altering architect shall file to his firm the seal alteration, the name of the person who altered the seal, the date of such alteration, and a specific description of the alteration.

PROPOSED - FRONT ELEVATION (WEST FACING)

SCALE: 1/4" = 1'-0"



PROPOSED - SIDE ELEVATION (NORTH)

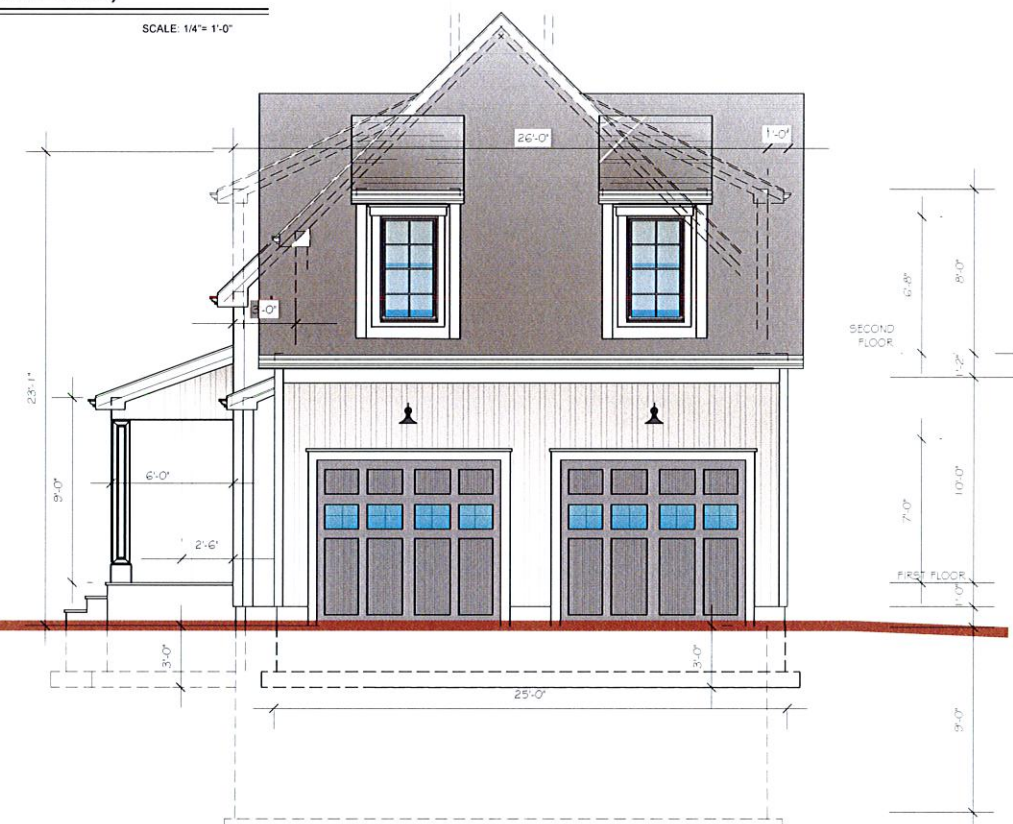
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH LEGEND:

EXTERIOR TRIM & SIDING COLORS
COLOR INDEX AS NOTED TYPICAL. ALL COLORS BASED ON SHERWIN WILLIAMS OR EQUAL. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION. ALL SURFACES TO BE PRIMED & PAINTED AS INDICATED.

MAIN BUILDING ELEMENTS

- TRIM & FASCIAE & COLUMNS - SHALL BE CEMENT BOARD - ARCTIC WHITE OR ALTERNATE WOOD PAINTED - EXTRA WHITE.
- SIDING BOARD AND BATTEN - SHALL BE CEMENT BOARD
- GLAZED STONE
OWENS CORNING - COUNTRY LEDGESTONE - BUCKS COUNTY CSV-368163
- WINDOWS & SLIDING DOORS
MARKWIN ELEVATE OR EQUAL
CASEMENT NARROW FRAME WINDOWS W/ DIVIDED LIGHTS
COLOR - EXTERIOR - EBONY
COLOR - INTERIOR - EBONY
- ROOFING
GAF - TIMBERLINE HDZ - CHARCOAL



PROPOSED - SIDE ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"



Karl E. Ackermann, AIA Architect PLLC
Architect
159 Elm Central Avenue
Pearl River, New Jersey 07655
(845) 732-5752 karl@159elmac.com
Residential & Commercial Architecture and Green Design
New York & New Jersey Licensed Architect
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Proposed New
Residence For Mr. Dalton /
Bluehill Construction, Inc.
117 Prospect Place, Pearl River New York 10965

Issue Date: 2/15/22

Revisions	
1	Permit - 2/15/22
2	Permit - 3/3/22 Revised FAR
3	ARB - 7/20/22
4	

Sheet No.
A-2



PROPOSED - FRONT ELEVATION - (S. John Street - looking east)

SCALE 1/8" = 1'-0"

PLA-2022-0001
 CONTRACTOR TO VERIFY ALL DETAILS
 FOR EXISTING, SEE ALL DOCUMENTS AND



PROPOSED - SIDE ELEVATION (Prospect Place - looking north)

SCALE 1/8" = 1'-0"

It is a violation of the law for any person, whether acting under the direction of a licensed architect, to alter, in any way, if an item bearing the seal of an architect is altered, the altering architect shall affix to his from the seal and the notation "altered by" followed by his signature and date of such alteration, and a specific description of the alteration.

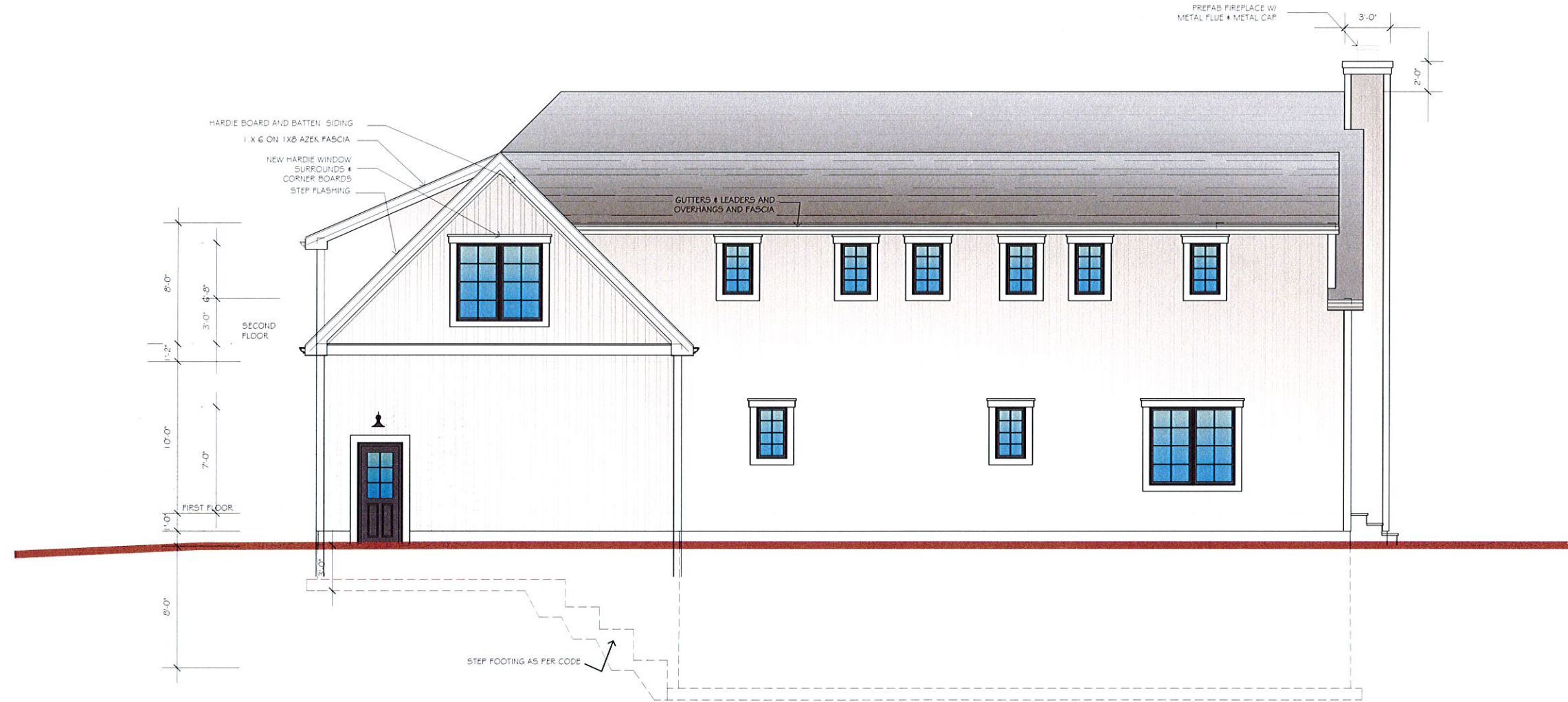


Karl E. Ackermann, AIA Architect PLLC
 Architect
 159 East Central Avenue
 Pearl River, New York 10965
 (845) 732-3722 karl@kiaarchitect.com
 Residential & Commercial Architecture and Green Design
 New York & New Jersey Licensed Architect
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Proposed New
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 Bluehill Construction, Inc.
 117 Prospect Place, Pearl River New York 10965

Issue Date: 2/15/22	
Revisions	
1	Permit - 2/15/22
2	Permit - 3/3/22 Revised FAR
3	ARB - 7/20/22
4	

Sheet No.
A-2A



PROPOSED - REAR ELEVATION (EAST FACING)

SCALE 1/4" = 1'-0"

It is a violation of the law for any person, whether acting under the direction of a licensed architect, to alter an item in any way, if an item bearing the seal of an architect is altered, the altering architect shall affix to his item the seal of the altering architect, the date of such alteration, and a specific description of the alteration.

159 East Central Avenue
Pearl River, New York 10965
(845) 732-5732 karl@karl-ackermann.net
Residential & Commercial Architecture and Green Design
New York & New Jersey Licensed Architect

Karl E. Ackermann, AIA Architect PLLC
Architect

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Proposed New
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Bluehill Construction, Inc.
117 Prospect Place, Pearl River New York 10965

Issue Date: 2/15/22	
Revisions	
1	Permit - 2/15/22
2	Permit - 3/3/22 Revised FAR
3	ARB - 7/20/22
4	

Sheet No.

A-3

SURVEYOR:

117 PROSPECT PL

PEARL RIVER, NY, 10965
CLIENT CITY, STATE, ZIP

DATE: APRIL 22, 2022
DRAWN BY: AVM
JOB NO: 042222
SCALE: 1"=10'
FILENAME: 2022_0425 Prospect

REVISIONS:

By the M Yost ASLA | Registered Landscape Architect

PLANTING PLAN

SHEET NO.

L-701

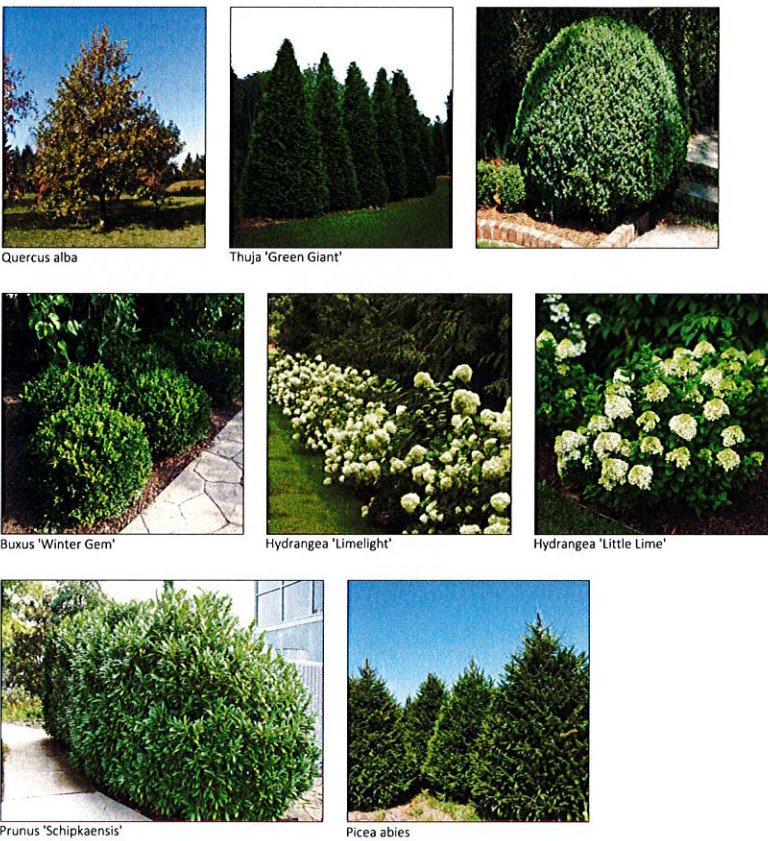
SHEET: 1 of 1

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	2	Picea abies	Norway Spruce	8-10'
	2	Quercus alba	White Oak	4" Cal.
	8	Thuja plicata 'Green Giant'	Western Red Cedar	7-8'

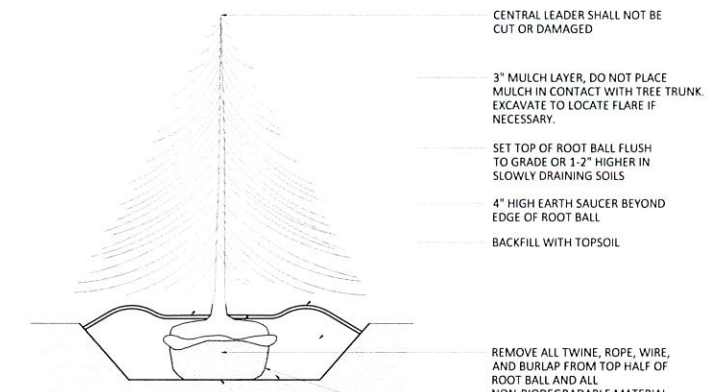
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	31	Buxus microphylla 'Winter Gem'	Globe Winter Gem Boxwood	24-30"
	1	Buxus sempervirens	American Boxwood	30-36"
	9	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	5 Gal
	5	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	5 Gal
	10	Prunus laurocerasus 'Schipkaensis'	Schipka English Laurel	5-6'

PLANTING IMAGES



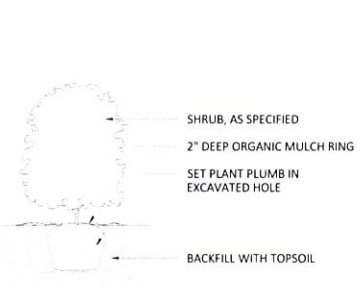
PLANTING NOTES

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LA PRIOR TO INSTALLATION.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
4. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISIONS SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
6. IN SO FAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT, IRRIGATE & CARE FOR STOCK NOT PLANTED.
7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1980) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
8. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
9. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
11. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
12. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
13. ALL INJURED ROOTS SHALL BE PRUNED UTILIZING CLEAN, SHARP TOOLS TO MAKE CLEAN ENDS BEFORE PLANTING.
14. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
16. ALL PLANTING BEDS SHALL BE MULCHED WITH 2" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
17. ALL DISTURBED AREAS TO BE TREATED WITH 3" TOP SOIL & SEEDED IN ACCORDANCE WITH PERMANENT STABILIZATION METHODS.



- CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED
- 3" MULCH LAYER, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. EXCAVATE TO LOCATE FLARE IF NECESSARY.
- SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2" HIGHER IN SLOWLY DRAINING SOILS
- 4" HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL
- BACKFILL WITH TOPSOIL
- REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL AND ALL NON-BIODEGRADABLE MATERIAL
- IF PLANT IS SHIPPED IN WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO PLANTING HOLE
- TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT
- SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL

1 EVERGREEN TREE PLANTING
SCALE: 1/4"=1'

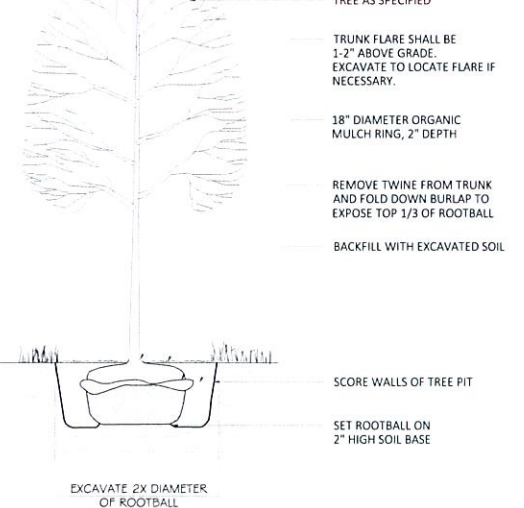


- NOTES:
1. FOR B & B PLANT MATERIAL, REMOVE ALL TWINE AND ROLL BACK BURLAP FROM TOP 1/2 OF BALL. IF ANY MATERIALS USED TO BIND THE ROOTBALL ARE NON-BIODEGRADABLE, REMOVE COMPLETELY INCLUDING WIRE BASKET.
 2. FOR CONTAINER GROWN PLANT MATERIAL, REMOVE CONTAINER. TO HELP PREVENT LOOSENING OF SOIL AND SCARIFY BALL TO HELP PREVENT GIRDLING ROOTS.
 3. SATURATE SOIL WITHIN SIX (6) HOURS OF PLANTING, AND WATER AS NECESSARY UNTIL IRRIGATION IS INSTALLED.
 4. NO MULCH OR SOIL SHOULD BE PLACED AGAINST THE PLANT'S TRUNK.

2 SHRUB PLANTING
SCALE: 1/2"=1'



- NOTES:
1. SET TREE PLUMB.
 2. DO NOT STAKE UNLESS DIRECTED TO DO SO BY LANDSCAPE ARCHITECT
 3. REMOVE COMPLETELY ANY NON-BIODEGRADABLE MATERIALS BINDING THE ROOTBALL
 4. REMOVE WIRE BASKET COMPLETELY IF ROOTBALL WILL BARE. OTHERWISE, CLIP AND PEEL BACK WIRE BASKET AT LEAST ONE THIRD OF THE WAY FROM THE TOP OF THE ROOTBALL.
 5. SATURATE SOIL WITHIN SIX (6) HOURS OF PLANTING AND WATER AS NECESSARY UNTIL IRRIGATION IS INSTALLED.
 6. DO NOT ADD ANY SOIL AMENDMENTS OTHER THAN COMPOST UNLESS DIRECTED TO BY LANDSCAPE ARCHITECT.
 7. DO NOT ADD ANY SOIL OR MULCH AGAINST TRUNK OF TREE. IF ROOT FLARE IS NOT EXPOSED, REMOVE SOIL AND EXPOSE.



3 DECIDUOUS TREE PLANTING
SCALE: 1/4"=1'



TO SCALE WHEN PLOTTED ON 24x36
PROGRESS SET NOT FOR CONSTRUCTION

