

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-1222-22
 ASSIGNED
 INSPECTOR: Mike

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Castillo Residence

Street Address: 46 Buchanan St Pearl River

Tax Map Designation:

Section: 68.14 Block: 3 Lot(s): 33
 Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the East side of Buchanan St., approximately
30 feet South of the intersection of Reverie & Buchanan, in the
 Town of Pearl Orangetown, in the hamlet/village of Pearl River.

Acreage of Parcel <u>.53</u>	Zoning District <u>R-15</u>
School District <u>PRSD</u>	Postal District <u>10965</u>
Ambulance District <u>Pearl River</u>	Fire District <u>Pearl River</u>
Water District <u>Ventia (Suez)</u>	Sewer District <u>Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)

Renovating existing CapeCod to Colonial style
raising 2nd floor & reconfiguring existing areas including
new bathroom, bedrooms & New Kitchen

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: _____ Applicant's Signature: _____

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area NO

Are there **streams** on the site? If yes, please provide the names. NO

Are there **wetlands** on the site? If yes, please provide the names and type:
NO

Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

BLDK-1222-22
ZBA# 22-55

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

mm

DENIAL TO THE ZONING BOARD OF APPEALS

Date: July 7, 2022
Applicant: Castillo
Address: 46 Buchanan, Pearl River, NY
RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-15 District, Column 2 Group M, Column 3 SFR, Column 10 Total Side Yrd 50' w/ 44.5' proposed
Chapter 43, Section 9.34 Extension or Enlargement except as follows: to the extent the district bulk regulations permit, and on application to the Board of Appeals
One variances required

***ORIGINAL SURVEY SUBMITTED INACCURATELY RESULTING IN APPLICATION
NEEDING TO BE RECALLED AND REFERRED TO ZBA

Section: 68.14 Block: 3 Lot: 33

Dear Castillo:

Please be advised that the Building Permit Application, which you submitted on

May 16, 2022, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

[Signature] *7/7/22*

Richard Oliver
Deputy Building Inspector

[Signature]

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

7/8/22

Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

** SUBMIT BOTH COPIES
OF ATTACHED SURVEYS
TO ZBA*

SWIS	PRINT KEY	NAME	ADDRESS
392489	68.14-2-16	Brad Pottberg	65 Buchanan St,Pearl River, NY 10965
392489	68.14-2-17	John F Murphy	59 Buchanan St,Pearl River, NY 10965
392489	68.14-2-18	Joseph R Gallagan	51 Buchanan St,Pearl River, NY 10965
392489	68.14-2-19	Frederic Antonin	37 Buchanan St,Pearl River, NY 10965
392489	68.14-2-20.1	Michael Roe	36 Fillmore St,Pearl River, NY 10965
392489	68.14-2-21	Wojciech Dominik	21 Buchanan St,Pearl River, NY 10965
392489	68.14-2-22	Mary R Morash	406 Old Passack Rd,Pearl River, NY 10965
392489	68.14-2-44	Amanda D Best	3 Adams St,Pearl River, NY 10965
392489	68.14-2-52	Matthew V O'Hanlon	40 Fillmore St,Pearl River, NY 10965
392489	68.14-2-53	William Loweree	52 Fillmore St,Pearl River, NY 10965
392489	68.14-3-28	Leslie Kolk	100 Old Pascack Rd,Pearl River, NY 10965
392489	68.14-3-29	Thomas Mc Cormack	12 Buchanan St,Pearl River, NY 10965
392489	68.14-3-30	Claudia N Crean	20 Buchanan St,Pearl River, NY 10965
392489	68.14-3-31	Town Of Orangetown	26 Orangeburg Rd,Orangeburg, NY 10962
392489	68.14-3-32	Robert A Ruiz	40 Buchanan St,Pearl River, NY 10965
392489	68.14-3-33	Peter Castillo	46 Buchanan St,Pearl River, NY 10965
392489	68.14-3-34	Renee Baumann	54 Buchanan St,Pearl River, NY 10965
392489	68.14-3-35	Jacqueline Harchaoui	62 Buchanan St,Pearl River, NY 10965
392489	68.14-3-36	Gerard Mc Gean	70 Buchanan St,Pearl River, NY 10965
392489	68.14-3-37	Brent Lea	78 Buchanan St,Pearl River, NY 10965
392489	68.14-2-21.1	Jayson H Margulies	38 Fillmore St,Pearl River, NY 10965

CASTILLO RESIDENCE

46 BUCHANAN STREET

PEARL RIVER, NEW YORK

EXTERIOR ELEVATION NOTES

NOTES - TYPICAL UNLESS NOTED OTHERWISE ON PLAN
 - ROOFING, SIDING, TRIM AND OTHER FIXTURES TO BE INSTALLED IN STRICT ACCORDANCE WITH THEIR RESPECTIVE MANUFACTURERS SPECIFICATIONS AND INDUSTRY STANDARDS
 - PROVIDE SNOW-GUARDS AS REQUIRED BY STANDARD SPACING ALONG ROOF BOTTOM EDGE
 - PROVIDE 6" ALUMINUM CUTTERS & 4"x6" ALUMINUM LEADERS WHITE IN COLOR AS REQUIRED
 - OPTIONAL - OTHER COMPLEMENTARY COLORS TO BE DISCUSSED WITH OWNER
 - INSTALL 36" WIDE ICE & WATER SHIELD (OR EQUAL PRODUCT) AT ALL ROOF EDGES, IN VALLEYS, UP AGAINST WALL JUNCTIONS, OVER HPFS AND WRAP OVER ALL FASCIAS
 - ICE & WATER SHIELD TO COVER MIN. 36" TO WARM SIDE OF EXT. WALLS.
 - ELEVATION SHOWN MAY NOT BE ACCURATE IN EVERY DETAIL, OWNER SHALL REVIEW ARCHITECTURAL PLANS AND CONTRACT W/ BUILDER TO INSURE ACCURACY OF DETAILS AND METHODS PROVIDED BY SAID BUILDER PRIOR TO ORDERING AND INSTALLATION

SITE AND FOUNDATION NOTES

NOTES - TYPICAL UNLESS NOTED OTHERWISE ON PLAN
 - CONTRACTOR/BUILDER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANY LINES, SERVICES, AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.
 - EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR/BUILDER TO OBSERVE ANY VARIATIONS OR UNFORESEEN DISCREPANCIES IN THE PLANS AND REPORT IMMEDIATELY TO OWNER/ENGINEER.
 - ALL POURED CONCRETE WALLS AND FOOTINGS TO BE 3,000 PSI COMPRESSIVE YIELD STRENGTH AT 28 DAY CURE TIME.
 - ALL POURED CONCRETE SLABS AND WALKWAYS TO BE 3,500 PSI COMPRESSIVE YIELD STRENGTH AT 28 DAY CURE TIME.
 - ALL CONTINUOUS CONCRETE FOOTINGS SHALL HAVE 2 ROWS OF #5 STL RE-BARS
 - INTERIOR CONCRETE PAD FOOTINGS SHALL BE 30"x30" AND MINIMUM 12" DEEP BELOW SLABS
 - BOTTOM OF EXTERIOR CONC. FOOTINGS TO BE A MINIMUM 3'-0" BELOW FINISHED GRADE
 - ALL FOOTINGS TO REST ON VIRGIN SOIL UNLESS VERIFIED OTHERWISE W/ENGINEER
 - EXTERIOR OF CONC. WALLS TO BE COATED w/RUB-R-WALL COATING -OR- EQUAL
 - PITCH FINISHED GRADE AND DRIVEWAY AWAY FROM THE BUILDING SO THAT ALL SURFACE WATER FLOWS AWAY FROM FINISHED STRUCTURE.

MAIN FLOOR NOTES

NOTES - TYPICAL UNLESS NOTED OTHERWISE ON PLAN
 - DIMENSIONS ARE TO NEAREST INCH/ ACTUAL ROOM SIZES VARY DUE TO GYPSUM BOARD
 - ALL LUMBER TO BE GOOD GRADE STRAIGHT, CLEAN & FREE FROM ROT & DEFECTS
 - HAVING A MINIMUM BENDING STRESS OF 1,300 PSI
 - ALL SIDING PLATES IN CONTACT WITH CONCRETE OR MASONRY WALLS, SLABS, ETC. SHALL BE PRESSURE TREATED LUMBER UNLESS OTHERWISE NOTED.
 - MINIMUM DOUBLE STUDS AROUND ALL WALL OPENINGS PLUS JACK STUD UNDER HEADER
 - TRIPLE STUDS IN ALL CORNERS / SOLID STUDS OF SAME WIDTH UNDER HEADERS
 - BEAMS & GIRDERS WITH ADDED STUDS EITHER SIDE WHERE SPACE PERMITS
 - HEADERS TO BE MIN. (2)2"x10" FOR SPANS UP TO 4'-10" / (3)2"x12" -OR- (2)2"x12" FOR SPANS UP TO 6'-4" UNLESS NOTED OTHERWISE
 - ALL GIRDERS TO BE OF THE SIZES INDICATED MFG. BY LSL ANTHONY POWER BEAMS
 - W/ BENDING STRESS OF 3,000PSI -OR- EQUAL
 - DOUBLE JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL w/FLOOR SPANS
 - ALL GLAZING LESS THAN 16" ABOVE FINISHED FLOOR TO BE TEMPERED
 - ALL NEW WINDOWS IN HABITABLE SPACES TO CONFORM WITH STATE EGRESS REQUIREMENTS
 - WINDOWS SHALL HAVE 5.7 SQ. FT. CLEAR OPENING
 - AND 10.3 SQ. FT. OF GLASS AREA FOR NATURAL LIGHT
 - ALL DOORS TO CONFORM TO STATE CODE SIZE REQUIREMENTS
 - ALL RAILINGS TO CONFORM TO THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, REQUIREMENTS WITH MAXIMUM OF 4" OPENINGS

2ND FLOOR NOTES

NOTES - TYPICAL UNLESS NOTED OTHERWISE ON PLAN
 - DIMENSIONS ARE TO NEAREST INCH/ ACTUAL ROOM SIZES VARY DUE TO GYPSUM BOARD
 - HEADERS TO BE MIN. (2)2"x10" FOR SPANS UP TO 6'-4" / (3)2"x10" -OR- (2)2"x12" FOR SPANS UP TO 9'-6" UNLESS NOTED OTHERWISE
 - RIDGE BEAMS TO BE MIN. 2" DEEPER THAN RAFTER SIZES JOINING IT-CONVENTIONAL LUMBER
 - UP TO 16'-0" SPANS/LVL MATERIAL GREATER THAN 16 FT. UNLESS NOTED OTHERWISE
 - HIP RAFTERS TO BE MIN. 2" DEEPER THAN RAFTER SIZES JOINING IT-CONVENTIONAL LUMBER
 - UP TO 16'-0" SPANS/LVL MATERIAL GREATER THAN 16 FT. UNLESS NOTED OTHERWISE
 - DBLE VALLEY RAFTERS TO BE MIN. 2" DEEPER THAN RAFTER SIZES JOINING IT-CONVENTIONAL LUMBER UP TO 14'-0" SPANS/LVL MATERIAL GREATER THAN 14 FT.
 - POST ALL RIDGE/ HIP/ VALLEY INTERSECTIONS DOWN TO MINIMUM TRIPLE 2"x6" CLG. JOISTS
 - ALL RIDGE/ HIP/ VALLEY INTERSECTIONS TO RECEIVE 36" WIDE ICE & WATER SHIELD
 - OR- EQUAL OVER EXTERIOR SHEATHING
 - ALL GLAZING LESS THAN 16" ABOVE FINISHED FLOOR/SURFACE TO BE TEMPERED
 - ALL NEW WINDOWS IN HABITABLE SPACES TO CONFORM WITH STATE EGRESS REQUIREMENTS
 - WITH MINIMUM 5.7 SQ. FT. CLEAR OPENING
 - AND 10.3 SQ. FT. OF GLASS AREA FOR NATURAL LIGHT

ROOF FRAMING NOTES

- RIDGE BEAMS TO BE MIN. 2" DEEPER THAN RAFTER SIZES JOINING IT-CONVENTIONAL LUMBER
 - UP TO 16'-0" SPANS/LVL MATERIAL GREATER THAN 16 FT. UNLESS NOTED OTHERWISE
 - HIP RAFTERS TO BE MIN. 2" DEEPER THAN RAFTER SIZES JOINING IT-CONVENTIONAL LUMBER
 - UP TO 16'-0" SPANS/LVL MATERIAL GREATER THAN 16 FT. UNLESS NOTED OTHERWISE
 - DBLE VALLEY RAFTERS TO BE MIN. 2" DEEPER THAN RAFTER SIZES JOINING IT-CONVENTIONAL LUMBER UP TO 14'-0" SPANS/LVL MATERIAL GREATER THAN 14 FT.
 - POST ALL RIDGE/ HIP/ VALLEY INTERSECTIONS DOWN TO MINIMUM TRIPLE 2"x6" CLG. JOISTS

WINDOW & DOOR NOTES

NOTES - TYPICAL UNLESS NOTED OTHERWISE ON PLAN
 - ALL NEW WINDOWS IN HABITABLE SPACES TO COMPLY WITH 2020 RESIDENTIAL CODE OF NYS EGRESS REQUIREMENTS - 5.7 SQ. FT. CLEAR OPENING & BOTTOM OF SASH OPENING NOT TO EXCEED 42" ABOVE FINISHED FLOOR
 - ALL WINDOW HEADERS TO BE FRAMED AT 6'-9" +/- ABOVE FINISHED FLR. FOR 8 FT. CLG HEIGHTS AND OPTIONAL 7'-9" FOR 9 FT. CLG. HEIGHTS
 - WINDOW AND EXTERIOR SLIDING DOORS TO BE MANUFACTURED BY ANDERSEN OR EQUAL
 - ALL EXTERIOR WINDOWS AND DOORS TO COMPLY WITH THE ENERGY CONSERVATION CODE OF NEW YORK STATE FOR ROCKLAND COUNTY.
 - EXTERIOR SLIDING DOORS TO MANUFACTURED BY THERMA-TRU OR EQUAL
 - ALL WINDOWS AND DOORS TO BE INSTALLED WITH STRICT ACCORD TO THEIR RESPECTIVE MANUFACTURERS SPECIFICATIONS / VERIFY ROUGH OPENING SIZES PRIOR TO FRAMING
 - BUILDER SHALL VERIFY WITH OWNER ALL WINDOW & DOOR, OPTIONS, COLORS, HARDWARE OPTIONS PRIOR TO ORDERING - ENGINEER NOT RESPONSIBLE FOR MATERIAL ORDERS.

ELECTRICAL NOTES

NOTES - TYPICAL UNLESS NOTED OTHERWISE ON PLAN
 - ALL OUTLETS, FIXTURES AND THEIR RESPECTIVE SWITCHES TO BE PLACED AND INSTALLED AS PER THE 2020 RESIDENTIAL CODE OF NYS AND THE LATEST EDITION OF THE NEC.
 - ALL SMOKE AND CARBON MONOXIDE DETECTORS TO BE HARDWIRED AND INTERCONNECTED WITH EACH OTHER. PROVIDE BATTERY BACK-UP TYPE DETECTORS
 - ELECTRICAL CONTRACTOR SHALL PROVIDE MECHANICAL EXHAUST FANS: FOR ALL RANGES, AND IN ALL LAUNDRY, TOILET, TUB AND SHOWER AREAS. ALL FANS TO BE SWITCHED INDIVIDUALLY AND VENTED TO THE EXTERIOR AS REQUIRED.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE SWITCH FOR DISHWASHER LOCATED IN SINK CAB.
 - ELECTRICAL CONTRACTOR SHALL NOT DRILL OR CUT STRUCTURAL GIRDERS, HEADERS AND BEAMS WITHOUT PRIOR CONSENT FROM BUILDER AND ENGINEER.
 - BUILDER AND ELECTRICAL CONTRACTOR TO VERIFY FIXTURE LOCATIONS WITH OTHER TRADES INVOLVED WITH THIS PROJECT PRIOR TO INSTALLATION.
 - BUILDER AND ELECTRICAL CONTRACTOR SHALL VERIFY WITH OWNER SWITCHING OPTIONS.
 - RECESSED AND OTHER LIGHTING SHOWN IS SUGGESTIVE AND SUBJECT TO CHANGE
 - BUILDER SHALL VERIFY WITH OWNER ALL SWITCH AND FIXTURE, OPTIONS, COLORS, ETC. PRIOR TO ORDERING - ENGINEER NOT RESPONSIBLE FOR MATERIAL ORDERS.

PLUMBING NOTES

NOTES - TYPICAL UNLESS NOTED OTHERWISE ON PLAN
 - ALL PLUMBING WORK EQUIPMENT AND FIXTURES TO BE PLACED AND INSTALLED AS PER THE 2020 RESIDENTIAL CODE OF NYS AND INDUSTRY STANDARDS.
 - PLUMBING CONTRACTOR SHALL PROVIDE DRYER VENT AS PER RESIDENTIAL CODE OF NYS.
 - PLUMBING CONTRACTOR SHALL NOT DRILL OR CUT STRUCTURAL GIRDERS, HEADERS AND BEAMS WITHOUT PRIOR CONSENT FROM BUILDER AND ENGINEER. DRILLING AND CUTTING OF FLOOR JOISTS SHALL BE IN STRICT ACCORDANCE WITH CODE AND/OR SAID JOIST MANUFACTURERS SPECIFICATIONS - PLUMBER TO VERIFY WITH HIS OR HER STAFF PRIOR TO DRILLING AND CUTTING - ENGINEER NOT RESPONSIBLE FOR IMPROPER CUT HOLES.
 - BUILDER AND PLUMBING CONTRACTOR TO VERIFY FIXTURE & PIPE LOCATIONS WITH OTHER TRADES INVOLVED WITH THIS PROJECT PRIOR TO INSTALLATION.
 - PLUMBING CONTRACTOR TO PROVIDE SHOWER PAN UNDER CLOTHES WASHER WITH DRAIN CONNECTED TO WASTE PLUMBING SYSTEM
 - PLUMBING CONTRACTOR TO PROVIDE WHOLE HOUSE BACKFLOW PREVENTION VALVES AND APPROPRIATE CLEANOUTS AS REQUIRED BY CODE.
 - BUILDER AND PLUMBING CONTRACTOR TO PROVIDE AND INSTALL EQUIPMENT FLUES AS REQUIRED BY RESIDENTIAL CODE OF NYS.
 - BUILDER SHALL VERIFY WITH OWNER ALL FIXTURE, MODEL, OPTIONS, COLORS, ETC. PRIOR TO ORDERING - ENGINEER NOT RESPONSIBLE FOR MATERIAL ORDERS.

SAFETY GUIDELINES

- ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION AND/OR PROJECT SITE
 - GENERAL PUBLIC / PROSPECTIVE BUYERS AND ALL OTHER NON-CONSTRUCTION RELATED PERSONS ARE NOT TO ENTER CONSTRUCTION WORK AREA UNTIL A VALID CERTIFICATE OF OCCUPANCY IS ISSUED BY LOCAL BUILDING DEPARTMENT.
 - PROJECT SITE TO BE PROPERLY POSTED AND TAPED AND/OR FENCED OFF TO ENSURE PUBLIC SAFETY AND SAFEGUARD THE PUBLIC AT ALL TIMES.
 - GENERAL CONTRACTOR AND ANY SUBCONTRACTORS WORKING WITH THIS PROJECT TO KEEP PROJECT SITE CLEAN AND HAZARD FREE AT ALL TIMES
 - AND TO OBEY ALL "OSHA" AND ALL OTHER SAFETY REGULATIONS.
 - DURING FRAMING (AS SOON AS POSSIBLE) SECURE TEMPORARY RAILINGS w/GAURDS TO BE INSTALLED AROUND ALL FLOOR OPENINGS AND OPEN DOOR OPENINGS
 - TEMPORARY RAMPS THEN STAIRS TO BE INSTALLED TO ALL LEVELS.
 - PROVIDE WEATHERPROOFING AT END OF EACH OF EACH WORK DAY TO PREVENT DAMAGE.
 - PROJECT SITE IS TO BE SECURED AND HAZARD FREE AT END OF EACH WORK DAY.
 - FAILURE TO ADHERE WITH THESE SAFETY GUIDELINES VOIDS ENGINEER'S RESPONSIBILITY OF ANY OCCURRENCE AND/OR INCIDENT OF INJURY OR OTHERWISE.
 - ENGINEER NOT RESPONSIBLE FOR FROZEN PIPES AND/OR MOLD CONDITIONS CREATED BY CONTRACTORS NEGLIGENCE.

THE 2020 NEW YORK STATE RESIDENTIAL BUILDING CODE IS USED FOR THIS PROJECT

TOWN OF ORANGETOWN
 DISTRICT R-15, ZONE M

AREA CALCULATIONS

AREA	EXISTING	ADDITIONAL	TOTAL PROPOSED
FIRST FLOOR	1,297 SF	-0-	1,297 SF
SECOND FLOOR	647 SF	807 SF	1,454 SF
COVERED PORCHES	-	196 SF	196 SF
TOTALS	1,944 SF	1,003 SF	2,947 SF
			2,947 TOTAL SQUARE FEET

DRAWING LIST

NO.	DRAWING TITLE	ISSUE DATE
T-1	TITLE PAGE w/ GENERAL NOTES	11 APR 2022
A-1	ELEVATIONS	11 APR 2022
A-2	FOUNDATION PLAN & DETAILS	11 APR 2022
A-3	FIRST FLOOR PLAN & DETAILS	11 APR 2022
A-4	SECOND FLOOR AND ROOF PLANS	11 APR 2022
A-5	BUILDING SECTION & DETAILS	11 APR 2022
E-1	ELECTRICAL PLANS	11 APR 2022

REVISIONS:

ISSUE DATE:
11 APRIL 2022

SCALE:
AS NOTED

SHEET:
T-1

CASTILLO RESIDENCE

46 BUCHANAN STREET
 PEARL RIVER, NEW YORK 10965
 TOWN OF ORANGETOWN

DO NOT SCALE PRINTS

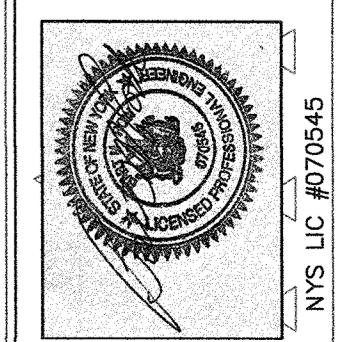
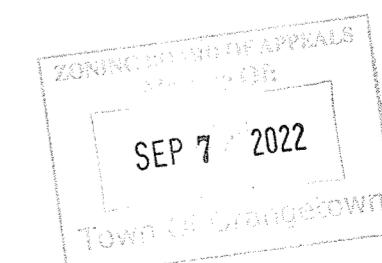
GENERAL NOTES

BART M. RUDI - ENGINEER
 RESIDENTIAL & COMMERCIAL

234 SOUTH GRANT AVE
 CONGERS, NEW YORK 10920
 (845) 268-6663

914.393.4964

LMD DESIGN



PLANS VALID ONLY IF SEALED

SAFETY GUIDELINES

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- PROJECT SITE TO BE PROPERLY POSTED AND TAPED AND/OR FENCED OFF TO ENSURE PUBLIC SAFETY AND SAFEGUARD THE PUBLIC AT ALL TIMES.
- GENERAL CONTRACTOR AND ANY SUBCONTRACTORS WORKING WITH THIS PROJECT TO KEEP PROJECT SITE CLEAN AND HAZARD FREE AT ALL TIMES AND TO OBEY ALL "OSHA" AND ALL OTHER SAFETY REGULATIONS.
- DURING FRAMING (AS SOON AS POSSIBLE) SECURE TEMPORARY RAILINGS w/GUARDS TO BE INSTALLED AROUND ALL FLOOR OPENINGS AND OPEN DOOR OPENINGS.
- TEMPORARY RAMPS THEN STAIRS TO BE INSTALLED TO ALL LEVELS.
- PROVIDE WEATHERPROOFING AT END OF EACH WORK DAY TO PREVENT DAMAGE.
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- ENGINEER NOT RESPONSIBLE FOR FROZEN PIPES AND/OR MOLD CONDITIONS CREATED BY CONTRACTORS NEGLIGENCE.

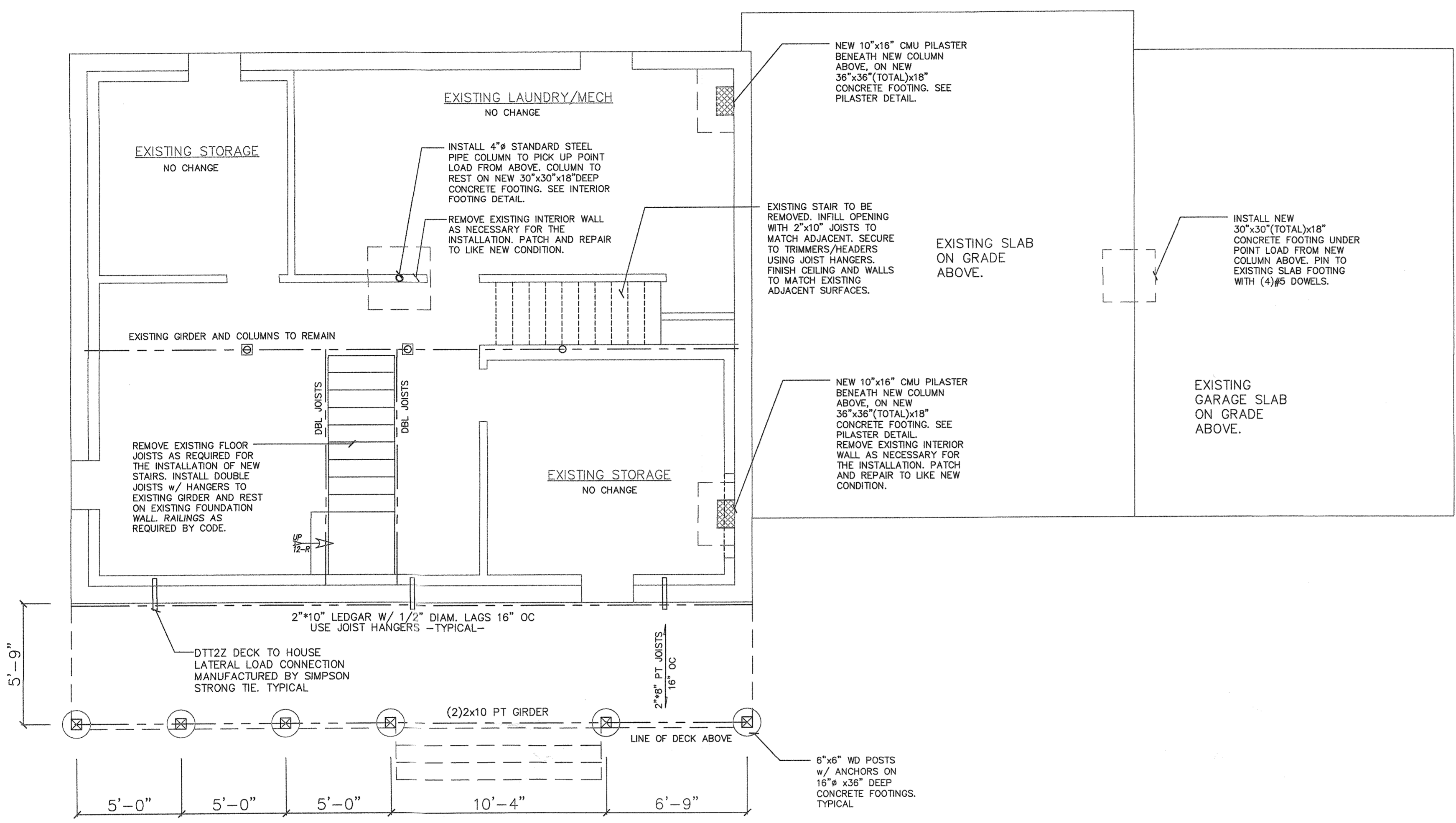
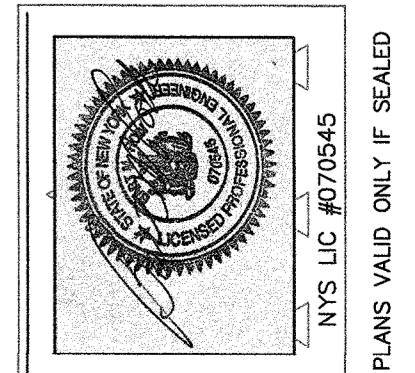
DATE:	23 NOVEMBER 2021
	17 JANUARY 2022
	11 APRIL 2022

SCALE:	AS NOTED
SHEET:	A-2

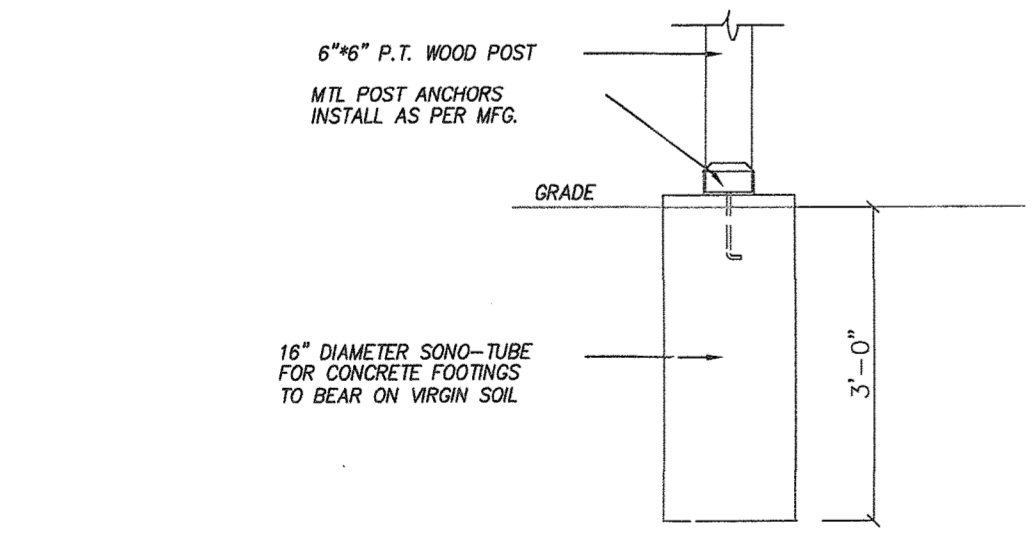
CASTILLO RESIDENCE
 46 BUCHANAN STREET
 PEARL RIVER, NEW YORK 10965
 TOWN OF ORANGETOWN

FOUNDATION PLAN
 DETAILS

LMDesign
 RESIDENTIAL & COMMERCIAL
 11 CHESTER AVENUE
 CONGERS, NEW YORK 10920
 (914)393-4964
 BART M. ROZI - ENGINEER (845) 268-6663



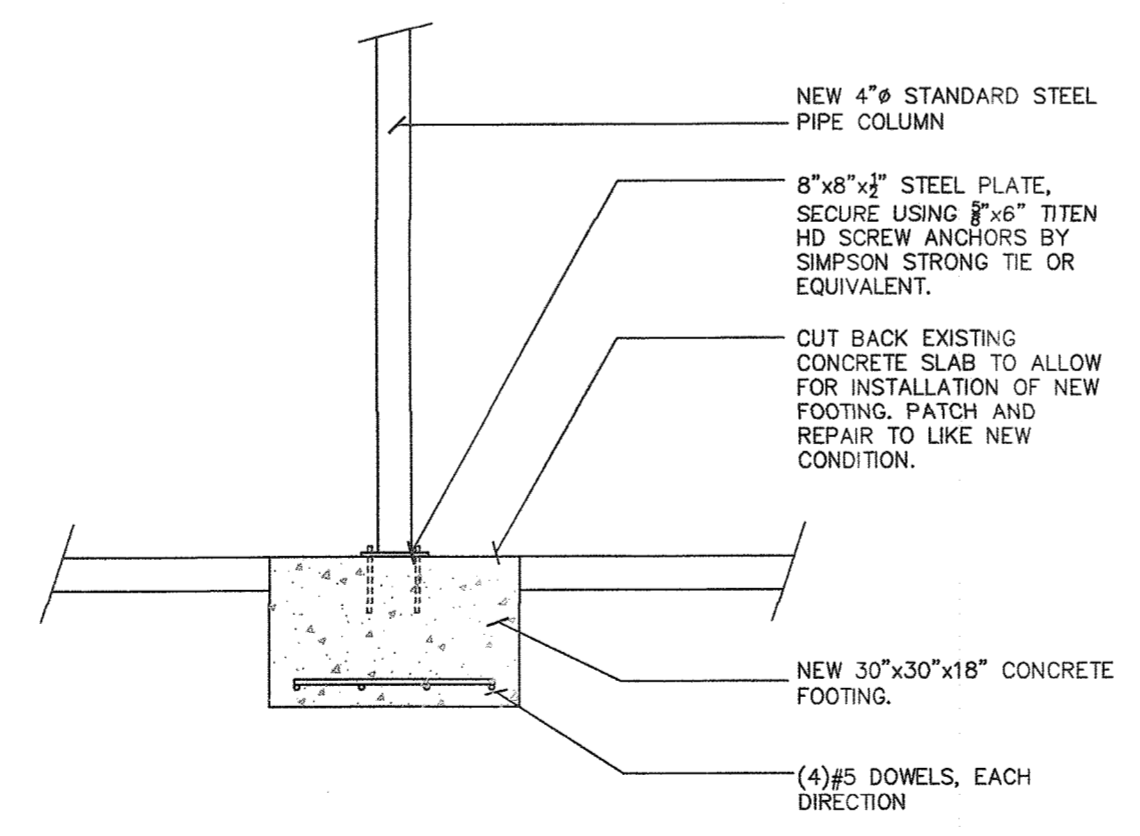
BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"



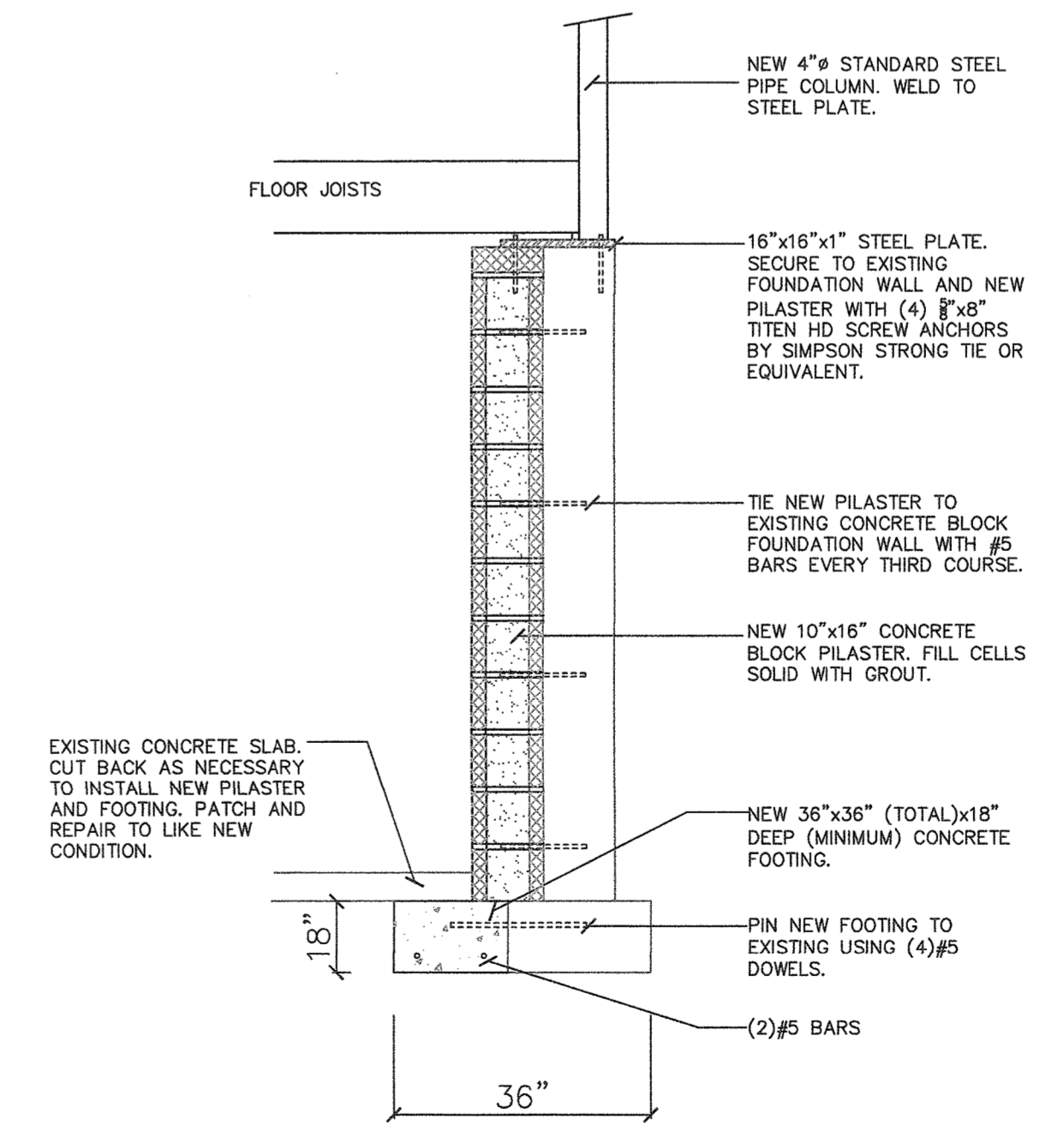
POST TO CONCRETE PIER DETAIL

EXTERIOR LUMBER NOTES:

- ALL LUMBER EXPOSED TO EXTERIOR TO BE ACQ PRESSURE TREATED
- ALL FASTENERS TO BE HOT DIP GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER - CONFORMING TO LATEST ASTM STANDARDS
- ASTM -A-153 FOR HOT DIPPED FASTENER PRODUCTS & ASTM-A-653 (COATING DESIGNATION G-185 FOR HOT DIP CONNECTOR AND SHEET PRODUCTS)
- EXCEPTION - 1" DIAM. OR GREATER STEEL BOLTS MAY BE USED
- ALL FLASHING USED WITH ASD LUMBER TO BE COPPER



INTERIOR FOOTING DETAIL
 SCALE: 1/2" = 1'-0"



PILASTER AND FOOTING DETAIL
 SCALE: 1/2" = 1'-0"

DO NOT SCALE PRINTS

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- ENGINEER NOT RESPONSIBLE FOR FROZEN PIPES AND/OR MOLD CONDITIONS CREATED BY CONTRACTORS NEGLIGENCE.

DATE:
 23 NOVEMBER 2021
 17 JANUARY 2022
 11 APRIL 2022

SCALE:
 AS NOTED
 SHEET:
 A-3

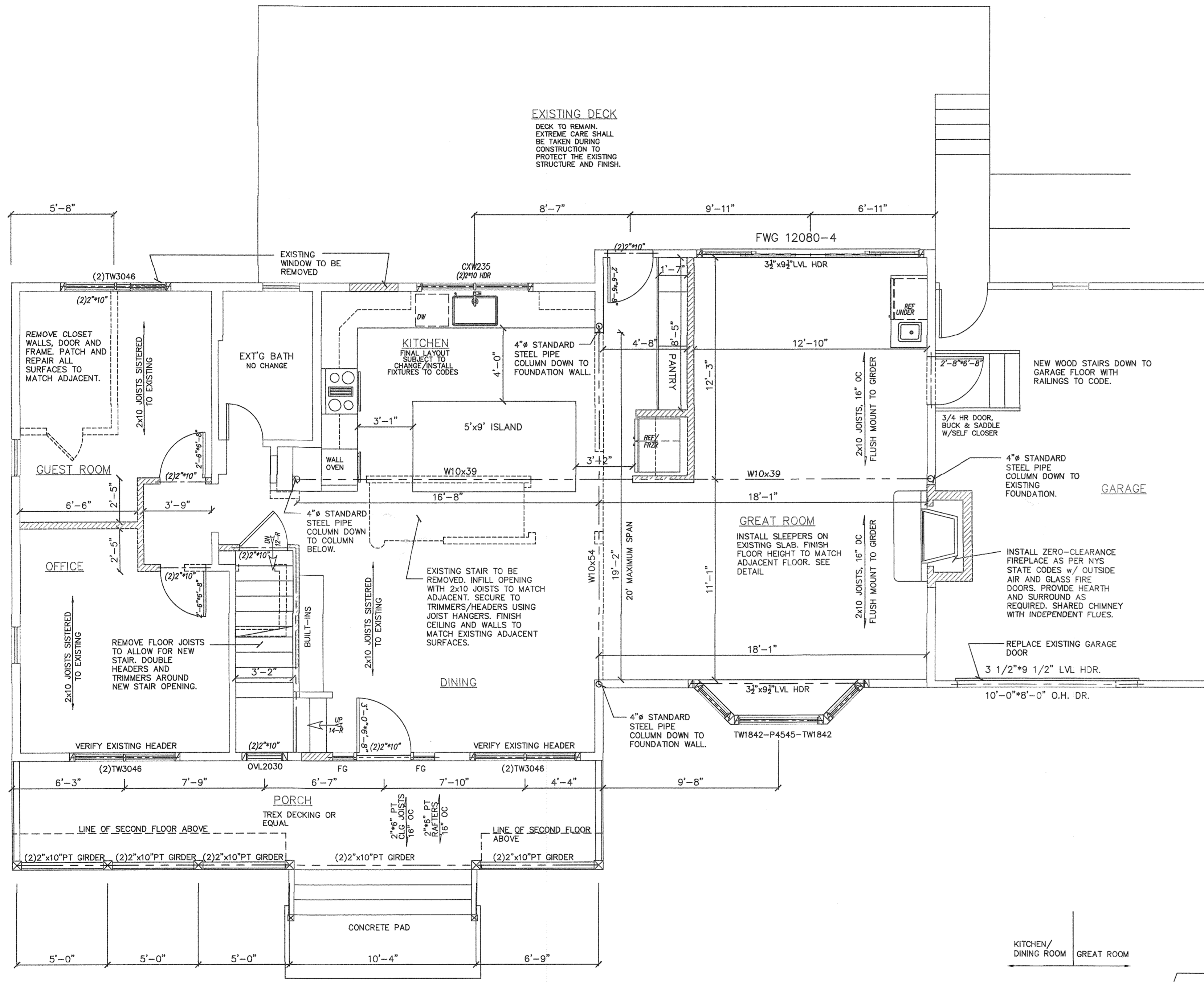
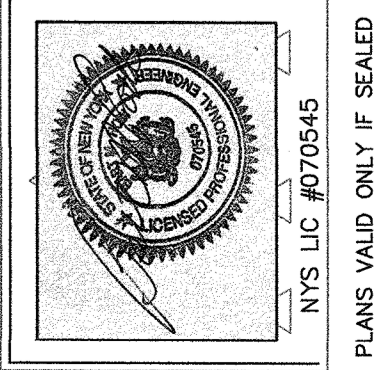
----- WALLS TO BE REMOVED
 ===== EXISTING WALLS TO REMAIN
 ////////////// NEW WOOD STUD WALL

DO NOT SCALE PRINTS

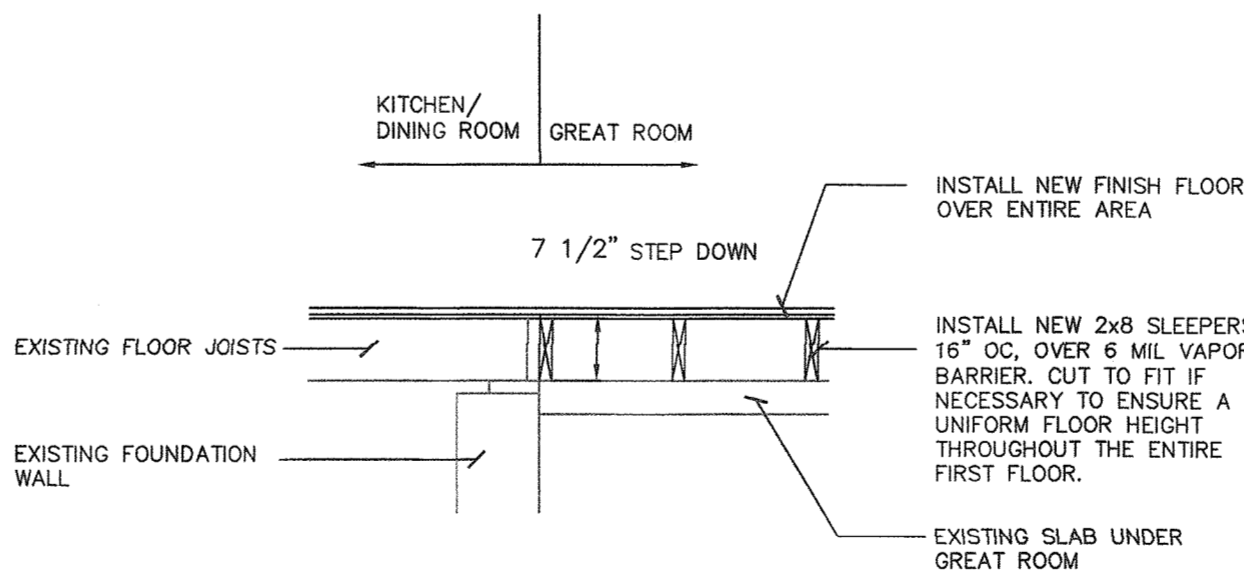
CASTILLO RESIDENCE
 46 BUCHANAN STREET
 TOWN OF ORANGETOWN

FIRST FLOOR PLAN
 DETAILS

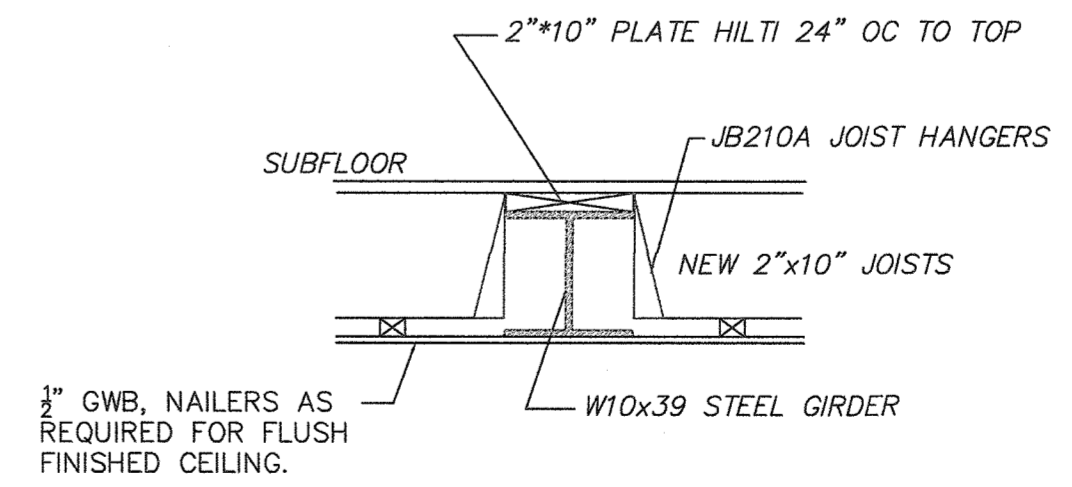
LMDesign
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 11 CHESTER AVENUE
 CONGES, NEW YORK 10920
 (914)393-4964
 BART M. RODI - ENGINEER (845) 268-6663



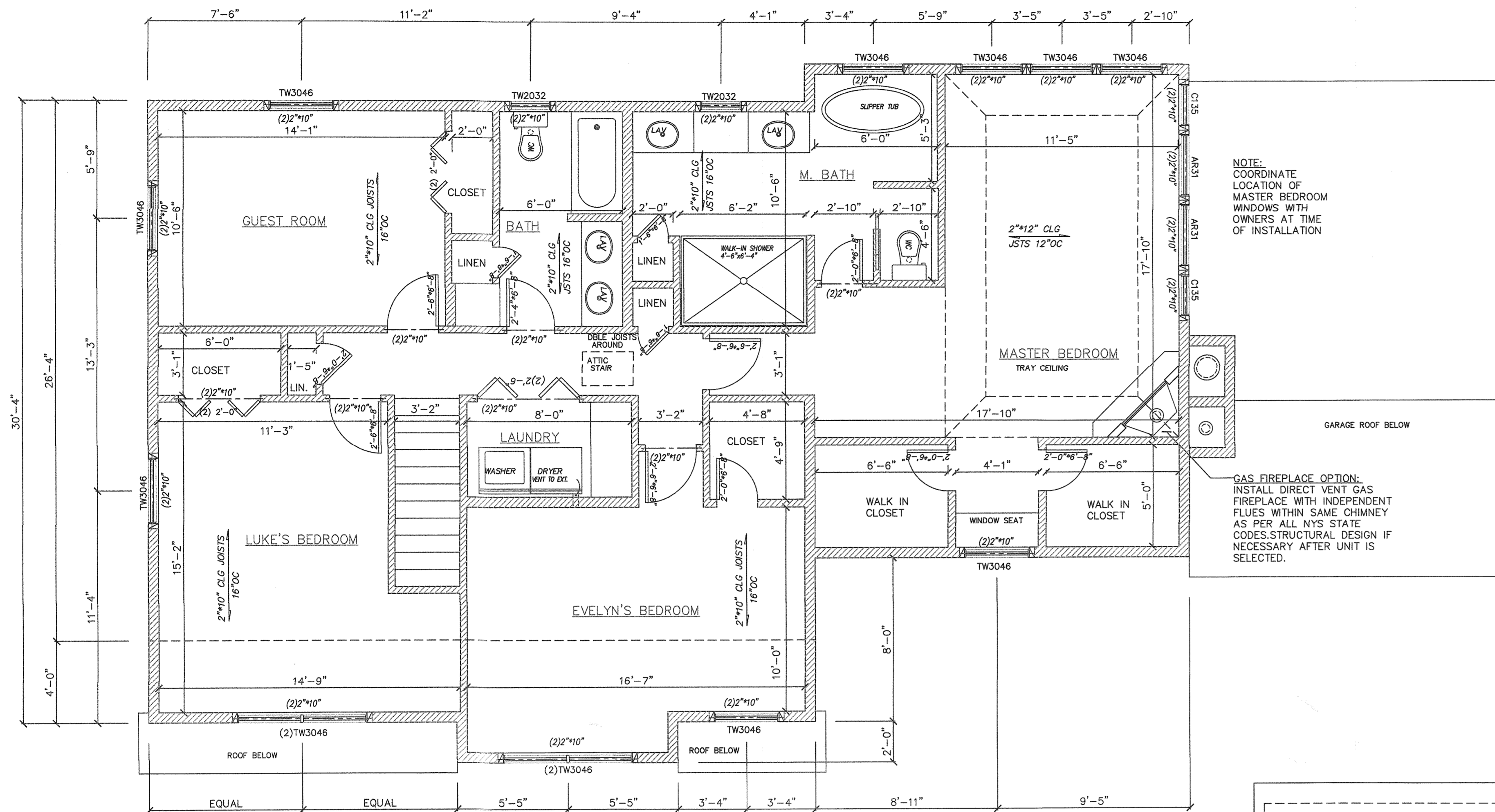
FIRST FLOOR PLAN
 SCALE: 3/4" = 1'-0"



GREAT ROOM FLOOR DETAIL
 SCALE 1/2" = 1'-0"



JOISTS TO STEEL BEAM DETAIL
 SCALE 3/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

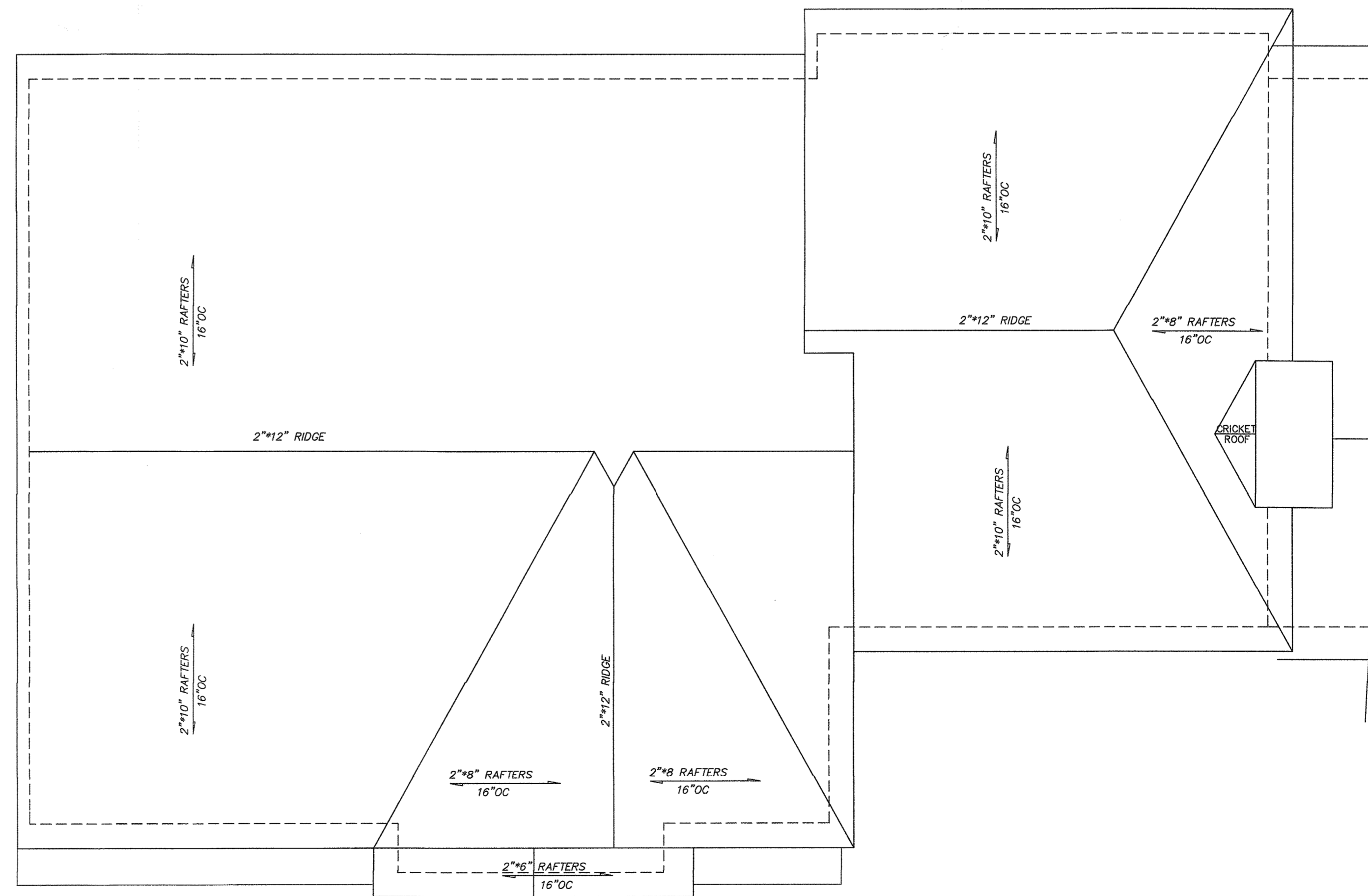
SAFETY GUIDELINES

- ENGINEERS ARE NOT RESPONSIBLE FOR CONSTRUCTION AND/OR PROJECT SITE
- GENERAL PUBLIC/ PROSPECTIVE BUYERS AND ALL OTHER NON-CONSTRUCTION RELATED PERSONS ARE NOT TO ENTER CONSTRUCTION WORK AREA UNTIL A VALID CERTIFICATE OF OCCUPANCY IS ISSUED BY LOCAL BUILDING DEPARTMENT.
- PROJECT SITE TO BE PROPERLY POSTED AND TAPED AND/OR FENCED OFF TO ENSURE PUBLIC SAFETY AND SAFEGUARD THE PUBLIC AT ALL TIMES.
- GENERAL CONTRACTOR AND ANY SUBCONTRACTORS WORKING WITH THIS PROJECT TO KEEP PROJECT SITE CLEAN AND HAZARD FREE AT ALL TIMES.
- AND TO OBEY ALL "OSHA" AND ALL OTHER SAFETY REGULATIONS.
- DURING FRAMING (AS SOON AS POSSIBLE) SECURE TEMPORARY RAILINGS w/GUARDS TO BE INSTALLED AROUND ALL FLOOR OPENINGS AND OPEN DOOR OPENINGS.
- TEMPORARY RAMPS THEN STAIRS TO BE INSTALLED TO ALL LEVELS.
- PROVIDE WEATHERPROOFING AT END OF EACH WORK DAY TO PREVENT DAMAGE.
- PROJECT SITE IS TO BE SECURED AND HAZARD FREE AT END OF EACH WORK DAY.
- FAILURE TO ADHERE WITH THESE SAFETY GUIDELINES VOID'S ENGINEER'S RESPONSIBILITY OF ANY OCCURANCE AND/OR INCIDENT OF INJURY OR OTHERWISE.
- ENGINEER NOT RESPONSIBLE FOR FROZEN PIPES AND/OR MOLD CONDITIONS CREATED BY CONTRACTORS NEGLIGENCE.

- WALLS TO BE REMOVED
- ===== EXISTING WALLS TO REMAIN
- ===== NEW WOOD STUD WALL

NOTE:
COORDINATE
LOCATION OF
MASTER BEDROOM
WINDOWS WITH
OWNERS AT TIME
OF INSTALLATION

GAS FIREPLACE OPTION:
INSTALL DIRECT VENT GAS
FIREPLACE WITH INDEPENDENT
FLUES WITHIN SAME CHIMNEY
AS PER ALL NYS STATE
CODES. STRUCTURAL DESIGN IF
NECESSARY AFTER UNIT IS
SELECTED.



ROOF PLAN
SCALE: 1/4" = 1'-0"

DO NOT SCALE PRINTS

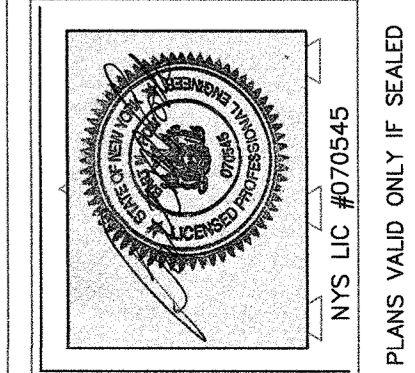
DATE:	23 NOVEMBER 2021
	17 JANUARY 2022
	11 APRIL 2022

SCALE:	AS NOTED
SHEET:	A-4

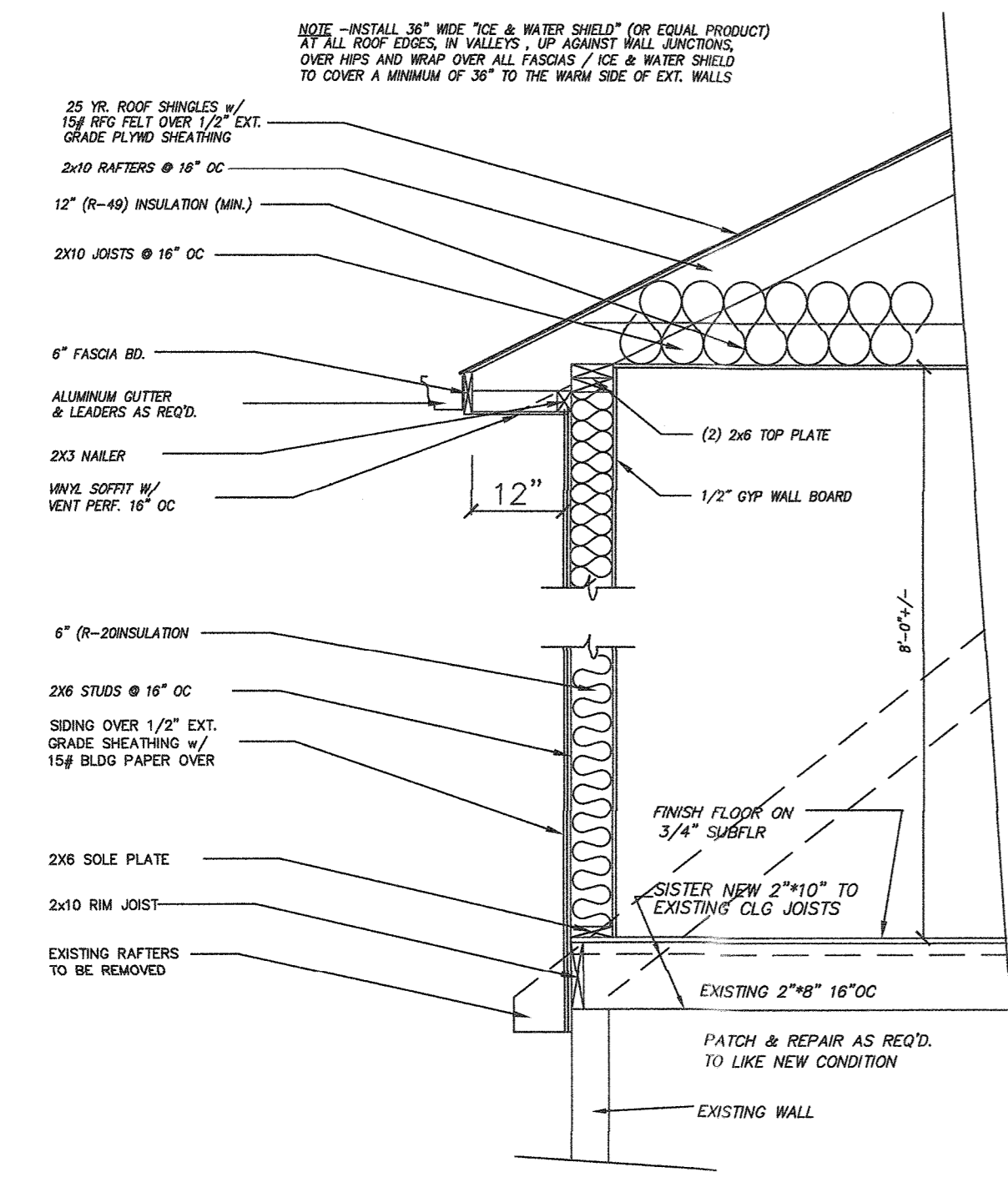
CASTILLO RESIDENCE
46 BUCHANAN STREET
PEARL RIVER, NEW YORK 10965
TOWN OF ORANGETOWN

SECOND FLOOR PLAN
ROOF PLAN

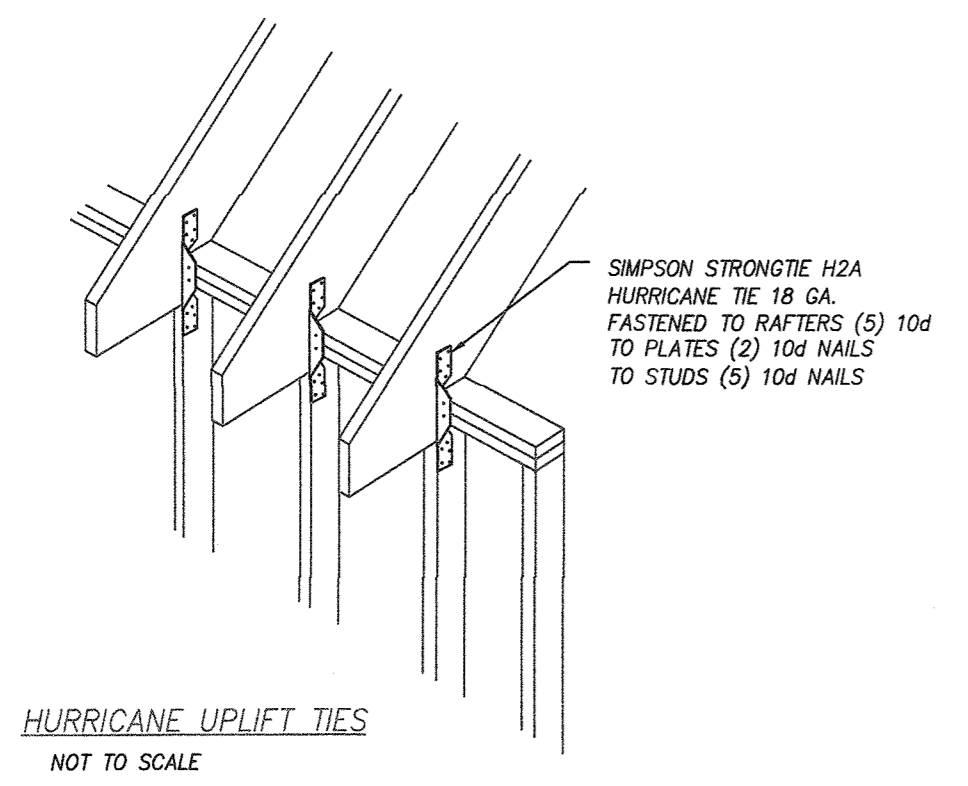
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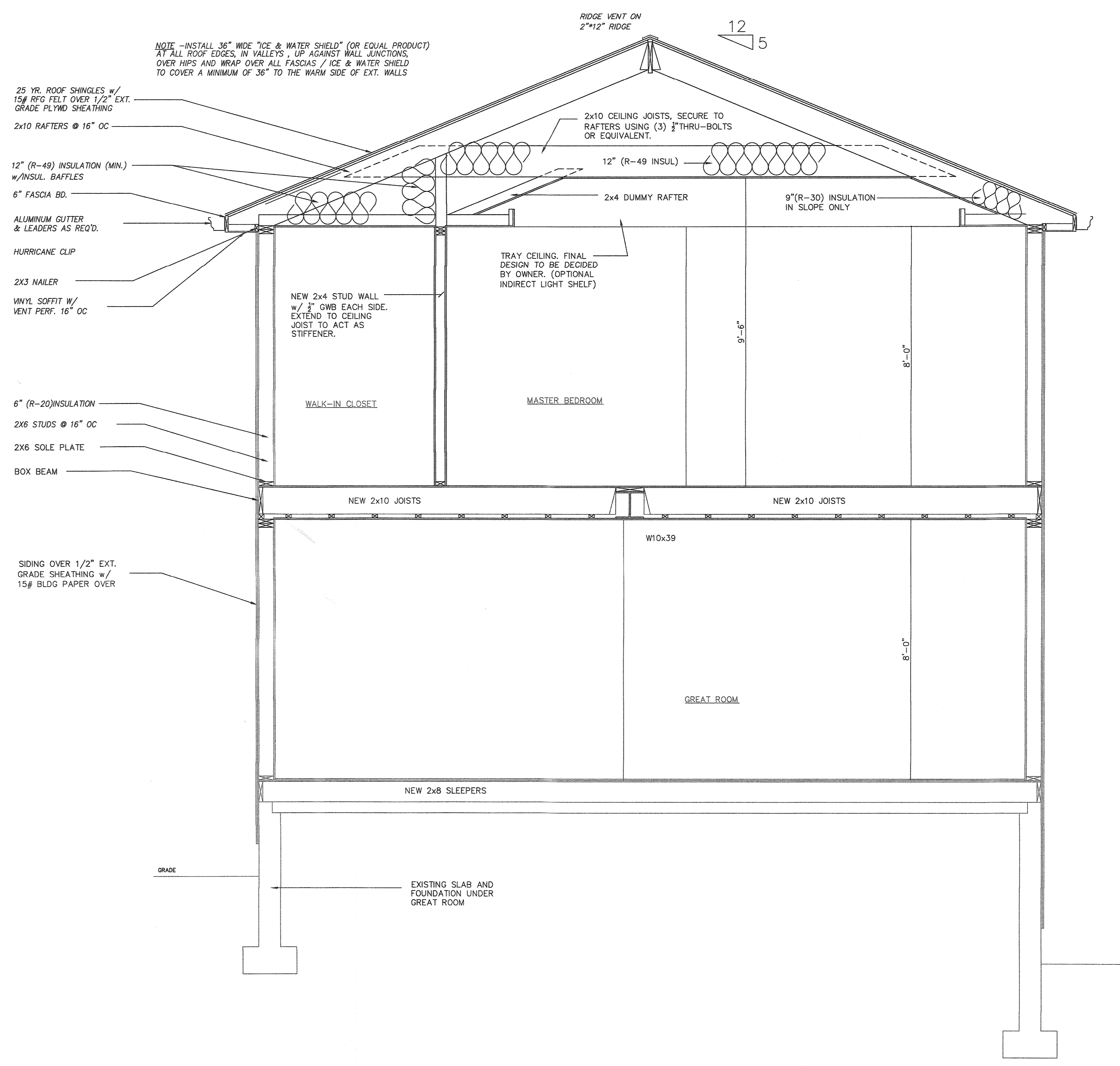
PLANS VALID ONLY IF SEALED



NEW 2ND FLR DETAIL
SCALE 1/2" = 1'-0"



HURRICANE UPLIFT TIES
NOT TO SCALE



BUILDING SECTION
SCALE 1/2" = 1'-0"

DO NOT SCALE PRINTS

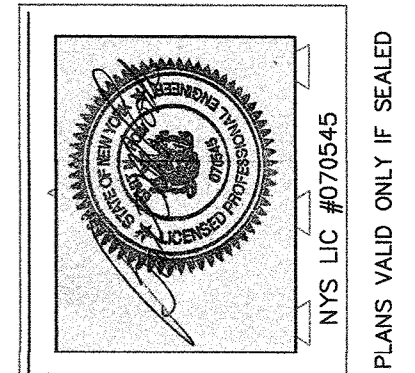
DATE:	23 NOVEMBER 2021
	17 JANUARY 2022
	11 APRIL 2022

SCALE:	AS NOTED
SHEET:	A-5

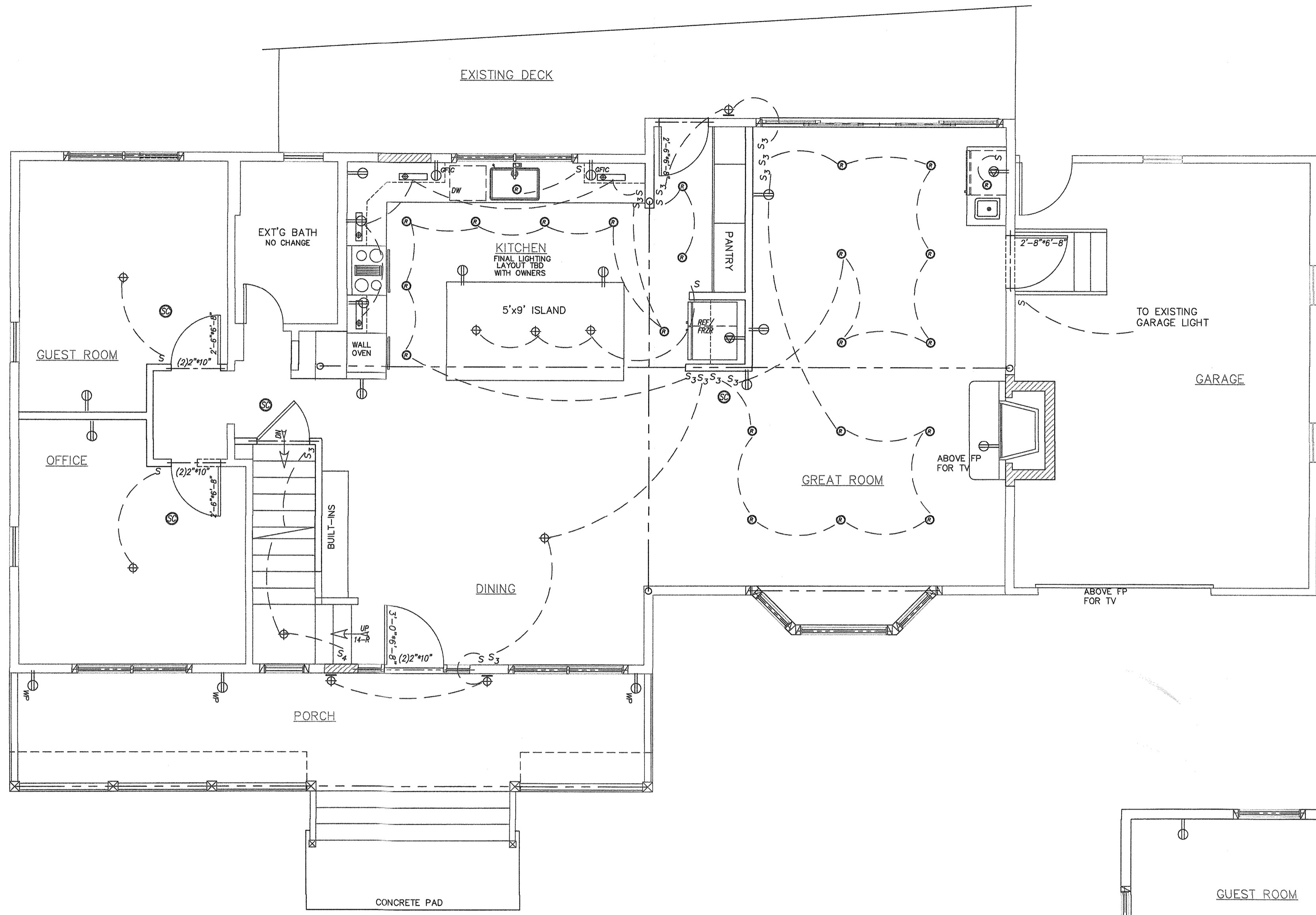
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PEARL RIVER, NEW YORK 10965
TOWN OF ORANGETOWN

BUILDING SECTION
DETAILS

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PLANS VALID ONLY IF SEALED



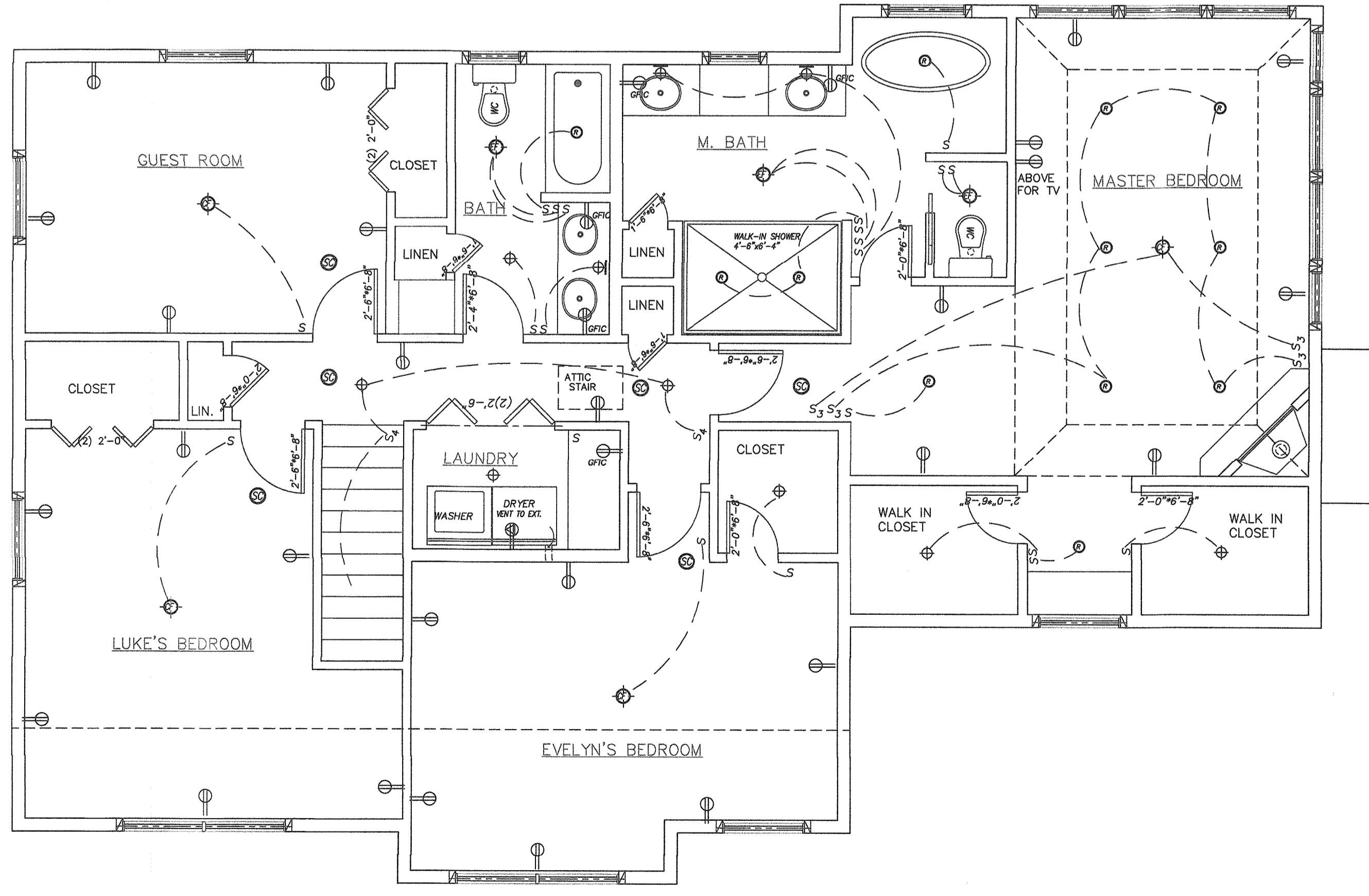
- ELECTRIC FIXTURE LEGEND**
- ⊖ - DUPLEX OUTLET
 - ⊖_{GFCI} - GROUND FAULT CIRCUIT (DUPLEX)
 - ⊖_{WP} - WEATHERPROOF OUTLET (GFI / DUPLEX)
 - ⊖_{DC} - DEDICATED CIRCUIT OUTLET
 - ⊖_{SCD} - SMOKE & CARBONMONOXIDE DETECTOR
 - ⊖_{ELF} - EXHAUST FAN W/ LIGHT (2-SWITCHES)
 - ⊖_{CM} - CEILING MOUNTED FIXTURE (150 W INCANDESCENT)
 - ⊖_{WM} - WALL MOUNTED FIXTURE (150 W INCANDESCENT)
 - ⊖_{RC} - RECESSED CEILING FIXTURE
 - ⊖_{CLF} - CLG. FAN W/ LIGHT - DEDICATED CIRCUIT (SUPPORT AS REQUIRED)
 - ⊖_{DF} - DOUBLE FLOOD FIXTURE (150W w/MOTION SENSOR)
 - ⊖_{UC} - UNDER CABINET FIXTURE (FLUORESCENT)
 - S - SWITCH
 - S₃ - THREE WAY SWITCH
 - S₄ - FOUR WAY SWITCH
 - S_D - SWITCH w/ DIMMER
 - - - SWITCH TO FIXTURE / OUTLET WIRING

ELECTRICAL NOTES

NOTES - TYPICAL UNLESS NOTED OTHERWISE ON PLAN

- ALL OUTLETS, FIXTURES AND THEIR RESPECTIVE SWITCHES TO BE PLACED AND INSTALLED AS PER THE RESIDENTIAL CODE OF NYS AND THE LATEST EDITION OF THE NEC.
- ALL SMOKE AND CARBON MONOXIDE DETECTORS TO BE HARDWIRED AND INTERCONNECTED WITH EACH OTHER. PROVIDE BATTERY BACK-UP TYPE DETECTORS.
- ELECTRICAL CONTRACTOR SHALL PROVIDE MECHANICAL EXHAUST FANS: FOR ALL RANGES, AND IN ALL LAUNDRY, TOILET, TUB AND SHOWER AREAS. ALL FANS TO BE SWITCHED INDIVIDUALLY AND VENTED TO THE EXTERIOR AS REQUIRED.
- ELECTRICAL CONTRACTOR SHALL PROVIDE SWITCH FOR DISHWASHER LOCATED IN SINK CAB.
- ELECTRICAL CONTRACTOR SHALL NOT DRILL OR CUT STRUCTURAL ORDERS, HEADERS AND BEAMS WITHOUT PRIOR CONSENT FROM BUILDER AND ARCHITECT.
- BUILDER AND ELECTRICAL CONTRACTOR TO VERIFY FIXTURE LOCATIONS WITH OTHER TRADES INVOLVED WITH THIS PROJECT PRIOR TO INSTALLATION.
- BUILDER AND ELECTRICAL CONTRACTOR SHALL VERIFY WITH OWNER SWITCHING OPTIONS.
- RECESSED AND OTHER LIGHTING SHOWN IS SUGGESTIVE AND SUBJECT TO CHANGE.
- BUILDER SHALL VERIFY WITH OWNER ALL SWITCH AND FIXTURE, OPTIONS, COLORS, ETC. PRIOR TO ORDERING - ARCHITECT NOT RESPONSIBLE FOR MATERIAL ORDERS.

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

DATE:	23 NOVEMBER 2021
	17 JANUARY 2022
	11 JANUARY 2022

SCALE:	AS NOTED
SHEET:	E-1

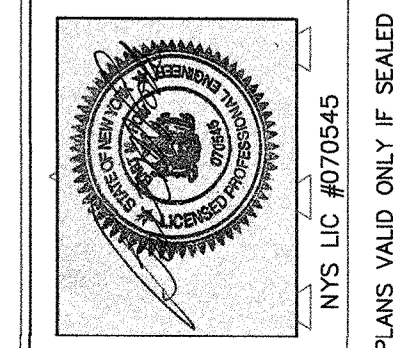
CASTILLO RESIDENCE

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TOWN OF ORANGETOWN

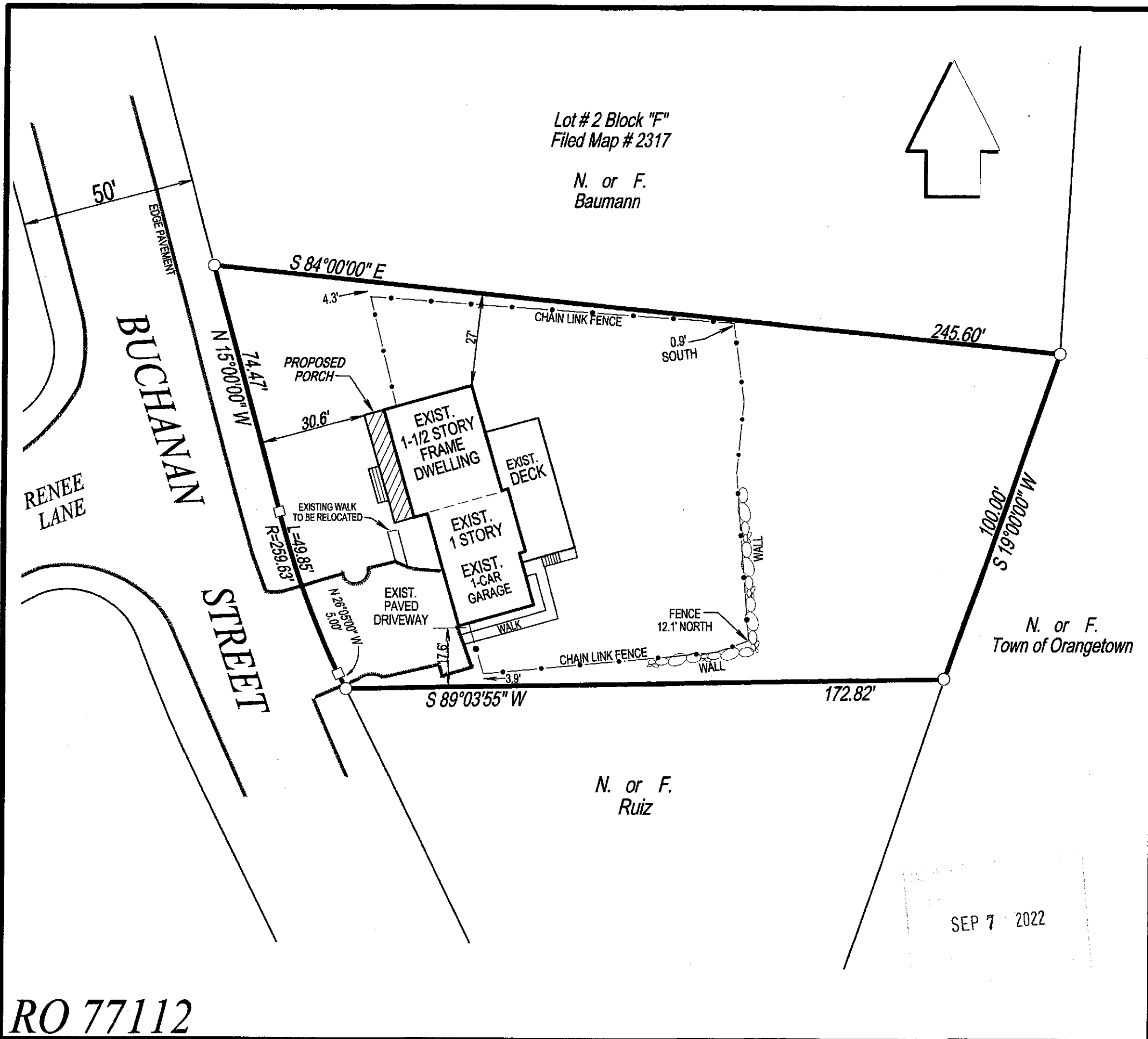
ELECTRICAL PLAN

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DO NOT SCALE PRINTS



PROPOSED PORCH & 2nd FLOOR ADDITION

Land Survey
For
"CASTILLO"

Pearl River
Town of Orangetown Rockland County, NY
Scale: 1" = 30' Area = 0.53 Ac.

June 11, 2021
June 8, 2022 - Revised
July 5, 2022 - Revised

Tax Lot Desig.: Section 68.14 Block 3 Lot 33

Reference: map entitled "REVISED MAP OF PROPERTY OF RIDGE ESTATES OWNED BY MARMAN DEVELOPMENT CORP", Filed in the Rockland County Clerks Office October 29, 1954 in book 55 page 70 as map # 2317.

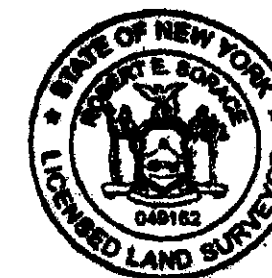
Zone R-15 Bulk Regulations Group M

Item	Required	Existing	Proposed
Lot Area	15,000 sf	22,917 sf	No Change
Lot Width	100 ft.	123.92' ft.	No Change
Street Frontage	75 ft.	129.32 ft.	No Change
Front Yard	30 ft.	36.6 ft.	30.6 ft.
Side Yard	20 ft.	**17.6 ft.	* 17.6 ft.
Total Side Yard	50 ft.	** 44.6 ft.	No Change
Rear Yard	35 ft.	120.82 ft.	No Change
Max.F.A.R.	0.20	0.067	0.112
Max Bldg. Height 1' per ft. from Str. line	24.1 ft.	19.7 ft.	22.3 ft.

** DENOTES NON-CONFORMING CONDITION
* DENOTES VARIANCE REQUIRED

SEP 7 2022

RO 77112



Robert E. Sorace
Lic. 49162
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New City, NY 10956
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