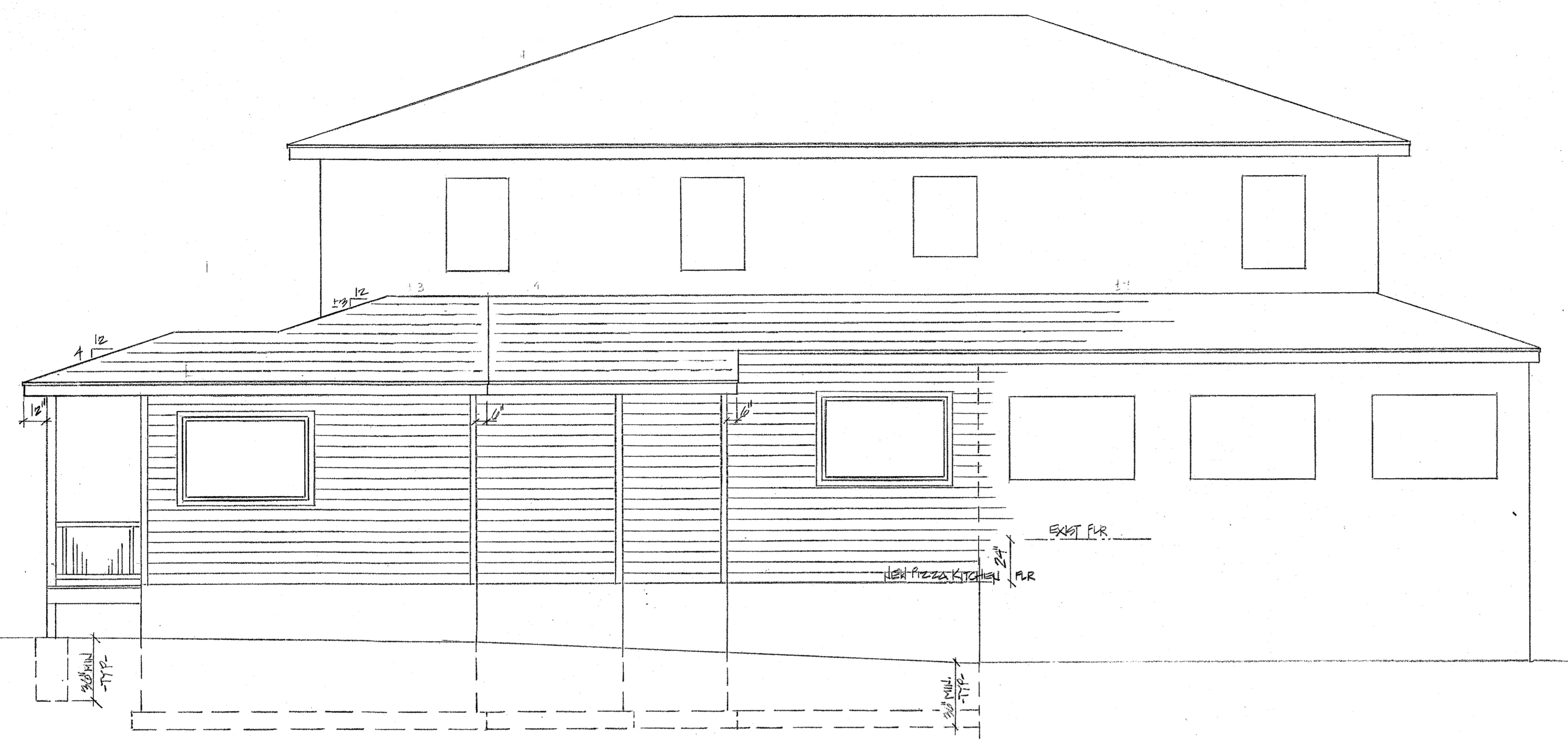


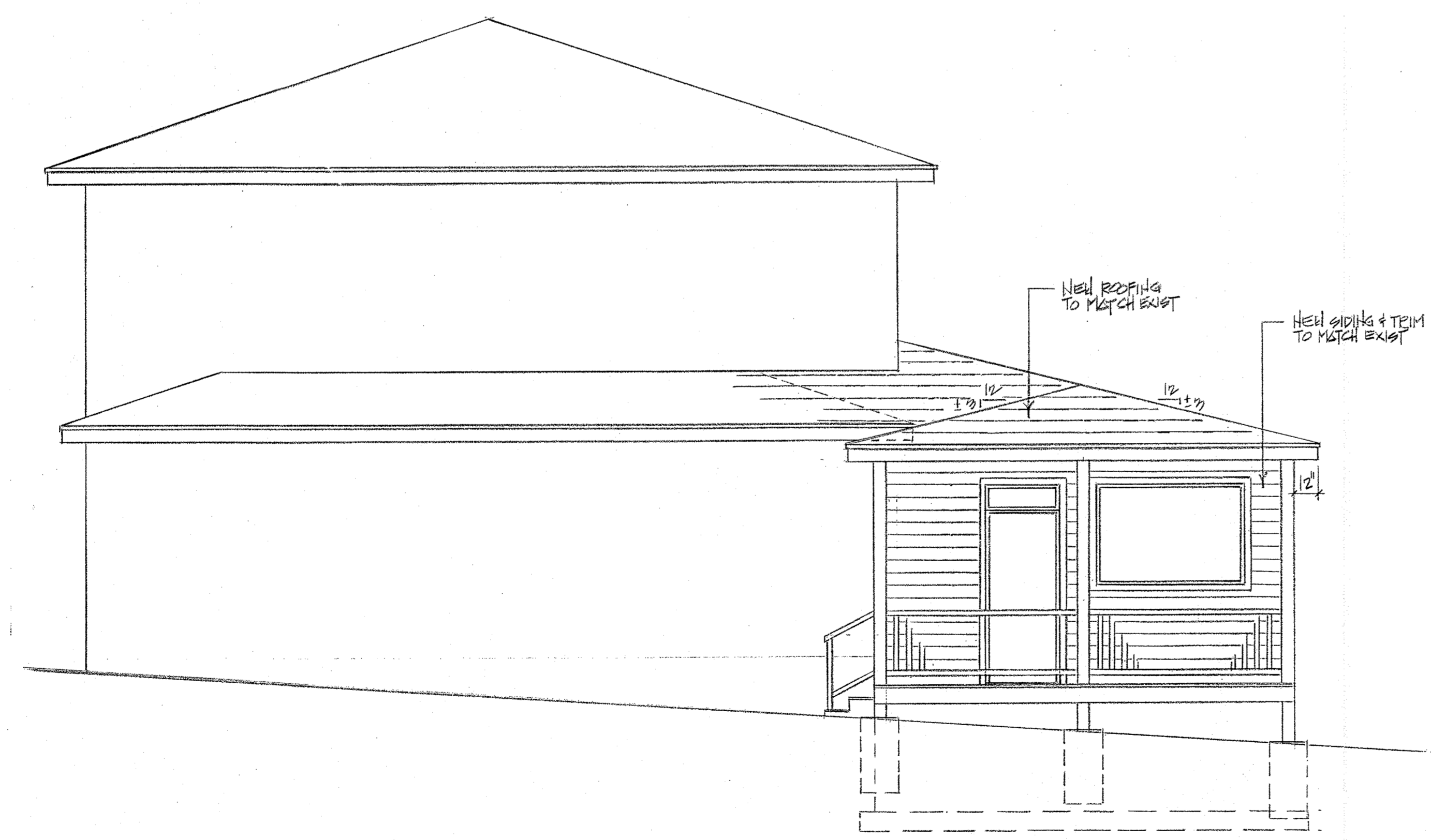
GENERAL SPECIFICATIONS

- GENERAL NOTES**
1. ALL WORK PERFORMED SHALL COMPLY WITH THE BUILDING AND ZONING ORDINANCES OF THE TOWN OF ORANGETOWN AND THE N.Y.S. BUILDING AND ENERGY CODES.
 2. THESE PLANS ARE TO BE USED FOR PERMITS A CONSTRUCTION GUIDE ONLY. IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT UNLESS OTHERWISE INDICATED BY ARCHITECT.
 3. CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNER WITH CERTIFICATE OF INSURANCE.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
 5. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT, BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESSEEN OR OTHER CONDITION.
 6. ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. ARCHITECT IS ONLY RESPONSIBLE FOR THESE WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS. IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORESSEEN DEVELOPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
 7. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESSEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITION OPERATIONS AND METHODS.
 8. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES MATCH ALL EXISTING MATERIALS, DIMENSIONS, AND CONDITIONS AS THEY APPLY.
 9. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DIMENSIONS FROM DRAWING. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.
 10. ALL CONSTRUCTION & MATERIALS SHALL BE NEW - UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.
 11. ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT, IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS, LICENSED IN THE STATE OF NEW YORK AND AS REQUIRED BY THE LOCAL GOVERNING AGENCY.
 12. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR AGENCIES.
 13. ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.
 14. PRIOR TO COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE EXCEPT AS OTHERWISE NOTED BY THE OWNER.
 15. CONTRACTOR/OWNER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANIES LINES, SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.
 16. ALL EXISTING CONDITIONS INDICATED ON THE PLANS TO BE REMOVED OR RELOCATED ARE TO BE SO EXECUTED IN A MANNER THAT WILL NOT DISTURB ADJOINING AREAS OR CONDITIONS WHICH ARE TO REMAIN.
 17. EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR TO OBSERVE ANY VARIATIONS OR UNFORESSEEN DISCREPANCIES IN THE PLANS AND REPORTED IMMEDIATELY TO THE OWNER.
 18. ALL FOOTINGS TO REST ON VIRGIN SOIL HAVING A MINIMUM BEARING CAPACITY OF 3000 P.S.F. AT 3" MINIMUM BELOW THE FINISHED GRADE.
 19. EXISTING UNDER CONCRETE SLAB BE THOROUGHLY COMPACTED AND CLEANED OF DEBRIS, WATER AND OTHER MATTER. THE SUB-GRADE SHALL DROUGHT TO A TRUE PLANE & COMPACTED TO MEET BEARING. ALL FILL MATERIAL SHALL BE SOL-HOOK MIXTURE, FREE FROM ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIAL. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER SIX INCHES IN GREATEST DIMENSION AND NOT MORE THAN 10% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 2" IN GREATEST DIMENSION.
 20. DO NOT BACKFILL UNTIL MAIN FLOOR SYSTEMS, INCLUDING SLABS AND FLOOR DECKING, ARE INSTALLED.
 21. BACKFILL AGAINST 8" POURED CONCRETE WALLS SHALL BE A MAXIMUM OF 7" OF AND 10" CONCRETE BLOCK WALLS MAXIMUM 6" OF ROCKS SLAB TO ADJACENT GRADE.
 22. TOP 6" OF NEWLY GRADED AREAS IS TO BE TOP SOIL RAKED FREE FROM DEBRIS, STICKS, STONES OVER 2" IN SIZE AND OBJECTIONABLE MATERIAL.
 23. GENERAL CONTRACTOR OR OWNER SHALL FIELD VERIFY ALL INVERT ELEVATIONS AND SEWER CONDITIONS INDICATED PRIOR TO CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEYS ON SEWER DEPT. RECORDS.
 24. FOOTING DRAINS TO BE PROVIDED WHERE REQUIRED AND APPROPRIATE THEY SHALL BE LAID IN GRAVEL BED AND PROTECTED AT TOP WITH FILTER FABRIC AND PROVIDE POSITIVE OUTFLOW TO STORM DRAIN OR DRY WELL.
 25. FINISHED GRADE AND DRIVEWAY SHALL PITCH AWAY FROM THE BUILDING, SO THAT ALL SURFACE WATER FLOWS AWAY FROM IT.

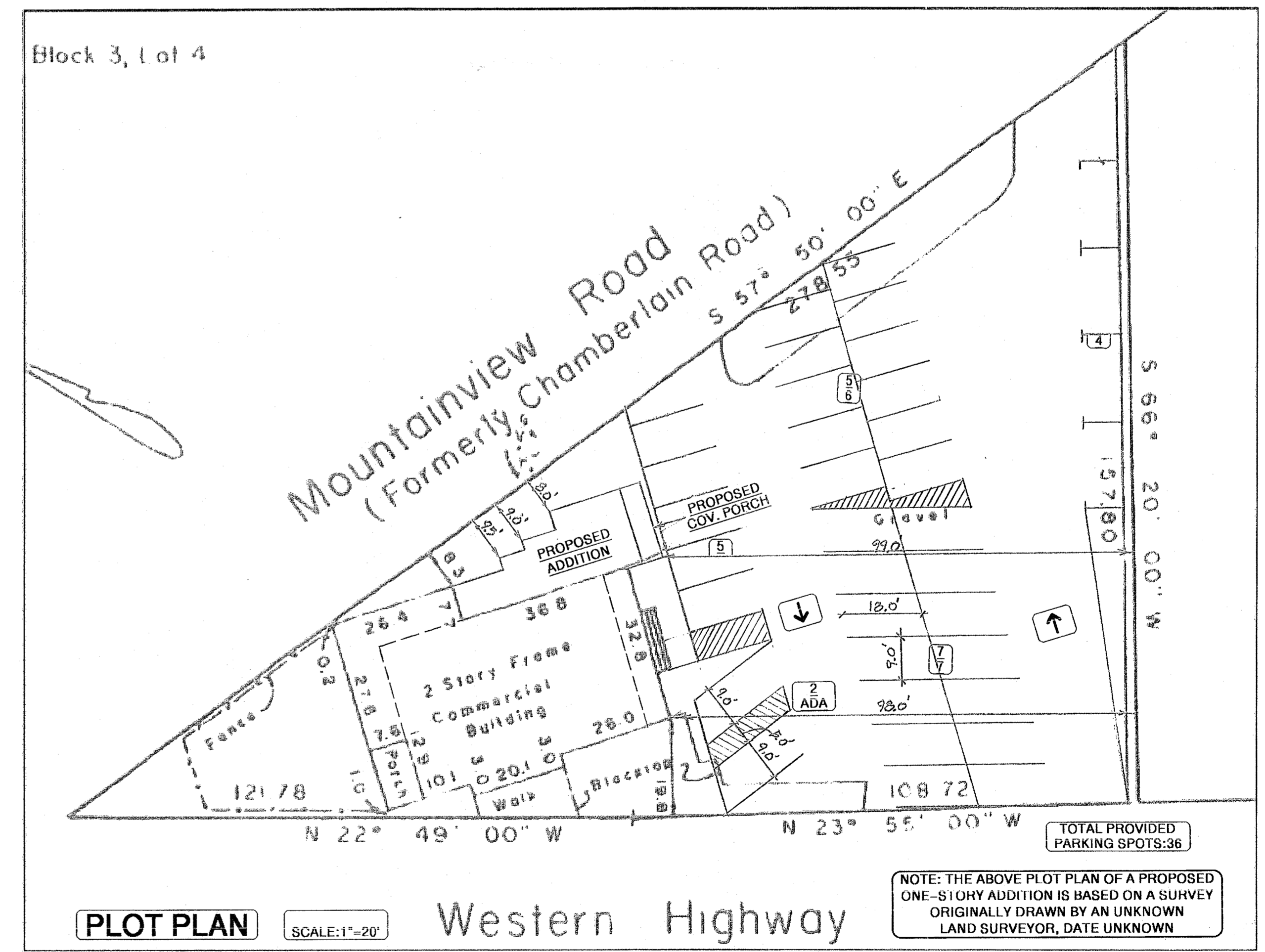


REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION



PLOT PLAN

SCALE: 1" = 20'

Western Highway

STATE OF NEW YORK ADOPTED CODES AND STANDARDS
 INTERNATIONAL BUILDING CODE- NY EDITION, 2020
 NATIONAL ELECTRIC CODE, 2020
 NATIONAL STANDARD PLUMBING CODE, 2020
 INTERNATIONAL MECHANICAL CODE, 2020
 INTERNATIONAL FUEL GAS CODE, 2020

**THE SIDE PORCH TAVERN
 CALABRIA PIZZERIA ADDITION**
 479 WESTERN HIGHWAY
 ORANGETOWN, NEW YORK

PROJECT 211184
 DECEMBER 29, 2021
 HARRY J. GOLDSTEIN
 ARCHITECT
 PLANNING BOARD
 MEETING OF
 JUL 18 2022
 Town Of Orangetown

HARRY J. GOLDSTEIN
 ARCHITECT
 DESIGN & DEVELOPMENT
 4 REGINA ROAD
 MONROE, NEW YORK 10952
 (914) 393-5787

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GENERAL SPECS. CONTINUED

- 26. INSTALLATION OF GAS METERS SHALL BE IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
27. INSTALLATION OF ELECTRIC METERS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
28. FINISHED GRADE HEIGHT SHALL BE MINIMUM 8" BELOW ADJACENT FRAMING AND MAXIMUM (IF ANY) AS PER LOCAL CODES.

CONCRETE AND MASONRY

- 29. NEW POURED CONCRETE TO BE MINIMUM 3000 P.S.I. COMPRESSIVE STRENGTH IN 28 DAYS.
30. CONCRETE DESIGN, MATERIALS AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE STANDARD PRACTICES OF THE AMERICAN CONCRETE INSTITUTE.
31. BLOCK FOUNDATION WALLS TO BE REINFORCED HORIZONTALLY WITH FOUR-FEET EVERY SECOND COURSE AND VERTICALLY WITH #4'S PER-BAY EVERY FOUR FEET.

- 32. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL FREE FROM ROT, LARVAE AND OTHER DEFECTS.
33. ALL SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY WALLS, SLABS, ETC. SHALL BE PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED).
34. DOUBLE JOISTS SHALL BE INSTALLED UNDER ALL PARTITIONS RUNNING PARALLEL WITH SPANS AND AROUND ALL FLOOR OPENINGS.

- 35. INTERIOR SUB-FLOOR SHALL BE 3/4" TONGUE AND GROOVE SHEATHING GLED AND NAILED TO FLOOR JOISTS.
36. EXTERIOR WALLS SHALL BE 2" X 6" WOOD FRAMING. INTERIOR PARTITIONS SHALL BE 2" X 4" WOOD FRAMING.
37. HEADERS OVER ALL DOORS, WINDOWS, AND OTHER OPENINGS UNDER 6" SHALL BE 2" X 10" UNLESS OTHERWISE NOTED.

- 38. ALL EXTERIOR DECKS SHALL BE FRAMED WITH PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED).
39. ROOFING MATERIAL SHALL BE MINIMUM 30 YEAR FIBERGLASS SHINGLES (OWENS CORNING OR APPROVED EQUAL) OVER 1/2" ROOFING FELT.
40. FASCIA BOARDS SHALL BE COMMON PINE WRAPPED 15' ABOVE FLOOR UNLESS OTHERWISE NOTED.

- 41. ALUMINUM GUTTERS AND LEADERS SHALL BE PROVIDED AS REQUIRED.
42. WINDOWS SHALL BE SIZE, TYPE AND MFG. AS INDICATED ON PLANS.
43. EXTERIOR DOORS TO BE OF THE MANUFACTURER, TYPE, SIZE AND STYLE AS INDICATED ON THE DRAWINGS.

- 44. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REQUIREMENTS AND SHALL BE SUBJECT TO THE APPROVAL OF THE PLUMBING INSPECTOR.
45. ALL ELECTRICAL WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND LOCAL UTILITY COMPANY.

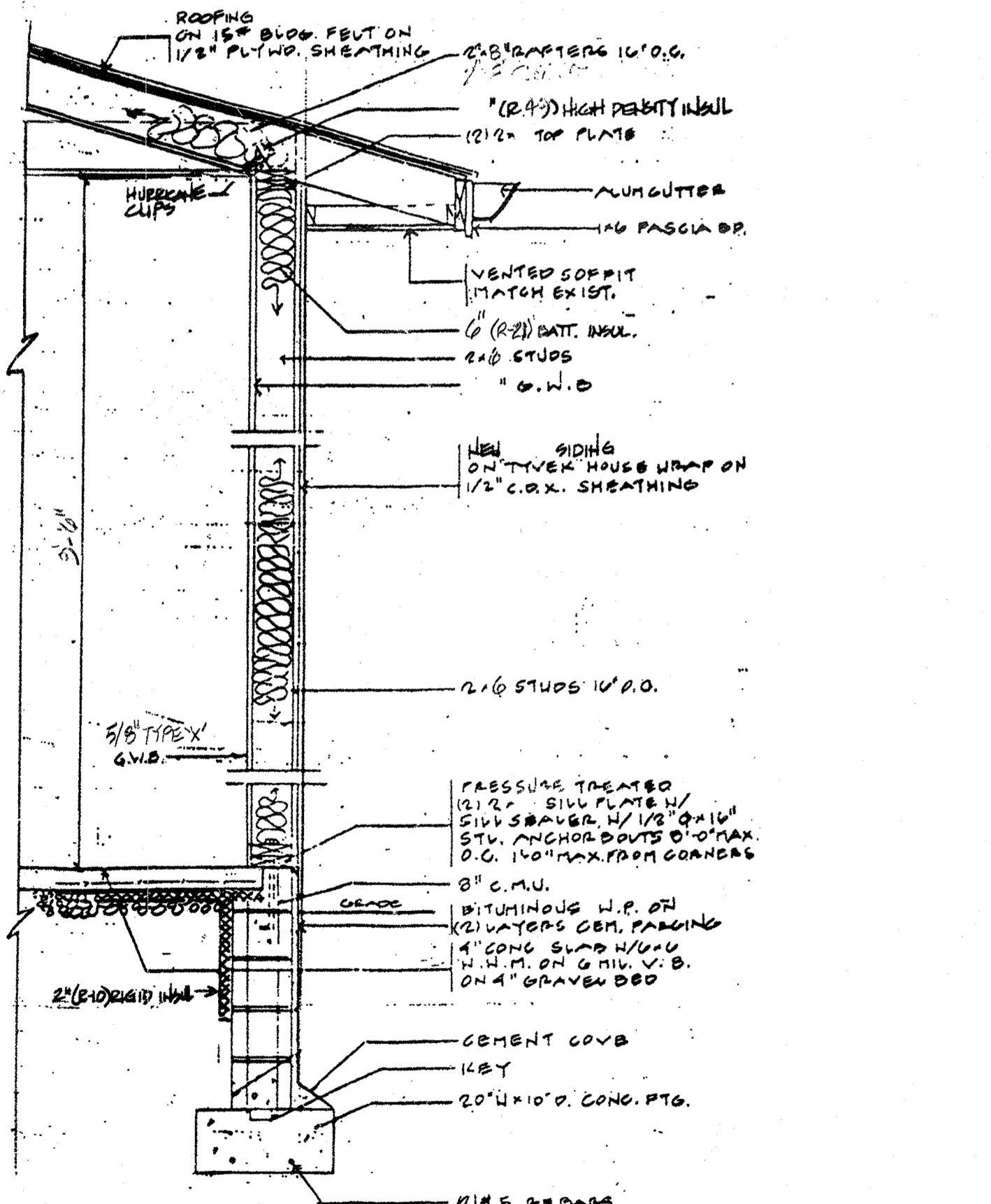
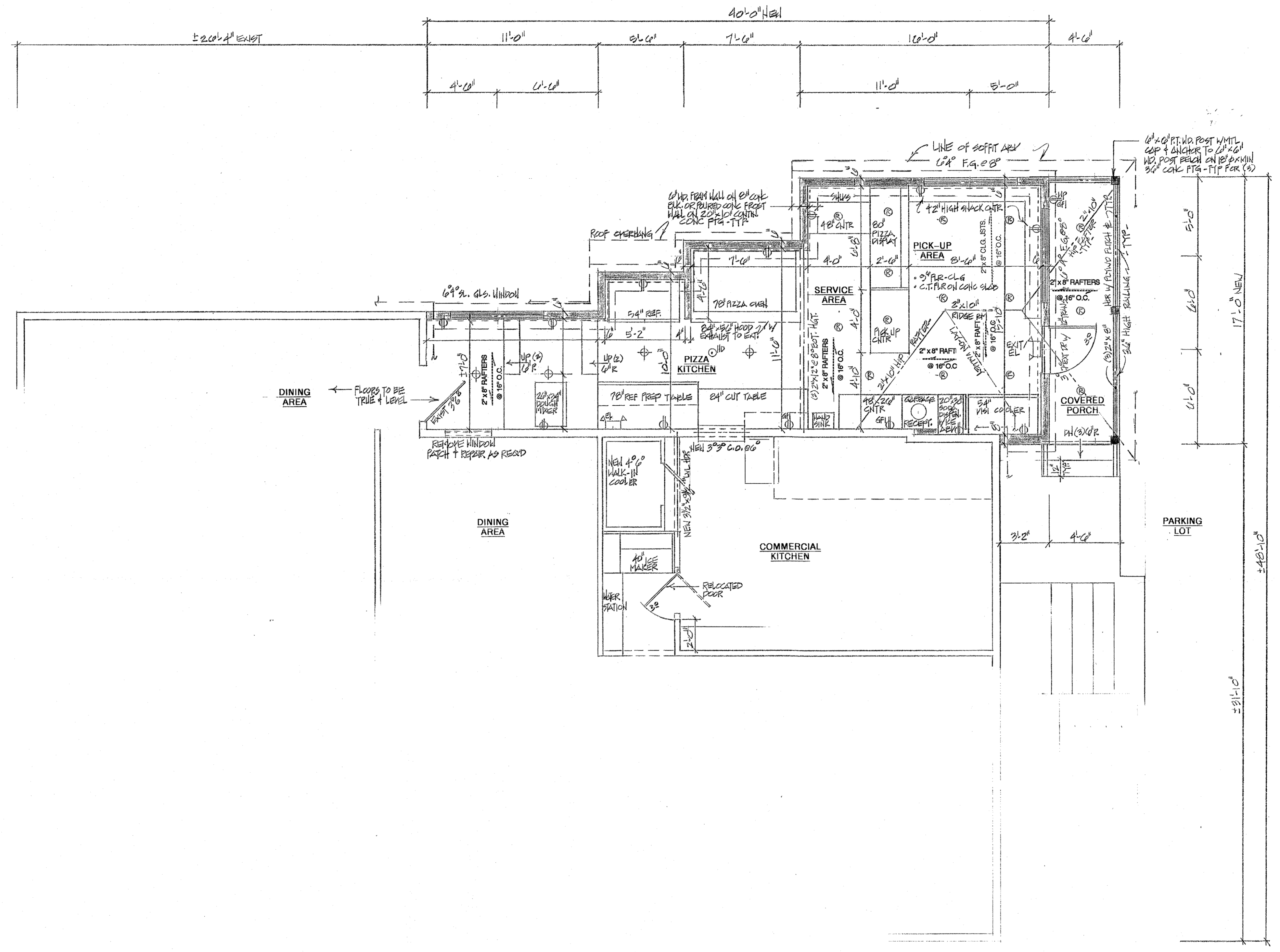
- 46. HEATING AND AIR CONDITIONING WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES.
47. THERMAL AND MOISTURE PROTECTION
48. PROVIDE 1/2" BUILDING FELT, "TYVEK," OR EQUAL, BEHIND ALL SIDING, WINDOW AND DOOR CASINGS, SILL TRIMS, ETC.

- 49. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED, CAULKED, WEATHER STRIPPED OR OTHERWISE PROPERLY SEALED.
50. ALL EXTERIOR WALLS AND ROOFS SHALL BE INSULATED AS INDICATED ON PLANS AND AS PER CODES.

- 51. ALL GYPSUM BOARD SHALL BE SCREWED ON CEILING AND/OR NAILED TO WALLS TO RECEIVE THREE COATS OF SPACKLE, FINISHED TO RECEIVE TWO COATS OF PAINT.
52. FLOORING, TRIM, CLOSET SHELVING, CABINETRY, APPLIANCES, FIXTURES, HARDWARE, ETC. SHALL BE SELECTED BY OWNER AND INSTALLED BY BUILDER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

- 53. INTERIOR DOORS SIZED AS INDICATED ON DRAWINGS, STYLE AND TYPE BY OWNER/CONTRACTOR.
54. CERAMIC TILE OR MARBLE FLOORS IN THE AREA INDICATED ON PLANS SHALL BE INSTALLED IN A "MUD" BASE.
55. OAK HARDWARE FLOORS SHALL BE INSTALLED MINIMUM 3 DAYS AFTER DELIVERY AND BUILDING TO BE HEATED.

- 56. STAIRS TO BE AS INDICATED ON DRAWINGS WITH A MINIMUM OF 6" TREAD, AND A MAXIMUM RISE OF 8".
57. MATERIAL AND STYLE BY OWNER, UNLESS OTHERWISE INDICATED, AND SHALL BE INSTALLED AS PER STATE AND LOCAL CODES.



TYPICAL WALL SECTION

MAIN FLOOR PLAN

EXIST. S.F. : 2222; NEW S.F. : 562
TOTAL RESTAURANT S.F. : 2784

EXIST. 2ND-FLR. APARTMENT S.F. : 1640
EXIST. COVERED PORCH S.F. : 38

SCALE: 1/4" = 1'-0"

Table with 3 columns: Zoning Bulk Requirements, Required, Existing, Proposed. Rows include Floor area ratio, Lot area, Lot width, Street frontage, Front yard setback, Side yard setback, Total side yard setback, Rear yard setback, Maximum building height.

THE SIDE PORCH TAVERN CALABRIA PIZZERIA ADDITION
479 WESTERN HIGHWAY ORANGEBURG, NEW YORK

HARRY J. GOLDSTEIN ARCHITECT
HARRY J. GOLDSTEIN ARCHITECT DESIGN & DEVELOPMENT
REGINA ROAD MONROE, NEW YORK 10952
N.Y.S. LICENSE NO. 023518 NOT VALID UNLESS SIGNED & SEALED

REVISIONS
05/10/22
02/27/22
PROJECT 211184 DECEMBER 29, 2021
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