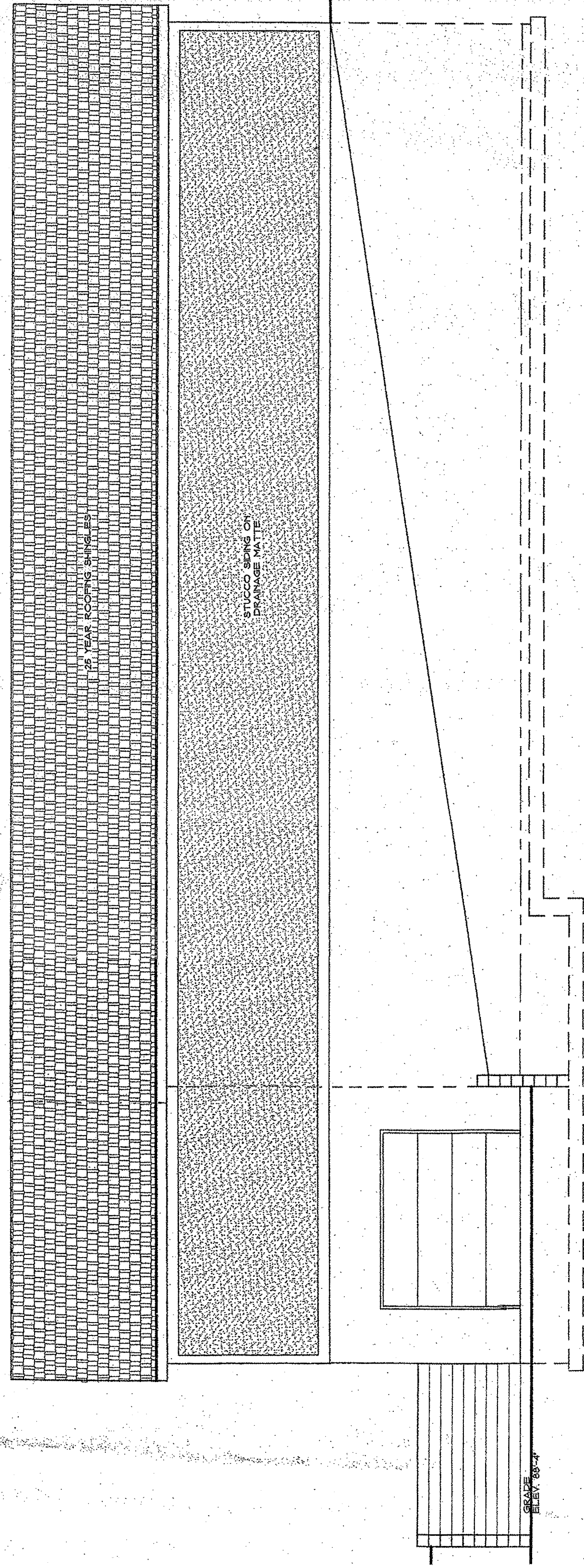


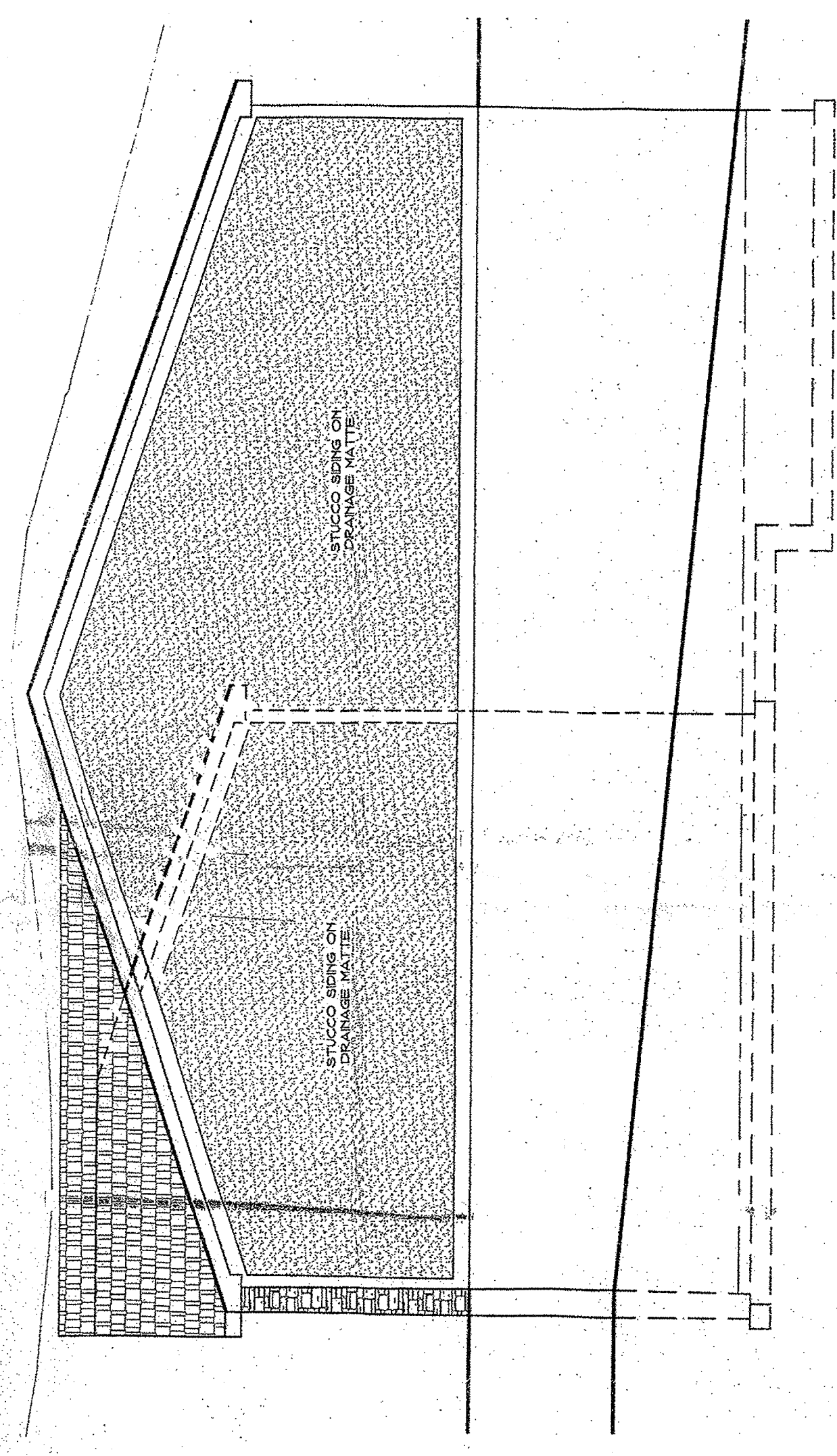
FRONT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 3/16"=1'-0"



RIGHT SIDE ELEVATION

PROJECT 210319
APRIL 15, 2021

BROSNA CONSTRUCTION OFFICE
ONE-STORY ADDITION

624 ROUTE 303
BLAUVELT, NEW YORK

HARRY J. GOLDSTEIN
ARCHITECT

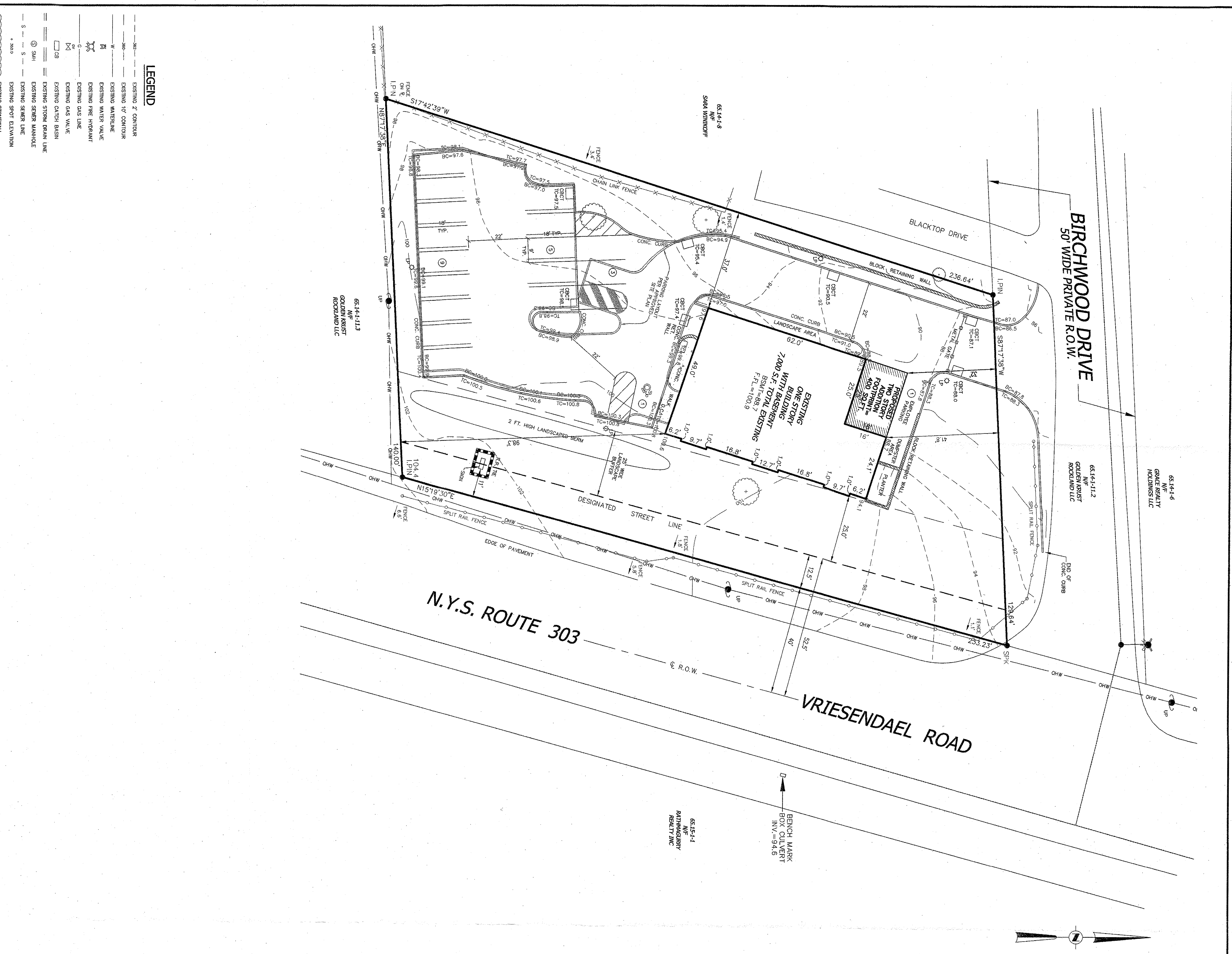
HARRY J. GOLDSTEIN
ARCHITECT
DESIGN & DEVELOPMENT

4830A ROAD
MONEY, NEW YORK, 10955
(845) 384-7745 (NY) 315-3737

STATE OF NEW YORK ADOPTED CODES AND STANDARDS

INTERNATIONAL BUILDING CODE - NY EDITION, 2020
NATIONAL ELECTRIC CODE, 2020
NATIONAL STANDARD PLUMBING CODE, 2020
INTERNATIONAL MECHANICAL CODE, 2020
INTERNATIONAL FUEL GAS CODE, 2020

N.Y.S. LICENSE NO. 02518
NOT VALID UNLESS SIGNED & SEALED



- NOTES:**
1. ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICES SHALL BE INSTALLED UNDERGROUND.
 2. NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT AND/OR THE TOWN OF ORANGETOWN.
 3. LOT DRAINAGE SHOWN ON THIS PLAN SHALL CONSTITUTE EXISTENT'S RAINING WITH THE LAND AND SHALL NOT BE DISTURBED.
 4. ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OF OCCUPANCY.
 5. NO OPEN BURNING DURING CONSTRUCTION WITHOUT SPECIFIC PERMISSION FROM NEW YORK STATE DEPARTMENT OF HEALTH.
 6. DATIVE: USGS - BENCHMARK HEADWALL ROUTE 303 INV. = 94.6
 7. NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPARTMENT. ALL SIGN DRAIN INLETS SHALL BE PROTECTED WITH A HAY BALE FILTER.
 8. ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
 9. THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL ROSS 3/4" IN DIAMETER, AND AT LEAST 30" IN LENGTH (TO BE INSTALLED AFTER FINAL GRADING). SAID PINS SHOWN THIS ●
 10. THIS SITE PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION DRAWINGS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK.
 11. SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH HIGHWAY DEPARTMENT SPECIFICATIONS.
 12. TEMPORARY SEEDING/VEGETATION ENHANCEMENT AREAS SHALL BE PROVIDED AS SHOWN ON CONSTRUCTION DRAWINGS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK.
 13. TEMPORARY SEEDING/VEGETATION ENHANCEMENT AREAS SHALL BE PROVIDED AS SHOWN ON CONSTRUCTION DRAWINGS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK.
 14. ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNIMPROVED FOR MORE THAN THIRTY (30) DAYS SHALL BE TEMPORARILY SEEDING WITH 1/2 LB. SOLUBLE FERTILIZERS SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO THE INSTALLATION OF THE BASE COURSE.
 15. SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRELIMINARY SILLING SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
 16. AT THE COMPLETION OF THE PROJECT ALL TEMPORARY SILLING DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS RESEED, PLANTED, OR INSTALLED IN ACCORDANCE WITH THE APPROVED SITE PLANS.

BULK REQUIREMENTS

EXISTING ZONE - LO, GROUP CC	REQUIRED	EXISTING	PROPOSED
ROUTE 303 OVERLAY ZONE	0.40	0.25	0.28
MINIMUM FLOOR AREA RATIO	150 FT.	233 FT.	233 FT.
MINIMUM STREET FRONTAGE	2 ACRES	0.653 ACRE*	0.653 ACRE*
MINIMUM LOT WIDTH	300 FT.	233 FT.*	233 FT.*
MINIMUM FRONT YARD DEPTH	100 FT.	25.0 FT.*	25.0 FT.*
MINIMUM SIDE YARD	100 FT.	41.8 FT.*	32.0 FT.*
MINIMUM TOTAL BOTH SIDE YARD	200 FT.	139.8 FT.*	130.3 FT.*
MINIMUM REAR YARD	100 FT.	37.0 FT.*	37.0 FT.*
MINIMUM BUILDING HEIGHT (GT/FT)	8'-3"	14 FT. ALONG RT. 303*	14 FT. ALONG RT. 303*
MAXIMUM DEVELOPMENT COVERAGE	75%	62%	62%

* DENOTES VARIANCE GRANTED ON MAY 21, 2003, AS CASE #03-46
 ** DENOTES VARIANCE GRANTED FOR SIGN WITHIN D.S.L. & 25 FT. WIDE LANDSCAPE BUFFER ON APRIL 6, 2022, AS CASE #22-23
 EXISTING: 11 FT.

LOT AREA CALCULATION
 29,800 SQ. FT. / 0.686 ACRE GROSS
 - 1,458 SQ. FT. / 0.033 ACRE WITHIN D.S.L.
 28,342 SQ. FT. / 0.653 ACRE NET LOT AREA FOR ZONING

PARKING REQUIREMENTS

MANUFACTURING	REQUIRED	PROVIDED
3,500 S.F.	1 SPACE	1 SPACE
1 SPACE PER 2 EMPLOYEES OR 1 SPACE PER 2,000 S.F. GROSS FLOOR AREA	1 SPACE	1 SPACE
2 EMPLOYEES MAXIMUM * 2 OFFICE (4 EMPLOYEES)	9 SPACES	9 SPACES
1 SPACE PER 200 S.F. OF GROSS FLOOR AREA	10 SPACES	10 SPACES
1,800 S.F. * 200	9 SPACES	9 SPACES
DEBRIS/STORAGE - ACCESSORY USE PER SECT. 11.2 OF ORANGETOWN CODE	10 SPACES	10 SPACES
2,500 S.F. * 200	10 SPACES	10 SPACES
TOTAL	18.5 OF 19 SPACES	19 SPACES

ADDITIONAL VARIANCES GRANTED ON MAY 21, 2003 AS CASE #03-46

- A) 2800 - ACCESS BY PRIVATE RIGHT-OF-WAY
- B) 2800 - ACCESS BY PRIVATE RIGHT-OF-WAY
- C) PARKING IN FRONT YARD

NOTE:
 PERFORMANCE STANDARDS CONFORMANCE
 OF VARIANCE BY THE BOARD OF APPEALS
 ON JANUARY 21, 2004, AS CASE #03-41

CONDITIONAL USE PERMIT REQUIRED FROM THE PLANNING BOARD FOR MANUFACTURING GRANTED ON JULY 28, 2004, AS PB #04-83.

OWNERS APPROVAL FOR FILING

OWNER: DATE:

VICINITY MAP
 1 IN. = 300 FT.
 DENOTES FIRE HYDRANT LOCATION