

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 5/13/22

2022 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BUDR-1213-22
ASSIGNED
INSPECTOR: Glenn

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: LAMOND RESIDENCE

Street Address: 54 BOCKET RD.
PEARL RIVER, NY. 10965

Tax Map Designation:
Section: 69.14 Block: 3 Lot(s): 18
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the _____ side of _____, approximately _____ feet _____ of the intersection of _____, in the Town of ORANGETOWN in the hamlet/village of PEARL RIVER.

Acreage of Parcel <u>1.40</u>	Zoning District <u>R-15</u>
School District <u>PEARL RIVER UNION</u>	Postal District <u>PEARL RIVER</u>
Ambulance District <u>PEARL RIVER</u>	Fire District <u>PEARL RIVER</u>
Water District <u>UNITED WATER</u>	Sewer District <u>ORANGETOWN</u>

Project Description: (If additional space required, please attach a narrative summary.)
TEMPORARY RESIDENCE WHILE HOUSE BEING
REBUILT DUE TO FIRE

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 5/13/22 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If **subdivision**:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If **site plan**:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? no _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
 ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
 20 Greenbush Road
 Orangeburg, N.Y. 10962

Jane Slavin, R.A.
 Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: May 25, 2022

Applicant: Lamond

Address: 54 Bocket Rd, Pearl River, NY

RE: Application Made at: same

Chapter 43, Section 11.2 Definitions "Residence" and "Trailer" do not allow a Recreational Vehicle being used as temporary residence during Primary Residence repairs due to fire damage.

1 Variance required

Section: 69.14 Block: 3 Lot: 18

Dear Lamond:

Please be advised that the Building Permit Application, which you submitted on

May 13, 2022, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

[Signature]
 Richard O'Flyer
 Deputy Building Inspector

5/25/22

[Signature]
 Signature of Director
 NOTE: PLEASE KEEP FOR YOUR RECORDS
 12-31-18-CCC

5/25/22

Date
 CC: Rosanna Sfraga
 Liz Decort
 Debbie Arbolino

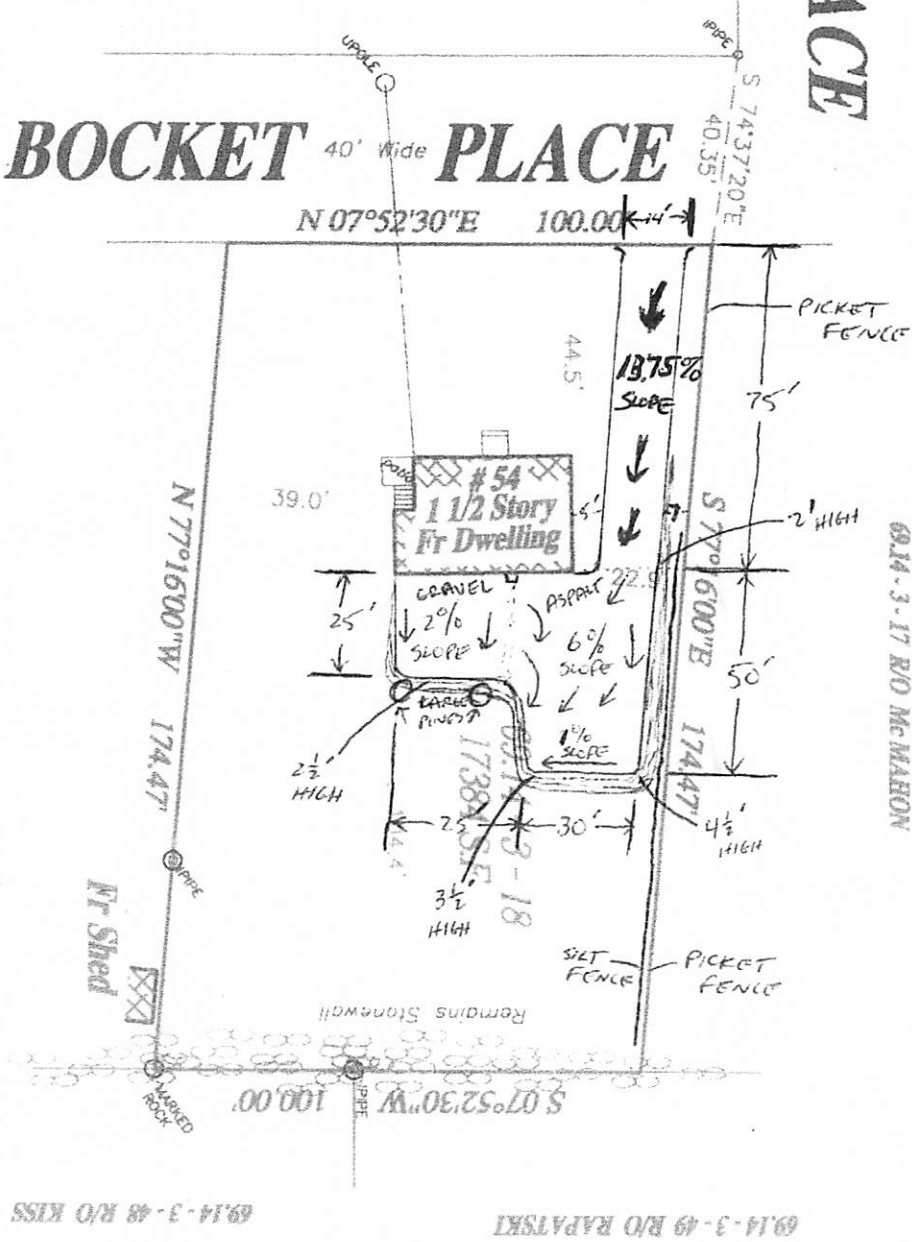
SWIS	PRINT KEY	NAME	ADDRESS
392489	69.14-2-48	John A Muldoon	55 Westminster Dr, Pearl River, NY 10965
392489	69.14-2-49	William Keane	61 Westminster Dr, Pearl River, NY 10965
392489	69.14-2-50	Martin Hickey	69 Westminster Dr, Pearl River, NY 10965
392489	69.14-2-51	John Muldoon	79 Westminster Dr, Pearl River, NY 10965
392489	69.14-3-16	Eugenia D Anderson	66 Bocket Rd, Pearl River, NY 10965
392489	69.14-3-17	Shane Harte	60 Bocket Rd, Pearl River, NY 10965
392489	69.14-3-18	Brian Lamond	54 Bocket Rd, Pearl River, NY 10965
392489	69.14-3-19	Michael S Farrell	50 Bocket Rd, Pearl River, NY 10965
392489	69.14-3-20	Peter G Marzec	275 Edsall Terr, Pearl River, NY 10965
392489	69.18-1-31	Jerry S Stepanyk	57 Bocket Rd, Pearl River, NY 10965
392489	69.18-1-32	James T Walsh	51 Bocket Rd, Pearl River, NY 10965
392489	69.18-1-33	Ronald Fernandez	45 Bocket Rd, Pearl River, NY 10965
392489	69.18-1-41	Matthew T Lenihan	44 Bocket Rd, Pearl River, NY 10965
392489	69.18-1-42	Neiden F Loughran	48 Bocket Rd, Pearl River, NY 10965
392489	69.18-1-43	Daniel Stensgard	47 Westminster Dr, Pearl River, NY 10965

Fax 914-997-2150

Attention : Dawn

EDSALL TERRACE

BOCKET 40' Wide PLACE



Legend:
 ● Property Corner Set
 ○ Property Corner Found
 Property Corner Monuments were not placed as part of this survey



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69.14-3-19 R/O FARRELL

69.14-3-17 R/O MCMAHON

69.14-3-48 R/O KISS

69.14-3-49 R/O RAPATSKI



Referer
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TAX M.

THIS SURVEY WAS
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 ROBERT R. RAJERSKI

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 JANET W.
 INDYAC
 NATIONAL

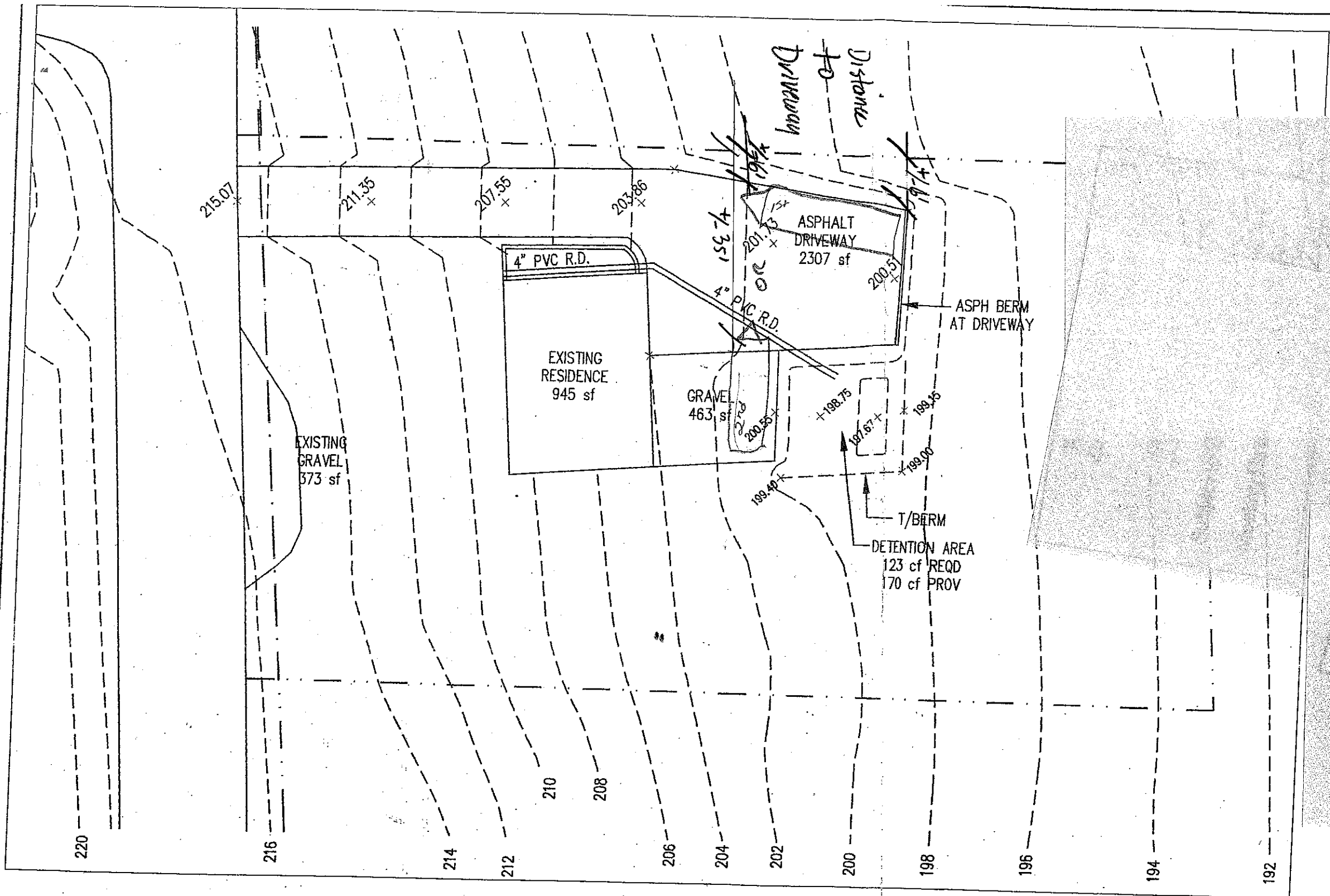
Robe
 N

NOTES:
 THIS IS A PROVISIONAL
 ACTING UNDER THE
 AND THE EXTENSION OF THE
 THIS SURVEY AS THE
 EXTENSION OF THE
 THIS SURVEY MAP 1.

GEO
 TOWN O

SEPTEMBER 2

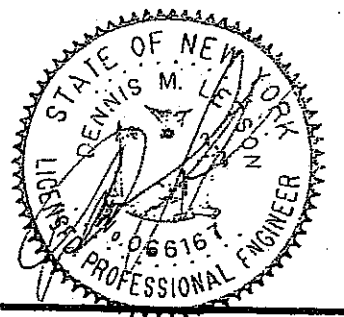




LEGEND

208	---	EXISTING/AS-BUILT CONTOUR
202	---	PROPOSED CONTOUR
203.6	LP	PROPOSED SPOT ELEVATION
203.6		AS-BUILT SPOT ELEVATION

POINTS AND BOUND AND BUILDING LOCATION FROM SURVEY BY R. RAHNEFELD PROVIDED BY OWNER. EXISTING TOPOGRAPHY FROM ROCKLAND COUNTY SURVEY MATERIAL 2000.



DENNIS M. LETSON, P.E.
 Consulting Engineer
 160 West Central Avenue, Pearl River, N.Y. 10965
 Tel. (845) 820-9788 Fax (845) 820-9788

PROJECT
LAMOND RESIDENCE
 PEARL RIVER, NEW YORK

SHEET TITLE
DRIVEWAY INSTALLATION
SITE PLAN

NO.	DATE	REVISION
2	7/8/07	REMOVE PROP GARAGE, AS-BUILT CONDITIONS
1	8/24/05	REVISE ROOF DRAIN

PROJECT NO.	05001	DRAWN BY	ME	DRAWING NO.
SCALE	1" = 20'	CHECKED BY	DML	1
DATE	JAN. 18, 2004	BY	05001\lamond.DWG	

1 OF 2 SHTS

54 Bucket