

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 5/20/22

2022 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BDR-1121-22
 ASSIGNED
 INSPECTOR: Dom

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: @Benedictine Julien

Street Address: 286 Enhardt Rd
Pearl River NY 10965

Tax Map Designation: Section: 109.05 Block: 3 Lot(s): 20

Directional Location:

On the east side of Enhardt Rd approximately 280 feet South of the intersection of Robertson DR, in the Town of ORANGETOWN in the hamlet/village of PEARL RIVER.

Acreage of Parcel <u>0.109</u>	Zoning District <u>R-15</u>
School District <u>Nanuet</u>	Postal District <u>PEARL RIVER</u>
Ambulance District <u>PEARL RIVER/NANUET</u>	Fire District <u>S. Orangetown</u>
Water District <u>Shez</u>	Sewer District <u>S. Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)

Taking off existing ROOF, extending well / roof height
2nd FLOOR EXTENSION

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 5/20/22 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? no

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: May 19, 2022

Applicant: Baudeline

Address: 286 Ehrhardt Rd Pearl River NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-15 District, Column 2 Group M, Column 3 SFR, Column 8 Front
Yard 30' with 19.2' and 25.8' proposed.
Two variances required

Section: 69.05

Block: 4

Lot: 35

Dear Baudeline:

Please be advised that the Building Permit Application, which you submitted on
May 2, 2022, has been denied. I have enclosed a Xerox copy of your application, where you will find
at the bottom the reason for denial.

**In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a
Building Inspector or Similar administrative office is thirty (30) days from the filing of such a
determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to
appear before the board.

Sincerely,


Richard Oliver
Deputy Building Inspector

5/19/22

Signature of Director

NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

Date

CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

69.05-4-35

SWIS	PRINT KEY	NAME	ADDRESS
392489	69.05-3-19 \	Trudyann Binger	297 Ehrhardt Rd, Pearl River, NY 10965 ✓
392489	69.05-3-20 \	Ian Pena	287 Ehrhardt Rd, Pearl River, NY 10965 ✓
392489	69.05-3-21 \	Greg Vamum	281 Ehrhardt Rd, Pearl River, NY 10965 ✓
392489	69.05-3-22 \	Comelio Mazariego	275 Ehrhardt Rd, Pearl River, NY 10965 ✓
392489	69.05-4-24 \	Giuseppe Oteri	11 Robertson Dr, Pearl River, NY 10965 ✓
392489	69.05-4-28 \	Jasmina Gutic	30 Robertson Dr, Pearl River, NY 10965 ✓
392489	69.05-4-29 \	Eileen G O'Connell	20 Robertson Dr, Pearl River, NY 10965 ✓
392489	69.05-4-30 \	Elias C Geras	10 Robertson Dr, Pearl River, NY 10965 ✓
392489	69.05-4-31 \	Thomas Hannay	298 Ehrhardt Rd, Pearl River, NY 10965 ✓
392489	69.05-4-32 \	Raymond Stormes	33 Villa Dr, Nanuet, NY 10954 ✓
392489	69.05-4-33 \	Charles Parnow Jr	294 Ehrhardt Rd, Pearl River, NY 10965 ✓
392489	69.05-4-34 \	Patrick Brennan	288 Ehrhardt Rd, Pearl River, NY 10965 ✓
392489	69.05-4-35 \	Baudeline Julien	288 Ehrhardt Rd, Pearl River, NY 10965 ✓
392489	69.05-4-36 \	Marc W Kroenung	32 Atlantic Ave, Nanuet, NY 10954 ✓
392489	69.05-4-37 \	Christopher G Potamianos	278 Ehrhardt Rd, Pearl River, NY 10965 ✓
392489	69.05-4-38 \	Kevin E Hurley	270 Ehrhardt Rd, Pearl River, NY 10965 ✓
392489	69.05-4-39 \	Michael G O'Meara	268 Ehrhardt Rd, Pearl River, NY 10965 ✓
392489	69.05-4-40 \	Edward W Aufenanger	264 Ehrhardt Rd, Pearl River, NY 10965 ✓
392489	69.08-1-43 \	Diane Hogan	15 Thomsen Cir, Pearl River, NY 10965 ✓
392489	69.08-1-44 \	Eileen M Rufo	19 Thomsen Cir, Pearl River, NY 10965 ✓
392489	69.08-1-45 \	Michael Vislocky	24 Thomsen Cir, Pearl River, NY 10965 ✓
392489	69.08-1-46 \	Joseph Gartner	16 Thomsen Cir, Pearl River, NY 10965 ✓
392489	69.08-1-47 \	Steven R Smith	157 Villa Rd, Pearl River, NY 10965 ✓
392489	69.05-4-41 \	Patrick Byrne	252 Ehrhardt Rd, Pearl River, NY 10965
392489	69.05-4-42 \	Patrick Byrne	252 Ehrhardt Rd, Pearl River, NY 10965

69.05-3-23

Neighborhood Church of
the Christian + missionary

253 Ehrhardt Rd., Pearl River, NY 10965

69.05-3-11

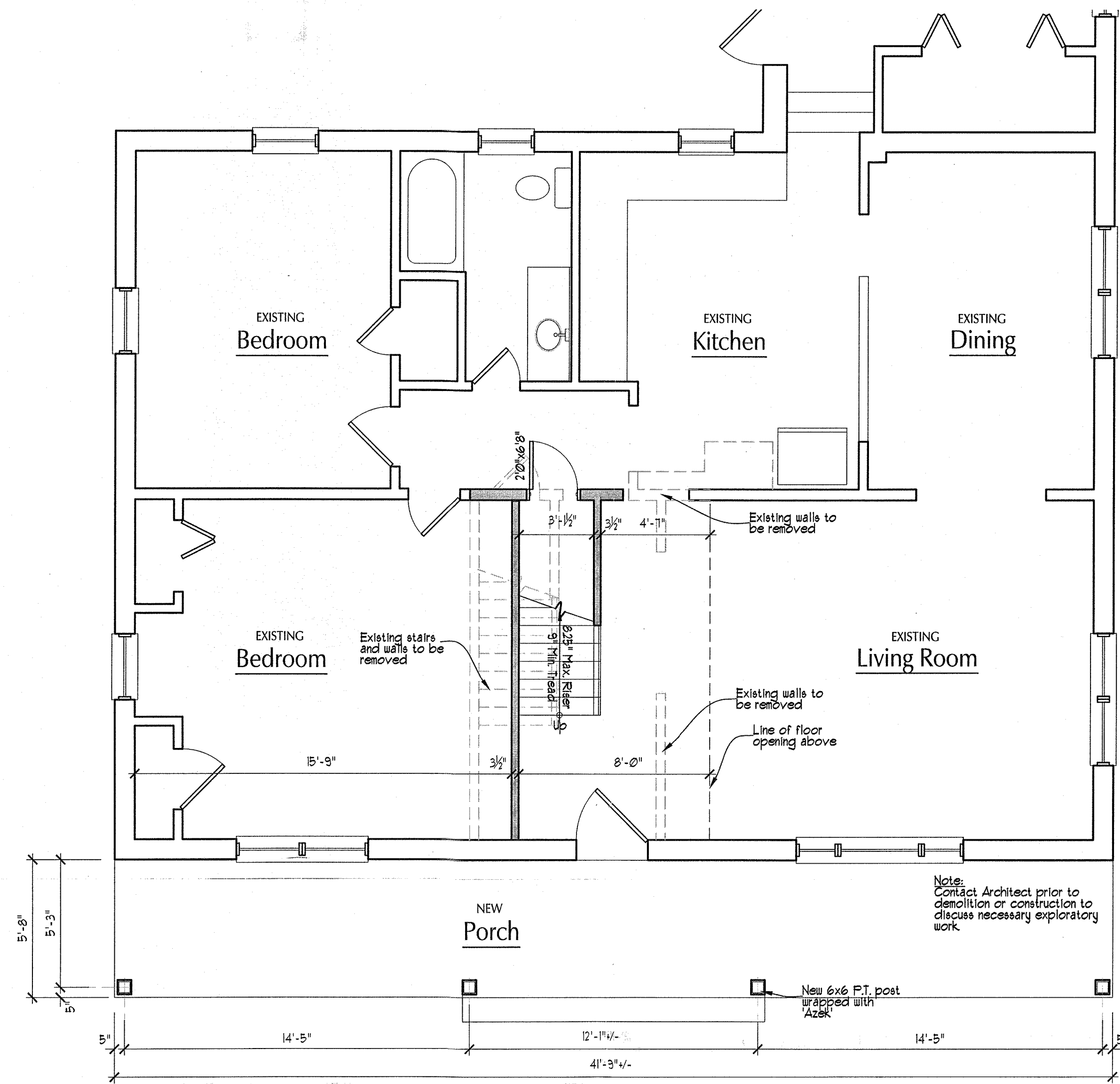
Maureen Benoit

178 Violet Dr., Pearl River, NY 10965

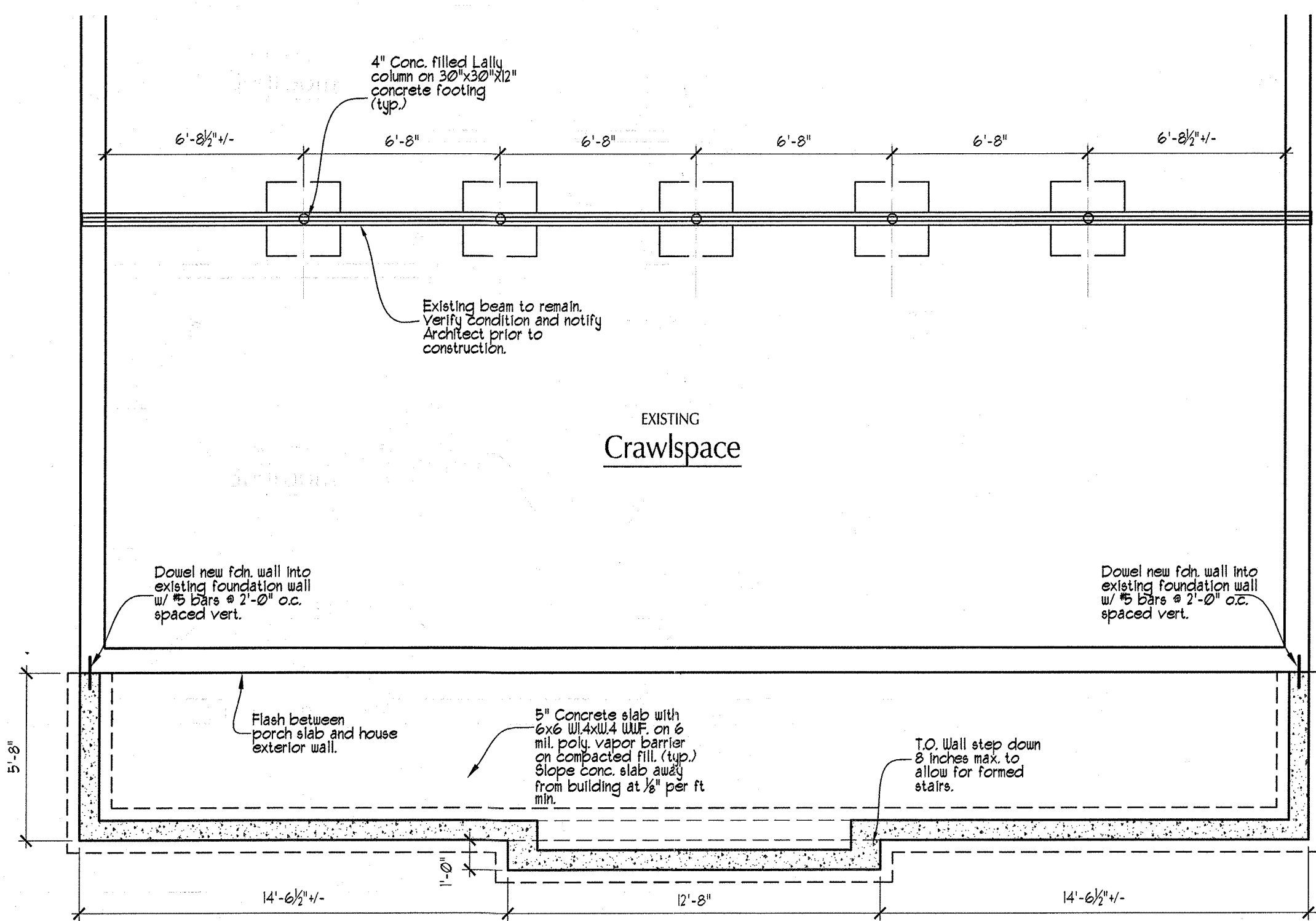
69.05-3-12

Norman J Peterson +
Yeu Sunyoung

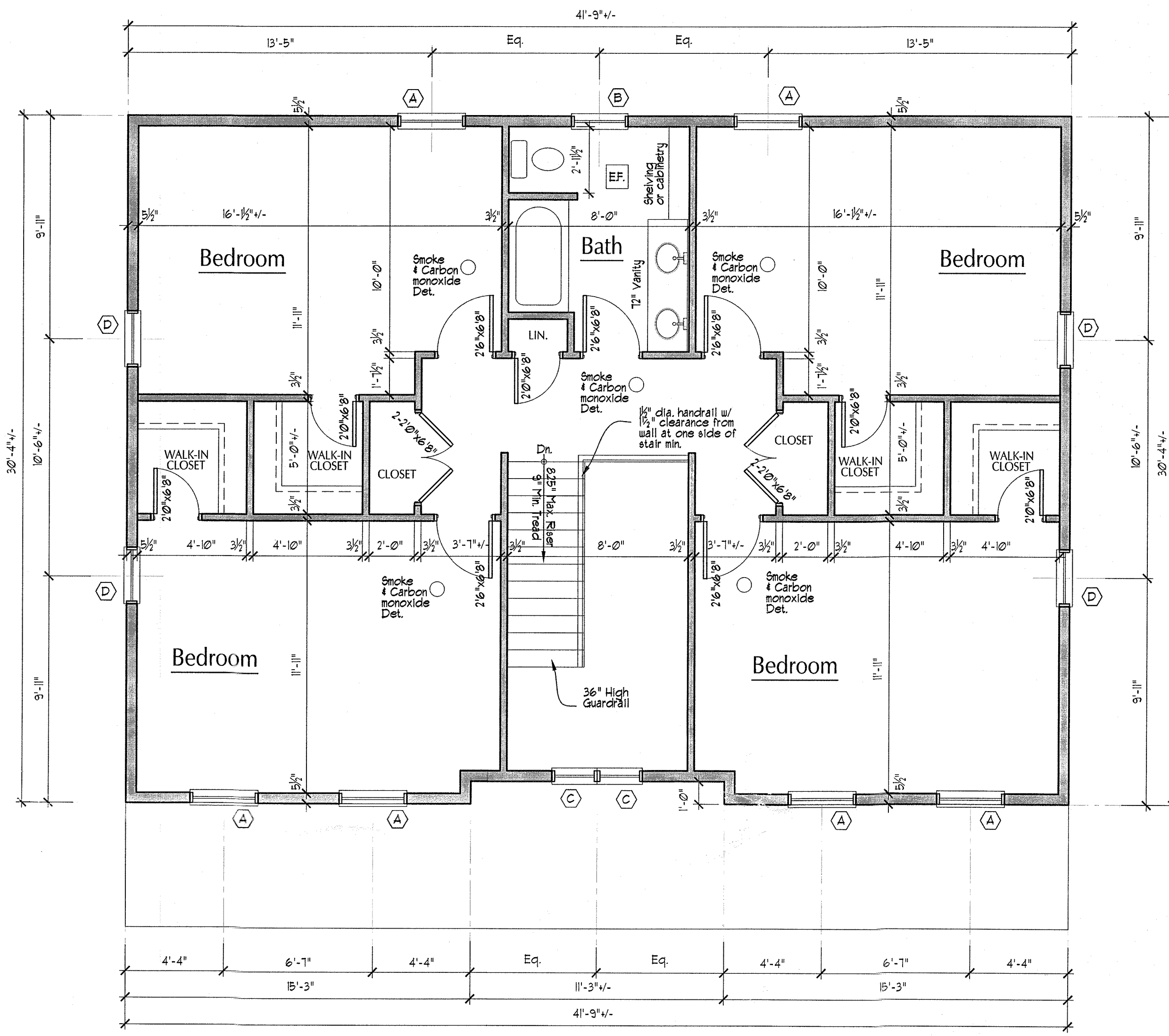
170 Violet Dr., Pearl River, NY 10965



2 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



3 FOUNDATION PLAN
SCALE: 1/4"=1'-0"



1 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

General Notes:

- Contractor shall provide field verifications and measurements where the work is affected by existing/site conditions. Contractor or Owner shall notify Architect prior to construction when plan discrepancies are found. Architect shall not be responsible for changes made in the field that deviate from the drawings unless approved by Architect.
- The contractor shall comply with all local, state and federal regulations.
- Mechanical and electrical systems are to be done on a design/build basis by the contractor, and shall meet all applicable codes and standards. Consult with owner prior to installation of these systems.
- Contractor shall be responsible for securing all necessary permits and fees.
- All interior walls to be 1/2" G.I.B. on 2x4 or 2x6 studs @ 16" o.c. unless noted otherwise.
- Provide shelving and hanging rods as applicable at all closets.
- All closets shall have the same floor treatment as the adjacent room.
- Provide moisture resistant G.I.B. behind all sinks and in all bathrooms.
- All dimensions are to face of framing unless noted otherwise.
- All closets shall be provided with hanging rod at 5'-4" AFF. with shelf above unless otherwise noted.
- Provide 4 shelves spaced 12" o.c. vertically in all linen closets.

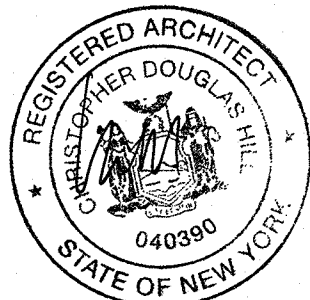
Foundation Notes:

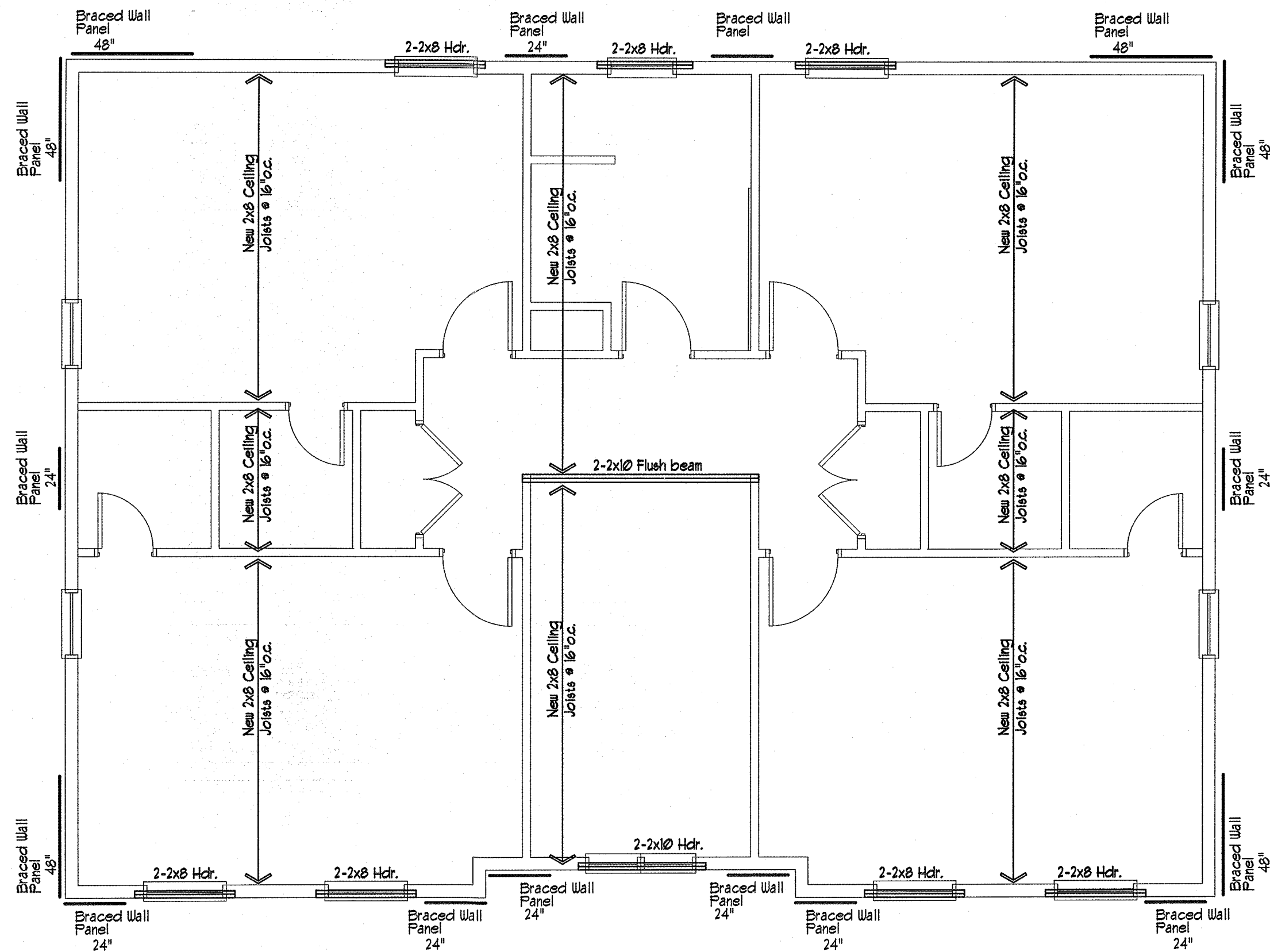
- All concrete shall have a strength of 3000 p.s.i. at 28 days (min.) Any other slabs exposed to weather shall have a strength of 3500 p.s.i. at 28 days (min.)
- All footings shall bear on undisturbed soil with min. bearing capacity of 3000 Psl and shall be a minimum of 3'-6" below finish grade.
- All foundation/footing steps shall have sloped bottom of footing.
- Provide 1/2" dia. anchor bolts at 6'-0" o.c. and 12" from corners. Bolts shall extend min. 1'-0" into concrete.
- Concrete slabs shall be 4" thk. on 6 mil. poly. vapor barrier over 6" min. compacted gravel fill. (Garage & exterior slabs shall be 5" thick.) Field verify soil conditions and provide wire mesh or fiber mesh as req'd.
- Provide structural fill (95% compaction) under all concrete slabs where backfill is required.
- Any wood in direct contact with concrete or within 8" of grade shall be pressure treated lumber.
- Provide sleeves for piping, mechanical & electrical services as required (typ.)
- Contractor to verify T.O.W. (top of wall) elevation with finish grade.
- Contractor shall be responsible for verifying soil conditions. Substandard soils shall require a structural engineer to determine proper reinforcement for foundation walls and slabs.

Window Schedule

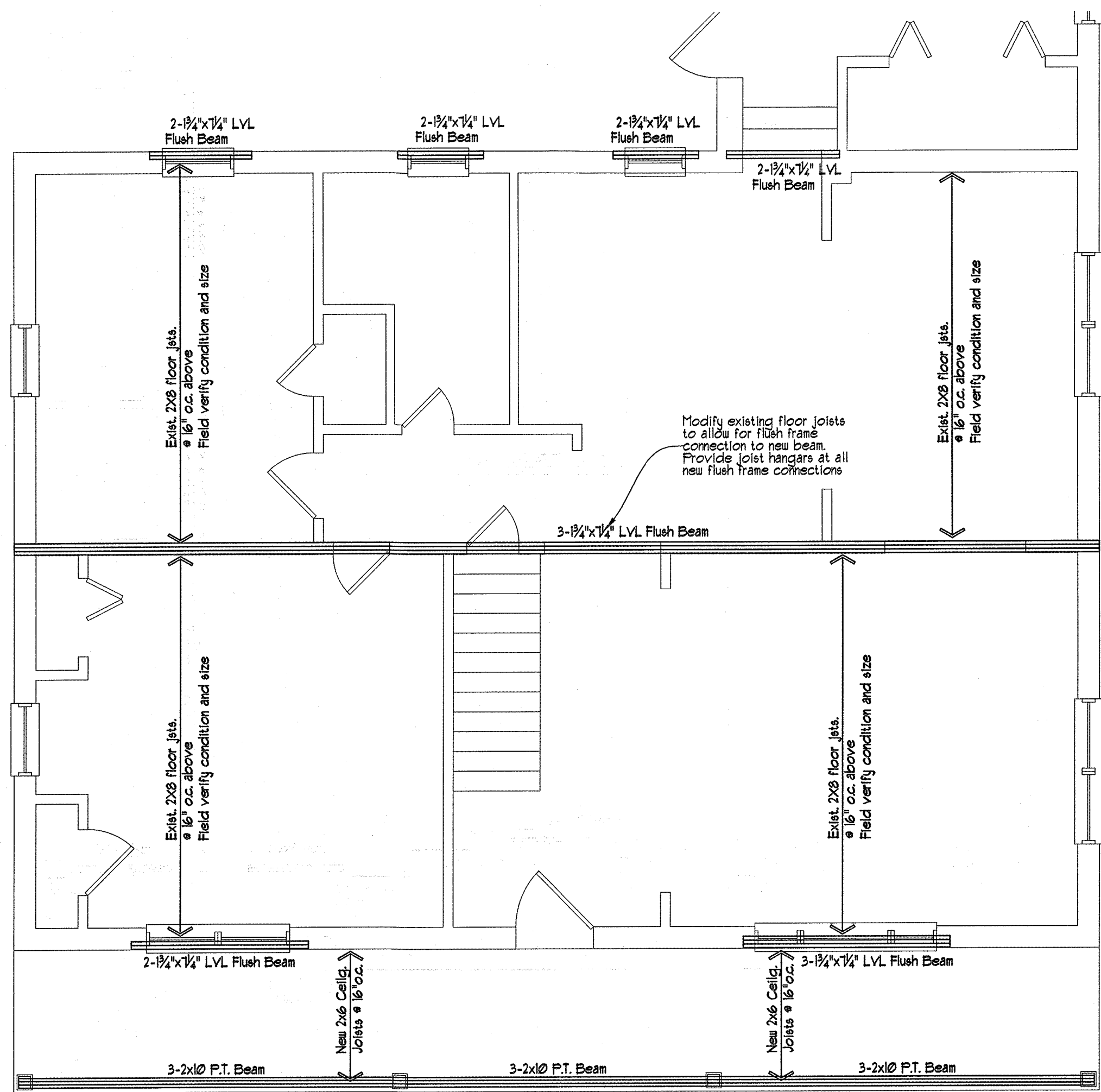
No.	Unit Size	Type	Remarks
A	3'-0"x5'-0"	Dbl. Hung	Egress window
B	2'-6"x4'-0"	Dbl. Hung	
C	2'-0"x3'-6"	Dbl. Hung	
D	2'-6"x5'-0"	Dbl. Hung	
E	1'-10"x1'-10"	Awing	

Note: Window unit sizes are shown for design purposes. Contractor shall provide window schedule for review prior to construction. Screens shall be included. Consult with owner for grille and color options. Contractor shall consult manuf. installation instructions for rough opening sizes.





3 SECOND FLR. CEIL. FRAMING PLAN
SCALE: 1/4"=1'-0"



2 SECOND FLR. FRAMING PLAN
SCALE: 1/4"=1'-0"

Framing Notes:

Design of new framing members based on the following values:
 F_b (base value) = 875psi
 F_v = 90psi
 E = 1,600,000 psi
 Micro-Lam Beams = 2800 F_b

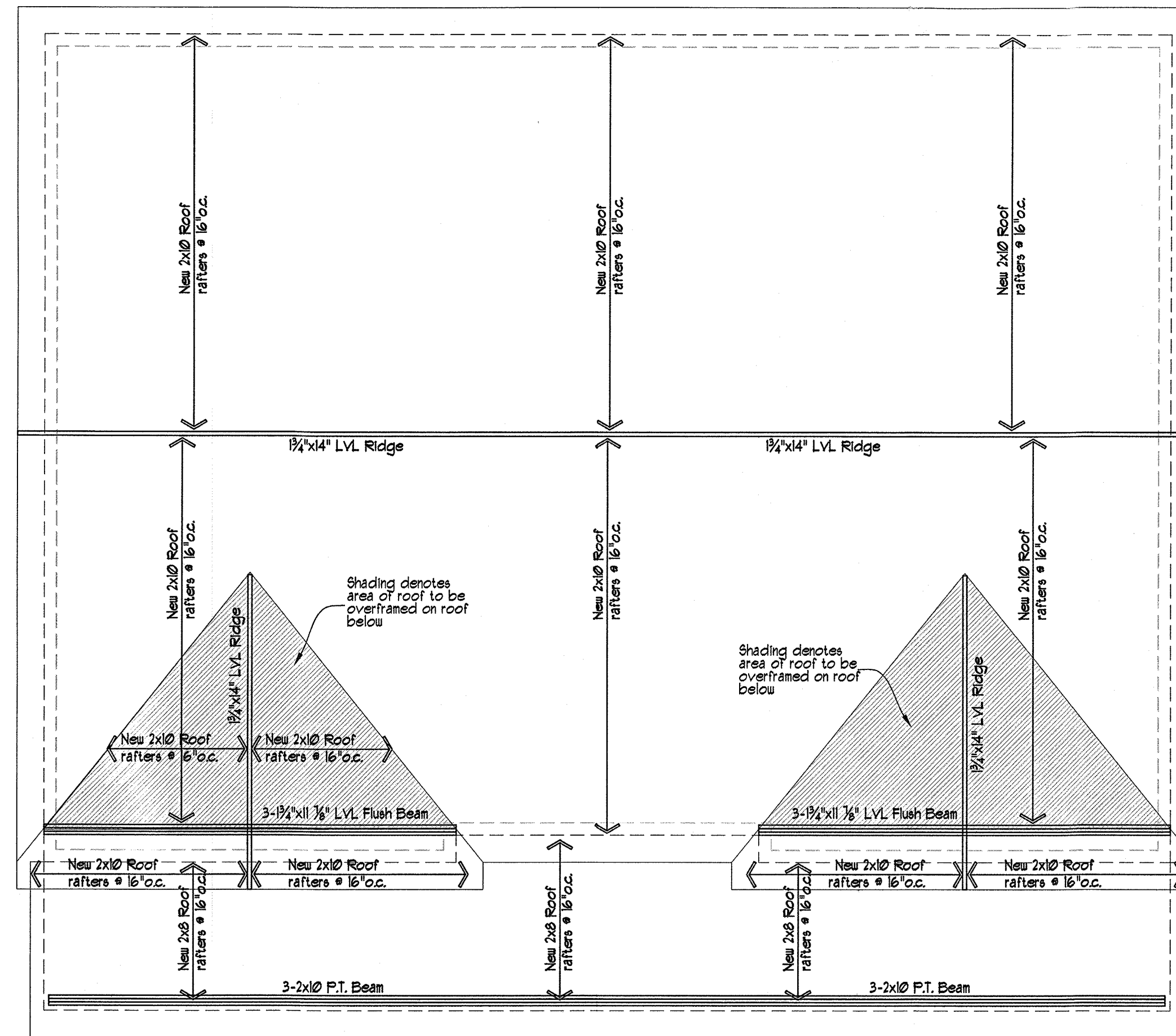
Structural Loads:	Dead Load	Live Load	Total Load
1st FLOORS	10 lbs./SF.	40 lbs./SF.	50 lbs./SF.
2nd FLOORS	10 lbs./SF.	30 lbs./SF.	40 lbs./SF.
ROOF	10 lbs./SF.	40 lbs./SF.	50 lbs./SF.
ATTIC	10 lbs./SF.	15 lbs./SF.	25 lbs./SF.

- All standard lumber joists and rafters to be kiln dried or surface dried Douglas-Fir Larch 2' or better with an allowable bending stress of 1200 psi min. All studs to be kiln dried or surface dried Spruce-Pine-Fir 2' grade. Max. moisture content shall not exceed 18%.
- All LVL beams from manuf. 'Boise-Cascade'. Any substitutions shall meet or exceed the performance and quality specifications of this manuf. Architect and Owner shall be notified of any substitutions prior to construction. Install engineered joists per manuf. installation instructions. Notify Architect of any discrepancies prior to construction.
- All framing shall be spaced at 16" o.c. unless otherwise noted.
- Provide cross bridging at 8'-0" o.c. maximum within all horizontal framing. Refer to engineered joists and rafters installation instructions for further requirements.
- Provide solid wood blocking in floor framing space below all columns, posts and jack studs to transfer loads to structure below.
- Typical door headers shall be 2-2x8's unless noted otherwise.

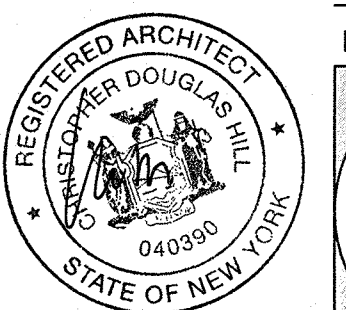
- Provide metal joist hangers at all flush framing conditions unless noted otherwise.
- G.C. to minimize notching of floor joist for the installation of new plumbing piping. Where notching is unavoidable, joist hole or notch shall be less than 1/4 joist depth. Provide 1/8" x 1/2" sheet metal straps at the bottom of all notched floor joist. Straps shall extend 8" along bottom of joist at each side of pipe.
- General Contractor shall field verify all dimensions and conditions and shall notify architect of any discrepancies prior to start of construction.
- All lumber in direct contact with concrete, masonry or within 8" of finish grade shall be pressure treated.
- Floor construction shall remain continuous across all mechanical chases throughout the entire building. All floor penetrations shall be firestopped as required.
- Provide firestopping at all duct, pipe and other penetrations through rated partitions and floor assemblies. Use UL rated sealants and caulking as manufactured by Dow 3M or approved equal. Follow manufacturer's installation instructions.
- Provide solid blocking for wall mounted accessories such as handrails, bathroom accessories, etc.
- Provide double joists or rafters on all sides of all openings in floors & roofs.
- Provide double joists under parallel partitions.
- Provide all connectors and fasteners as req'd by code to perform work shown. Where discrepancies occur notify Architect prior to construction. Where fasteners are exposed to exterior, galvanized fasteners shall be used.

Roof Notes:

- Provide 30 year roof shingles over #5 roofing paper unless otherwise noted.
- Provide side ice and water barrier at all valleys, rakes, eaves and along roof surfaces that abut an adjacent wall or have a pitch of 4:12 or less. Ice and water shield shall extend 2'-0" beyond interior plain of exterior wall surfaces.
- Provide prefinished metal gutters and downspouts. All downspouts shall have a min. 4" diameter. Coordinate downspout locations with site plan for drainage connections if req'd.
- Provide perforated vinyl beaded soffits at all soffits.
- Provide ridge vents at all ridges.
- Install roofing materials per manuf. installation instructions. Where there is a discrepancy between materials selected and scope of work shown, notify architect prior to construction.

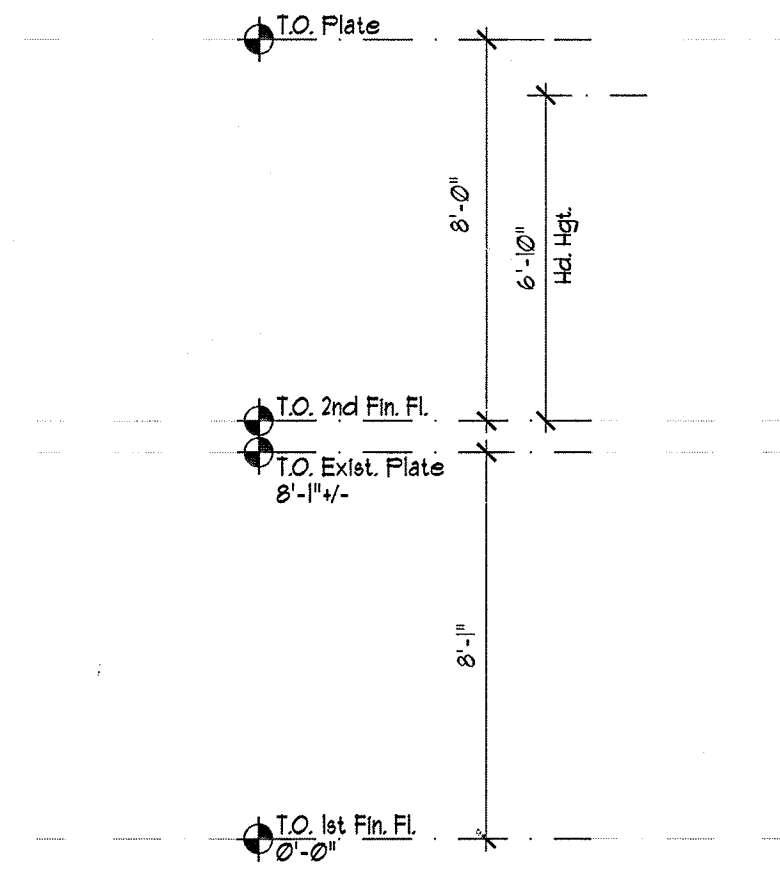


1 SECOND FLR. FRAMING PLAN
SCALE: 1/4"=1'-0"

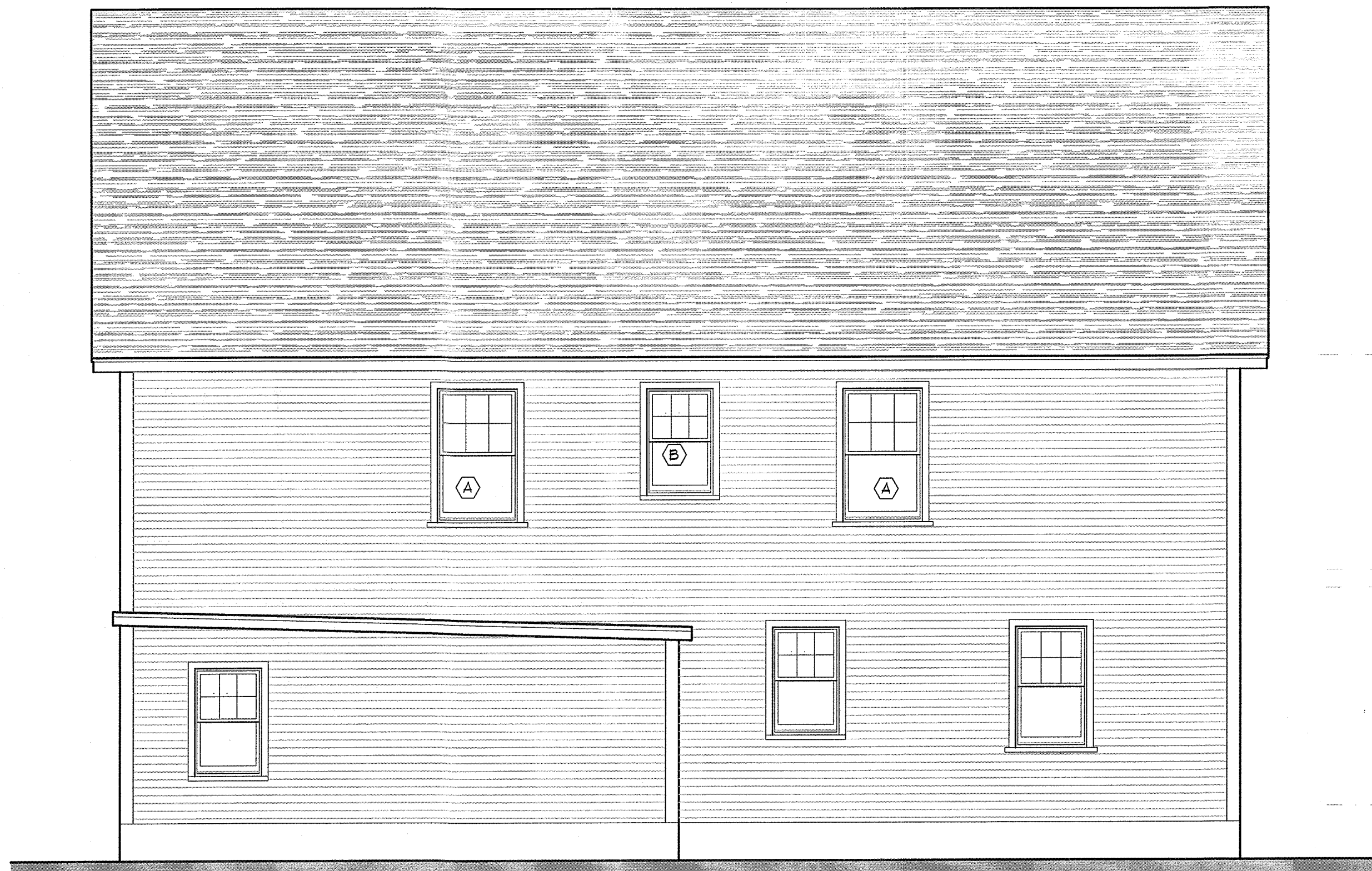
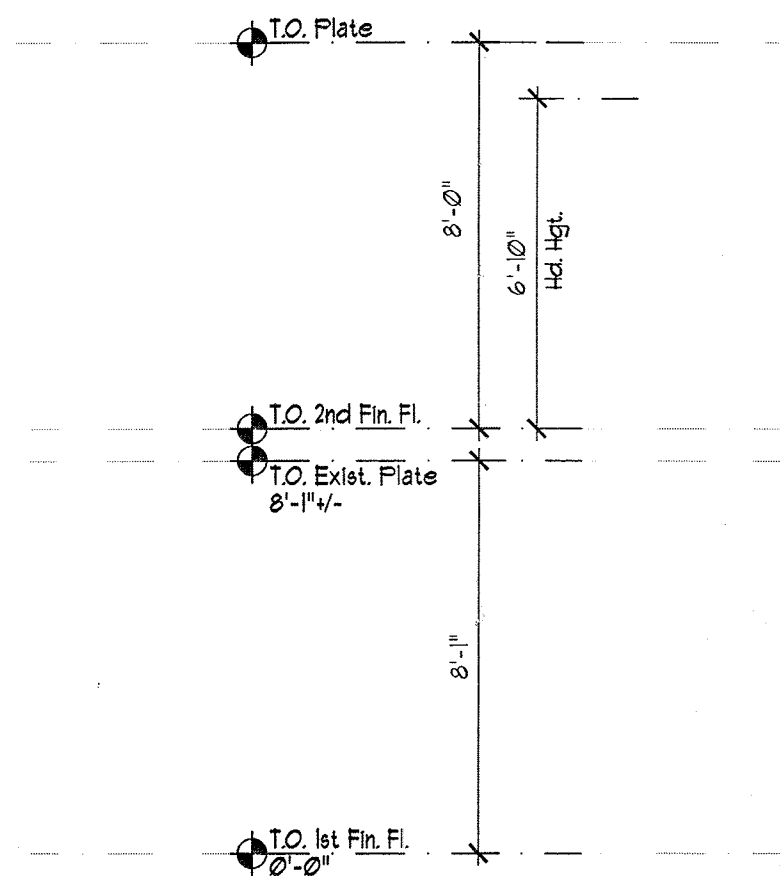




1 WEST ELEVATION
SCALE: 1/4"=1'-0"



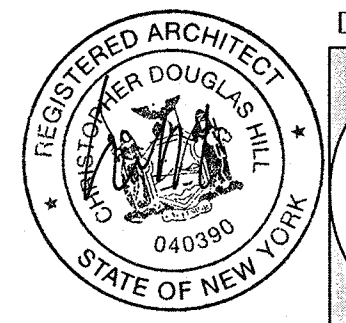
2 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

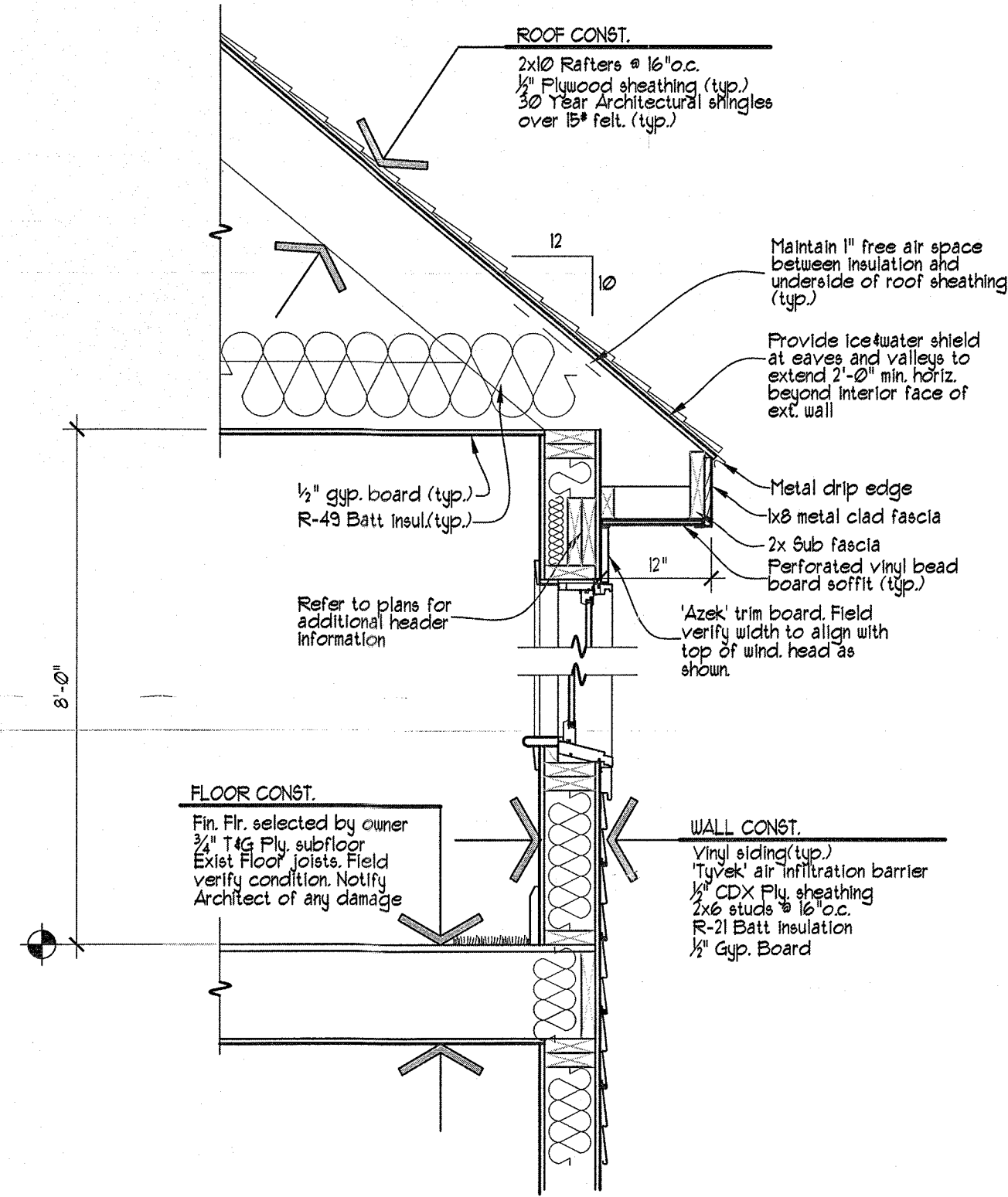


3 EAST ELEVATION
SCALE: 1/4"=1'-0"

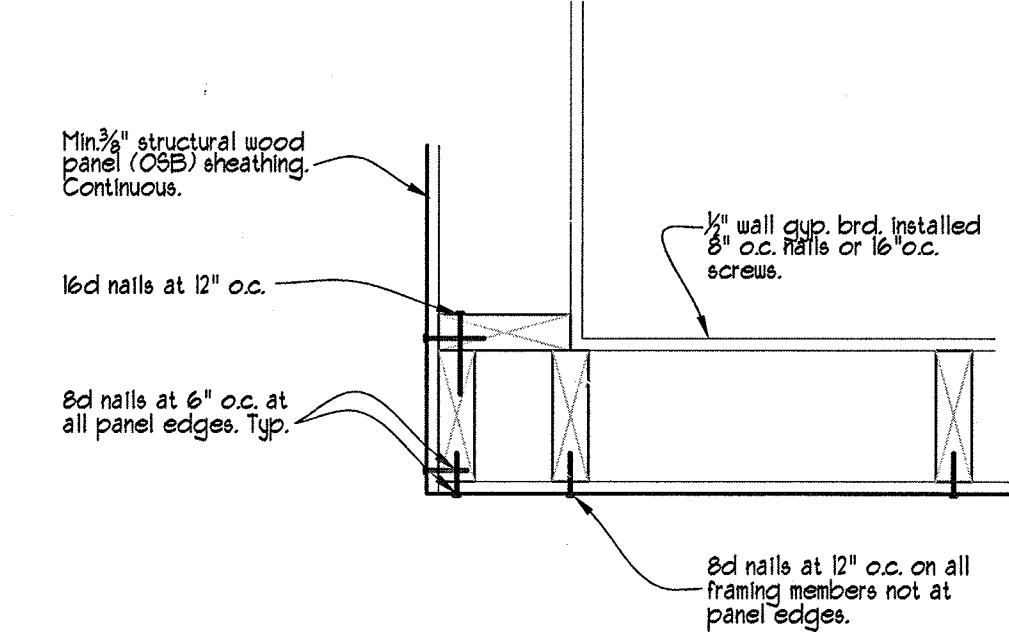


4 NORTH ELEVATION
SCALE: 1/4"=1'-0"

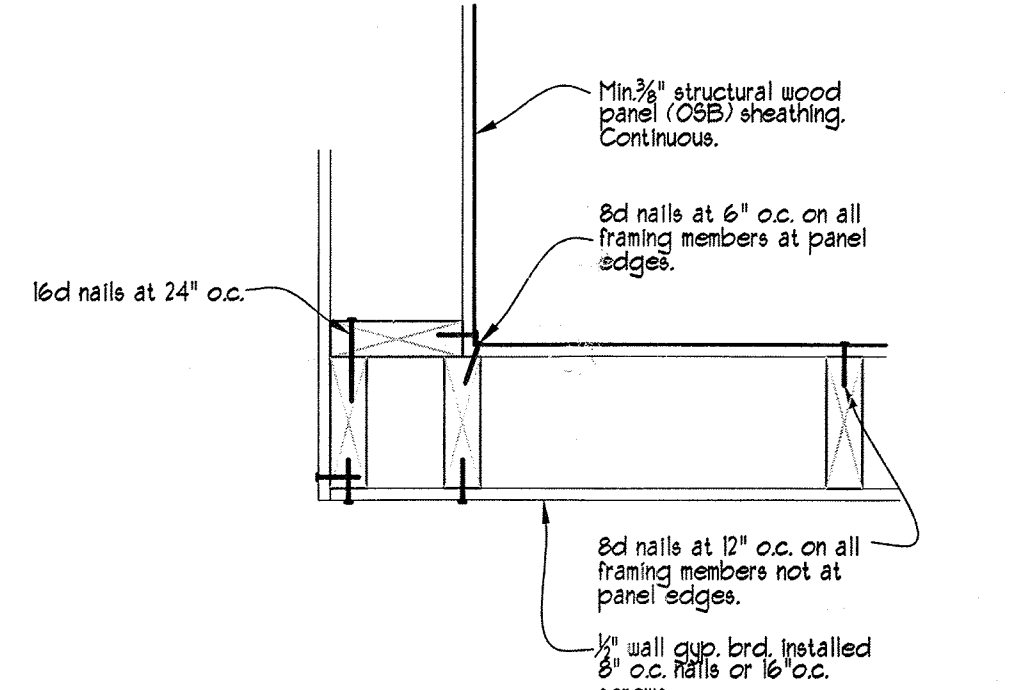




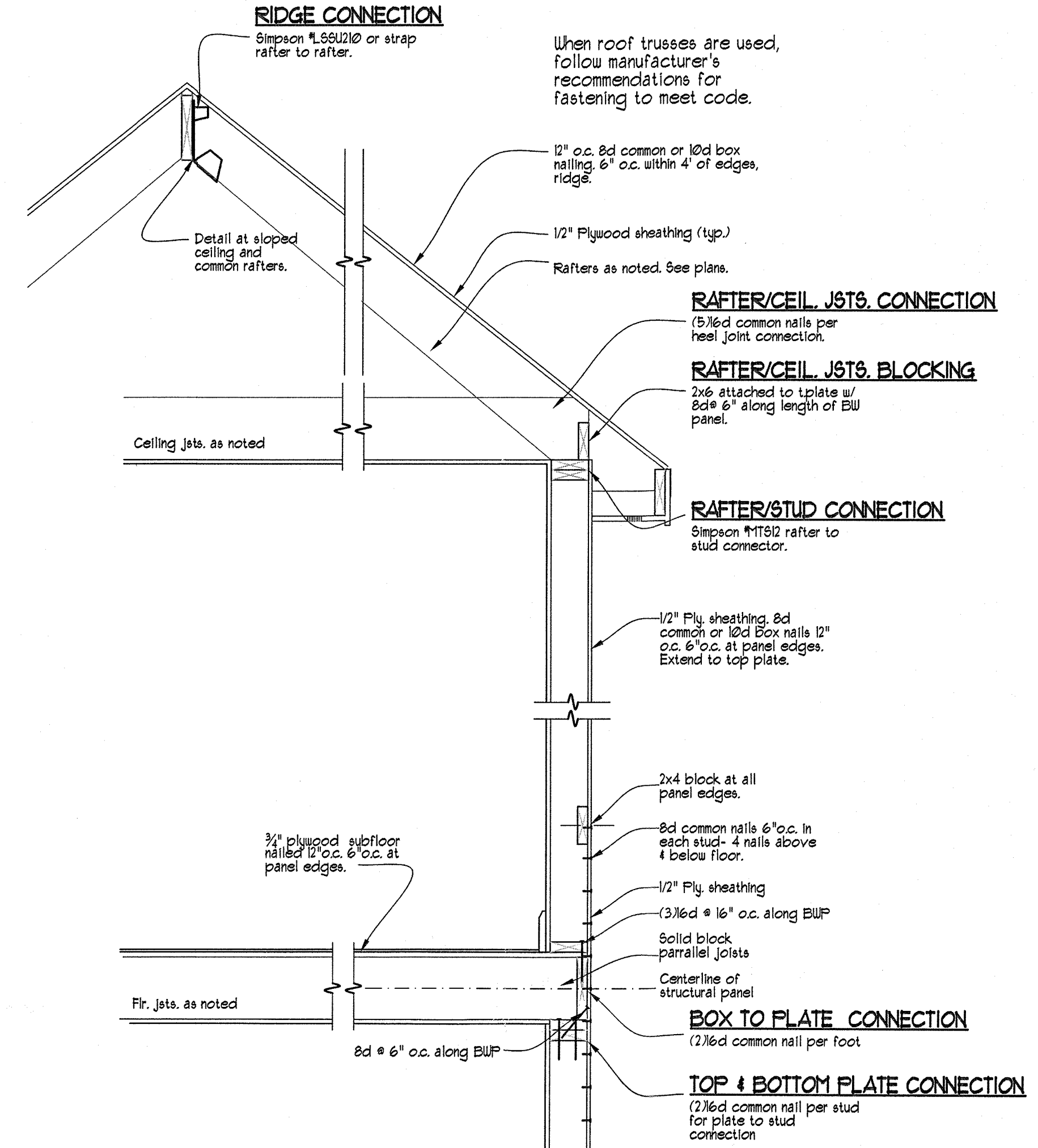
4 TYP. WALL SECTION
 SCALE: 3/4"=1'-0"



1 EXT. CORNER FASTENING
 SCALE: 1-1/2"=1'-0"

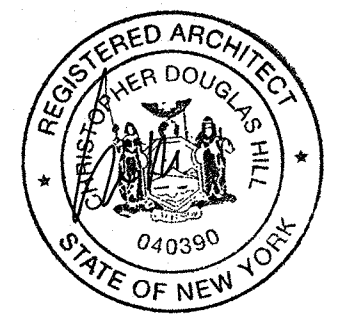


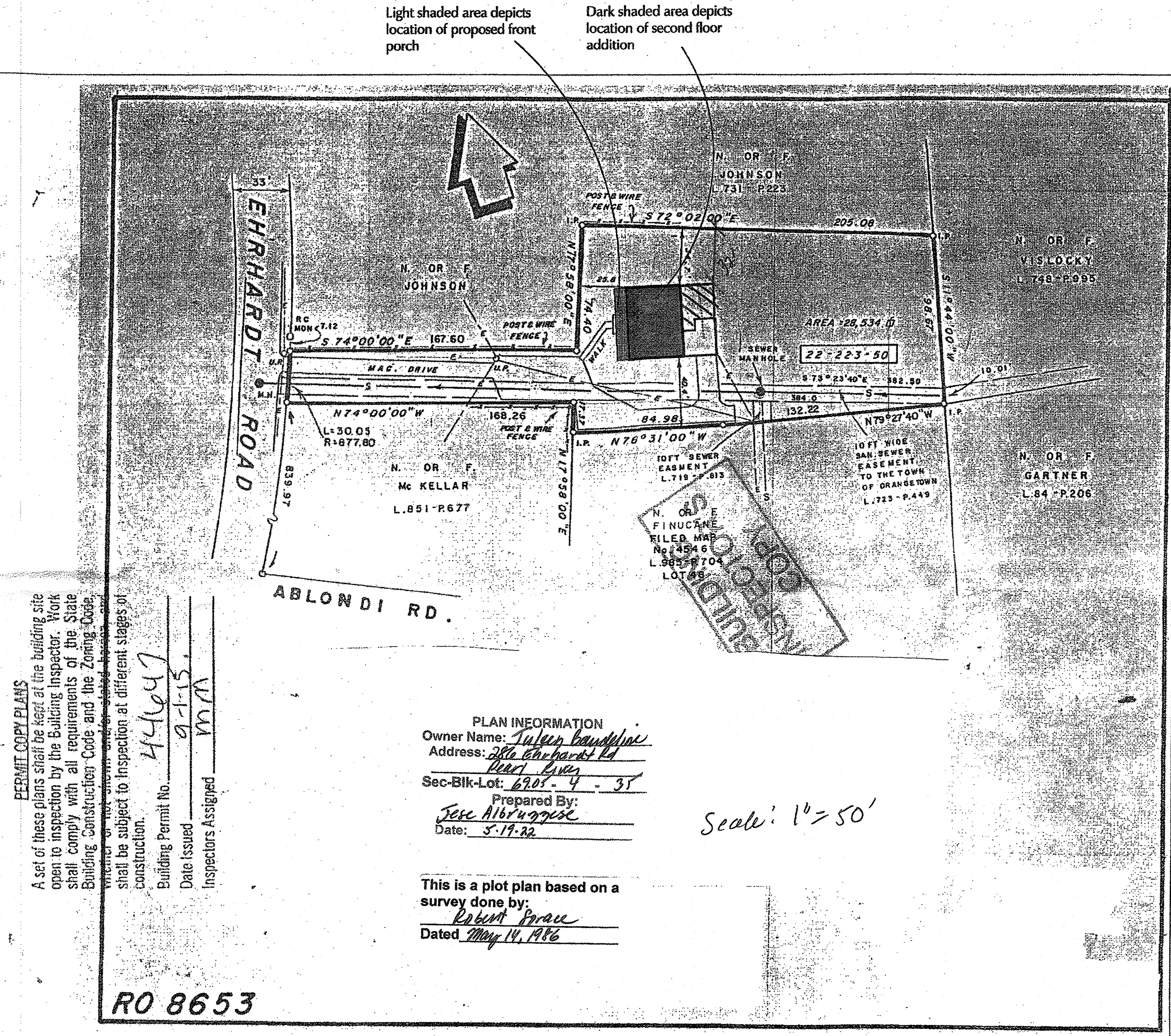
2 INT. CORNER FASTENING
 SCALE: 1-1/2"=1'-0"



3 TYP. BRACED WALL SECTION
 SCALE: 3/4"=1'-0"

When roof trusses are used, follow manufacturer's recommendations for fastening to meet code.





Light shaded area depicts location of proposed front porch
 Dark shaded area depicts location of second floor addition

PERMIT COPY PLANS
 A set of these plans shall be kept at the building site open to inspection by the Building Inspector. Work shall comply with all requirements of the State Building Construction Code and the Zoning Code, which are hereby incorporated by reference into these plans. These plans shall be subject to inspection at different stages of construction.
 Building Permit No. 44647
 Date Issued 9-15
 Inspectors Assigned MM

PLAN INFORMATION
 Owner Name: Luisa Bandjine
 Address: 286 Ehrhardt Rd Pearl River
 Sec-Blk-Lot: 286-4-31
 Prepared By: Jose Alvarez
 Date: 5-19-22

This is a plot plan based on a survey done by:
Robert Franck
 Dated May 14, 1986

Scale: 1" = 50'

RO 8653

Zoning Table		
ZONE: R-B	Required	Provided
FAR	20 Max	10
Min Lot Area	15,000 sq. ft.	28,534 sq. ft.
Min Lot Width	100'	83' (approx)
Min Street Frontage	75'	205' (exist)
Required Front Yard	30'	14.3' (approx)
Required Side Yard	20'	32'
Total Side Yard	50'	60.4' (approx)
Required Rear Yard	35'	81' (approx)

1 SITE DIAGRAM
 SCALE: 1/50" = 1'-0"

The purpose of this diagram is to show the proposed location of work. This is not to be construed as a certified site plan. The survey shown (drawn by Dillin & Sorace Associates) is being used as an underlay only. All proposed structures and work shall be properly located by surveyor and shall conform with zoning regulations.