

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

2022 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR 1265-22

ASSIGNED

INSPECTOR: Ken

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: ~~Proposed~~ Hoppe Residence ~~Existing Deck Permit and C/O.~~

Street Address: Hoppe Residence - 8 Cara Drive, Nanuet NY 10954

Tax Map Designation:
 Section: 64.18 Block: 1 Lot(s): 14
 Section: _____ Block: _____ Lot(s): _____

Directional Location:
 On the right side of Cara Drive, approximately 50'-0" feet past _____ of the intersection of Summit Place heading north, in the Town of ORANGETOWN in the hamlet/village of Nanuet.

Acreage of Parcel .26 acres
School District Nanuet Union Free
Ambulance District Nanuet
Water District Nanuet

Zoning District R-15
Postal District Nanuet
Fire District Nanuet
Sewer District Nanuet

Project Description: *(If additional space required, please attach a narrative summary.)*
An existing non-conforming Deck for permit and c/o.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
 Date: 6/11/22 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

Applicant: Rick Hoppe Phone # 917-217-3349

Address: 8 Cara Drive Nanuet NY 10954
Street Name & Number (Post Office) City State Zip Code

Property Owner: Mr. Rick & Mrs. Ginny Hoppe Phone # 917-217-3349 Rick
845-234-0482 Ginny

Address: 8 Cara Drive Nanuet NY 10954
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Karl Ackermann, AIA Phone # 845-661-0893

Address: 159 E Central Avenue Pearl River NY 10965
Street Name & Number (Post Office) City State Zip Code

Attorney: N/A Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

Contact Person: Karl Ackermann, AIA Phone # 845-661-0893

Address: 159 E Central Avenue Pearl River NY 10965
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|--|---|
| <input type="checkbox"/> State or County Road
<input type="checkbox"/> Long Path
<input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> State or County Park
<input type="checkbox"/> County Stream
<input type="checkbox"/> County Facility |
|--|---|

List name(s) of facility checked above:

Referral Agencies:

- | | |
|---|---|
| <input type="checkbox"/> RC Highway Department
<input type="checkbox"/> RC Drainage Agency
<input type="checkbox"/> NYS Dept. of Transportation
<input type="checkbox"/> NYS Thruway Authority
<input type="checkbox"/> Adjacent Municipality _____
<input type="checkbox"/> Other _____ | <input type="checkbox"/> RC Division of Environmental Resources
<input type="checkbox"/> RC Dept. of Health
<input type="checkbox"/> NYS Dept. of Environmental Conservation
<input type="checkbox"/> Palisades Interstate Park Commission |
|---|---|

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? no _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: May 26, 2022
Applicant: Hoppe
Address: 8 Cara Dr, Nanuet
RE: Application Made at: same

Chapter 43
Section 5.21(c) Undersized lot requires 15' side yard and 30' total side yard
Table 3.12, Column 1 R-15 District, Column 2 Group M, Column 3 SFR, Column 9 Required Side Yard
15' w/ 9'10" proposed and 15'4" proposed, Column 10 Total; side Yard 30' w/ 25'2" proposed
~~Three~~ variances required

two

Section: 64.18 Block: 1 Lot: 14

Dear Hoppe:

Please be advised that the Building Permit Application, which you submitted on
May 23, 2022, has been denied. I have enclosed a Xerox copy of your application, where you will find
at the bottom the reason for denial.

**In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a
Building Inspector or Similar administrative office is thirty (30) days from the filing of such a
determination with the Town Clerk.**

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to
appear before the board.

Sincerely,

[Signature]
Richard Oliver
Deputy Building Inspector

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

**PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.
APPLICATION FOR BUILDING / DEMOLITION PERMIT**

Phone: (845) 359-8410 Fax: (845) 359-8526

Name of Municipality: **Town of Orangetown, 20 Greenbush Road, Orangeburg, NY**

MAY 24 2022
BY: SM

OFFICIAL USE ONLY			
Inspector: <u>R-15 Ken GML</u>	Date App Received: <u>5-23-22</u>	Received By: <u>SM</u>	<u>.26 here</u>
Permit Fee: <u>5670</u>	Ck# <u>1047</u>	Paid By: <u>Richard Hoppe</u>	
GIS Fee: <u>770</u>	Ck# _____	Paid By _____	
Stream Maintenance Fee _____	Ck # _____	Paid By _____	
1 st 6 mo. Ext.: _____	Ck # _____	New Exp. Date: _____	Paid By: RECEIVED
2 nd 6 mo. Ext.: _____	Ck # _____	New Exp. Date: _____	Paid By _____
Additional Fee: _____	Ck# _____	Date _____	Paid By: MAY 23 2022
Permit No. <u>BLDR1265-22</u>	Date Issued: _____	TOWN OF ORANGETOWN BUILDING DEPARTMENT	
CO No. _____	Date Issued: _____		

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application,
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 8 Cara Drive, Nanuet, NY 10954

Section: 64.18 Block: 1 Lot: 14

Property Owner: Mr. & Mrs. Hoppe

Mailing Address: Hoppe Residence

Email: rickgin@optonline.net Phone#: _____

Lessee (Business Name): N/A

Mailing Address: N/A

Email: N/A Phone#: N/A

Type of Business /Use: Residential - One Family

Contact Person: Karl Ackermann, AIA Relation to Project: Architect

Email: karlarch159@gmail.com Phone#: _____

Architect/Engineer: Karl Ackermann, AIA NYS Lic # 027393

Address: 159 E Central Avenue Pearl River NY 10965 Phone#: 845-661-0893

Builder/General Contractor: N/A RC Lic # _____

Address: _____ Phone#: _____

Plumber: N/A RC Lic # _____

Address: _____ Phone#: _____

Electrician: N/A RC Lic #: _____

Address: _____ Phone#: _____

Heat/Cooling: N/A RC Lic#: _____

Address: _____ Phone#: _____

Existing use of structure or land: Residential - One Family

Proposed Project Description: Existing Rear Wood Deck and Trellis above for permit and C/O.

clp for

Proposed Square Footage: 0 Estimated Construction Value (\$): 30,000.

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____

PERMIT REFERRED / DENIED FOR: _____

Chapter 43
Section 5.21(c) Undersized lot requires 15' side yard and 30' total side yard
Table 3-12 Bulk Del, R-15 District, Col 2 Group M, Col 3 SR, Column 9
15' Required side yard w/ 9'10" proposed and 15'4" proposed, Column 10
Total Side Yard 30' w/ 25'2" proposed.

RB Deputy 5/24/22

FOR OFFICE USE ONLY SECTION BLOCK LOT NAME PERMIT#

SWIS	PRINT KEY	NAME	ADDRESS
392489	64.18-1-11	Tricia Cullen	2 Cara Dr, Nanuet, NY 10954
392489	64.18-1-12	Geoffrey Gaiss	4 Cara Dr, Nanuet, NY 10954
392489	64.18-1-13	James Molloy	6 Cara Dr, Nanuet, NY 10954
392489	64.18-1-14	Richard W Hoppe	8 Cara Dr, Nanuet, NY 10954
392489	64.18-1-15	Sean Markey	10 Cara Dr, Nanuet, NY 10954
392489	64.18-1-16	Margaret Mc Nulty	12 Cara Dr, Nanuet, NY 10954
392489	64.18-1-17	Kathleen M Schiano	14 Cara Dr, Nanuet, NY 10954
392489	64.18-1-44	Marie J Hoose	1 Summit Pl, Nanuet, NY 10954
392489	64.18-1-45	Michael Pattwell	3 Summit Pl, Nanuet, NY 10954
392489	64.18-1-53	Karen Dowling	4 Summit Pl, Nanuet, NY 10954
392489	64.18-1-54	James C White	2 Summit Pl, Nanuet, NY 10954
392489	64.18-1-55	James J Mc Cabe Jr	1 Hillside Ter, Nanuet, NY 10954
392489	64.18-1-56	Kevin A Nulty	3 Hillside Terr, Nanuet, NY 10954
392489	64.18-2-1	55-61 East Townline Road LLC Christopher O'Rourke	646 Gilbert Ave, Pearl River, NY 10965

392489 64.18-1-10 Robert Wentland

2 Hillside Terr. Nanuet, NY. 10954

392489 64.18-1-43 Christopher Ferraiolo

2 Venter Ln, Nanuet, NY. 10954

392489 64.18-2-75 Manhattan Woods

1 Ahlmeyer Dr. West Nyack, NY. 10994

ERIE RAILROAD CO

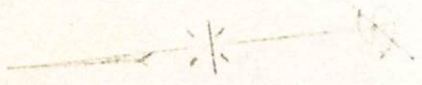
L = 75.03'

Filed in New City, NY Dec 14, 1951
Map # 2177 Book 53 Page 323

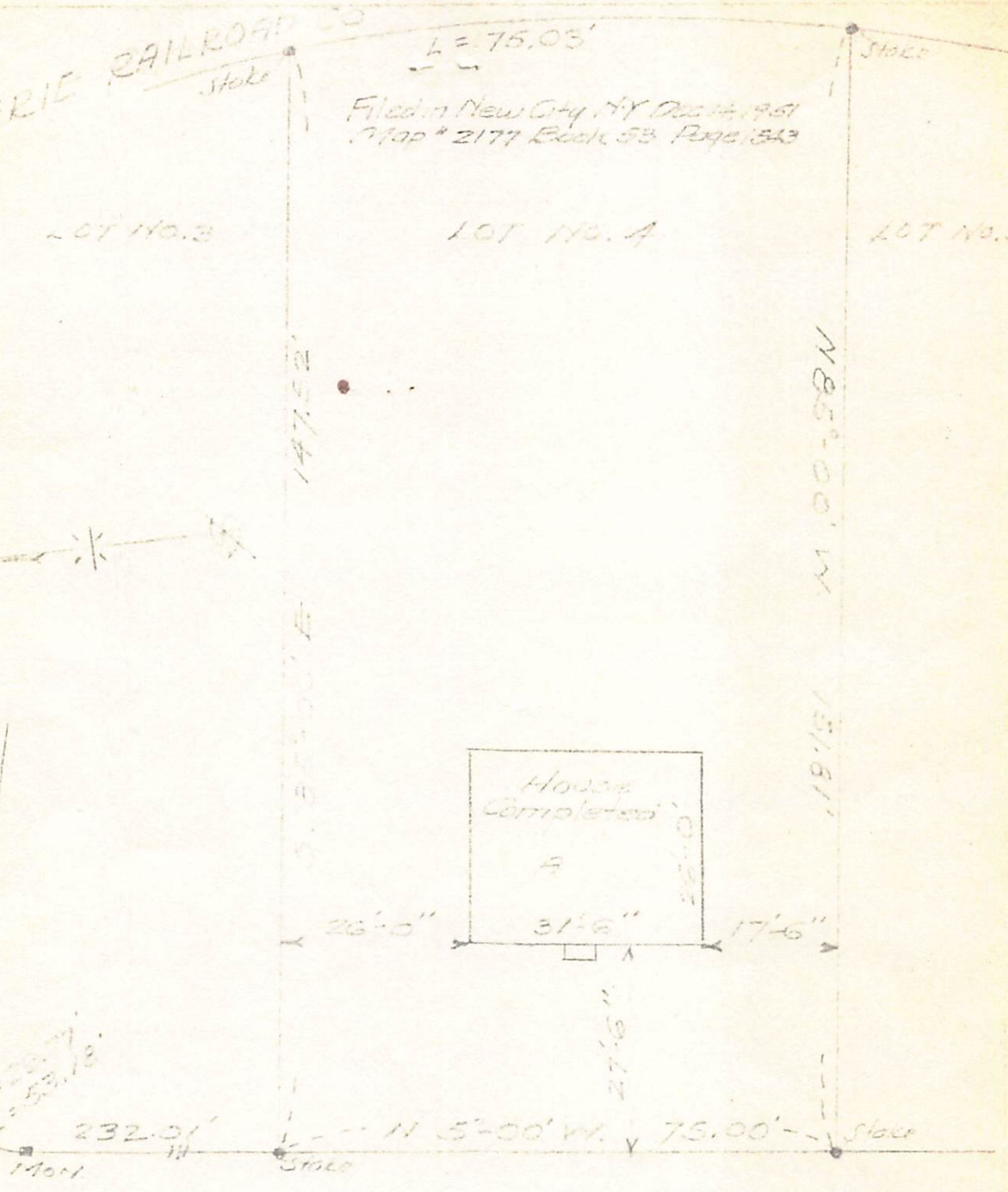
LOT No. 3

LOT No. 4

LOT No. 5



TOWN LINE COR'D



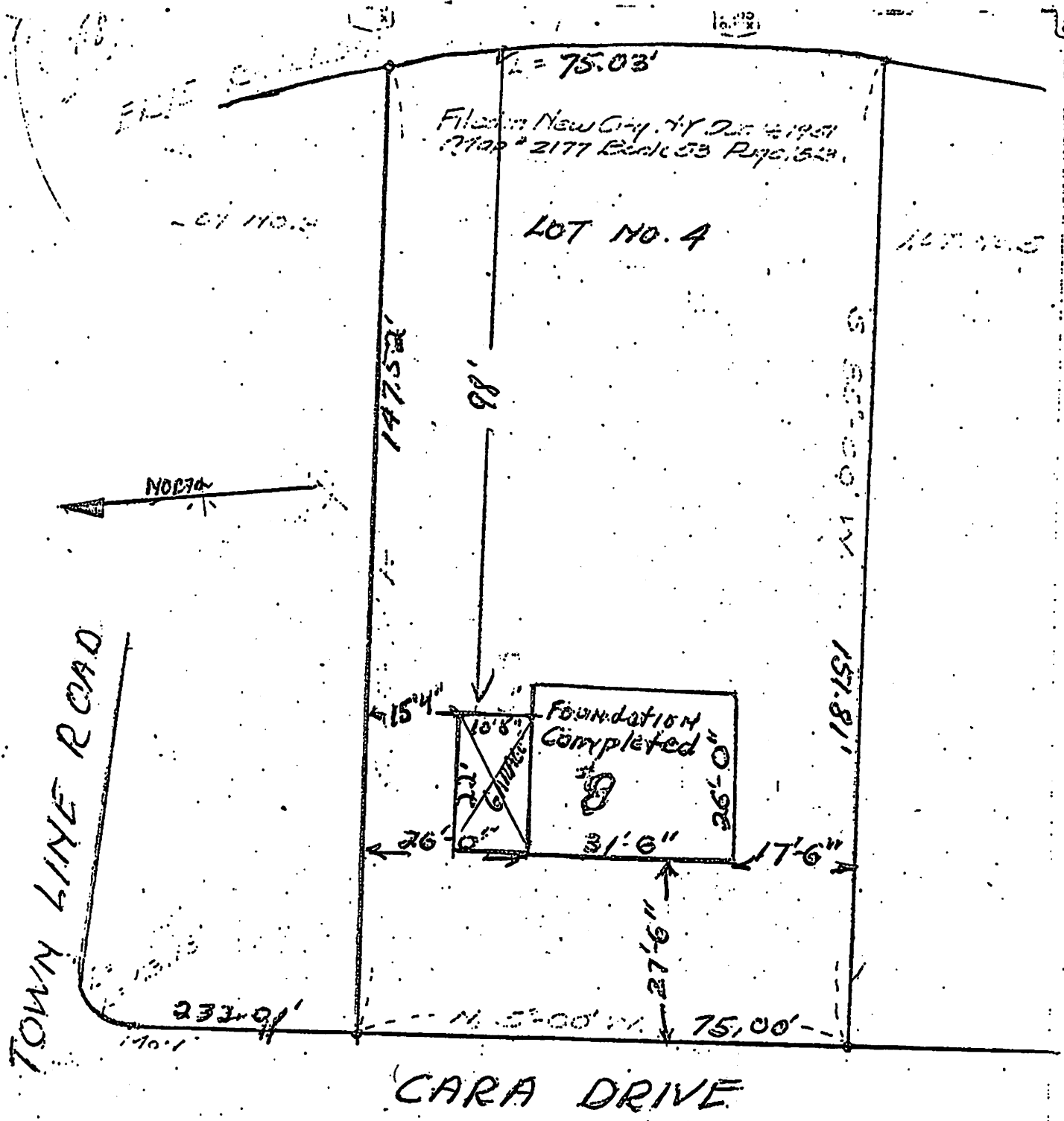
CARR DRIVE

To whom it may concern :-
I hereby certify that this is a true
and correct survey and the
building shown is within bounds

H. I. DOBMAN, P.E. & L.S.

11225th

SURVEY OF
LOT NO. 4
MAP OF TOWN LINE RISE
OWNED BY D'AGOSTINO CONT. CORP.
PEARL RIVER, TOWN OF ORANGETOWN
ROCKLAND CO., N.Y.
SCALE 1"=20' Sept 1952
H. I. DOBMAN, P.E. & L.S.
MANHET, N.Y.
N.Y.S. LIC. NO. 12653



Filed in New City, NY Jan 12 1951
 Map # 2177 Book 53 Page 152

LOT NO. 4

NORTH

TOWN LINE ROAD

CARA DRIVE

I hereby certify that this is a true and correct survey and that the same was made by me or under my supervision.

SURVEY OF
 LOT NO. 4
 MAP OF TOWN LINE EASE
 OWNED BY D'AGOSTINO CONT. CORP.
 PEARL RIVER, TOWN OF ORANGETOWN
 ROCKLAND CO., N.Y.
 SCALE 1"=20' JULY 35
 H. I. DORFMAN, PE & LC
 MANUET, N.Y.
 N.Y.S. LIC. NO. 12653

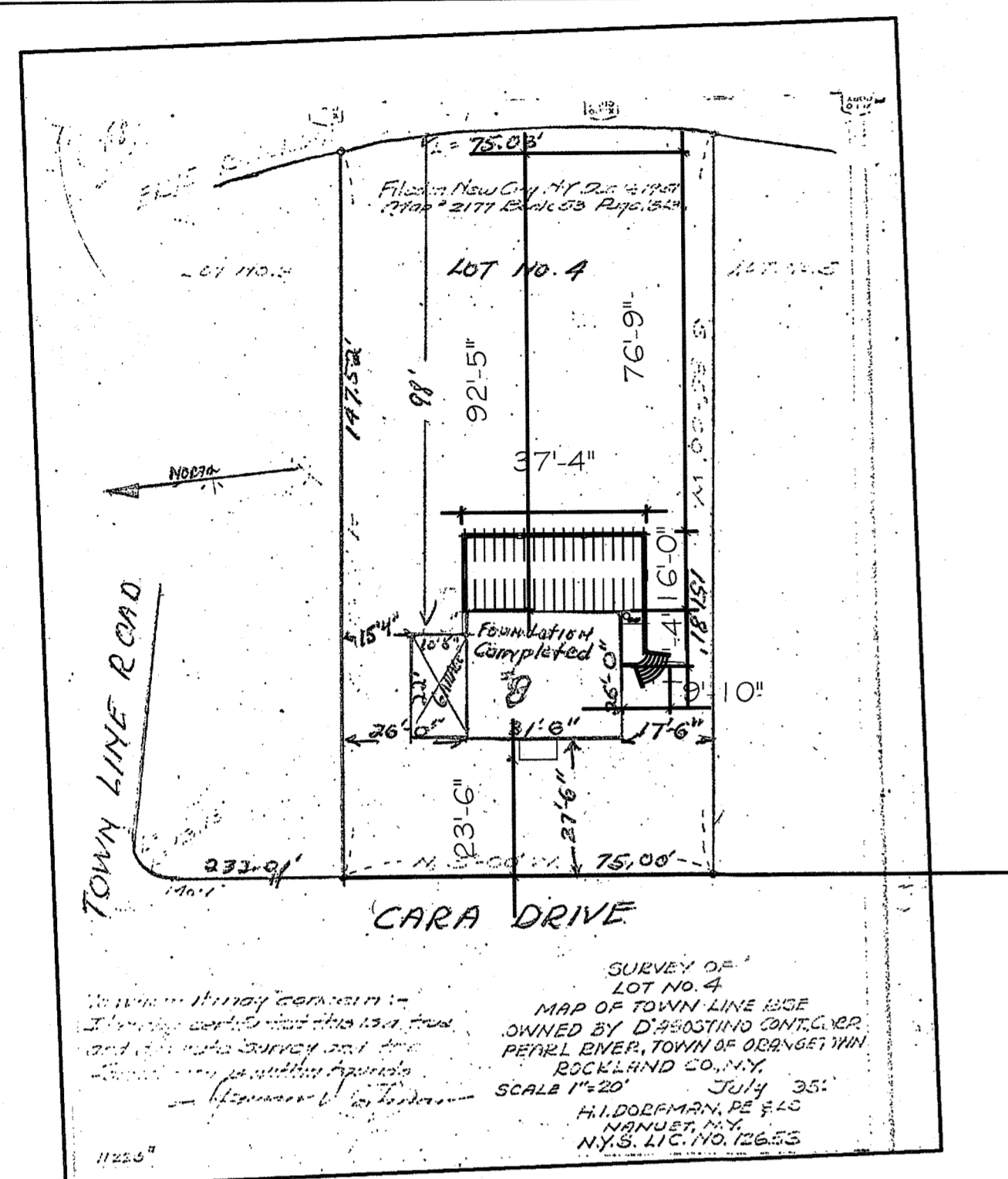
112257

LIST OF DRAWINGS

ARCHITECTURAL DRAWINGS
SHEET DESCRIPTION

A-0 SITE LOCATION PLAN, DECK ELEVATIONS AND NOTES
A-1 DECK FOUNDATION AND FRAMING PLAN AND DECK PLAN
A-2 DECK DETAIL AND SPECIFICATIONS

SITE LOCATION PLAN



SITE LOCATION PLAN

SCALE: 1"=30'-0"

THIS SITE PLAN IS BASED ON A SURVEY PROVIDED BY OWNER FROM TOWN RECORDS

THE DESIGNER SHALL ASSUME NO RESPONSIBILITY FOR ACCURACY OF ORIGINAL SURVEY. REFER TO ORIGINAL SURVEY FOR ALL ADDITIONAL INFORMATION.

BULK TABLE

SITE DATA
ZONING BULK TABLE 8 Cara Drive, Nanuet, NY 10954
TAX MAP - SBL - 64.18-1-14 - 0.26 acres - 11,325 s.f. - R-15 ZONE (Group M)

Requirement	Existing	Proposed	Notes
LOT REQUIRED 15,000 S.F.	EXISTING LOT AREA= 11,325 +/- SQ. FT.	EXISTING LOT AREA= 11,325 +/- SQ. FT.	ENC
FAR - .20 (20%)	EXISTING FAR - 1,937s.f. / 11,325 = .1710 (17.10%)	EXISTING FAR - 1,937s.f. / 11,325 = .1710 (17.10%)	
FRONT YARD SET BACK: 30'-0"	23'-6" EXISTING	23'-6" EXISTING	ENC
SIDE YARD SET BACK: 20'-0"	15.33' EXISTING - 15.0' (MIN) - 5.21(C)	15.33' EXISTING - 15.0' (MIN) - 5.21(C)	
COMBINED SIDE YARD SETBACK - 50'-0"	17.5' + 15.33' = 32.83' EXISTING - 30.0' (MIN) - 5.21(C)	7.67' + 15.33' = 23.0' EXISTING - 30.0' (MIN) - 5.21(C)	Variance 7'-0" req
REAR YARD SET BACK: 35'-0"	EXISTING 92'-5" (+/-)	EXISTING 76'-9" (+/-)	
LOT WIDTH: 100'-0"	EXISTING 75'-0"	EXISTING 75'-0"	ENC
STREET FRONTAGE: 75'-0"	EXISTING 75'-0"	EXISTING 75'-0"	
1'-0" on 1'-4"	EXISTING	EXISTING	

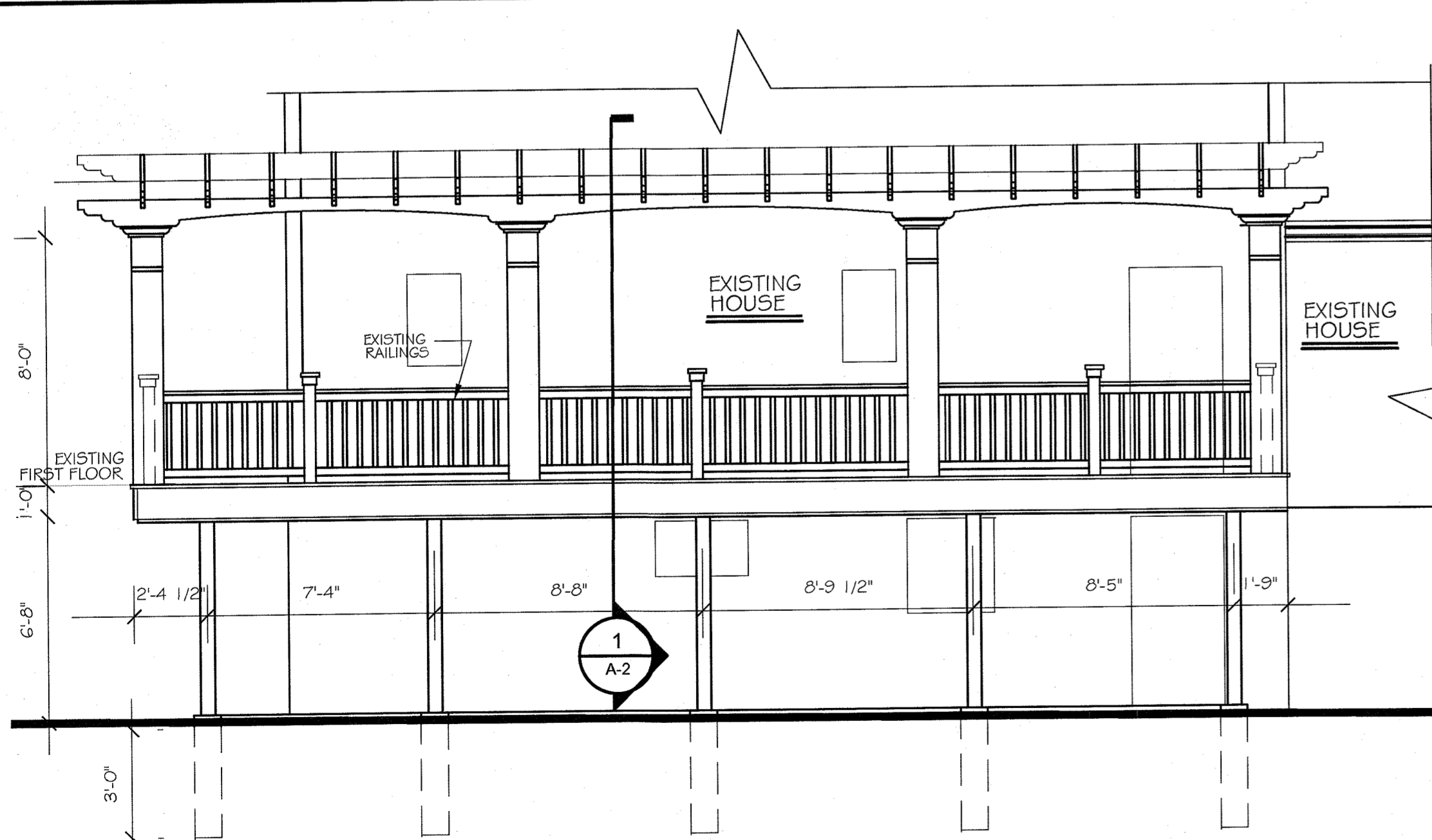
GENERAL NOTE: (SEE SPECIFICATIONS)

1. All work and materials shall conform to all local, county and New York State Codes.

Code Compliance & Building Standards:
2000 NYS Residential Code
2020 NYS Residential Code any new or adjusted work

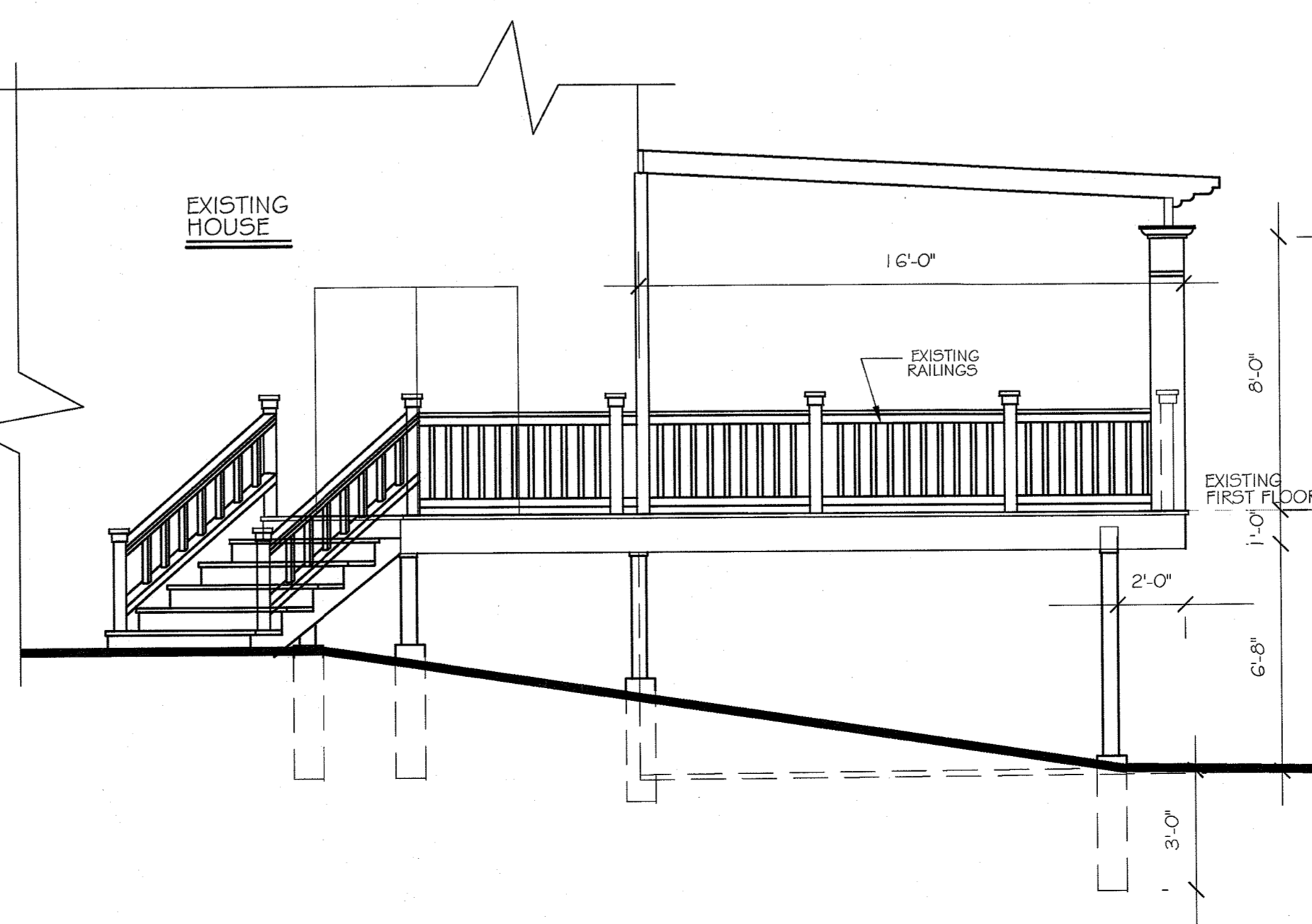
NOTE:
PLANS SUBMITTED FOR REVIEW AND PROCESS TO ZONING BOARD OF APPEALS (VARIANCE REQUIRED)
NOT FOR CONSTRUCTION

It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter, or to cause to be altered, any building or structure, or to alter, or to cause to be altered, the exterior appearance of any building or structure, without the written consent of the Town of Orangeburg, and the date of such alteration, and a specific description of the alteration.



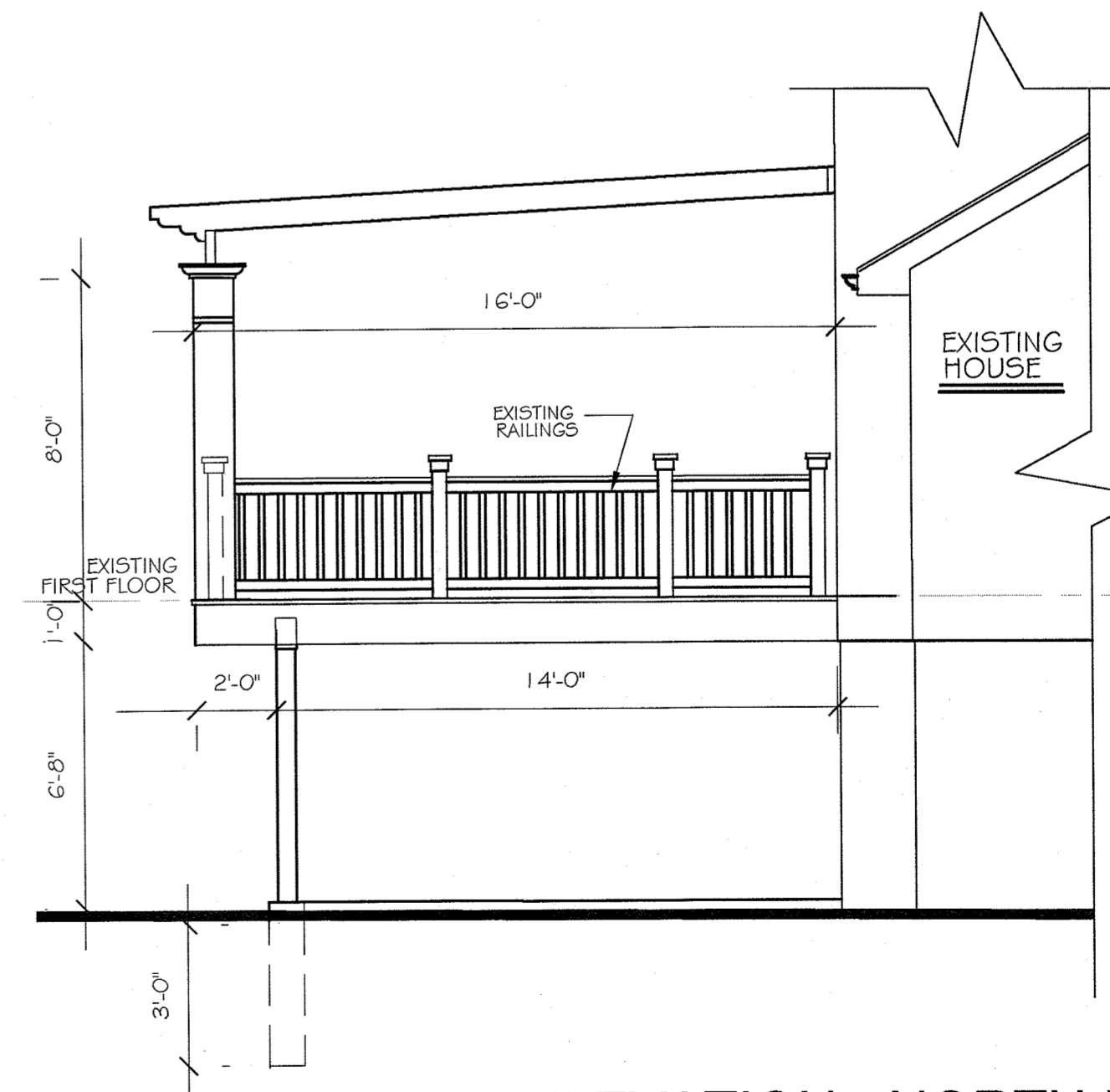
1 PROPOSED REAR ELEVATION - EAST FACING

SCALE: 1/4"= 1'-0"



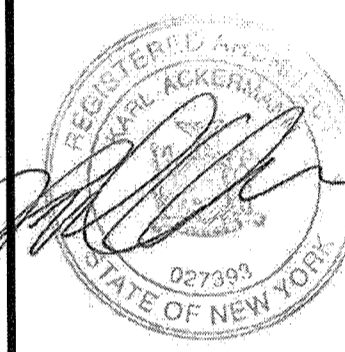
2 PROPOSED SIDE ELEVATION - SOUTH FACING

SCALE: 1/4"= 1'-0"



3 PROPOSED SIDE ELEVATION - NORTH FACING

SCALE: 1/4"= 1'-0"



Existing Wood Deck Variance / CO for
Mr. & Mrs. Hoppe
8 Cara Drive, Nanuet, NY 10954

Issue Date:	Revisions
JUL 6 2022	1 5/01/22 BUILDING PERMIT
	2

Sheet No.
A-0

Karl Ackermann, AIA NCARB Architect
169 East Cortland Avenue
Parsippany, New York 10954
(845) 732-0792 karl@karlarchitect.com
Residential & Commercial Architecture and Green Design
New York & New Jersey Licensed Architect
© Copyright 2022



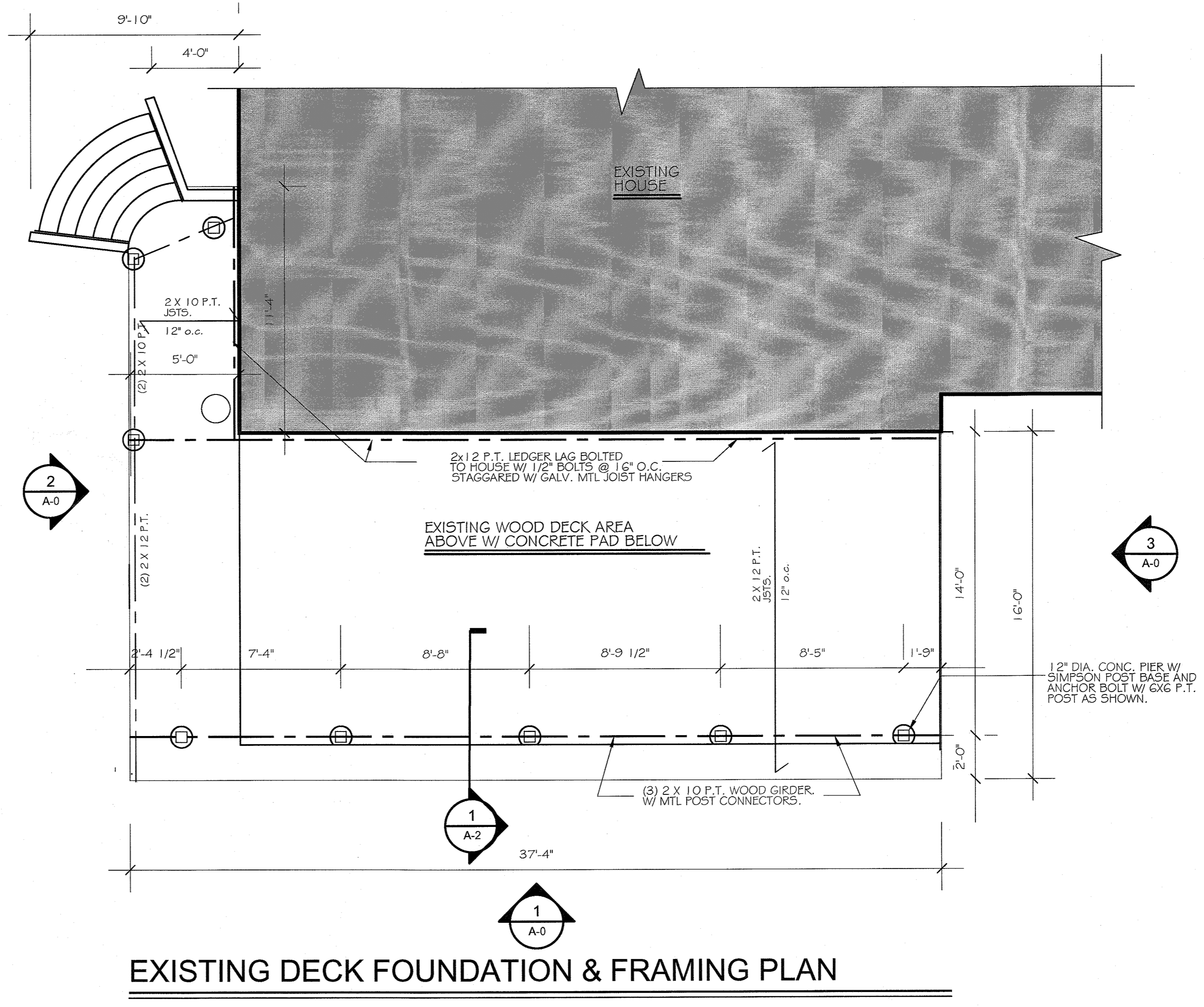
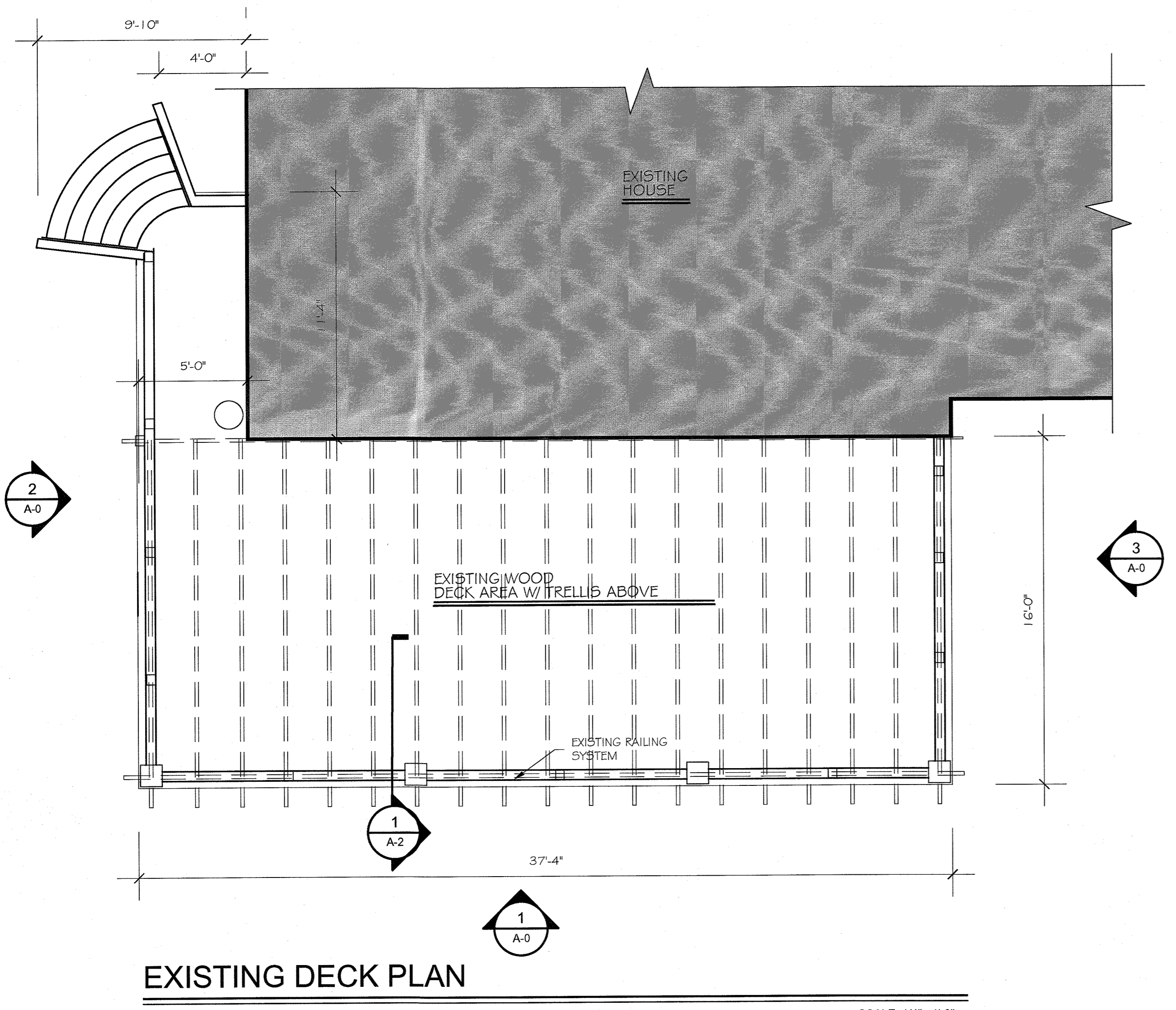
Issue Date:	
Revisions	
1	5/01/22 BUILDING PERMIT
2	

It is a violation of the law for any person, unless acting under the authority of a professional seal, to alter, modify, or change any part of a contract or plan, specification, or drawing, or to alter, modify, or change any part of a contract or plan, specification, or drawing, if the alteration, modification, or change is made without the consent of the architect or engineer who prepared the original contract or plan, specification, or drawing, and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.

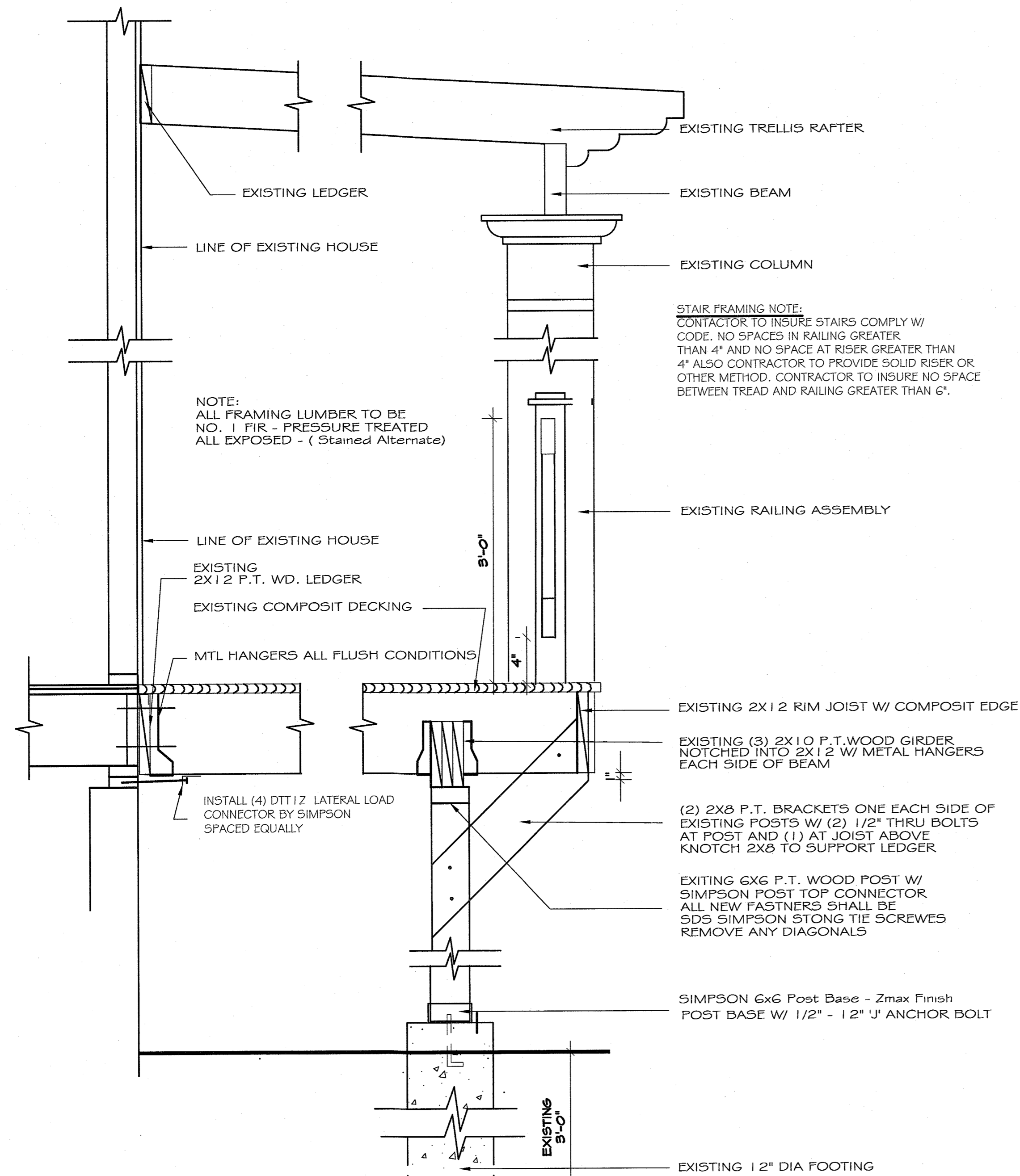
GENERAL NOTE: (SEE SPECIFICATIONS)

1. All work and materials shall conform to all local, county and New York State Codes.

Code Compliance # Building Standards:
2000 NYS Residential Code
2020 NYS Residential Code any new or adjusted work

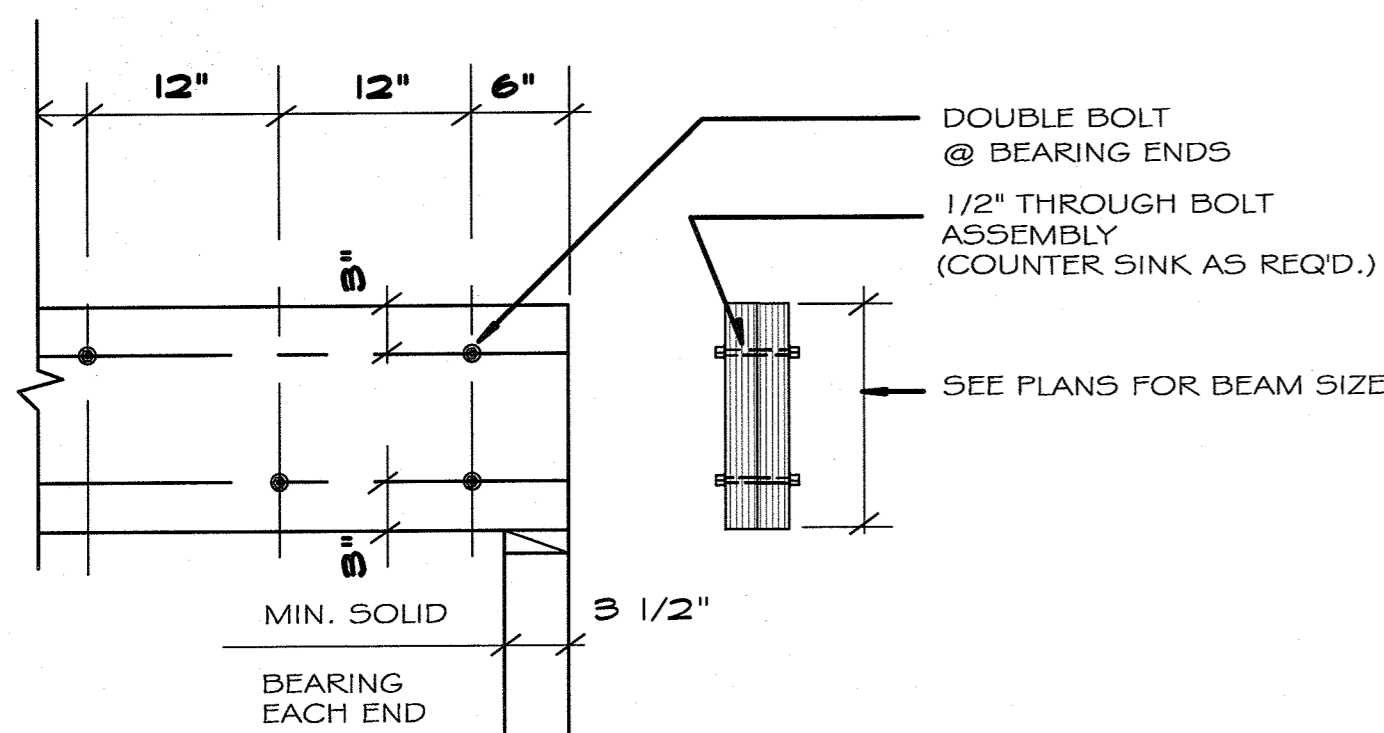


NOTE:
PLANS SUBMITTED FOR
REVIEW AND PROCESS TO
ZONING BOARD OF APPEALS
(VARIANCE REQUIRED)
NOT FOR CONSTRUCTION



1 TYPICAL SELF SUPPORTIVE & LATERAL - DECK DETAIL

SCALE: 1" = 1'-0"



ELEVATION

SECTION

2 P.T. WOOD GIRDER BOLTING DETAIL

SCALE: 1" = 1'-0"

GENERAL CONSTRUCTION SPECIFICATIONS
DIVISION 1 - GENERAL CONDITIONS

- 1.1 **Scope of Work:** Contractor shall furnish and install all labor, materials and equipment required to complete all work shown on drawings and work required for a complete project. All materials and workmanship shall be of the best quality and shall meet all applicable codes. Drawings and specifications shall serve as general limits and minimum standards for scope of work. Contractors, sub-contractors and vendors shall abide by and provide for residential or commercial industry standards as well as adhering to building code requirements.
- 1.2 **Code Compliance & Building Standards:** All work and materials shall conform and comply with all local codes, ordinances and the following authorities as applicable:
2000 - Residential Code of New York State for prior work
2020 - Residential Code of New York State for new work
- 1.3 **Permits:** The contractor is responsible for filing for any and all permits including the general permit from the local building department. The Owner shall pay the permit fee. Each construction trade shall be responsible for obtaining permits relevant to their respectable trades, as well as all required inspections, (i.e. UL-electrical permits and inspection; plumbing permits and inspections if applicable). Final payments shall be subject to the contractor providing the Owner with a Certificate of Occupancy upon completion of the job.
- 1.4 **Certificates and Inspections:** The Contractor shall schedule and perform all required inspections. Contractor shall coordinate the required municipality inspections with the local code enforcement official. Contractor shall furnish Owner with a Certificate of Occupancy from the permitting agency. Contractor shall furnish all other warranties and documentation listed in specification before project completion and final payment.
- 1.5 **Certificate of Insurance:** Contractors shall furnish Owner copies of insurance policies required by permitting agency including workers compensation, naming Owner and Architect as certificate holders.
- 1.6 **Licenses:** General Contractor and each trade shall be licensed as required by the State of New York, Westchester County or the municipality governing the proposed work. Contractor shall furnish a copy of license certificate of all trades who will be working on the project to the Owner.
- 1.7 **GUARANTEE:** The General Contractor shall provide a one year guarantee for all workmanship and material from date of substantial completion as established by the Architect. General Contractor shall furnish all other documentation, manuals and warranties before project completion and receipt of final payment.
- 1.8 **Contract:** Contractor shall execute a contract with Owner using an AIA document or agreement approved by both parties. The Architect shall prepare the AIA contract.
- 1.9 **Contract Set of Prints:** If required by article of construction contract, the Contractor and owner shall sign a set of contract documents (drawings & specifications) which shall serve as the contract scope of work for the project. Additional agreed upon items shall be written and approved by both parties and become a part of the contract.
- 1.10 **Allowances:** Shall be included in the contractors Scope of Work. The allowances are to be applied toward the purchase of a pre-contract schedule of items created by the Owner, Architect and Contractor. Installation of all allowance items shall included in the general contract Scope of Work.
- 1.11 **SUBSTITUTIONS:** In general, equal or better product substitutions are permitted where specific esthetic desires or requirements are not in question. Proposed alternative submittal documents shall include a side by side comparison to the specified product's submittal document(s).

DIVISION 3 - CONCRETE

- 3.1 **Poured Concrete:**
 - A. **MATERIALS:**
 - B. concrete shall be 3,500 psi, air-entrained
 - C. (total air content, % by volume of concrete, shall be not less than 5% or D. more than 7%) and batched at a central plant.
 - E. trowel finish. No slab shall be less than 3 1/2" thick as per R506.1.
 - F. **SUBMITTALS:** Product data, batch tickets and test results for 28-day compression tests
 - G. **EXECUTION:**
 1. No work with materials containing water shall be carried out during unreasonably cold weather.
 2. Work may be started when temperature is 28 degrees F and rising, and shall be stopped when temperature is 34 degrees F and falling. Furthermore, during such cold weather conditions the following precautions shall be taken: Water shall be heated and kept warm. Sand shall be heated and kept warm. An anti-freeze such as "Euco" made by Euclid Chemical Co. "Tr-Mix" by Sonnenborn, or "No Freeze" by Horn shall be added to the mixture in proportions as recommended by the manufacturer. Material shall be placed as soon as possible and shall not be permitted to get too cold. No material containing ice or frozen parts shall be used. All footings and trenches when exposed must be dewatered and protected from freezing.
 3. Work shall be protected against cold weather or frost by means of hay, straw, canvas, "salamanders" or other approved methods. Work damaged by cold weather or frost will not be accepted.
 4. Contraction joints shall be provided by placing plastic inserts or grooves into the fresh concrete to a depth of 1/4 the thickness of the slab or with saw cuts. Saw cuts shall be made the same day that the concrete is cast. Contraction joint spacing for interior concrete of 4" thickness shall be 16'-0" max on center and for interior concrete of 5" thickness shall be 20'-0" max on center.
 5. Do not overwork the concrete surface to avoid crazing cracks.
 6. Do not add mix water to concrete beyond the amount for proper slumps.

DIVISION 5 - METALS

5.1 METAL FABRICATIONS:

A. MATERIALS:

1. **general:** For metal fabrications exposed to view in the completed Work, provide materials with smooth, flat surfaces without blemishes. Do not use materials with exposed pitting, seam marks, roller marks, rolled trade names or roughness.
2. **steel plates, shapes, & bars:** ASTM A-36 or A-36M.
3. **steel columns:** ASTM A-36 with welded steel plates at top and bottom
4. **welding rods and bare electrodes:** Select according to AWS specifications for metal alloy welded.
5. **primer for interior steel:** Shop paint with modified oil-silyd primer, Tnemec 88-559 or 10-1009 or equivalent. Primer shall be compatible with finish paint.
6. **primer for galvanized steel:** Shop paint with polyamide epoxy primer, Tnemec F.C. Typoxy Series 27, or equivalent. Primer shall be compatible with finish paint.
7. **fasteners:** Provide Type 304 or 316 stainless-steel fasteners for exterior use and zinc-plated fasteners with coating complying with ASTM B633, Class Fe/Zn 5, where built into exterior walls, except as otherwise noted. Select fasteners for type, grade, and class required.
8. **anchor bolts:** ASTM F 1554, Grade 36. Anchor bolts shall be rated for contact to 'ACQ' pressure treated material.
9. **bolts and nuts:** Regular hexagon-head bolts, ASTM A-307, Grade A, with hex nuts, ASTM A-563 and flat washers. Bolts, nuts and washers shall be rated for contact to 'ACQ' pressure treated material.
10. **machine screws:** ASME B18.6.3
11. **Lag bolts:** ASME B18.2.1
12. **wood screws:** Flat head, carbon steel, ASME B18.6.1
13. **PLATE WASERS:** Round, carbon steel, ASME B18.21.1
14. **lock washers:** Helical, spring type, carbon steel, ASME B18.21.1
15. **expansion anchors:** Carbon-steel components zinc-plated to comply with ASTM B-633, Class Fe/Zn 5. Anchor bolt and sleeve assembly of material indicated below with capability to sustain, without failure, a load equal to six times the load imposed when installed in unit masonry and equal to four times the load imposed when installed in concrete, by testing per ASTM E 488.

B. SUBMITTALS:

1. **product data:** for Paint products
2. **shop drawings:** Detail fabrication and erection of each metal fabrication indicated. Include plans, elevations, sections and their connections. Show anchorage and accessory items.
3. **Welding certificates:** Copies of certificates for welding procedures and personnel. Certify each welder has passed the AWS qualification tests for welding processes involved and, if pertinent, has undergone recertification.

C. EXECUTION:

1. For each product indicated, comply with the manufacturer's specifications and installation instructions.
2. Anchor bolts shall be galvanized steel 1/2" diameter anchor bolts, with a minimum embedment of 12" in and 3" hook. Bolts shall be spaced as per plans. All bolts must have washer and nut securely fastened.

DIVISION 6 - WOOD

- 6.2 **Wood Porch and Decks:** Contractor to furnish and install all materials, labor and equipment required for a complete renovated deck installation as shown on plans.

A. Materials:

Wood Decking: See Plan Details and alternates.

B. SUBMITTALS:

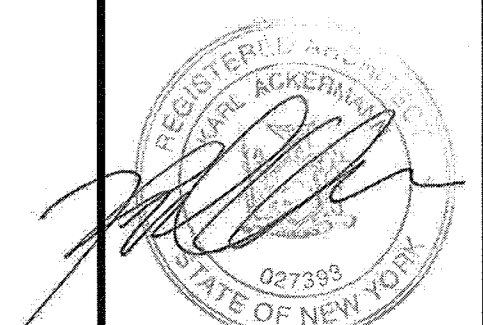
For each product indicated, submit manufacturer's product data.

C. EXECUTION:

1. All framing not resting on wood headers shall rest on metal hangers "Simpson's - Zmax line or USF Connectors with triple zinc" or equal. All Hangers shall be rated for contact to 'ACQ' pressure treated material and all fasteners shall be approved type.
2. Wood decking members, except for tongue and groove members, shall be installed with a "fish-nail" thickness separation to allow drainage of water and expansion.
3. No framing or finished wood shall be within 8" of finished grade.
4. Deck ledger shall be decay resistant (pressure treated/Wolmanized) and thru bolted to adjacent construction with (2) rows 1/2" galvanized lag bolts @ 36" on center in staggered layout. Contractor to provide flashing system which shall be approved for contact to pressure treated material and galvanized hangers, Yorkshield 10G PT system or equal with joist protection tape. Contractor to waterproof underlayment membrane behind ledger and approved flashing noted above ledger to divert water away from structure. Contractor to install 'simpson' lateral load anchors which secure deck framing to house ledger at max. spacing 48" on center. See manufacturer's installation guidelines for installation at deck side and interior side of floor framing.
5. Railing assemblies shall be able to resist a single concentrated load of 200 pounds, applied in any direction at any point along the top. Properly anchor all posts and rails to meet this criteria. Review installation methods with Architect.

It is a violation of the law for any person, unless acting in accordance with the provisions of this law, to alter, modify, change, or otherwise tamper with any drawing, specification, or contract document after it has been prepared by a professional person, or to alter, modify, change, or otherwise tamper with any drawing, specification, or contract document after it has been prepared by a professional person, or to alter, modify, change, or otherwise tamper with any drawing, specification, or contract document after it has been prepared by a professional person, or to alter, modify, change, or otherwise tamper with any drawing, specification, or contract document after it has been prepared by a professional person.

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Residential & Commercial Architecture and Green Design
New York & New Jersey Licensed Architect
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Existing Wood Deck Variance / CO for
Mr. & Mrs. Hoppe
8 Cara Drive, Nanuet, NY 10964

NOTE:
PLANS SUBMITTED FOR
REVIEW AND PROCESS TO
ZONING BOARD OF APPEALS
(VARIANCE REQUIRED)
NOT FOR CONSTRUCTION

Issue Date:	
Revisions	
1	5/01/22 BUILDING PERMIT
2	

Sheet No.
A-2