

Historical Areas Board of Review(HABR)

Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, New York 10962

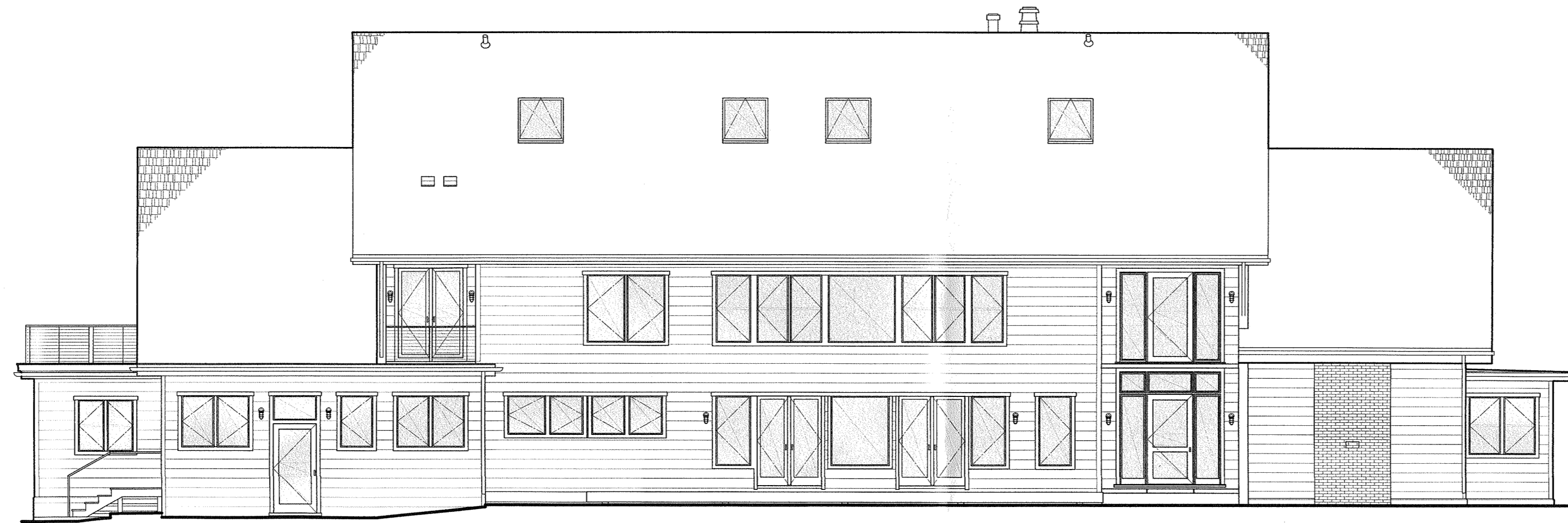
PROPERTY ADDRESS: 80 Ludlow Lane Palisades, NY Section/Block/Lot: 80.06/1/20

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:	Grey to match	Asphalt Shingles	GAF
Siding:	Natural to Match	Cedar Shingles	TBD
Decorative Siding:	N/A	N/A	N/A
Soffits & Fascia:	To Match Extg.	To Match Extg.	TBD
Gutters & Leaders:	Copper	Aluminum	PD
Windows:	Dark Brown	Vinyl Clad	Andersen
Trim:	White	Composite	Azek
Shutters:	N/A	N/A	N/A
Front Door:	Natural	Mahogany	Select Door
Back Door:	Dark Brown	Vinyl Clad	Andersen
Garage Door(s):	N/A	N/A	N/A
Other Door(s):	Brown	Vinyl Clad	Andersen
Lighting:	Brown/Antique Brass	Brass	Urban Technology
Lighting:			
Stone or Rock being used on Structure:			
Stone or Rock being used on walkway(s):	Green/Brown/Blue	Bluestone	N/A
Other: Brick Veneer	To Match Extg.	Brick	TBD
Other: Skylight	Black	Aluminum & Glass	Velux

GOLEMAN RESIDENCE

EXTERIOR REVISIONS FROM THE PREVIOUSLY APPROVED APPLICATION



PROJECT DIRECTORY

OWNER:
TARA & DANIEL GOLEMAN
80 LUDLOW LANE,
PALISADES, NY 10964
617.939.3848

ARCHITECT:
ALLEN ROSS ARCHITECTURE, LLC
153 MAIN STREET
NEW PALTZ, NY 12561
845.255.0114
aross@allenrossarchitecture.com

STRUCTURAL ENGINEER:
CUONO ENGINEERING, PLLC
42 N. MAIN STREET, 3RD FL.
PORT CHESTER, NY 10573
914.305.5679
ccuono@cuonoengineering.com

DRAWING LIST

GENERAL:
T001 COVER SHEET & DRAWING INDEX

ARCHITECTURAL:
1 SITE KEY PLAN
A200 FOUNDATION PLAN
A101 FIRST FLOOR PLAN
A102 SECOND FLOOR PLAN
A103 THIRD FLOOR PLAN
A104 ROOF PLAN

ELEVATIONS:
A200 ELEVATIONS
A201 ELEVATIONS
A202 DETAIL SECTION AND ELEVATION

SECTION:
A300 SECTION
A301 SECTIONS
A302 [NOT PLOTTED]
A303 STAIR SECTION DETAILS

DRAWING SYMBOLS

FIN. FIRST FLOOR
EL: +100'-0"

SP

1
A301

1
A401

1
A401

1
A401

A
A301
B
C

101

114A-1

100-A

ELEVATION LEVEL

START POINT

BUILDING SECTION /
ELEVATION REFERENCE

DETAIL REFERENCE

DETAIL REFERENCE

INTERIOR ELEVATION
REFERENCE

WINDOW NUMBER

DOOR NUMBER

ROOM NUMBER

MILLWORK NUMBER

PLUMBING NUMBER

ABBREVIATIONS

A.B. ANCHOR BOLT
ACC. ACCESSIBLE
ACT. ACOUSTIC CEILING TILE
ADD'L. ADDITIONAL
ADI. ADJACENT
A.E.D. AUTOMATED EXTERNAL DEFIBRILLATOR
A.F.F. ABOVE FINISH FLOOR
APPROX. APPROXIMATE
ARCH. ARCHITECT
A.S.F. ABOVE SUB FLOOR
B. BOTTOM
BD. BOARD
BET. BETWEEN
BIT. BITUMINOUS
B.O. BOTTOM OF
CANT. CANTILEVERED
CL. CLOSET
C. CENTERLINE
CLG. CEILING
COL. COLUMN
CONC. CONCRETE
CONT. CONTINUOUS
DEMO. DEMOLISH
DIA. DIAMETER
DIM. DIMENSION
DR. DOOR
DS. DOWNSPOUT
DWG. DRAWING
EL. ELEVATION
ELEC. ELECTRICAL
ELEV. ELEVATION
ELEV. ELEVATIONS
E.O. EDGE OF
EQ. EQUAL
EQUIP. EQUIPMENT
E.T.R. EXISTING TO REMAIN
EXT. EXTERIOR
EXTG. EXISTING
F.A.I. FRESH AIR INTAKE
F.F. FINISH FLOOR
FIN. FINISH
FLR. FLOOR
FM-FM. FACE OF MASONRY TO FACE OF MASONRY
F.O. FACE OF
FOUND. FOUNDATION
F.R. FIBER REINFORCED
FTG. FOOTING
GALV. GALVANIZED
G.B. GYPSUM BOARD
HORIZ. HORIZONTAL

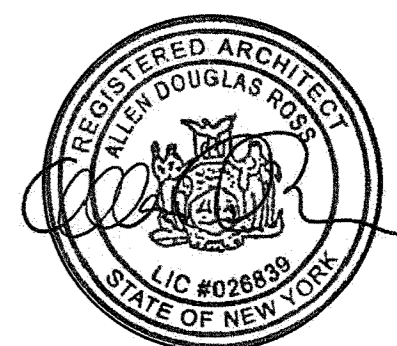
INSUL. INSULATION
INT. INTERIOR
MAX. MAXIMUM
M.D.O. MEDIUM DENSITY OVERLAY PLYWOOD
MIN. MINIMUM
N.A. NOT PART OF WORK
N.I.C. NOT IN CONTRACT
N.T.S. NOT TO SCALE
O/. OVER
O.C. ON CENTER
OPNG. OPENING
OPP. OPPOSITE
PLYWD. PLYWOOD
PNL. PANEL
P.T. PRESERVATIVE PRESSURE TREATED
PTD. PAINTED
RECEPT. RECEPTACLE
REIN. REINFORCED
REQ. REQUIRED
RM. ROOM
R.O. ROUGH OPENING
R.T.U. ROOF TOP UNIT
SCRN. SCREEN
S.F. SQUARE FEET
SIM. SIMILAR
SLP. SLOPE
SQ. SQUARE
S.S. STAINLESS STEEL
ST. STONE
STD. STANDARD
STL. STEEL
STRUC. STRUCTURAL
SUBFLR. SUB FLOOR
T. TOP
T&B. TOP AND BOTTOM
T.B.D. TO BE DECIDED
T.&G. TONGUE AND GROOVE
THK. THICK
T.O. TOP OF
T.O.R. TOILET ROOM
TYP. TYPICAL
UNL. UNIVERSAL
UN.C. UNLESS NOTED OTHERWISE
V.I.F. VERIFY IN FIELD
VERT. VERTICAL
W.C. WATER CLOSET
W/. WITH
WIND. WINDOW
WD. WOOD
W.W.F. WELDED WIRE FABRIC

03.24.2022 HABR AND CONSTRUCTION DOC. REVISION
11.09.2021 HABR AND CONSTRUCTION DOC. REVISION
07.05.2019 CONSTRUCTION DOCUMENTS
04.08.2019 ADDED REVISIONS TO APPROVED DRAWINGS
06.07.2018 REVISIONS TO APPROVED DRAWINGS
08.25.2017 HABR SUBMISSION

ALLEN ROSS ARCHITECTURE
GREENWICH, CT 203.528.0358
NEW PALTZ, NY 845.255.0114
AllenRossArchitecture.com

80 LUDLOW
LANE
RESIDENCE
PALISADES, NY

COVER SHEET
& DRAWING INDEX



PROJECT NO.
151
LUD
T-001

THIS PREVIOUSLY SUBMITTED SITE PLAN, APPROVED ON 07/24/2017, IS BEING USED HERE AS A KEY PLAN FOR DRAWING REFERENCES. NO CHANGES HAVE BEEN MADE TO THE INFORMATION SHOWN. DRAINAGE REMAINS UNCHANGED. SEE FLOOR PLANS & KEYED DRAWINGS FOR REVISION NOTES. KEYS AND REVISION TAGS ARE IN RED

ZONING DATA			
TAX LOT 80.06/1/20 ZONING DISTRICT R80-A			
BULK REGULATIONS:			
REGULATION	REQUIREMENT	EXISTING	NEW
MIN. LOT AREA	80,000 sq ft	115,270 sq ft	112,882 sq ft *
FLOOR AREA RATIO	0.10	0.065	0.074
MIN. LOT WIDTH	150'	308'	308'
MIN. FRONTAGE	100'	40'	40' **
FRONT YARD	50'	106.9'	106.9'
SIDE YARD	30'	82.0'	82.0'
TOTAL SIDE YARD	100' (30+70')	188.0'	188.0'
REAR YARD	50'	60.0'	60.0'
MAX. HEIGHT	8'/14'	North 8.1'/11' South 1.9'/11' East 3.3'/11' West 2.4'/11'	North 8.1'/11' South 2.1'/11' East 3.3'/11' West 2.4'/11'

* LOT SIZE IS REDUCED TO TAKE INTO ACCOUNT AREAS WITH SLOPES AT OR EXCEEDING 25%.
 ** LOT FRONTS ON 40' WIDE PRIVATE RIGHT OF WAY THAT ACCESSES LUDLOW LANE

- LEGEND**
- - - PROPERTY LINE
 - - - BUILDING LINE
 - - - CONTOUR AT 5' INTERVALS
 - - - EXISTING UNDERGROUND ELECTRIC SERVICE
 - - - EXISTING GAS & WATER SERVICE
 - [Hatched Box] AREA WHERE PROPERTY SLOPES EXCEED 25%
 - [Stippled Box] EXISTING EXPOSED ROCK FACE
 - [Hatched Box] ADDITION IN BASE BID
 - EXISTING TREES TO REMAIN
 - ✕ EXISTING TREES TO BE REMOVED
 - [Hatched Box] NEW DRIVEWAY PAVING
 - - - WATER & UNDERGROUND ELECTRIC CONDUIT

NOTE

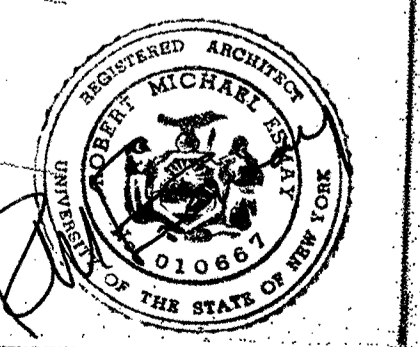
ALL WORK SHALL BE IN COMPLETE COMPLIANCE WITH THE RULES & REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION INCLUDING THE 2016 NY STATE UNIFORM CONSTRUCTION CODE THE 2016 SUPPLEMENT TO THE ENERGY CONSERVATION CONSTRUCTION CODE, THE ORANGETOWN BUILDING DEPARTMENT AND THE UTILITY COMPANIES.

EASEMENTS FOR TURNAROUND, PUBLIC AND UTILITY PURPOSES

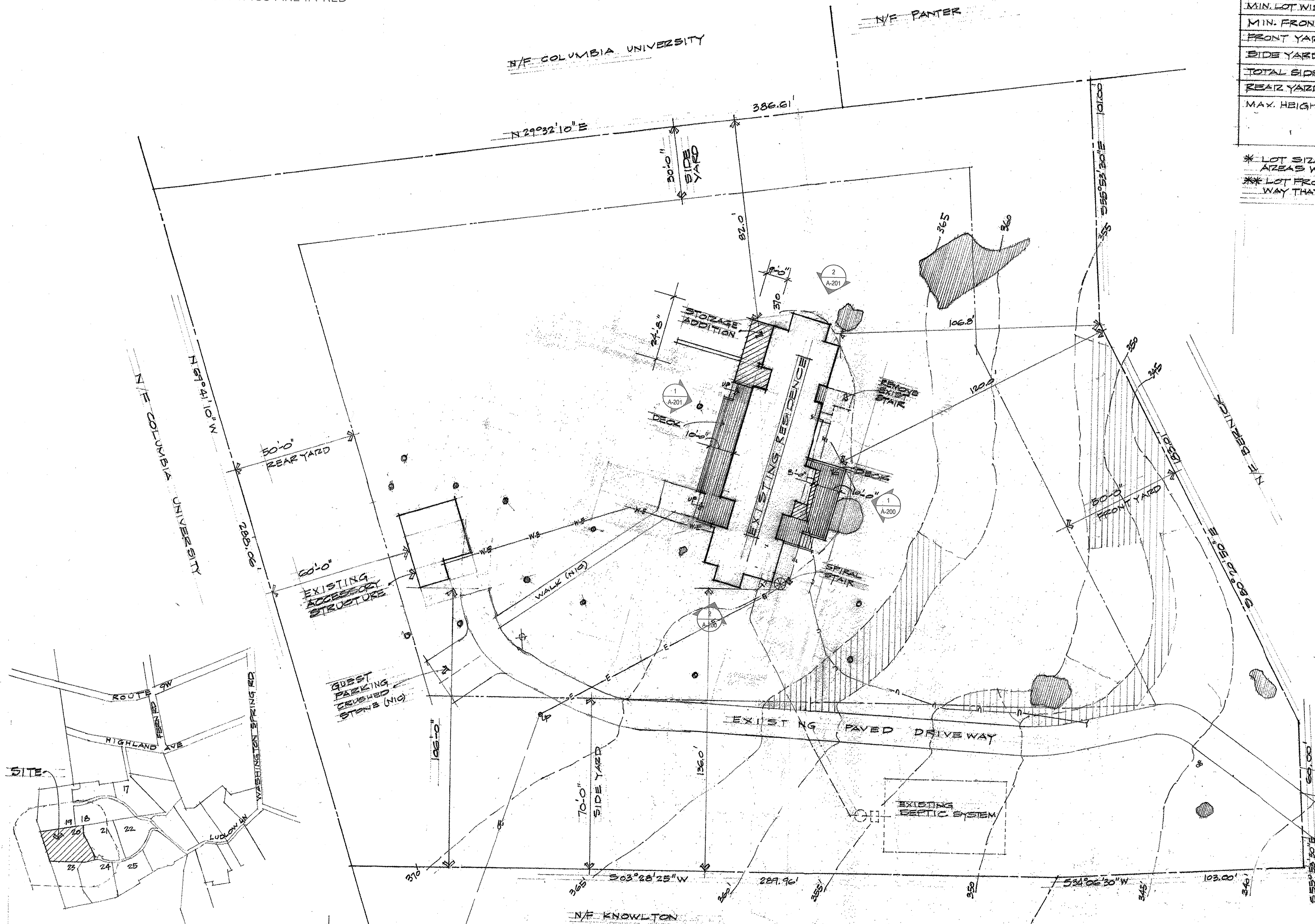
TOWN OF ORANGETOWN BUILDING DEPARTMENT
 APPROVED
 BUILDING INSPECTOR:
 DATE: 7/29/17

RECEIVED
 JUL 24 2017
 ZONING & BLDG. DEPT.
 TOWN OF ORANGETOWN

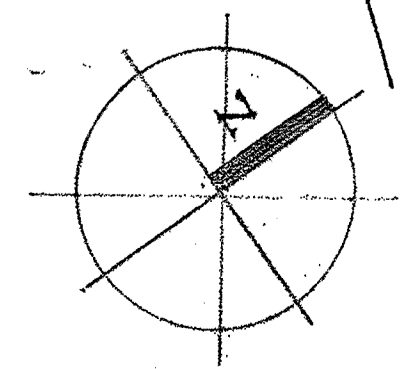
PERMIT COPY PLANS
 A set of these plans shall be kept at the building site open to inspection by the Building Inspector. Work shall comply with all requirements of the State Building Construction Code and the Zoning Code, whether or not shown, and/or state or local codes, and shall be subject to inspection at all stages of construction.
 Building Permit No. 46533
 Date Issued 7-24-17



DATES: PRELIM. W.D. 02.24.17 BIDDING 4.4.17 BLDG. PERMIT 6.2.17 HIST. BD. 6.29.17	Addition & Alteration PHASE 2 GOLEMAN RESIDENCE 80 Ludlow Lane, Palisades, NY	1 SITE PLAN
REV. 7.17.17 REV. REV.	Michael Esmay, Architect 17 Van Houten St., Upper Nyack, NY 10980 mikeesmay@aol.com TEL: 845.845.8888	



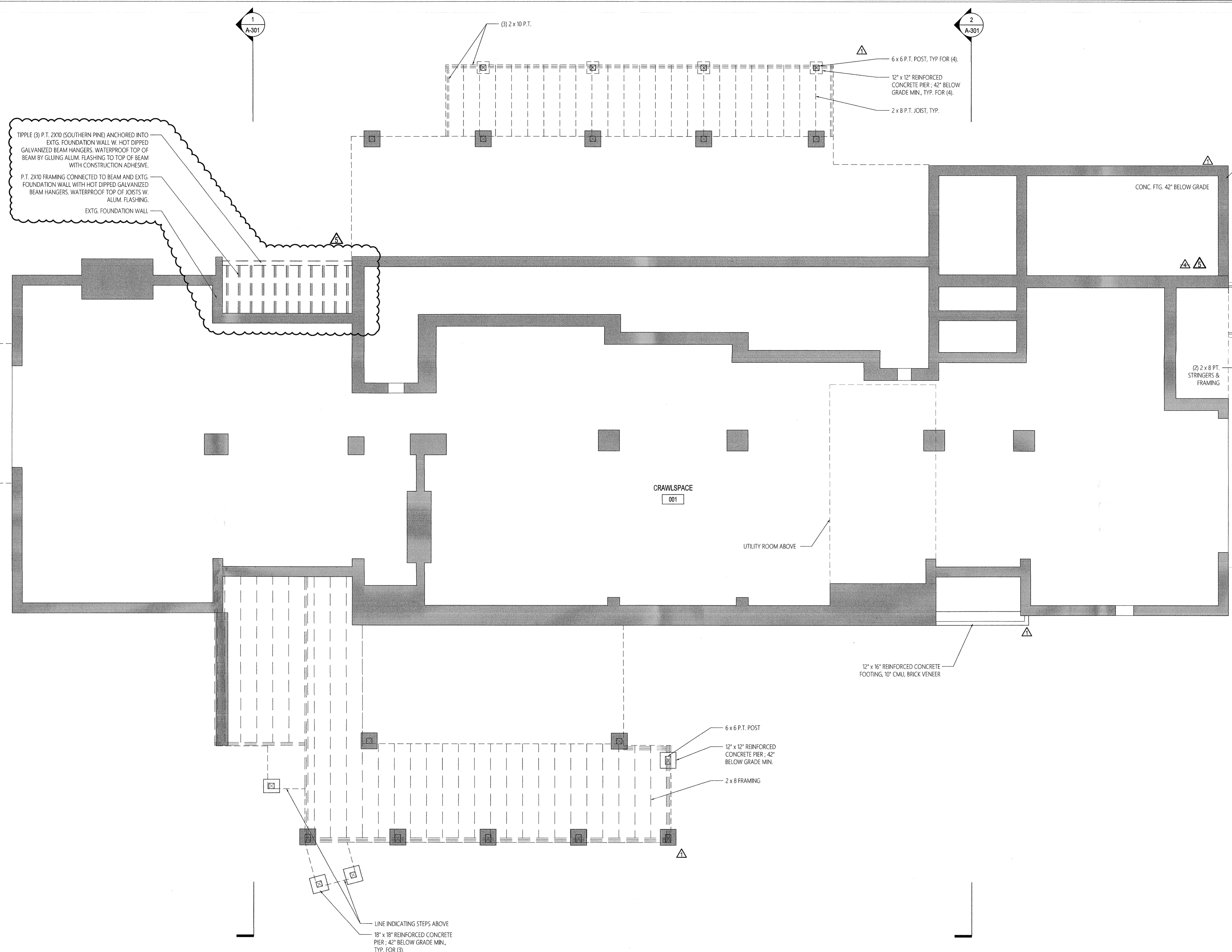
LOCATION MAP
 SCALE 1"=400'



SITE PLAN
 SCALE 1"=20'-0"
 THIS SITE PLAN IS BASED ON A SURVEY OF PROPERTY BY JOSEPH T. CARUSO P.E., PLS. DRAWING # 7-350 DATED 12/21/16

- NOTES:**
1. EXTERIOR DOOR 100B, 100D, 101A, 109A & WINDOWS 100A, 100B, 105A ARE ANDERSON 400 SERIES - U-FACTOR 0.25
 2. EXTERIOR DOOR 115B IS A SELECT DOOR - U-FACTOR 0.25
 3. ALL DIMENSIONS TO FINISH FACE U.N.O.

TIPPLE (3) P.T. 2X10 (SOUTHERN PINE) ANCHORED INTO EXTG. FOUNDATION WALL W. HOT DIPPED GALVANIZED BEAM HANGERS. WATERPROOF TOP OF BEAM BY GLUING ALUM. FLASHING TO TOP OF BEAM WITH CONSTRUCTION ADHESIVE.
 P.T. 2X10 FRAMING CONNECTED TO BEAM AND EXTG. FOUNDATION WALL WITH HOT DIPPED GALVANIZED BEAM HANGERS. WATERPROOF TOP OF JOISTS W. ALUM. FLASHING.
 EXTG. FOUNDATION WALL



8 x 8 x 16 CMU FOUNDATION WALL ON REINFORCED CONCRETE FOOTING; 42" BELOW GRADE, MIN.

CONC. FTG. 42" BELOW GRADE

LINE INDICATING STAIR ADDED ABOVE
 8" x 8" REINFORCED CONCRETE PIERS, 42" BELOW GRADE, TYP. FOR (2)

(2) 2 x 8 PT. STRINGERS & FRAMING

CRAWLSPACE
001

UTILITY ROOM ABOVE

12" x 16" REINFORCED CONCRETE FOOTING, 10" CMU, BRICK VENEER

6 x 6 P.T. POST
 12" x 12" REINFORCED CONCRETE PIER; 42" BELOW GRADE MIN.
 2 x 8 FRAMING

LINE INDICATING STEPS ABOVE
 18" x 18" REINFORCED CONCRETE PIER; 42" BELOW GRADE MIN., TYP. FOR (3)

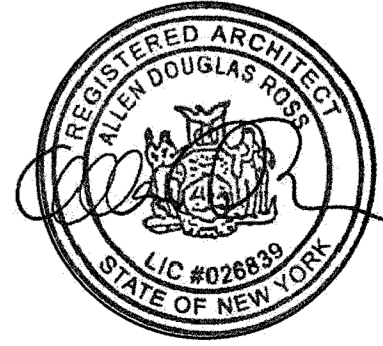
- 03.24.2022 HABR AND CONSTRUCTION DOC. REVISION
- 11.09.2021 HABR AND CONSTRUCTION DOC. REVISION
- 07.05.2019 CONSTRUCTION DOCUMENTS
- 04.08.2019 ADDED REVISIONS TO APPROVED DRAWINGS
- 06.07.2018 REVISIONS TO APPROVED DRAWINGS
- 08.25.2017 HABR SUBMISSION

ALLEN ROSS ARCHITECTURE
 GREENWICH, CT 203.528.0358
 NEW PALTZ, NY 845.255.0114
 AllenRossArchitecture.com

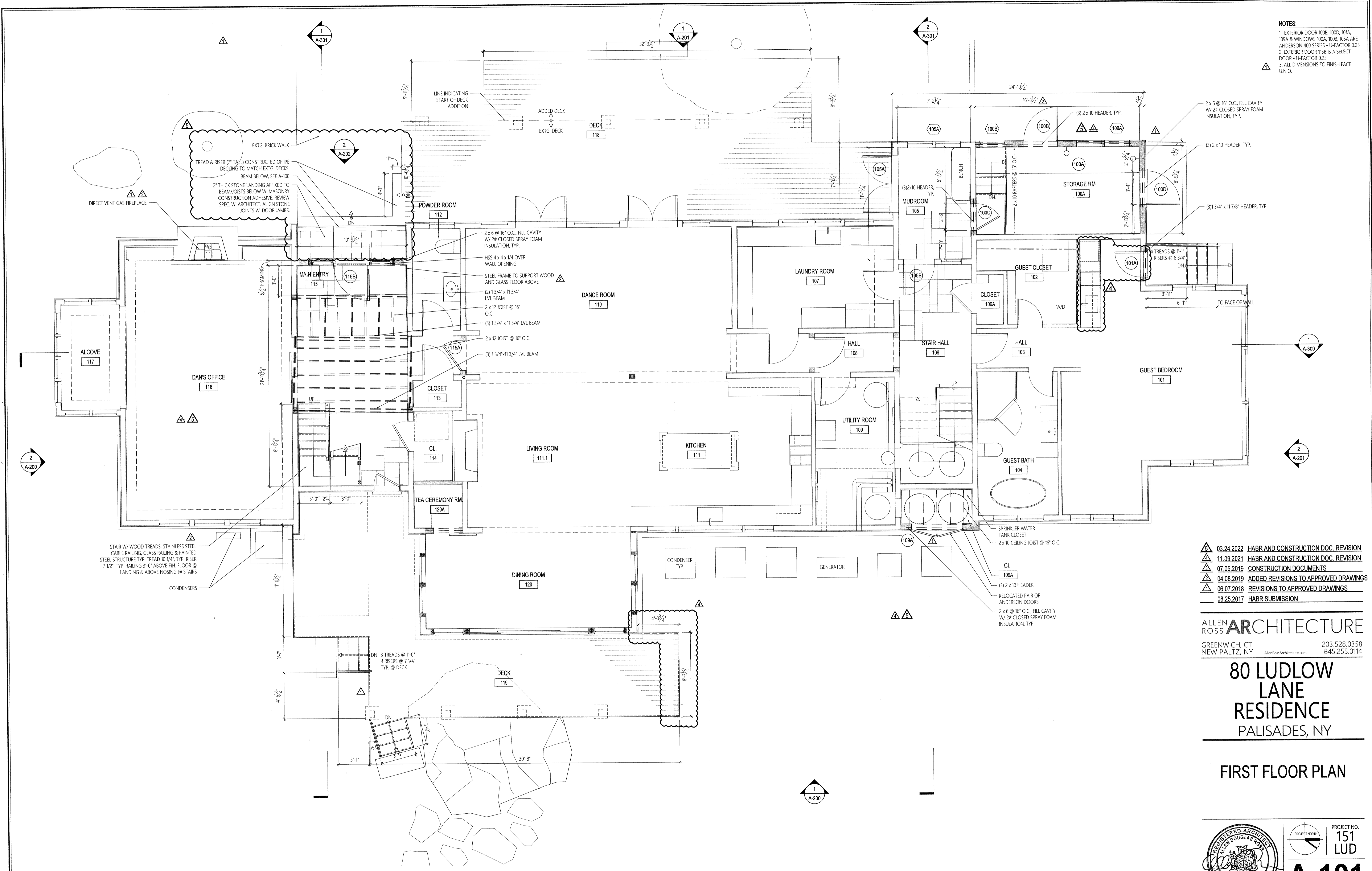
80 LUDLOW LANE RESIDENCE
 PALISADES, NY

FOUNDATION PLAN

1 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



PROJECT NORTH
 PROJECT NO. 151 LUD
A-100



- NOTES:**
1. EXTERIOR DOOR 100B, 100D, 101A, 109A & WINDOWS 100A, 100B, 105A ARE ANDERSON 400 SERIES - U-FACTOR 0.25
 2. EXTERIOR DOOR 115B IS A SELECT DOOR - U-FACTOR 0.25
 3. ALL DIMENSIONS TO FINISH FACE UNLESS NOTED.

- ▲ 03.24.2022 HABR AND CONSTRUCTION DOC. REVISION
- ▲ 11.09.2021 HABR AND CONSTRUCTION DOC. REVISION
- ▲ 07.05.2019 CONSTRUCTION DOCUMENTS
- ▲ 04.08.2019 ADDED REVISIONS TO APPROVED DRAWINGS
- ▲ 06.07.2018 REVISIONS TO APPROVED DRAWINGS
- 08.25.2017 HABR SUBMISSION

ALLEN ROSS ARCHITECTURE
 GREENWICH, CT 203.528.0358
 NEW PALTZ, NY AllenRossArchitecture.com 845.255.0114

80 LUDLOW LANE RESIDENCE
 PALISADES, NY

FIRST FLOOR PLAN

1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

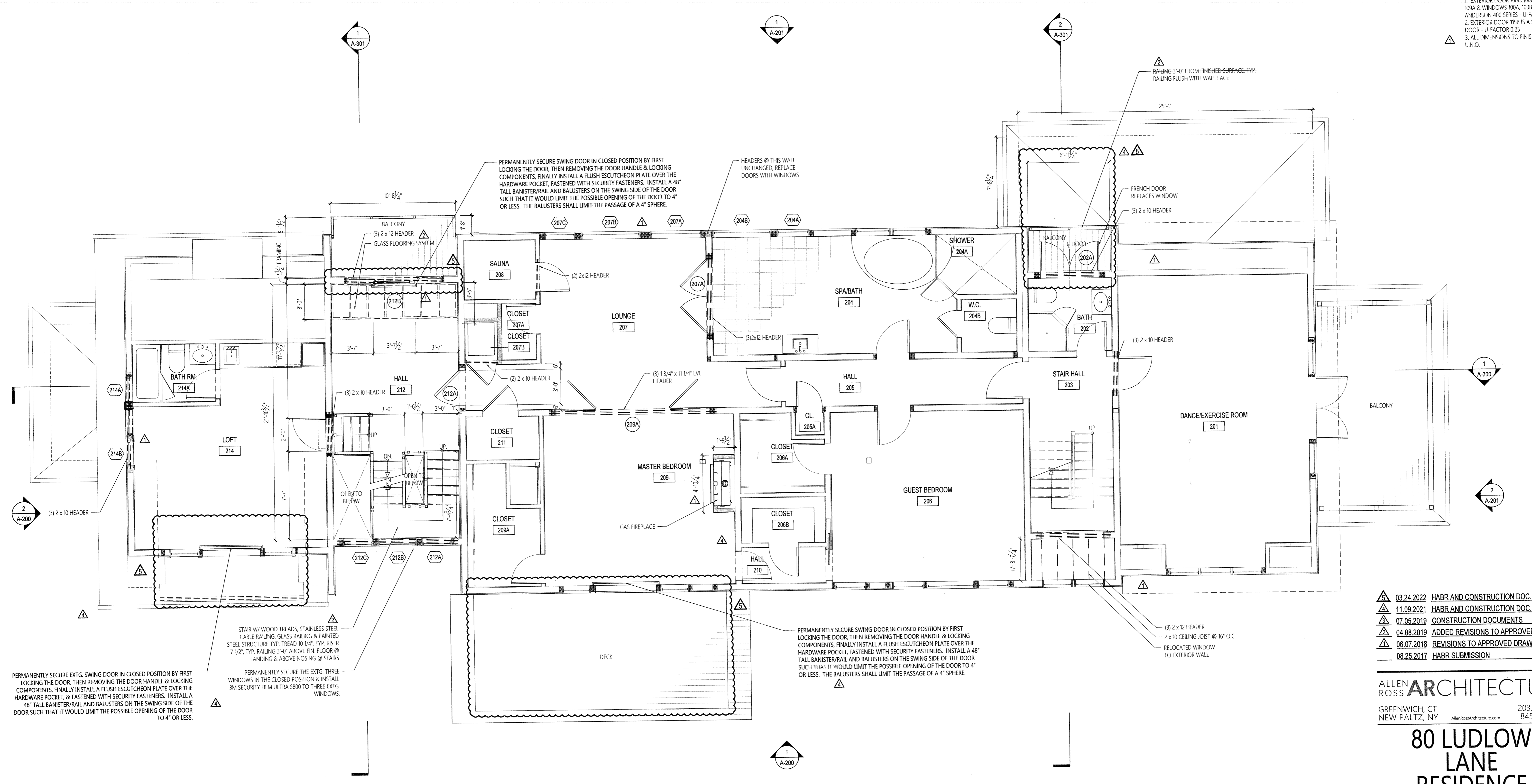
REGISTERED ARCHITECT
 ALLEN ROSS
 STATE OF NEW YORK
 LIC #028890

PROJECT NORTH

PROJECT NO. 151 LUD

A-101

- NOTES:**
- EXTERIOR DOOR 100B, 100D, 101A, 109A & WINDOWS 100A, 100B, 105A ARE ANDERSON 400 SERIES - U-FACTOR 0.25
 - EXTERIOR DOOR 115B IS A SELECT DOOR - U-FACTOR 0.25
 - ALL DIMENSIONS TO FINISH FACE UN.O.



PERMANENTLY SECURE EXTG. SWING DOOR IN CLOSED POSITION BY FIRST LOCKING THE DOOR, THEN REMOVING THE DOOR HANDLE & LOCKING COMPONENTS, FINALLY INSTALL A FLUSH ESCUTCHEON PLATE OVER THE HARDWARE POCKET, & FASTENED WITH SECURITY FASTENERS. INSTALL A 48\"/>

STAIR W/ WOOD TREADS, STAINLESS STEEL CABLE RAILING, GLASS RAILING & PAINTED STEEL STRUCTURE TYP. TREAD 1 1/4\", TYP. RISER 7 1/2\", TYP. RAILING 3'-0\"/>

PERMANENTLY SECURE SWING DOOR IN CLOSED POSITION BY FIRST LOCKING THE DOOR, THEN REMOVING THE DOOR HANDLE & LOCKING COMPONENTS, FINALLY INSTALL A FLUSH ESCUTCHEON PLATE OVER THE HARDWARE POCKET, FASTENED WITH SECURITY FASTENERS. INSTALL A 48\"/>

HEADERS @ THIS WALL UNCHANGED, REPLACE DOORS WITH WINDOWS

PERMANENTLY SECURE SWING DOOR IN CLOSED POSITION BY FIRST LOCKING THE DOOR, THEN REMOVING THE DOOR HANDLE & LOCKING COMPONENTS, FINALLY INSTALL A FLUSH ESCUTCHEON PLATE OVER THE HARDWARE POCKET, FASTENED WITH SECURITY FASTENERS. INSTALL A 48\"/>

(3) 2 x 12 HEADER
2 x 10 CEILING JOIST @ 16\"/>

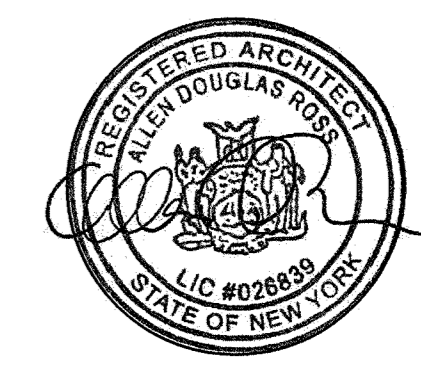
1 SECOND FLOOR PLAN
SCALE: 1/4\"/>

- 03.24.2022 HABR AND CONSTRUCTION DOC. REVISION
- 11.09.2021 HABR AND CONSTRUCTION DOC. REVISION
- 07.05.2019 CONSTRUCTION DOCUMENTS
- 04.08.2019 ADDED REVISIONS TO APPROVED DRAWINGS
- 06.07.2018 REVISIONS TO APPROVED DRAWINGS
- 08.25.2017 HABR SUBMISSION

ALLEN ROSS ARCHITECTURE
GREENWICH, CT 203.528.0358
NEW PALTZ, NY 845.255.0114
AllenRossArchitecture.com

80 LUDLOW LANE RESIDENCE
PALISADES, NY

SECOND FLOOR PLAN

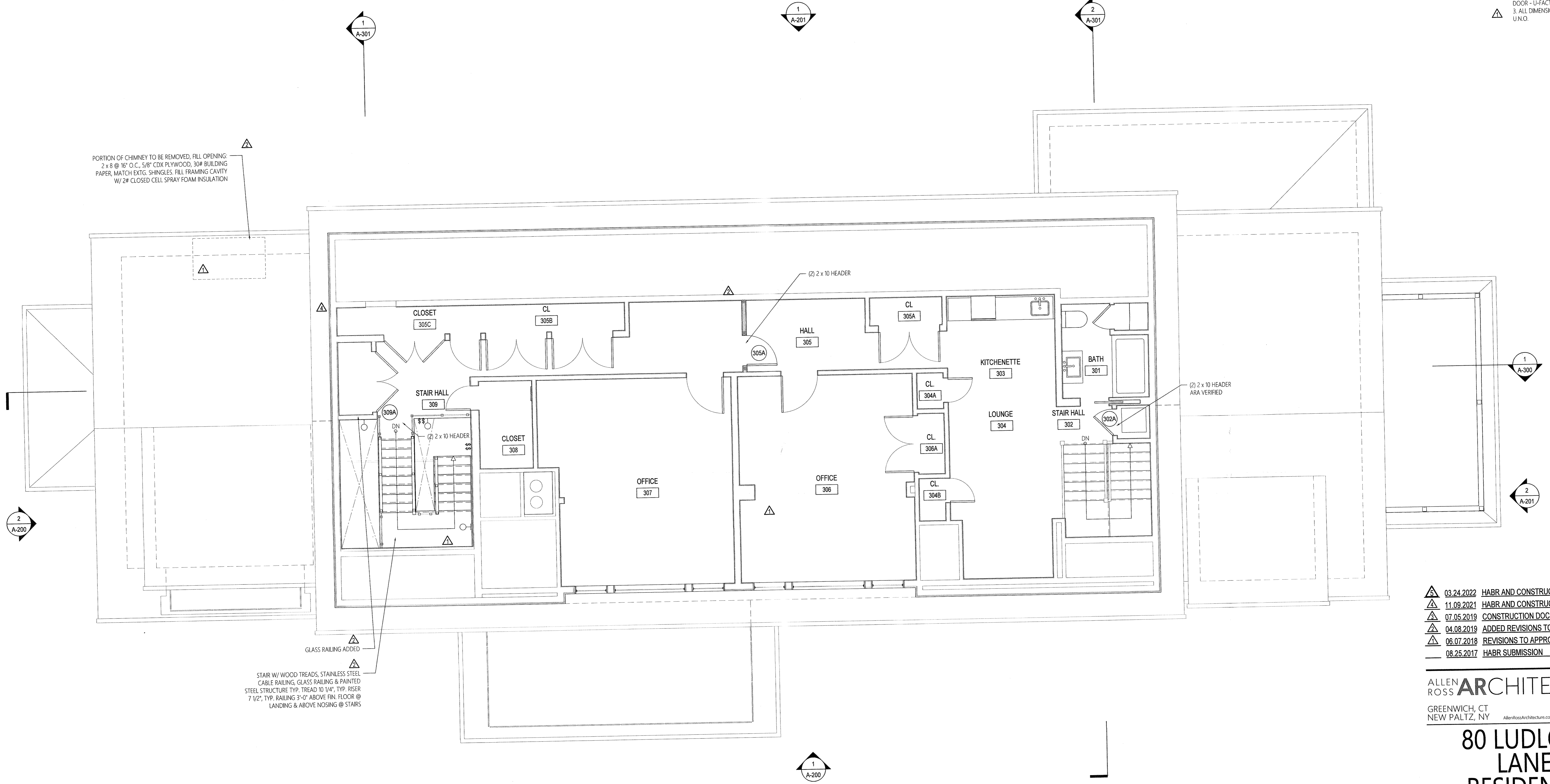


PROJECT NORTH
151 LUD
A-102

NOTES:
 1. EXTERIOR DOOR 100B, 100D, 101A, 103A & WINDOWS 100A, 100B, 103A ARE ANDERSON 400 SERIES - U-FACTOR 0.25
 2. EXTERIOR DOOR 115B IS A SELECT DOOR - U-FACTOR 0.25
 3. ALL DIMENSIONS TO FINISH FACE UNO.

PORTION OF CHIMNEY TO BE REMOVED. FILL OPENING 2 x 8 @ 16" O.C., 5/8" CDX PLYWOOD, 3/8" BUILDING PAPER, MATCH EXTG. SHINGLES. FILL FRAMING CAVITY W/ 2" CLOSED CELL SPRAY FOAM INSULATION

GLASS RAILING ADDED
 STAIR W/ WOOD TREADS, STAINLESS STEEL CABLE RAILING, GLASS RAILING & PAINTED STEEL STRUCTURE TYP. TREAD 10"14"; TYP. RISER 7"1/2"; TYP. RAILING 3'-0" ABOVE FIN. FLOOR @ LANDING & ABOVE NOSING @ STAIRS



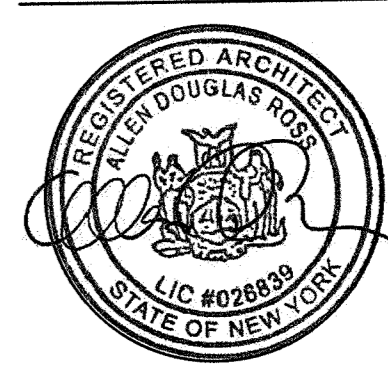
- 03.24.2022 HABR AND CONSTRUCTION DOC. REVISION
- 11.09.2021 HABR AND CONSTRUCTION DOC. REVISION
- 07.05.2019 CONSTRUCTION DOCUMENTS
- 04.08.2019 ADDED REVISIONS TO APPROVED DRAWINGS
- 06.07.2018 REVISIONS TO APPROVED DRAWINGS
- 08.25.2017 HABR SUBMISSION

ALLEN ROSS ARCHITECTURE
 GREENWICH, CT 203.528.0358
 NEW PALTZ, NY 845.255.0114
 allenrossarchitecture.com

80 LUDLOW LANE RESIDENCE
 PALISADES, NY

THIRD FLOOR PLAN

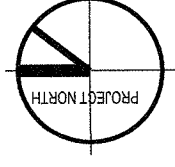
1 THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"



PROJECT NORTH
 PROJECT NO. 151 LUD
A-103

A-104

PROJECT NO.
151
LUD



ROOF PLAN

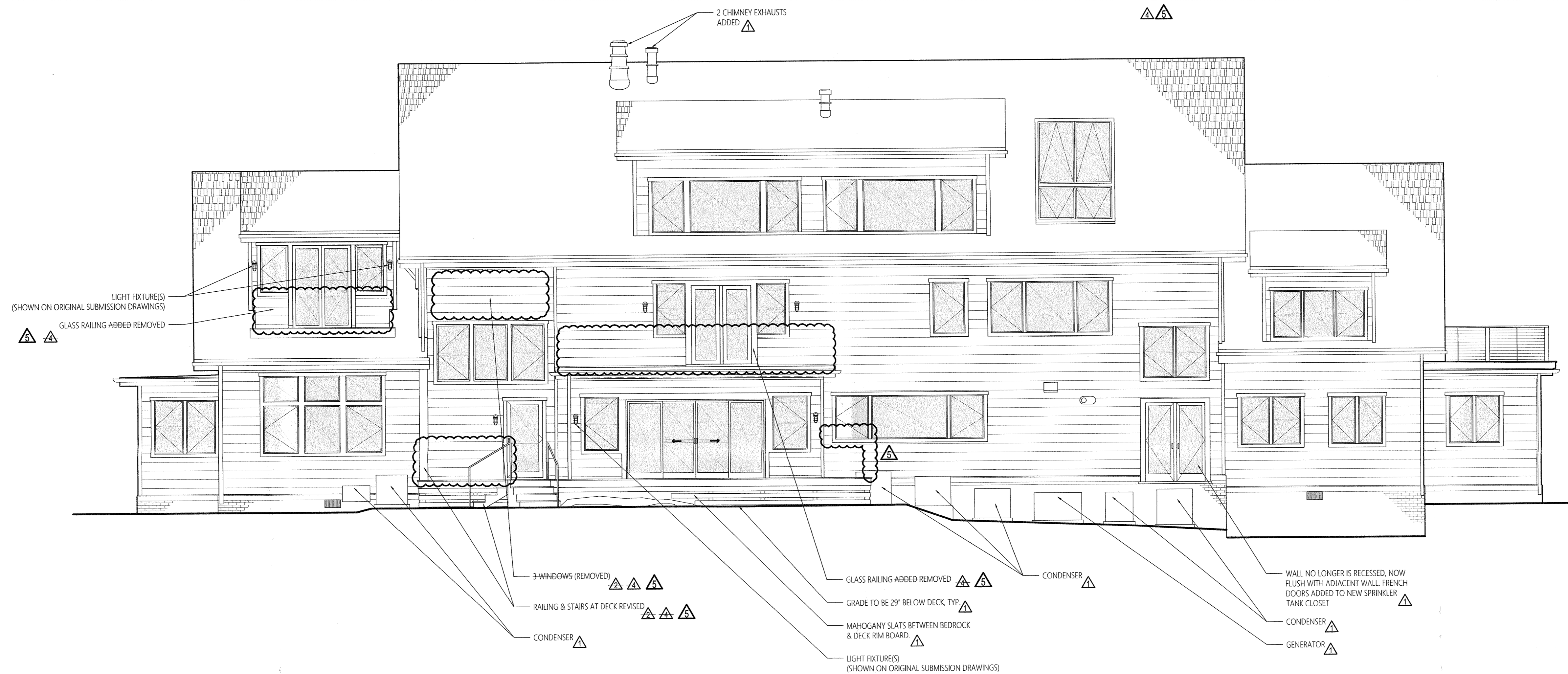
80 LUDLOW
LANE
RESIDENCE
PALISADES, NY

ALLEN ROSS ARCHITECTURE
GREENWICH, CT 203.528.0358
NEW PALTZ, NY 845.255.0114

- 03.24.2022 HABR AND CONSTRUCTION DOC. REVISION
- 11.09.2021 HABR AND CONSTRUCTION DOC. REVISION
- 07.05.2019 CONSTRUCTION DOCUMENTS
- 04.08.2019 ADDED REVISIONS TO APPROVED DRAWINGS
- 06.07.2018 REVISIONS TO APPROVED DRAWINGS
- 08.25.2017 HABR SUBMISSION



- NOTES:
- 1. EXTERIOR DOOR 1008, 1009, 100A, 100B & WINDOWS 1008, 1009, 100A ARE AMERSON 400 SERIES - U-FACTOR 0.25
 - 2. EXTERIOR DOOR 1158 IS A SELECT
 - 3. ALL DIMENSIONS TO FINISH FACE UNO.



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"



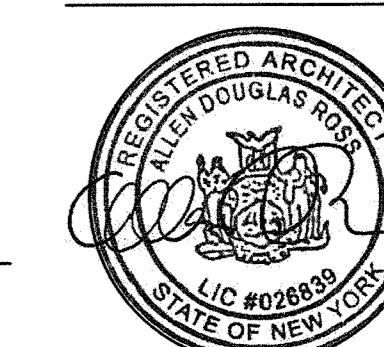
2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

- △ 03.24.2022 HABR AND CONSTRUCTION DOC. REVISION
- △ 11.09.2021 HABR AND CONSTRUCTION DOC. REVISION
- △ 07.05.2019 CONSTRUCTION DOCUMENTS
- △ 04.08.2019 ADDED REVISIONS TO APPROVED DRAWINGS
- △ 06.07.2018 REVISIONS TO APPROVED DRAWINGS
- 08.25.2017 HABR SUBMISSION

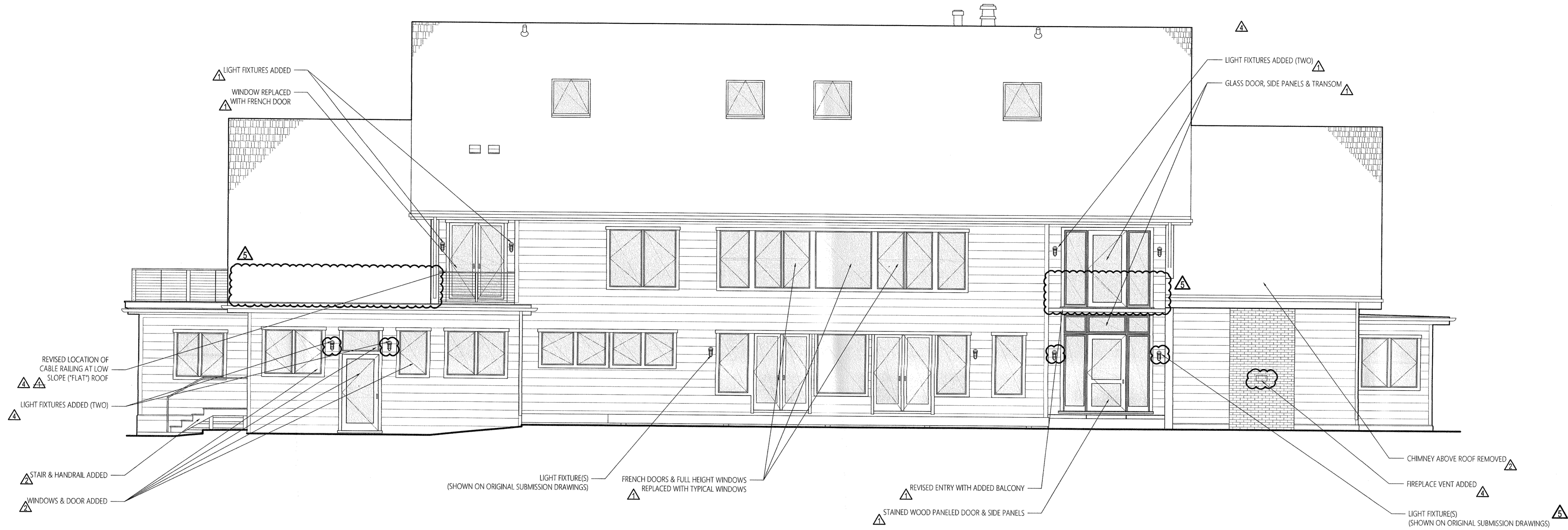
ALLEN ROSS ARCHITECTURE
GREENWICH, CT 203.528.0358
NEW PALTZ, NY AllenRossArchitecture.com 845.255.0114

80 LUDLOW
LANE
RESIDENCE
PALISADES, NY

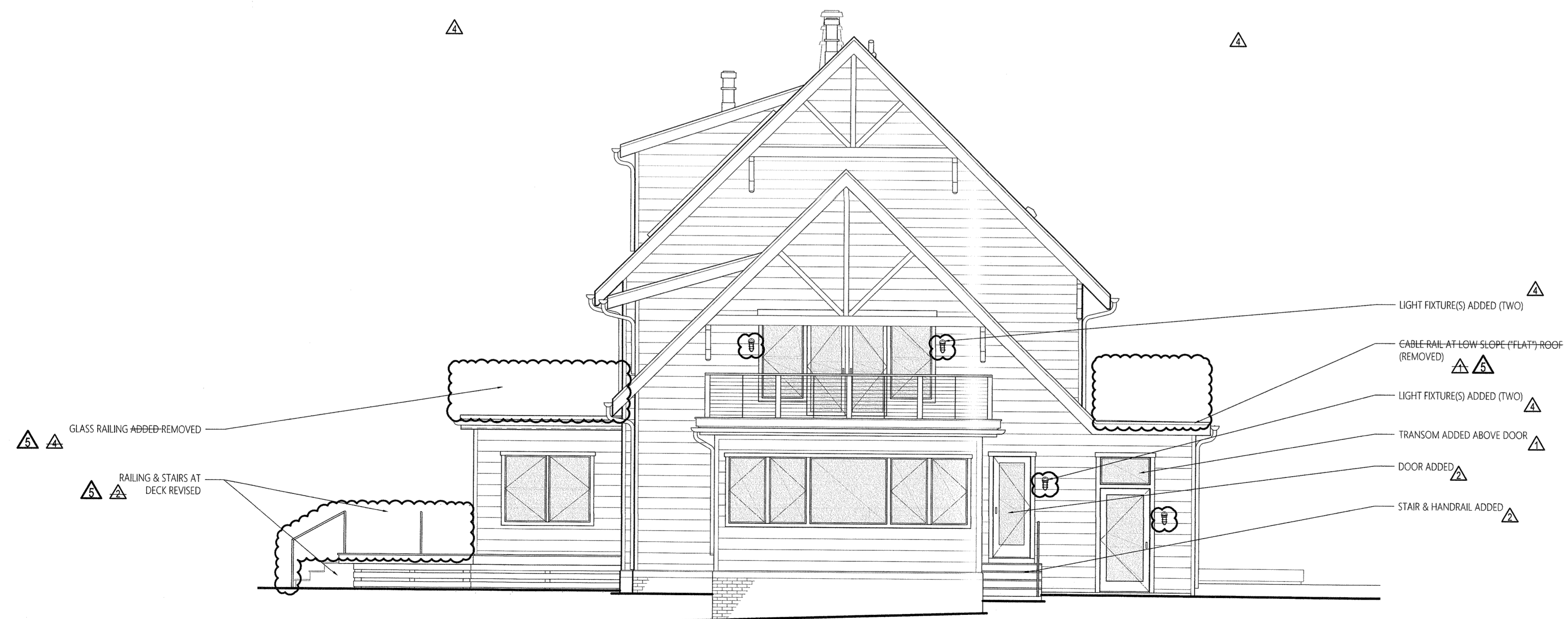
ELEVATIONS



PROJECT NO. 151
LUD
A-200



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

- ▲ 03.24.2022 HABR AND CONSTRUCTION DOC. REVISION
- ▲ 11.09.2021 HABR AND CONSTRUCTION DOC. REVISION
- ▲ 07.05.2019 CONSTRUCTION DOCUMENTS
- ▲ 04.08.2019 ADDED REVISIONS TO APPROVED DRAWINGS
- ▲ 06.07.2018 REVISIONS TO APPROVED DRAWINGS
- ▲ 08.25.2017 HABR SUBMISSION

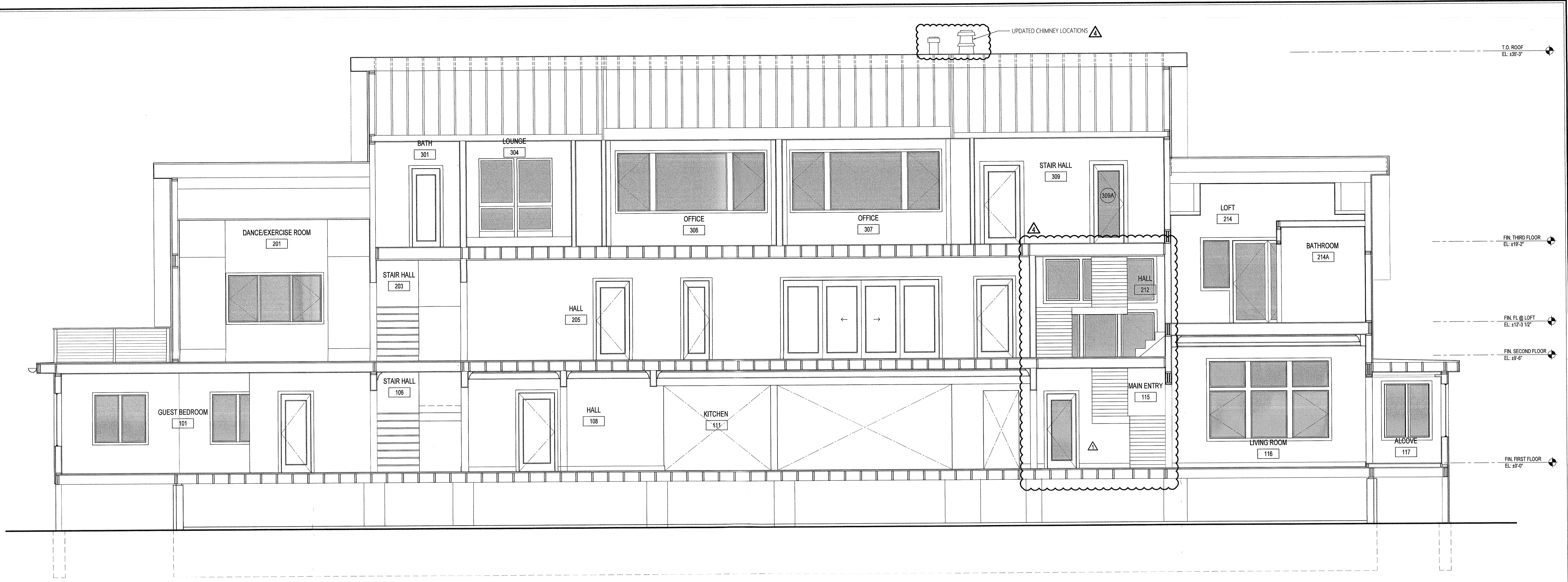
ALLEN
ROSS ARCHITECTURE
GREENWICH, CT 203.528.0358
NEW PALTZ, NY 845.255.0114
AllenRossArchitecture.com

80 LUDLOW
LANE
RESIDENCE
PALISADES, NY

ELEVATIONS



PROJECT NO.
151
LUD
A-201



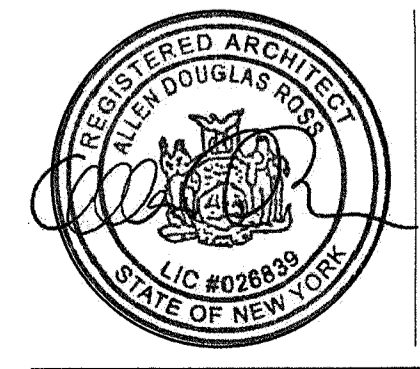
1 NORTH-SOUTH SECTION
SCALE: 1/4" = 1'-0"

- △ 11.09.2021 HABR AND CONSTRUCTION DOC. REVISION
- △ 07.05.2019 CONSTRUCTION DOCUMENTS
- △ 04.08.2019 ADDED REVISIONS TO APPROVED DRAWINGS
- △ 06.07.2018 REVISIONS TO APPROVED DRAWINGS
- 08.25.2017 HABR SUBMISSION

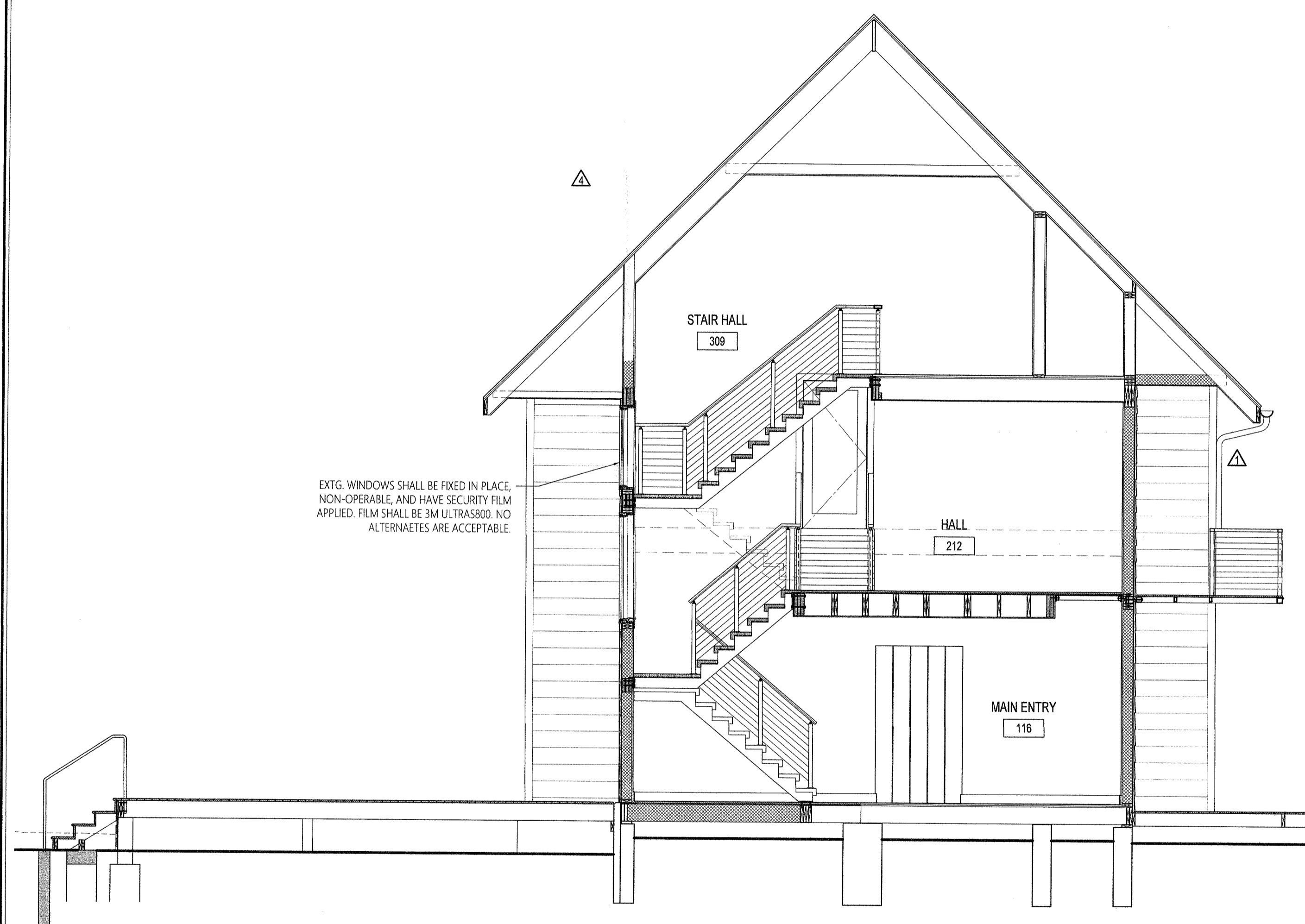
ALLEN ROSS ARCHITECTURE
GREENWICH, CT 203.528.0358
NEW PALTZ, NY AllenRossArchitecture.com 845.255.0114

80 LUDLOW
LANE
RESIDENCE
PALISADES, NY

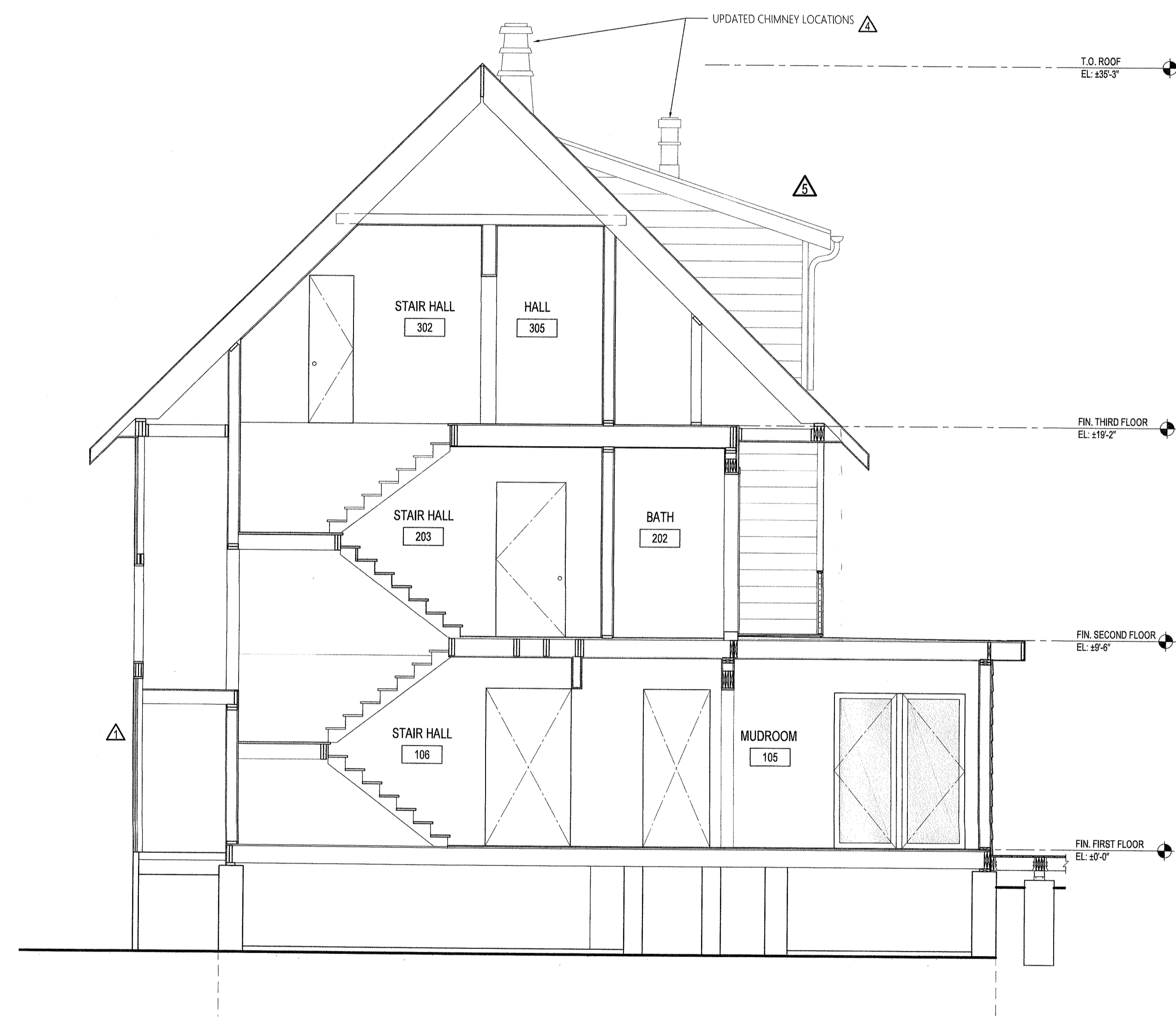
SECTION



PROJECT NO.
151
LUD
A-300



1 SECTION THROUGH MAIN ENTRY 116 STAIR
SCALE: 1/4" = 1'-0"



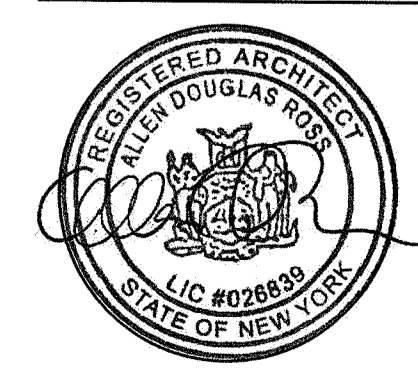
2 SECTION THROUGH STAIR HALL
SCALE: 1/4" = 1'-0"

- 03.24.2022 HABR AND CONSTRUCTION DOC. REVISION
- 11.09.2021 HABR AND CONSTRUCTION DOC. REVISION
- 07.06.2019 CONSTRUCTION DOCUMENTS
- 04.08.2019 ADDED REVISIONS TO APPROVED DRAWINGS
- 06.07.2018 REVISIONS TO APPROVED DRAWINGS
- 08.25.2017 HABR SUBMISSION

ALLEN ROSS ARCHITECTURE
GREENWICH, CT 203.528.0358
NEW PALTZ, NY allenrossarchitecture.com 845.255.0114

80 LUDLOW LANE RESIDENCE PALISADES, NY

SECTIONS



PROJECT NO. 151 LUD
A-301

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2022 LAND USE BOARD APPLICATION

Please check all that apply:

Commercial
 Residential

Planning Board
 Historical Board

Zoning Board of Appeals
 Architectural Board

Subdivision
 Consultation

Number of Lots
 Pre-Preliminary/Sketch

Site Plan
 Preliminary

Conditional Use
 Final

Special Permit
 Interpretation

Variance
 Performance Standards Review

Use Variance
 Other (specify): _____

PERMIT#: 46533

ASSIGNED _____

INSPECTOR: G.M

Referred from Planning Board: YES / NO
 if yes provide date of Planning Board meeting: _____

Project Name: Exterior revisions from the previously approved application Goleman Residence

Street Address: 80 Ludlow Lane Palisades, NY 10964

Tax Map Designation: Section: 80.06 Block: 1 Lot(s): 20
Section: _____ Block: _____ Lot(s): _____

Directional Location: On the End side of A private right of way approximately _____
900 feet from _____ of the intersection of Ludlow Lane, in the
Town of Orangetown in the hamlet/village of Palisades

Acres of Parcel: 2.66 **Zoning District:** R 80 - A
School District: _____ **Postal District:** _____
Ambulance District: _____ **Fire District:** _____
Water District: _____ **Sewer District:** _____

Project Description: *(If additional space required, please attach a narrative summary.)*
Exterior revisions from the previously approved application

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: 05/31/2022 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

Applicant: Allen D. Ross, AIA Phone # 845-255-0114
Address: 153 Main Street New Paltz NY 12561
Street Name & Number (Post Office) City State Zip Code

Property Owner: Daniel & Tara Goleman Phone # 617-939-3848 // 413-268-3524
Address: 80 Ludlow Lane Palisades NY 10964
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Allen D. Ross, AIA Phone # 845-255-0114
Address: 153 Main Street New Paltz NY 12561
Street Name & Number (Post Office) City State Zip Code

Attorney: Phone #
Address: Street Name & Number (Post Office) City State Zip Code

Contact Person: Allen D. Ross, AIA Phone # 845-255-0114
Address: 153 Main Street New Paltz NY 12561
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- State or County Road State or County Park
- Long Path County Stream
- Municipal Boundary County Facility

List name(s) of facility checked above:

Referral Agencies:

- RC Highway Department RC Division of Environmental Resources
- RC Drainage Agency RC Dept. of Health
- NYS Dept. of Transportation NYS Dept. of Environmental Conservation
- NYS Thruway Authority Palisades Interstate Park Commission
- Adjacent Municipality
- Other

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.
(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? _____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area _____

Are there streams on the site? If yes, please provide the names. _____

Are there wetlands on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? Yes _____

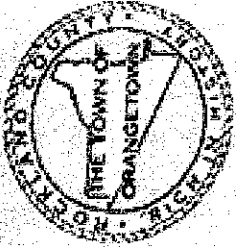
If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

HABR #14-17 First Phase of Construction (Approved)

HABR # 19-12 Second Phase of Construction (Approved) Project is currently in construction

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A



**OFFICE OF BUILDING, ZONING AND PLANNING
ADMINISTRATION AND ENFORCEMENT**

TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, N.Y. 10962

JOHN GIARDELLO, P.E.
Director

(845) 359-8410

FAX: (845) 359-8526

HISTORIC BOARD OF REVIEW
REFERRAL LETTER

Permit #46533

Daniel Goleman
80 Ludlow Ln
Palisades NY, 10964

Sec. 80.06
Block: 1
Lot: 20

Mr Goleman,

I have reviewed the amended construction drawings, dated June 7, 2011. The revisions to the exterior will require you to appear before Historic Area Board Of Review for approval. Applications may be picked up the Office of Building Zoning and Planning Administration or downloaded from the Town of Orangetown website. Please contact me if you have any questions.

Thank You.

Glenn E Maier
Assistant Building Inspector

3/5/19

Cc: Deborah Arbolino

Tara and Daniel Goleman

80 Ludlow Lane
Palisades, NY 10964

February 4, 2019

Historical Areas Board of Review (HABR)
Town of Orangetown Building Department
20 Greenbush Road
Orangeburg, NY 10962

RE: HABR Application – 80 Ludlow Lane – Allen D. Ross

To Whom it May Concern:

This letter is to authorize architect Allen D. Ross, of Allen Ross Architecture, LLC, to act as our agent in all matters related to the HABR application for our property at 80 Ludlow Lane, Palisades.

This authorization includes the ability to appear in our stead at any required meetings and to discuss the application with the Board.

Please contact us if you need any additional information.

Sincerely,



Dan Goleman and Tara Goleman

cc: Allen D. Ross

6
(6 postags)

392489 80.06-1-14
Gideon G Panter
P.O. Box 629
Palisades, NY 10964-0629

392489 80.06-1-20
Daniel Goleman
80 Ludlow Ln
Palisades, NY 10964

392489 80.06-1-23
Grace F Knowlton
67 Ludlow Ln
Palisades, NY 10964

392489 80.06-1-26
Bernard A Seidler
45 Ludlow Ln
Palisades, NY 10964

392489 80.06-1-17
Felix Weidhauser
130 Ludlow Ln
Palisades, NY 10964

392489 80.06-1-21
Raymond Bernick
64 Ludlow Ln
Palisades, NY 10964

392489 80.06-1-24
Grace F Knowlton
67 Ludlow Ln
Palisades, NY 10964

392489 80.10-1-2
Columbia University Inc NY
P.O. Box 1000
Palisades, NY 10964

392489 80.06-1-18
Gideon G Panter
P.O. Box 629
Palisades, NY 10964-0629

392489 80.06-1-22
Raymond Bernick
64 Ludlow Ln
Palisades, NY 10964

392489 80.06-1-25
Morrie E Brown
57 Ludlow Ln
Palisades, NY 10964

NO Data Found

80.06-1-19

Trustees of Columbia University

Attn: General Counsel

535 W. 116th St.

New York, NY 10027

DECISION

APPROVED AS PRESENTED

TO: Michael Esmay (80 Ludlow)
17 Van Houton Street
Upper Nyack, New York 10960

HABR # 14-17
November 4, 2014

FROM: HISTORIC AREAS BOARD OF REVIEW, TOWN OF ORANGETOWN

HABR#14-17: Application of 80 Ludlow Lane for review of an addition and alteration to an existing single-family residence. The premises are located at 80 Ludlow Lane, in the Town of Orangetown, Hamlet of Palisades, New York. Chapter 12, Section 12-4(A), Historic Areas Board of Review.
Tax Numbers: 80.06 / 1 / 20; R-80 zoning district.

Heard by the HISTORIC AREAS BOARD OF REVIEW at a meeting held on Tuesday, November 4, 2014 at which time the Board made the following determination:

Michael Esmay, Architect, appeared.

The following documents were presented:

1. Architectural Plans dated 09/10/2014 with the latest revision date of 10/06/2014 (8 pages).

Michael Esmay, Architect, stated that the house was recently purchased by the Goldman's; that they are moving from Massachusetts to the house; that they are both writers; that the house was built around 1986; that they are adding a third floor to the existing house that will provide two work spaces with river views and a small bathroom; that the second floor is being expanded to add a dance/exercise space and the round sections of the house are being squared off; that the proposed changes are in keeping with the character of the neighborhood; that there will not be a new barn structure; and that the roof shall be slate grey asphalt shingles; the gutter and leaders shall be copper; that windows and doors shall be green and the cedar shingles shall be painted dune gray.

PUBLIC COMMENT:

No public comment.

TOWN CLERKS OFFICE

2014 NOV 13 AM 11 27

TOWN OF ORANGETOWN

FINDINGS OF FACT:

1. The Board, after personal observation of the property, hearing all the testimony and reviewing same, found as fact, that: The application as presented, would not adversely affect the Historic District and the surrounding area. The design and materials for the proposed (Architectural Plans dated 09/10/2014 with the latest revision date of 10/06/2014 (8 pages).) are complimentary to the District.
1. The roof shall be grey asphalt GAF shingle.
2. The siding shall be painted dune grey cedar shingles.
3. The soffits and fascia shall be grey 1" x6" T & G Pine
4. The gutters and leaders shall be half round copper.
5. The windows shall be forest green vinyl clad wood Andersen window.
6. The trim shall be white composite azek.
7. The garage doors shall be custom wood and glass.
8. There will not be a barn structure constructed at this time.

THIS APPROVAL/DECISION, AND ANY MODIFICATIONS OR CONDITIONS SET FORTH HEREIN, IS GRANTED BY THE HISTORICAL AREA BOARD OF REVIEW AND IS LIMITED TO THE SPECIFIC RELIEF REQUESTED AND SUBJECT TO THE CONDITIONS OR MODIFICATIONS, IF ANY, SET FORTH HEREIN.

**** PRE-1918 CONSTRUCTION: PLEASE BE ADVISED: IN THE HISTORIC AREA, ALL CONSTRUCTION REQUIRING A BUILDING PERMIT OR ANY EXTERIOR CHANGES (INCLUDING PAINT COLOR) TO BUILDINGS CONSTRUCTED PRIOR TO 1918, REQUIRES APPROVAL FROM THE HISTORIC AREAS BOARD OF REVIEW.**

PRIOR APPROVAL OF THE HISTORICAL AREA BOARD OF REVIEW IS REQUIRED PRIOR TO ANY CHANGE OR MODIFICATION OF THE REQUIREMENTS AND/OR CONDITIONS SET FORTH IN THIS DECISION, INCLUDING, BUT NOT LIMITED TO:

TOWN CLERKS OFFICE

2014 NOV 13 PM 11:27

TOWN OF ORANGETOWN

- ROOFING SHINGLES (IF CHANGING COLOR)
- SIDING
- DECORATIVE SIDING
- SOFFITS & FASCIA
- GUTTERS AND LEADERS
- WINDOWS
- TRIM
- SHUTTERS
- DOORS
- LIGHTING
- LOCATION OF AIR CONDITIONING UNITS
- WALKWAYS, PATIOS
- POOLS, SPAS AND FENCES
- SIGNS
- ANY CHANGE IN THE ABOVE LIST INCLUDING COLOR, MATERIAL AND/OR MANUFACTURER

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT DEBBIE ARBOLINO, CLERK TO THE HISTORIC AREA BOARD OF REVIEW AT (845) 359-8410.

DECISION: In view of the foregoing and the testimony before the Board, the application; addition [Architectural Plans dated 09/10/2014 with the latest revision date of 10/06/2014 (8 pages)] is **APPROVED**.

The foregoing resolution was presented and moved by Thano Schoppel, seconded by Larry Bucciarelli; and carried as follows: Larry Bucciarelli, aye; Wayne Garrison, aye; William Walther, aye; Scott Wheatley, aye; and Thano Schoppel, aye. Joseph Chabot and Margaret Raso were absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

Dated: November 4, 2014

HISTORIC AREAS BOARD OF REVIEW
TOWN OF ORANGETOWN

BY: *Deborah Arbolino*
Deborah Arbolino, Administrative Aide

DISTRIBUTION:

APPLICANT
TOWN BOARD MEMBERS
HABR MEMBERS
SUPERVISOR
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR-M.M.

TOWN CLERK
HIGHWAY DEPARTMENT
TOWN HISTORIAN
DEPT. OF ENVIRONMENTAL
ENGINEERING
HABR, PB, FILE
PB, ZBA, ACABOR CHAIRMAN

TOWN CLERKS OFFICE

NOV 13 09 11 27

TOWN OF ORANGETOWN

DECISION

APPROVED AS PRESENTED

TO: Daniel Goleman
80 Ludlow Lane
Palisades, New York 10964

HABR # 17-08
July 11, 2017
Permit # 46533

FROM: HISTORIC AREAS BOARD OF REVIEW, TOWN OF ORANGETOWN

HABR#17-08: Application of Daniel Goleman for review of an addition and alteration to an existing single-family residence located at 80 Ludlow Lane, in the Town of Orangetown, Hamlet of Palisades, New York. Chapter 12, Section 12-4(A), Historic Areas Board of Review.

Tax Numbers: 80.06 / 1 / 20; R-80 zoning district

Heard by the HISTORIC AREAS BOARD OF REVIEW at a meeting held on Tuesday, July 11, 2017 at which time the Board made the following determination:

Michael Esmay, Architect, Kaitlyn Burke, Designer, appeared.

The following documents were presented:

1. Architectural plans dated April 4, 2017 with the latest revision date of June 29, 2017, signed and sealed by Michael Esmay, Architect. (7 pages)

Michael Esmay, Architect, stated that two years ago they were before the Board with Phase I of the project; that they have finished the first floor and are here for phase II, that they are proposing some small additions and changes to the west side for storage area and a mud room addition and the deck is slightly different and the trellis has been eliminated; that there will be a small balcony off the second floor; that a balcony is a very small balcony, that they are proposing a spiral staircase outside to be the entrance to the caretakers space; that the garage has been eliminated, and an additional air conditioning unit and emergency generator will be installed at the northeast of the dwelling where the other units are and there will not be any motion lights.

Kaitlyn Burke, Designer, stated that the staircase to the caretakers space will not have severe turn; that they are looking at local iron workers to design the staircase; that they are considering the artist, Eric David Laxman; that the staircase has not been designed or picked out yet; that it will have a bronze patina similar to the proposed lights by Urban Archeology; that there will be lights by the two front doors, side doors, French doors and balconies; that the deck will be mahogany with wood posts and bronze cable rails; that the front door has not been selected yet; that it will be a Colby 7' mahogany double door with two transom side lights and a transom above; that the hardware will be rocky mountain bronze hardware; and she will return in September with the staircase and door.

PUBLIC COMMENT:

No public comment.

TOWN CLERK'S OFFICE
2017 JUL 20 P 2:34
TOWN OF ORANGETOWN

FINDINGS OF FACT:

The Board, after personal observation of the property, hearing all the testimony and reviewing same, found as fact, that: The application as presented, would not adversely affect the Historic District and the surrounding area. The design and materials for the proposed addition/alteration: [Architectural plans dated April 4, 2017 with the latest revision date of June 29, 2017, signed and sealed by Michael Esmay, Architect. (7 pages)]

1. The roof shall be GAF three tab asphalt shingles in grey to match the existing roof.
2. The siding shall be cedar shingle natural to match existing.
3. There soffits and fascia shall match the existing.
4. The windows shall be vinyl clad wood Andersen windows to match the existing.
5. The trim shall be white composite azek.
6. The brick veneer will match the existing brick veneer.
7. The decks shall be mahogany with wood posts with bronze cable rails.
8. The lighting shall be tug lights by Urban Archeology be every door, 2 front doors, back door, 2 side doors and French doors.
9. The front door and proposed spiral staircase have not been finalized and the applicant will return in September with the choices selected.

THIS APPROVAL/DECISION, AND ANY MODIFICATIONS OR CONDITIONS SET FORTH HEREIN, IS GRANTED BY THE HISTORICAL AREA BOARD OF REVIEW AND IS LIMITED TO THE SPECIFIC RELIEF REQUESTED AND SUBJECT TO THE CONDITIONS OR MODIFICATIONS, IF ANY, SET FORTH HEREIN.

**** PRE-1918 CONSTRUCTION: PLEASE BE ADVISED: IN THE HISTORIC AREA, ALL CONSTRUCTION REQUIRING A BUILDING PERMIT OR ANY EXTERIOR CHANGES (INCLUDING PAINT COLOR) TO BUILDINGS CONSTRUCTED PRIOR TO 1918, REQUIRES APPROVAL FROM THE HISTORIC AREAS BOARD OF REVIEW.**

PRIOR APPROVAL OF THE HISTORICAL AREA BOARD OF REVIEW IS REQUIRED PRIOR TO ANY CHANGE OR MODIFICATION OF THE REQUIREMENTS AND/OR CONDITIONS SET FORTH IN THIS DECISION, INCLUDING, BUT NOT LIMITED TO:

- ROOFING SHINGLES (IF CHANGING COLOR)
- SIDING
- DECORATIVE SIDING
- SOFFITS & FASCIA
- GUTTERS AND LEADERS
- WINDOWS
- TRIM
- SHUTTERS
- DOORS
- LIGHTING
- LOCATION OF AIR CONDITIONING UNITS
- WALKWAYS, PATIOS
- POOLS, SPAS AND FENCES
- SIGNS
- ANY CHANGE IN THE ABOVE LIST INCLUDING COLOR, MATERIAL AND/OR MANUFACTURER

TOWN OF ORANGETOWN
2017 JUL 20 P 2:34
TOWN CLERK'S OFFICE

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT DEBBIE ARBOLINO, CLERK TO THE HISTORIC AREA BOARD OF REVIEW AT (845) 359-8410.

DECISION: In view of the foregoing and the testimony before the Board, the application for the addition/alteration: [Architectural plans dated April 4, 2017 with the latest revision date of June 29, 2017, signed and sealed by Michael Esmay, Architect. (7 pages)] is APPROVED with the Specific Condition that the applicant returns to the Board for approval of the outdoor metal staircase to the caretaker's space and the front door when they are selected.

The foregoing resolution to approve the addition/ alteration was presented and moved by William Walthers, seconded by Margaret Raso; and carried as follows: William Walther, aye; Scott Wheatley, aye Thano Schoppel, aye; and Margaret Raso, aye. Larry Bucciarèlli, Carol Schelin and Wayne Garrison were absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

Dated: July 11, 2017

HISTORIC AREAS BOARD OF REVIEW
TOWN OF ORANGETOWN

BY: 
Deborah Arbolino, Administrative Aide

DISTRIBUTION:

APPLICANT
TOWN BOARD MEMBERS
HABR MEMBERS
SUPERVISOR
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OEZPAE
BUILDING INSPECTOR- G.M.

TOWN CLERK
HIGHWAY DEPARTMENT
TOWN HISTORIAN
DEPT. OF ENVIRONMENTAL
ENGINEERING
HABR, PB, FILE
PB, ZBA, ACABOR CHAIRMAN

TOWN CLERK'S OFFICE
2017 JUL 20 P 2:34
TOWN OF ORANGETOWN

DECISION

APPROVED AS PRESENTED

TO: Caitlyn Burck (Goleman)
218 Gair Street
Piermont, New York 10968

HABR # 17-13
September 11, 2017
Permit #46533

FROM: HISTORIC AREAS BOARD OF REVIEW, TOWN OF ORANGETOWN

HABR#17-13: Application of Daniel Goleman for an amendment to HABR#17-08 for renovation/addition to an existing single-family residence located at 80 Ludlow Lane, in the Town of Orangetown, Hamlet of Palisades, New York. Chapter 12, Section 12-4(A), Historic Areas Board of Review.
Tax Numbers: 80.06 / 1 / 20; R-80 zoning district

Heard by the HISTORIC AREAS BOARD OF REVIEW at a meeting held on Tuesday, September 12, 2017 at which time the Board made the following determination:

Caitlyn Burck appeared.

The following documents were presented:

1. A letter dated August 28, 2017 from Caitlyn Burck ,Piermont Design Group, stating the changes that are being requested from the July 11, 2017 approval HABR#17-08.
2. Computer generated pictures of the exterior spiral staircase and drawings of the proposed staircase by Acadia Stairs drafted by Peter Lo 3 pages.
3. Kolbe Windows and Doors drawing of the proposed door with transoms.
4. Picture of the proposed outside lighting.
5. Computer generated Drawings by Caitlyn Burck labeled A-101 , A-102, A-201 & A-202 dated August 25, 2017

Caitlyn Burck stated that the Goleman's have listened to the Board regarding the spiral staircase outside and are considering the possibility of an interior staircase to the caretakers apartment; that they are in the process of seeing if this option works but they would like to be able to move forward with the exterior staircase in case the interior plan intrudes on the proposed living spaces too much; that the staircase drawing that they are presenting shows a revised location for the spiral stair; that the original plans placed the staircase on the left side of the house with the stair beginning on grade; that the proposed location moves the staircase onto the back deck platform which reduces the number of steps and which allows easier, safer access in inclement weather; that the small landing with the single door and two windows are being changed to a wider balcony with in swing French doors because this will allow better river views; that this is shown on page A-201; that the bridge for the spiral staircase is located there; that if you look at A-102 the bridge is clear of the roof; that the tread on the staircase is custom fabricated graded tread, that no snow or ice removal is necessary and the risers are open; that if they must be closed for code they can be closed, however they prefer open risers for aesthetics; that the exterior lights have been selected and they will be installed at all exterior doors; and that they would like to come back next month with a few more changes to decks and an answer about the staircase; but in the meantime they would appreciate approval of this staircase in case the interior plans do not work out.

PUBLIC COMMENT:

No comment.

TOWN CLERK'S OFFICE

2017 SEP 14 A 11: 24

TOWN OF ORANGETOWN

FINDINGS OF FACT:

The Board, after personal observation of the property, hearing all the testimony and reviewing same, found as fact, that: The application as presented, would not adversely affect the Historic District and the surrounding area. The design and materials for the proposed changes to HABR#17-08 dated July 11, 2017: Computer generated pictures of the exterior spiral staircase and drawings of the proposed staircase by Acadia Stairs drafted by Peter Lo 3 pages; Kolbe Windows and Doors drawing of the proposed door with transoms; Picture of the proposed outside lighting; Computer generated Drawings by Caitlyn Burck labeled A-101 , A-102, A-201 & A-202 dated August 25, 2017]

1. The front entry door shall be a Kolbe door with surround transom/sidelight assembly (with simulated divided-lit windows) by Kolbe windows and doors dated 08/10/2017.
2. The Exterior Spiral Staircase shall have horizontal baluster rails (bronze); metal handrail (bronze); slatted metal steps for drainage/traction; bridge decking to match treads; deck to be wood cap/post with bronze cables.
3. All exterior lights by every door shall be Urban Archeology Backbay Wall mount UA0253-W El in Bronze.
4. The front entry window above the door assembly shall match the transom/sidelight specifications.
5. There is a revised location of the spiral staircase (original approved location placed the staircase on the left side of the house with the stair beginning on grade); the new location moved the staircase to the back deck platform.
6. There is a revised width and configuration of the caretakers bedroom balcony as well as entry door and windows; (the original approved plan proposed a small platform at a singled door to enter the room); the new location has a wider balcony with centered single-lite windows.

THIS APPROVAL/DECISION, AND ANY MODIFICATIONS OR CONDITIONS SET FORTH HEREIN, IS GRANTED BY THE HISTORICAL AREA BOARD OF REVIEW AND IS LIMITED TO THE SPECIFIC RELIEF REQUESTED AND SUBJECT TO THE CONDITIONS OR MODIFICATIONS, IF ANY, SET FORTH HEREIN.

**** PRE-1918 CONSTRUCTION: PLEASE BE ADVISED: IN THE HISTORIC AREA, ALL CONSTRUCTION REQUIRING A BUILDING PERMIT OR ANY EXTERIOR CHANGES (INCLUDING PAINT COLOR) TO BUILDINGS CONSTRUCTED PRIOR TO 1918, REQUIRES APPROVAL FROM THE HISTORIC AREAS BOARD OF REVIEW.**

PRIOR APPROVAL OF THE HISTORICAL AREA BOARD OF REVIEW IS REQUIRED PRIOR TO ANY CHANGE OR MODIFICATION OF THE REQUIREMENTS AND/OR CONDITIONS SET FORTH IN THIS DECISION, INCLUDING, BUT NOT LIMITED TO:

- ROOFING SHINGLES (IF CHANGING COLOR)
- SIDING
- DECORATIVE SIDING
- SOFFITS & FASCIA
- GUTTERS AND LEADERS
- WINDOWS
- TRIM
- SHUTTERS
- DOORS
- LIGHTING
- LOCATION OF AIR CONDITIONING UNITS
- WALKWAYS, PATIOS
- POOLS, SPAS AND FENCES
- SIGNS
- ANY CHANGE IN THE ABOVE LIST INCLUDING COLOR, MATERIAL AND/OR MANUFACTURER

TOWN CLERK'S OFFICE

2011 SEP 14 A 11: 24

TOWN OF ORANGETOWN

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT DEBBIE ARBOLINO, CLERK TO THE HISTORIC AREA BOARD OF REVIEW AT (845) 359-8410.

DECISION: In view of the foregoing and the testimony before the Board, the application for the design and materials for the proposed changes to HABR#17-08 dated July 11, 2017: [Computer generated pictures of the exterior spiral staircase and drawings of the proposed staircase by Acadia Stairs drafted by Peter Lo 3 pages; Kolbe Windows and Doors drawing of the proposed door with transoms; Picture of the proposed outside lighting; Computer generated Drawings by Caitlyn Burck labeled A-101 , A-102, A-201 & A-202 dated August 25, 2017] is APPROVED.

The foregoing resolution to approve the spa was presented and moved by William Walfher, seconded by Wayne Garrison; and carried as follows: William Walfther, aye; Scott Wheatley, aye Thano Schoppel, aye; Margaret Raso, aye; Larry Bucciarelli, aye; Carol Schelin, aye; and Wayne Garrison, aye.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

Dated: September 12, 2017

HISTORIC AREAS BOARD OF REVIEW
TOWN OF ORANGETOWN

BY: 

Deborah Arbolino, Administrative Aide

DISTRIBUTION:

APPLICANT
TOWN BOARD MEMBERS
HABR MEMBERS
SUPERVISOR
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR-G.M.

TOWN CLERK
HIGHWAY DEPARTMENT
TOWN HISTORIAN
DEPT. OF ENVIRONMENTAL
ENGINEERING
HABR, PB, FILE
PB, ZBA, ACABOR CHAIRMAN

TOWN CLERK'S OFFICE

2017 SEP 14 A 11: 24

TOWN OF ORANGETOWN

DECISION

APPROVED AS PRESENTED

TO: Allen D. Ross
153 Main Street
New Paltz, New York 12461

HABR #19-12
June 11, 2019
Permit #46533

FROM: HISTORICAL AREAS BOARD OF REVIEW, TOWN OF ORANGETOWN

HABR#19-12: Application of Goleman Residence for Phase 2 for review of an addition and alteration of an existing single-family residence. The premises are located at 80 Ludlow Lane, in the Town of Orangetown, Hamlet of Palisades, New York. Chapter 12 of the Code of the Town of Orangetown, Section 12-4(A), Historical Areas Board of Review.
Tax Map Designation: 80.06 / 1 / 20; R-80 zoning district

Heard by the HISTORICAL AREAS BOARD OF REVIEW at a meeting held on Tuesday, June 11, 2019 at which time the Board made the following determination:

Allen Ross, Architect appeared.

The following documents were presented:

1. Architectural plans dated 08/31/2018 with the latest revision date of 04/08/2019 signed and sealed by Allen Douglas Ross, Architect, labeled "Goleman Residence first floor Dimension Plan and Second "Floor Dimension Plan" (A-111 and A-112) 2 pages.
2. Architectural plans dated 06/07/2018 with the latest revision date of 04/08/2019 signed and sealed by Allen Douglas Ross, Architect, labeled "Goleman Residence" (T-001 Title page) A-101: 1st Floor Proposed Plans dated 8/25/2017 latest revision 4/8/2019; A-102 2nd Floor Proposed Plan View last revised 4/8/2019; A-103 3rd Floor Proposed Plan View revised 04/08/ 2019; A-201 Back and Side Exterior Proposed Plans dated 4/8/2019 ; A-202: Front Exterior Proposed Plans dated 4/8/ 2019

Allen Ross testified that there have been some design changes to the plan since the applicant received the last approval; that the spiral staircase has been removed; that the volume of the building is the same; that there is a new opening to the guest bedroom; that the condensers have been moved to the east side of the lot and they will be screened with bushes; that the stairs on the rear deck have been changed from a wide staircase in the center to narrow steps on the sides in order to preserve the pretty rock garden; that the front deck has been increased from 12' to 14' and it is 29" from the ground and does not require a rail because it is under 30"; that part of this deck will have a single pipe rail only and a portion of this deck will not have any rail to preserve the view from the kitchen are of the house to the river; that the 2nd floor decks will have the cable and wood post railing that was previously approved; that three windows were added to be symmetrical and allow light into the entry way below; that the deck in the front layout previously had a depth of 10' and is proposed to have a depth of 16'; that they added an interior stair to the guest room; that the recess on the original house was mirrored to the main and they now have one continuance roof and a window setback, a void, and a solid; that they have simplified things; that the roof plan has three direct chimney stacks; that the double French doors were removed and replaced with the French casement windows; that some doors were switched out for windows and doors were added where there were windows;

TOWN CLERK'S OFFICE

2019 JUN 18 P 1:39

TOWN OF ORANGETOWN

that the siding is natural cedar; that the windows have dark brown sashes that the front door will be solid panel mahogany door with white trim to match the windows and other doors; that the soffits are 2 ¼ vinyl that looks like bead board; that the last three pages of the plans have all of the dimension drawings.

PUBLIC COMMENT:

No public comment.

FINDINGS OF FACT:

The Board, after personal observation of the property, hearing all the testimony and reviewing all drawings and plans, and other submissions, correspondence and reports (if any), found as fact, that: The application as presented, would not adversely affect the Historical Areas and the surrounding area. The design and materials for the proposed additions and alterations Phase 2 Goleman Residence

1. The roof shall be grey asphalt shingles GAF to match the existing.
2. The siding shall be natural cedar shingles to match existing.
3. The soffits and fascia shall match existing.
4. The gutters and leaders shall be copper colored aluminum.
5. The windows shall be Anderson vinyl clad dark brown.
6. The trim shall be white composite by Azek.
7. The front door shall be natural Mahogany.
8. The other doors shall be Anderson Brown Vinyl Clad.
9. The lighting shall be by Urban Archeology in Brown/ Antique Brass.
10. The walkways shall be bluestone
11. The skylight shall be black Aluminum and Glass by Velux.

THIS APPROVAL/DECISION, INCLUDING THE BOARD'S REQUIRED MODIFICATIONS TO THE APPLICANT'S DRAWINGS AND /OR PLANS, OR CONDITIONS SET FORTH HEREIN, IF ANY, IS GRANTED BY THE HISTORICAL AREAS BOARD OF REVIEW SUBJECT TO ANY SUCH CONDITIONS AND/OR MODIFICATIONS, AND IS LIMITED TO THE SPECIFIC RELIEF REQUESTED HEREIN.

***** PRE-1918 CONSTRUCTION: PLEASE BE ADVISED: IN THE HISTORIC AREA, ALL CONSTRUCTION REQUIRING A BUILDING PERMIT OR ANY EXTERIOR CHANGES (INCLUDING PAINT COLOR) TO BUILDINGS CONSTRUCTED PRIOR TO 1918, REQUIRES APPROVAL FROM THE HISTORICAL AREAS BOARD OF REVIEW.***

PRIOR APPROVAL OF THE HISTORICAL AREA BOARD OF REVIEW IS REQUIRED PRIOR TO ANY CHANGE OR MODIFICATION OF THE REQUIREMENTS AND/OR CONDITIONS SET FORTH IN THIS DECISION, INCLUDING, BUT NOT LIMITED TO:

TOWN CLERK'S OFFICE

2019 JUN 18 P 1:39

TOWN OF ORANGETOWN

- ROOFING SHINGLES (IF CHANGING COLOR)
- SIDING
- DECORATIVE SIDING
- SOFFITS & FASCIA
- GUTTERS AND LEADERS
- WINDOWS
- TRIM
- SHUTTERS
- DOORS
- LIGHTING
- LOCATION OF AIR CONDITIONING UNITS
- WALKWAYS, PATIOS
- POOLS, SPAS AND FENCES
- SIGNS
- ANY CHANGE IN THE ABOVE LIST INCLUDING COLOR, MATERIAL AND/OR MANUFACTURER

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT DEBBIE ARBOLINO, CLERK TO THE HISTORICAL AREAS BOARD OF REVIEW AT (845) 359-8410.

DECISION: In view of the foregoing, and after personal observation of the property, hearing all the testimony before the Board, and reviewing all drawings and plans, and other submissions, correspondence and reports (if any), the application for Phase II of the addition/alteration is **APPROVED** with the Specific condition that the new entry door shall be rimmed to match the trim boards of the windows.

The foregoing resolution to approve Phase II of the addition/alteration of the Goleman Residence at 80 Ludlow Lane as presented was presented and moved by William Walther, seconded by Loren Plotkin; and carried as follows: William Walther, aye; Thano Schoppel, aye; Scott Wheatley, aye; Larry Bucciarelli, aye; Carol Schelin, aye; and Loren Plotkin, aye. Margaret Raso was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

Dated: June 11, 2019

HISTORICAL AREAS BOARD OF REVIEW
TOWN OF ORANGETOWN

BY: 
Deborah Arbolino, Administrative Aide

DISTRIBUTION:

- APPLICANT
- TOWN BOARD MEMBERS
- SUPERVISOR
- TOWN ATTORNEY
- DEPUTY TOWN ATTORNEY
- BUILDING INSPECTOR-G.M.

TOWN CLERK

HABR FILE

TOWN CLERK'S OFFICE

2019 JUN 18 P 1:39

TOWN OF ORANGETOWN

DECISION

APPROVED AS PRESENTED

TO: Allen D. Ross
153 Main Street
New Paltz, New York 12461

HABR #19-12
June 11, 2019
Permit #46533

FROM: HISTORICAL AREAS BOARD OF REVIEW, TOWN OF ORANGETOWN

HABR#19-12: Application of Goleman Residence for Phase 2 for review of an addition and alteration of an existing single-family residence. The premises are located at 80 Ludlow Lane, in the Town of Orangetown, Hamlet of Paltisades, New York. Chapter 12 of the Code of the Town of Orangetown, Section 12-4(A), Historical Areas Board of Review.
Tax Map Designation: 80.06 / 1 / 20: R-80 zoning district

Heard by the HISTORICAL AREAS BOARD OF REVIEW at a meeting held on Tuesday, June 11, 2019 at which time the Board made the following determination:

Allen Ross, Architect appeared.

The following documents were presented:

1. Architectural plans dated 08/31/2018 with the latest revision date of 04/08/2019 signed and sealed by Allen Douglas Ross, Architect, labeled "Goleman Residence first floor Dimension Plan and Second "Floor Dimension Plan" (A-111 and A-112) 2 pages.
2. Architectural plans dated 06/07/2018 with the latest revision date of 04/08/2019 signed and sealed by Allen Douglas Ross, Architect, labeled "Goleman Residence" (1-001 Title page) A-101; 1st Floor Proposed Plans dated 8/25/2017 latest revision 4/8/2019; A-102, 2nd Floor Proposed Plan View last revised 4/8/2019; A-103 3rd Floor Proposed Plan View revised 04/08/ 2019; A-201 Back and Side Exterior Proposed Plans dated 4/8/2019 ; A-202; Front Exterior Proposed Plans dated 4/8/ 2019

Allen Ross testified that there have been some design changes to the plan since the applicant received the last approval; that the spiral staircase has been removed; that the volume of the building is the same; that there is a new opening to the guest bedroom; that the condensers have been moved to the east side of the lot and they will be screened with bushes; that the stairs on the rear deck have been changed from a wide staircase in the center to narrow steps on the sides in order to preserve the pretty rock garden; that the front deck has been increased from 12' to 14' and it is 29" from the ground and does not require a rail because it is under 30"; that part of this deck will have a single pipe rail only and a portion of this deck will not have any rail to preserve the view from the kitchen area of the house to the river; that the 2nd floor decks will have the cable and wood post railing that was previously approved; that three windows were added to be symmetrical and allow light into the entry way below; that the deck in the front layout previously had a depth of 10' and is proposed to have a depth of 16'; that they added an interior stair to the guest room; that the recess on the original house was mirrored to the main and they now have one continuance roof and a window setback, a void, and a solid; that they have simplified things; that the roof plan has three direct chimney stacks; that the double French doors were removed and replaced with the French casement windows; that some doors were switched out for windows and doors were added where there were windows;

TOWN CLERK'S OFFICE

2019 JUN 18 P 1:39

TOWN OF ORANGETOWN

that the siding is natural cedar; that the windows have dark brown sashes that the front door will be solid panel mahogany door with white trim to match the windows and other doors; that the soffits are 2 1/4 vinyl that looks like bead board; that the last three pages of the plans have all of the dimension drawings.

PUBLIC COMMENT:

No public comment.

FINDINGS OF FACT:

The Board, after personal observation of the property, hearing all the testimony and reviewing all drawings and plans, and other submissions, correspondence and reports (if any), found as fact, that: The application as presented, would not adversely affect the Historical Areas and the surrounding area. The design and materials for the proposed additions and alterations Phase 2 Goleman Residence

1. The roof shall be grey asphalt shingles GAF to match the existing.
2. The siding shall be natural cedar shingles to match existing.
3. The soffits and fascia shall match existing.
4. The gutters and leaders shall be copper colored aluminum.
5. The windows shall be Anderson vinyl clad dark brown.
6. The trim shall be white composite by Azek.
7. The front door shall be natural Mahogany.
8. The other doors shall be Anderson Brown Vinyl Clad.
9. The lighting shall be by Urban Archeology in Brown/ Antique Brass.
10. The walkways shall be bluestone
11. The skylight shall be black Aluminum and Glass by Velux.

THIS APPROVAL/DECISION, INCLUDING THE BOARD'S REQUIRED MODIFICATIONS TO THE APPLICANT'S DRAWINGS AND /OR PLANS, OR CONDITIONS SET FORTH HEREIN, IF ANY, IS GRANTED BY THE HISTORICAL AREAS BOARD OF REVIEW SUBJECT TO ANY SUCH CONDITIONS AND/OR MODIFICATIONS, AND IS LIMITED TO THE SPECIFIC RELIEF REQUESTED HEREIN.

**** PRE-1918 CONSTRUCTION: PLEASE BE ADVISED: IN THE HISTORIC AREA, ALL CONSTRUCTION REQUIRING A BUILDING PERMIT OR ANY EXTERIOR CHANGES (INCLUDING PAINT COLOR) TO BUILDINGS CONSTRUCTED PRIOR TO 1918, REQUIRES APPROVAL FROM THE HISTORICAL AREAS BOARD OF REVIEW.**

PRIOR APPROVAL OF THE HISTORICAL AREA BOARD OF REVIEW IS REQUIRED PRIOR TO ANY CHANGE OR MODIFICATION OF THE REQUIREMENTS AND/OR CONDITIONS SET FORTH IN THIS DECISION, INCLUDING, BUT NOT LIMITED TO:

TOWN CLERK'S OFFICE

2019 JUN 18 P 1:39

TOWN OF ORANGETOWN

- ROOFING SHINGLES (IF CHANGING COLOR)
- SIDING
- DECORATIVE SIDING
- SOFFITS & FASCIA
- GUTTERS AND LEADERS
- WINDOWS
- TRIM
- SHUTTERS
- DOORS
- LIGHTING
- LOCATION OF AIR CONDITIONING UNITS
- WALKWAYS, PATIOS
- POOLS, SPAS AND FENCES
- SIGNS
- ANY CHANGE IN THE ABOVE LIST INCLUDING COLOR, MATERIAL AND/OR MANUFACTURER

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT DEBBIE ARBOLINO, CLERK TO THE HISTORICAL AREAS BOARD OF REVIEW AT (845) 359-8410.

DECISION: In view of the foregoing, and after personal observation of the property, hearing all the testimony before the Board, and reviewing all drawings and plans, and other submissions, correspondence and reports (if any), the application for Phase II of the addition/alteration is **APPROVED** with the Specific condition that the new entry door shall be rimmed to match the trim boards of the windows.

The foregoing resolution to approve Phase II of the addition/alteration of the Goleman Residence at 80 Ludlow Lane as presented was presented and moved by William Walther, seconded by Loren Plotkin, and carried as follows: William Walther, aye; Thano Schoppel, aye; Scott Wheatley, aye; Larry Bucciarelli, aye; Carol Schellin, aye; and Loren Plotkin, aye. Margaret Raso was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

Dated: June 11, 2019

HISTORICAL AREAS BOARD OF REVIEW
TOWN OF ORANGETOWN

BY: 
Deborah Arbolino, Administrative Aide

DISTRIBUTION

APPLICANT
TOWN BOARD MEMBERS
SUPERVISOR
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
BUILDING INSPECTOR-CM

TOWN CLERK

HABR FILE

TOWN CLERK'S OFFICE

2019 JUN 18 P 1:39

TOWN OF ORANGETOWN