

**LEGEND**

---142---	CONTOUR
+141.5	SPOT GRADE
CB	CATCH BASIN/FIELD INLET
---	DRAIN LINE
SMH	SANITARY MANHOLE / PIPE
---	EDGE OF PAVEMENT
---	CONCRETE CURB
G	GAS LINE / VALVE
W	WATER LINE / VALVE
U	UTILITY POLE
*	LIGHT POLE
OHW	OVERHEAD WIRES
UE	UNDERGROUND ELECTRIC

**TREE LEGEND**

1	CALIPER IN INCHES
8	TREE TYPE (SEE BELOW)
2	TWIN, 3=TRIPLE, ETC.
K	oak
A	ash
C	cedar
S	spruce
M	maple
P	pine

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE N.Y. STATE EDUCATION LAW.

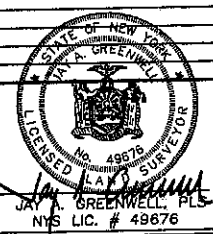
THE CERTIFICATION HEREON IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE.

EASEMENTS OR RIGHTS OF WAY, EITHER ON OR BELOW THE SURFACE OF THE GROUND, OF WHICH IS NOT VISIBLE IN THE FIELD OR FOR WHICH DOCUMENTATION IS NOT PROVIDED, ARE NOT SHOWN. UNDERGROUND UTILITIES NOT SHOWN UNLESS MARKED IN THE FIELD.

CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. COPIES OF THIS SURVEY NOT HAVING THE EMBOSSED SEAL OF THE LAND SURVEYORS ARE NOT VALID. CERTIFICATIONS ARE SUBJECT TO A CURRENT AND COMPLETE TITLE REPORT.

CERTIFIED TO:  
• ESM BUILDERS LLC

DATE	REVISIONS
DESIGNED JAG	
DRAWN LW	
CHECKED JAG	
APPROVED JAG	



<b>SURVEY OF PROPERTY FOR</b>		TAX LOT #
<b>ESM BUILDERS LLC</b>		68.15-3-6
191 NO. LINCOLN STREET		AREA
PEARL RIVER, TOWN OF ORANGETOWN		20,700 SF
ROCKLAND COUNTY, NEW YORK		FILE
<b>JAY A. GREENWELL, PLS, LLC</b>		22017SURV
LAND SURVEYING - LAND PLANNING		SCALE
85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10901		1"=20'
PHONE 845-357-0830 FAX 845-357-0756		DATE
		06/02/2020
		JOB NO.
		22017



**ISSUE FOR ACABOR REVIEW ONLY - NOT FOR CONSTRUCTION**

# DRAWING LIST

ABBREVIATIONS LEGEND, GENERAL NOTES, SHEET MUST BE READ IN CONJUNCTION WITH ALL DRAWINGS, ALL NOTES AND SPECIFICATIONS, ALL NOTES AND SPECIFICATIONS, ALL NOTES AND SPECIFICATIONS.

**NOTE:** THE DRAWING LIST SHOULD BE REVIEWED BY THE ARCHITECT PRIOR TO CONSTRUCTION AND BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

NO.	DESCRIPTION	DATE	BY	CHKD.
1	PLANS	02/08/2022	J.P.	J.P.
2	ELEVATIONS	02/08/2022	J.P.	J.P.
3	SECTION 200	02/08/2022	J.P.	J.P.
4	SECTION 300	02/08/2022	J.P.	J.P.
5	SECTION 400	02/08/2022	J.P.	J.P.
6	SECTION 500	02/08/2022	J.P.	J.P.
7	SECTION 600	02/08/2022	J.P.	J.P.
8	SECTION 700	02/08/2022	J.P.	J.P.
9	SECTION 800	02/08/2022	J.P.	J.P.
10	SECTION 900	02/08/2022	J.P.	J.P.
11	SECTION 1000	02/08/2022	J.P.	J.P.
12	SECTION 1100	02/08/2022	J.P.	J.P.
13	SECTION 1200	02/08/2022	J.P.	J.P.
14	SECTION 1300	02/08/2022	J.P.	J.P.
15	SECTION 1400	02/08/2022	J.P.	J.P.
16	SECTION 1500	02/08/2022	J.P.	J.P.
17	SECTION 1600	02/08/2022	J.P.	J.P.
18	SECTION 1700	02/08/2022	J.P.	J.P.
19	SECTION 1800	02/08/2022	J.P.	J.P.
20	SECTION 1900	02/08/2022	J.P.	J.P.
21	SECTION 2000	02/08/2022	J.P.	J.P.
22	SECTION 2100	02/08/2022	J.P.	J.P.
23	SECTION 2200	02/08/2022	J.P.	J.P.
24	SECTION 2300	02/08/2022	J.P.	J.P.
25	SECTION 2400	02/08/2022	J.P.	J.P.
26	SECTION 2500	02/08/2022	J.P.	J.P.
27	SECTION 2600	02/08/2022	J.P.	J.P.
28	SECTION 2700	02/08/2022	J.P.	J.P.
29	SECTION 2800	02/08/2022	J.P.	J.P.
30	SECTION 2900	02/08/2022	J.P.	J.P.
31	SECTION 3000	02/08/2022	J.P.	J.P.
32	SECTION 3100	02/08/2022	J.P.	J.P.
33	SECTION 3200	02/08/2022	J.P.	J.P.
34	SECTION 3300	02/08/2022	J.P.	J.P.
35	SECTION 3400	02/08/2022	J.P.	J.P.
36	SECTION 3500	02/08/2022	J.P.	J.P.
37	SECTION 3600	02/08/2022	J.P.	J.P.
38	SECTION 3700	02/08/2022	J.P.	J.P.
39	SECTION 3800	02/08/2022	J.P.	J.P.
40	SECTION 3900	02/08/2022	J.P.	J.P.
41	SECTION 4000	02/08/2022	J.P.	J.P.
42	SECTION 4100	02/08/2022	J.P.	J.P.
43	SECTION 4200	02/08/2022	J.P.	J.P.
44	SECTION 4300	02/08/2022	J.P.	J.P.
45	SECTION 4400	02/08/2022	J.P.	J.P.
46	SECTION 4500	02/08/2022	J.P.	J.P.
47	SECTION 4600	02/08/2022	J.P.	J.P.
48	SECTION 4700	02/08/2022	J.P.	J.P.
49	SECTION 4800	02/08/2022	J.P.	J.P.
50	SECTION 4900	02/08/2022	J.P.	J.P.
51	SECTION 5000	02/08/2022	J.P.	J.P.

**PROJECT SPECIFICATIONS:** THE FOLLOWING DRAWINGS ARE BASED ON THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE. ALL PERMITS SHALL BE OBTAINED PRIOR TO CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PAYING ALL FEES AND COSTS ASSOCIATED WITH THE OBTAINING OF PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PAYING ALL FEES AND COSTS ASSOCIATED WITH THE OBTAINING OF PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PAYING ALL FEES AND COSTS ASSOCIATED WITH THE OBTAINING OF PERMITS.

# GRAPHIC SYMBOLS

NOT TO SCALE

**REVISIONS:** (A) THROUGH (G)

**FIGURE 200.0: NOTCHING & BORED HOLE LIMITATION FOR EXTERIOR & BEARING WALLS**

**FIGURE 200.1: CUTTING, NOTCHING & DRILLING**

**FIGURE 200.2: RAFTERS/CEILING JOISTS (200.2)**

**TABLE 301.2(1): CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

GROUND BROW LOAD (PSF)	WIND DESIGN (PSF)	SEISMIC CATEGORY	SUBJECT TO DAMAGE	WINTER UNDEVELOPMENT TEMP. (°F)	ICE REMOVAL REQUIRED	FLOOD HAZARD	AIR PERMING INDEX	MEAN ANNUAL PRECIPITATION (IN)				
30	145	NO	YES	B	SEVERE	35°	HIGH/MODERATE TO HEAVY	43	YES	NO	LESS THAN 1500	51.6 IN

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# GENERAL NOTES & DETAILS

**ACABOR REVIEW ONLY - NOT FOR CONSTRUCTION**

**SECTION 200 - INTERIORS:** INTERIORS SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL INTERIORS SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

**SECTION 300 - EXTERIORS:** EXTERIORS SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL EXTERIORS SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

**SECTION 400 - STRUCTURE:** STRUCTURE SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL STRUCTURE SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

**SECTION 500 - ROOFING:** ROOFING SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL ROOFING SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

**SECTION 600 - FLOORING:** FLOORING SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL FLOORING SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

**SECTION 700 - WALLS:** WALLS SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL WALLS SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

**SECTION 800 - CEILING:** CEILING SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL CEILING SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

**SECTION 900 - MASONRY:** MASONRY SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL MASONRY SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

**SECTION 1000 - METAL:** METAL SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL METAL SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

**SECTION 1100 - GLASS:** GLASS SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL GLASS SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

**SECTION 1200 - MECHANICAL:** MECHANICAL SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL MECHANICAL SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

**SECTION 1300 - ELECTRICAL:** ELECTRICAL SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL ELECTRICAL SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

**SECTION 1400 - PLUMBING:** PLUMBING SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL PLUMBING SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

**SECTION 1500 - PAVING:** PAVING SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL PAVING SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

**SECTION 1600 - OTHER:** OTHER SHALL BE FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE AND SPECIFICATIONS. ALL OTHER SHALL BE FINISHED WITH A MINIMUM OF 1/2" CLEAR OPENINGS ABOVE THE FINISH FLOOR AND A MINIMUM OF 1/2" CLEAR OPENINGS BELOW THE FINISH FLOOR.

# GENERAL NOTES & DETAILS

**ISSUE FOR ACABOR REVIEW ONLY - NOT FOR CONSTRUCTION**

DATE: FEBRUARY 8, 2022  
 REVISION: ACABOR REVIEW  
 DATE: APRIL 1, 2022

PROPOSED SINGLE FAMILY RESIDENCE  
 FOR  
**ESM BUILDERS LLC.**  
 191 NORTH LINCOLN AVENUE  
 HAMLET OF PEARL RIVER  
 TOWN OF ORANGETOWN, NEW YORK

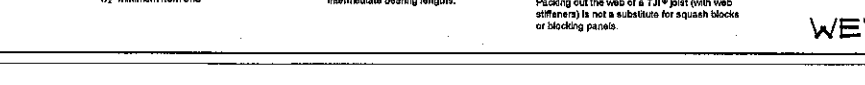
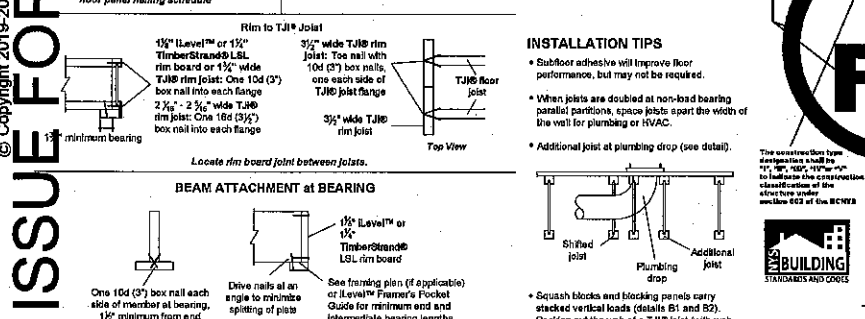
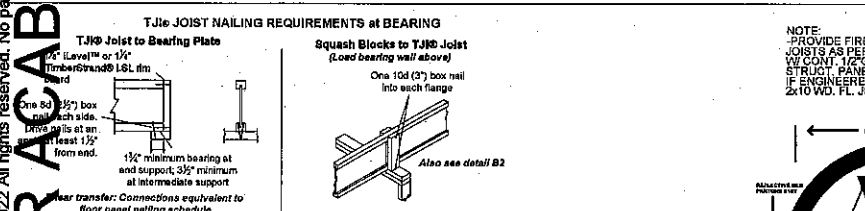
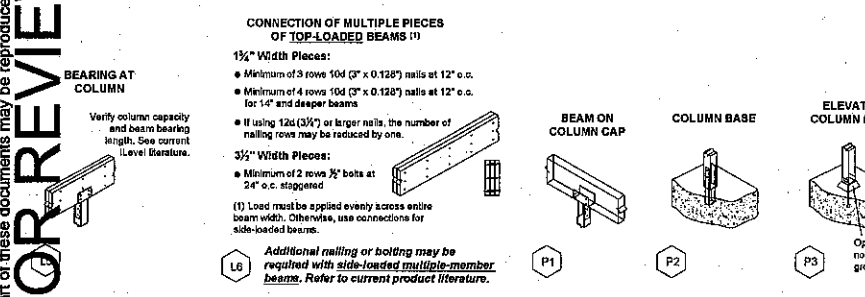
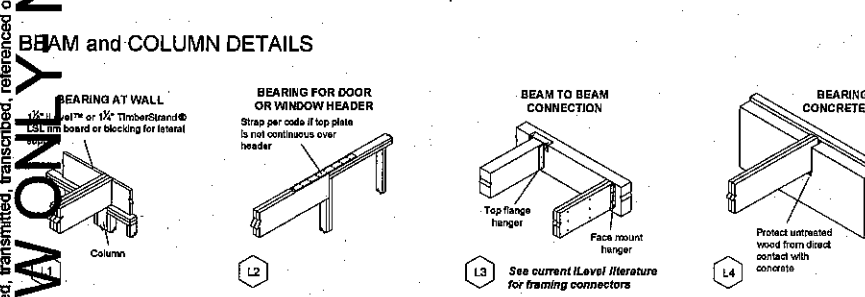
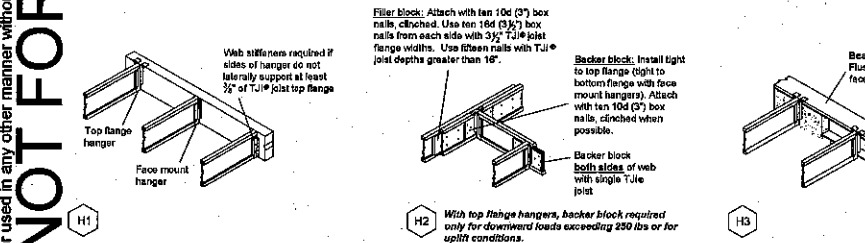
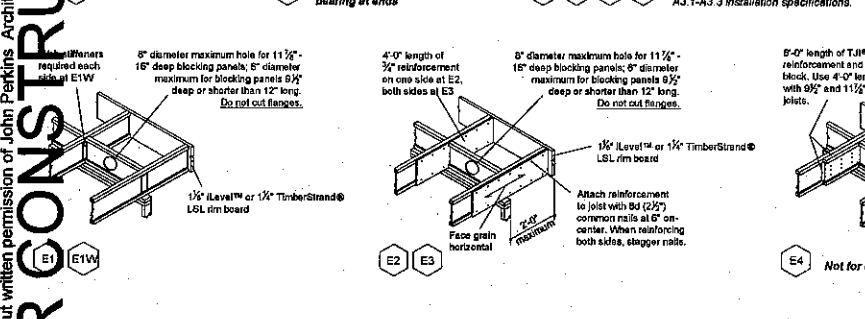
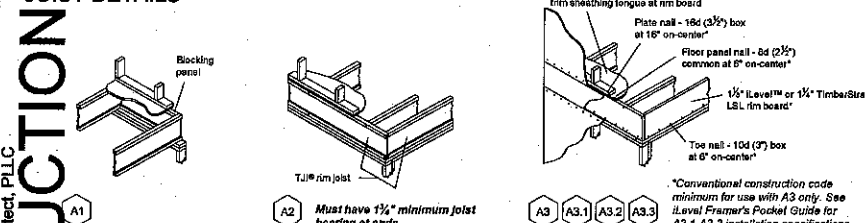
DRAWING TITLE: GENERAL NOTES & DETAILS

John Perkins ARCHITECT, P.C.  
 110 West 12th Street  
 New York, NY 10011  
 Phone: (212) 693-2000  
 Fax: (212) 693-2001  
 Website: www.johnperkinsarchitect.com

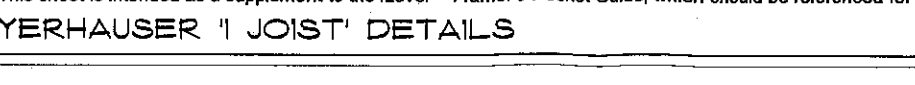
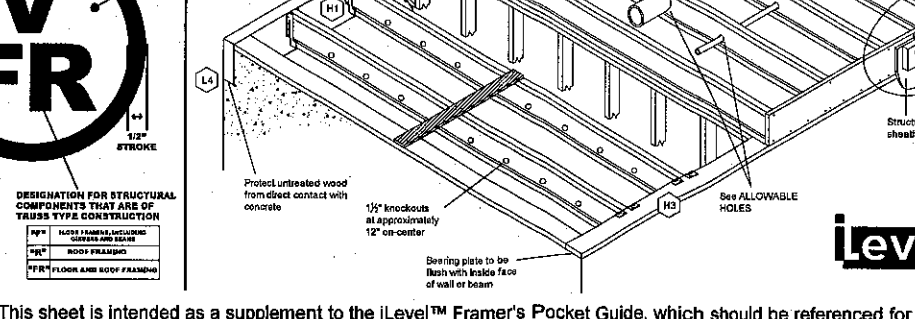
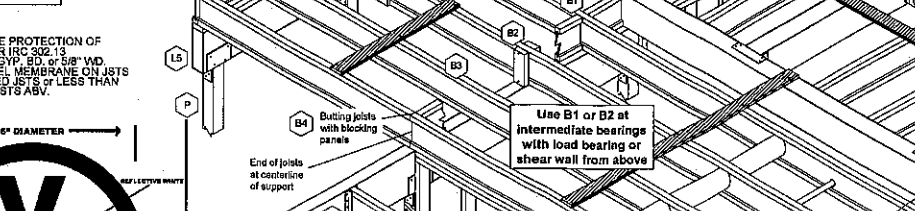
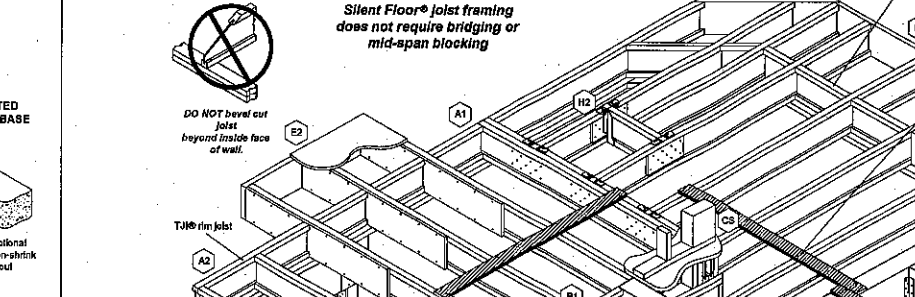
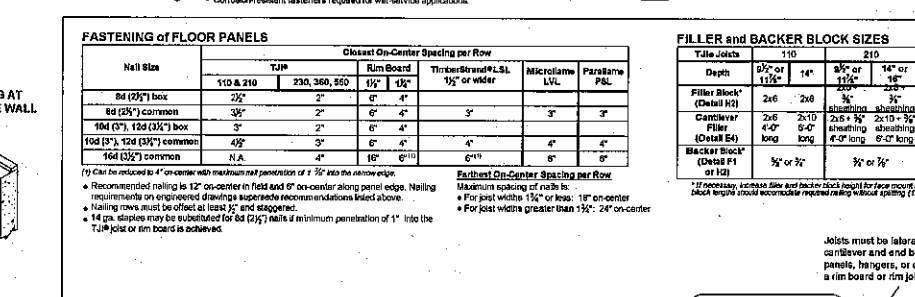
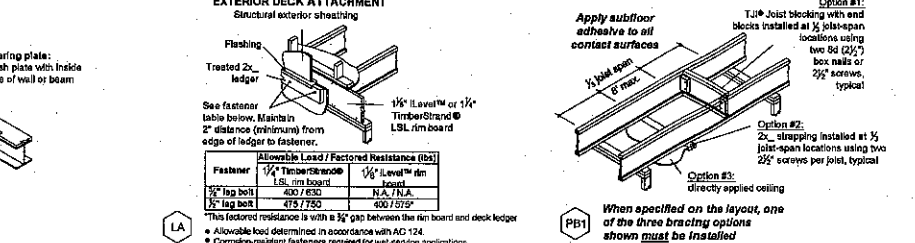
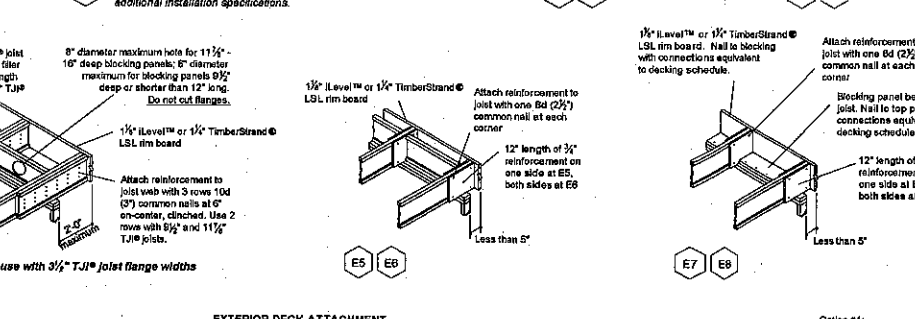
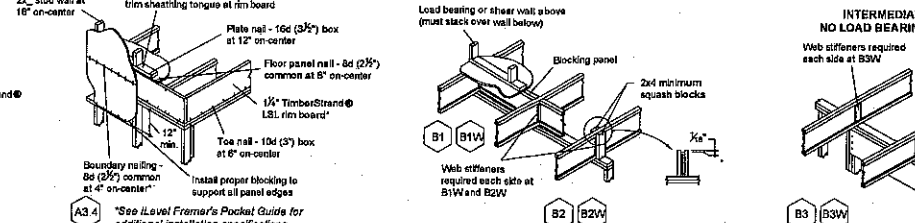
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NOTE: IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THESE DOCUMENTS IN ANY WAY.

JOIST DETAILS



THINK SAFETY-READ INSTALLATION INFORMATION BEFORE PROCEEDING



ALLOWABLE HOLES - TJI® Joists

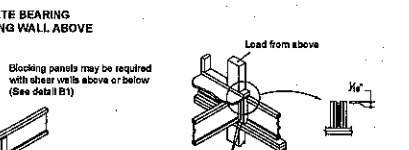


Table A - End Support. Table with columns for Depth, Hole Size, and Allowable Spacing per Row.

Table B - Intermediate or Cantilever Support. Table with columns for Depth, Hole Size, and Allowable Spacing per Row.

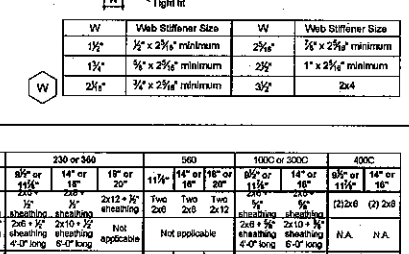


Table showing allowable hole sizes for headers and beams.

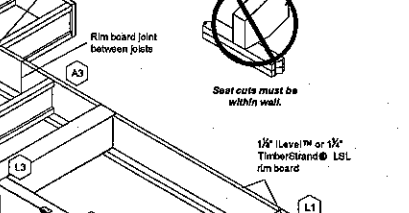
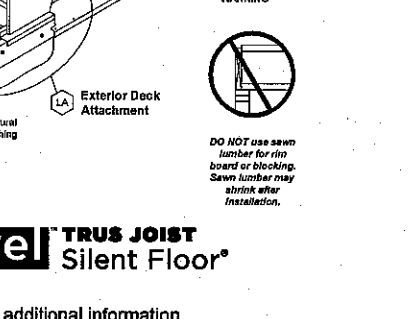


Table showing allowable hole sizes for headers and beams.



WARNING: Joists are unstable until braced laterally. Bracing includes: blocking, hangers, safety bracing, etc.

ALLOWABLE HOLES - Headers and Beams

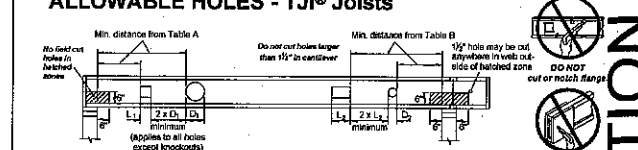


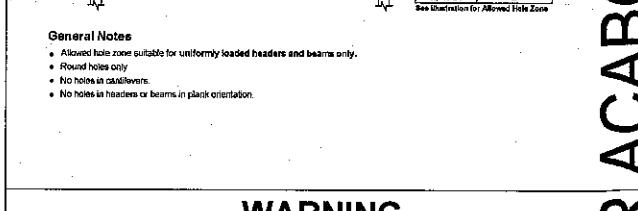
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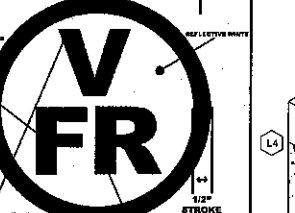
Table showing allowable hole sizes for headers and beams.



WARNING: Joists are unstable until braced laterally. Bracing includes: blocking, hangers, safety bracing, etc.

Lack of proper bracing during construction can result in serious accidents. Observe the following guidelines:

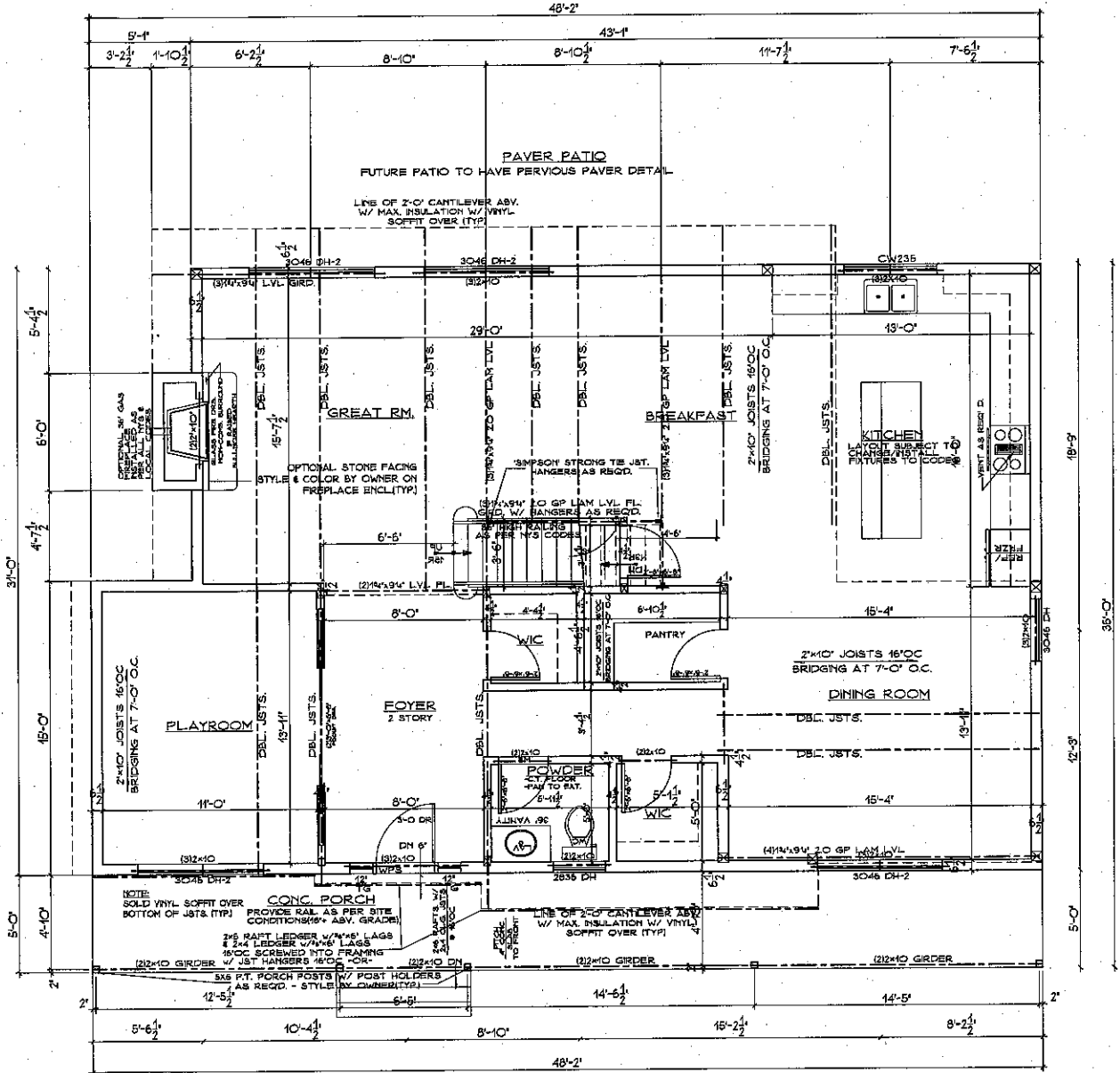
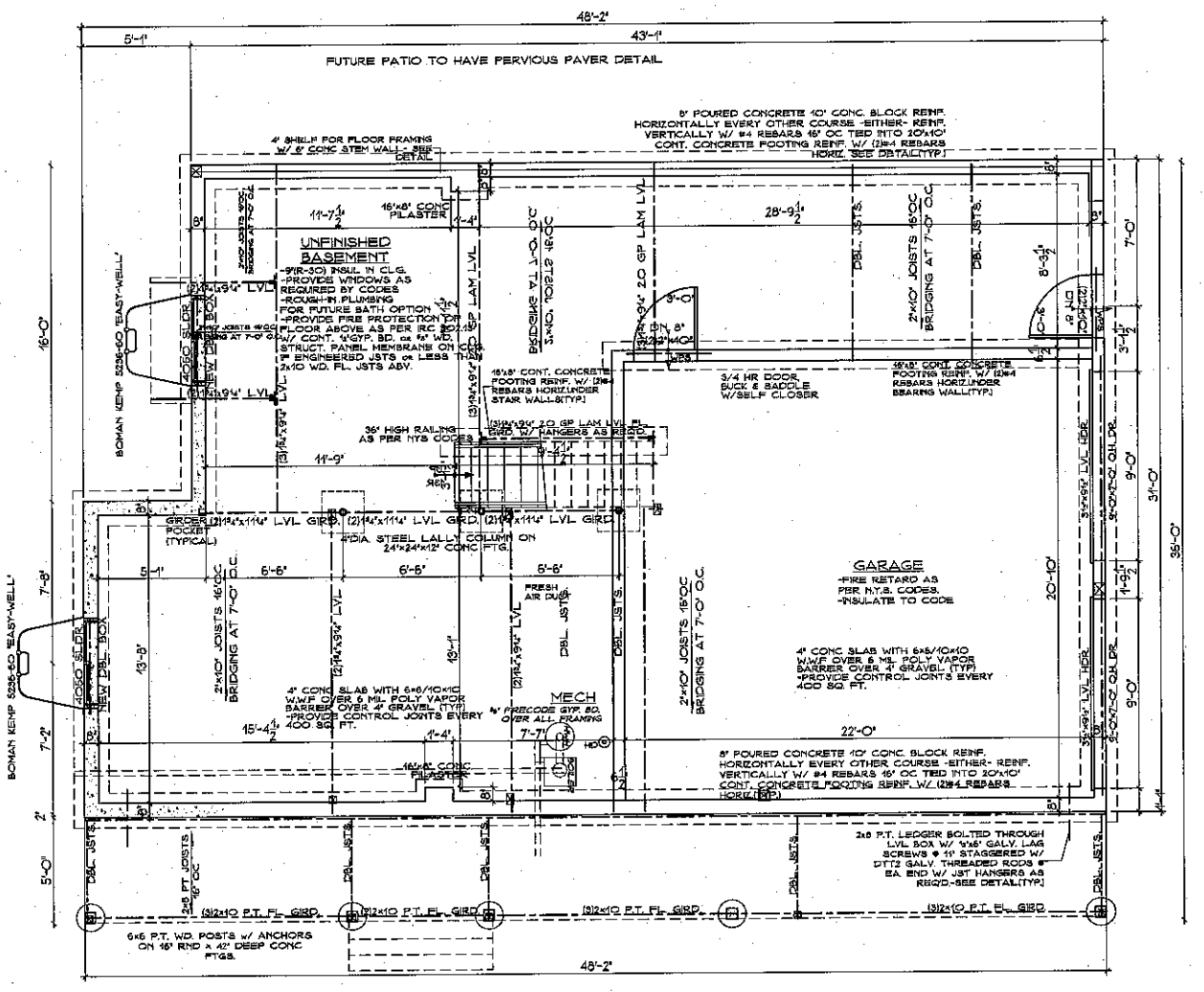
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This sheet is intended as a supplement to the iLevel™ Framers' Pocket Guide, which should be referenced for additional information. WEYERHAEUSER '1' JOIST' DETAILS

# ISSUE FOR ACABOR REVIEW ONLY - NOT FOR CONSTRUCTION

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**AREA DATA**  
 PROP. BASEMENT FLOOR AREA = 1419/- SQ. FT.  
 PROP. FIRST FLOOR AREA = 1423/- SQ. FT.  
 PROP. SECOND FLOOR AREA = 1372/- SQ. FT.  
 TOTAL PROP. FLOOR AREA = 4114/- SQ. FT.  
 OTHER:  
 COVERED PORCH AREA = 240/- SQ. FT.  
 PROPOSED FLOOR AREA RATIO = 4.94/100000

**HVAC DATA**  
 PROPOSED HEATED AREA = 2809 +/- SQ. FT.  
 REQUIRED HEATING REQUIREMENT = 47 BTU/SF  
 TOTAL BTU REQUIRED = 47,923 BTU  
 USE HEATING PLANT WITH A 120000 BTU OUTPUT  
 (DOES NOT INCLUDE BASEMENT)

**PROJECT GUIDELINES**  
 ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS AND/OR PROJECT SITE CONDITIONS  
 - GENERAL PUBLIC ALL NON-CONSTRUCTION RELATED PERSONS SHALL NOT ENTER ANY AREAS AFFECTED BY THESE PLANS UNTIL A VALID CERTIFICATE OF OCCUPANCY IS ISSUED BY LOCAL BUILDING DEPARTMENT.  
 - PROJECT SITE TO BE PROPERLY POSTED AND TAPED AND/OR FENCED OFF TO SHIELD PUBLIC SAFETY AND SAFEGUARD THE PUBLIC.  
 - GENERAL CONTRACTOR AND ANY SUBCONTRACTORS WORKING WITH THIS PROJECT TO KEEP PROJECT SITE HAZARD FREE AT ALL TIMES  
 - AND TO OBTAIN ALL "OSHA" AND ALL OTHER SAFETY REGULATIONS  
 - FAILURE TO ADHERE WITH THESE GUIDELINES ARCHITECT'S RESPONSIBILITY OF ANY OCCURRENCES AND/OR INCIDENT OF INJURY OR OTHERWISE  
 - CONTRACTOR TO BE RESPONSIBLE FOR ALL SHORING, BRACING, FINISHING AND ALL TEMPORARY SUPPORTS - PRIOR TO DEMOLITION, CONSTRUCTION OR EXCAVATING  
 - PROVIDE WHAT NECESSARY AT END OF EACH WORK DAY  
 - PROJECT SITE IS TO BE SECURED AND HAZARD FREE AT END OF EACH WORK DAY  
 - ALL CONTRACTORS & SUBCONTRACTORS SHALL CARRY ALL NECESSARY INSURANCE AND LICENSES REQUIRED BY BUILDING DEPARTMENT AND NEW YORK STATE CODES

# ISSUE FOR ACABOR REVIEW ONLY - NOT FOR CONSTRUCTION

PLANS VALID FOR PERMIT & CONSTRUCTION ONLY IF SIGNED AND SEALED

**John Perkins ARCHITECT.**  
 Professional Limited Liability Company  
 N.C.A.B.R. Certified  
 1975 Farmhouse Road  
 Rockland, NY 10986  
 (845) 429-4225 www.JPerkinsArchitect.com

**BASEMENT, FIRST FLOOR PLANS FLOOR PLANS DETAILS**

FOR PROPOSED SINGLE FAMILY RESIDENCE  
**ESM BUILDERS LLC.**  
 191 NORTH LINCOLN AVENUE  
 HAMLET OF PEARL RIVER  
 TOWN OF ORANGETOWN, NEW YORK

DATE: FEBRUARY 8, 2022  
 DATE: ACABOR Review  
 DATE: APRIL 1, 2022

SHEET: 4 OF 7

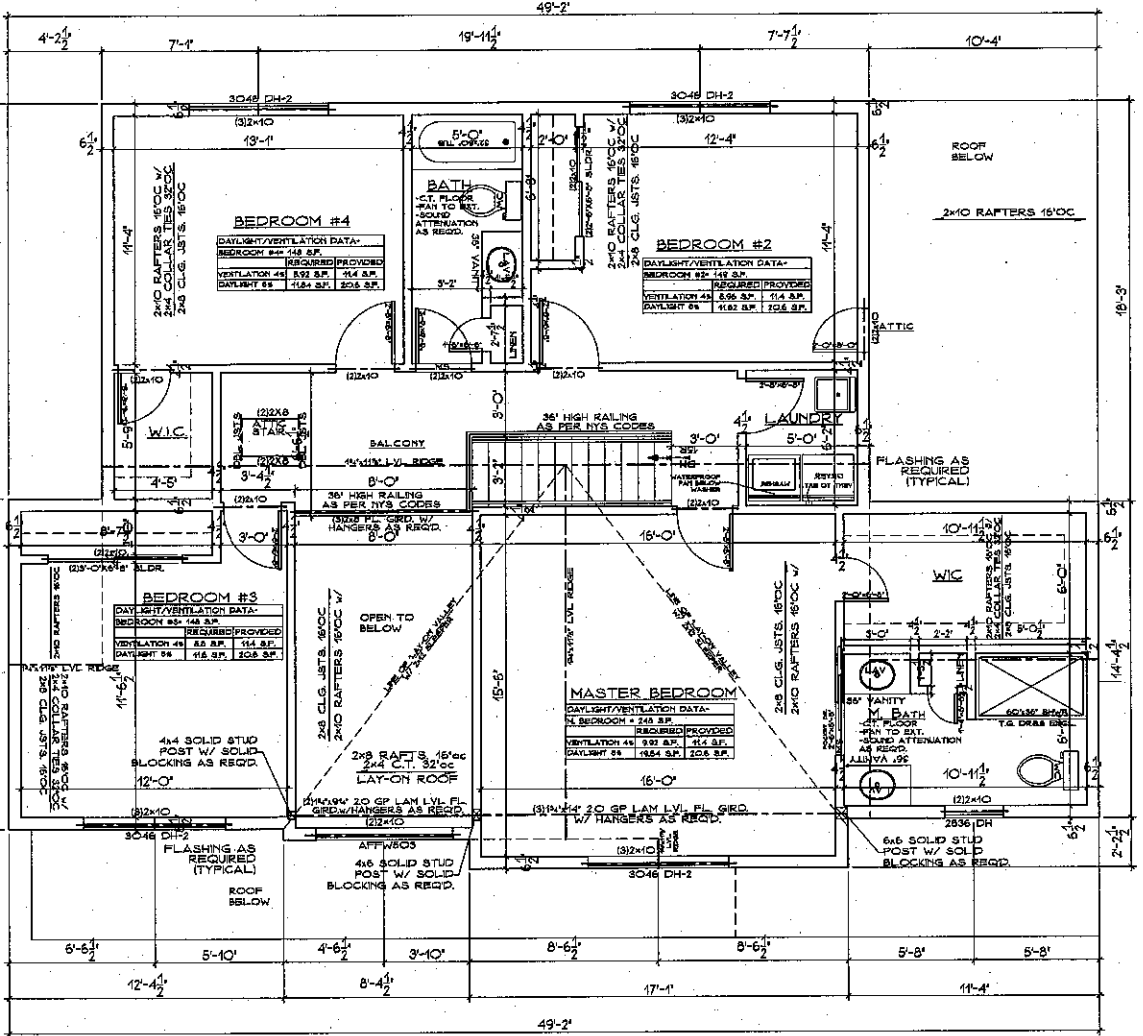
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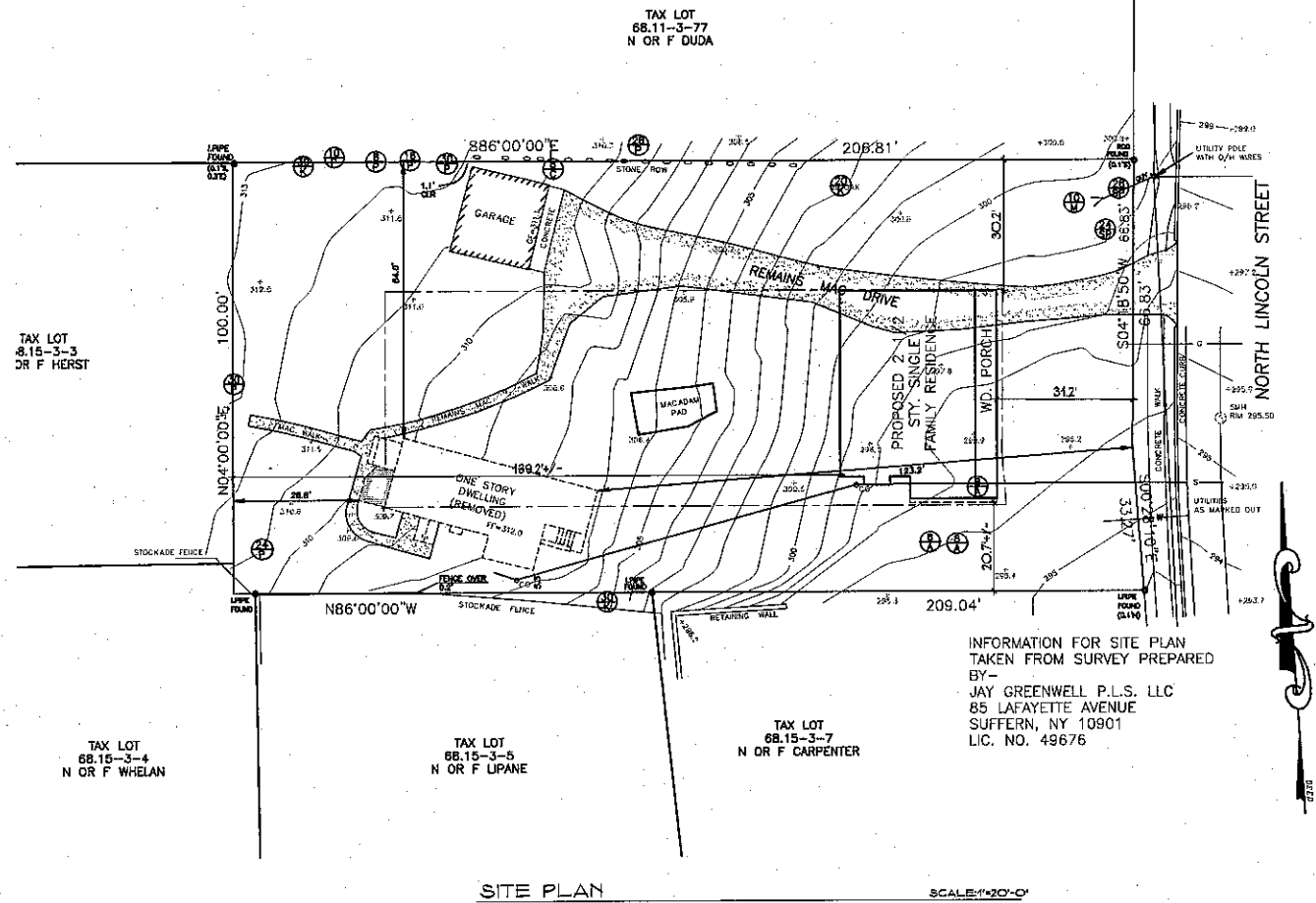
PROJECT GUIDELINES:  
 ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS AND/OR PROJECT SITE CONDITIONS.  
 GENERAL PUBLIC: ALL NON-CONSTRUCTION RELATED PERSONS SHALL NOT ENTER ANY AREA AFFECTED BY THESE PLANS UNTIL A VALID CERTIFICATE OF OCCUPANCY IS ISSUED BY LOCAL BUILDING DEPARTMENT.  
 PUBLIC SAFETY: ALL WORK AREAS SHALL BE PROPERLY POSTED AND TAPED AND/OR FENCED OFF TO PREVENT PUBLIC SAFETY HAZARD FREE AT ALL TIMES.  
 CONTRACTOR: CONTRACTOR AND ANY SUBCONTRACTORS WORKING WITH THIS PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES AND INSURANCE.  
 TO OBTAIN ALL 'OSHA' AND ALL OTHER SAFETY REGULATIONS.  
 TO COMPLY WITH THESE GUIDELINES YOUR ARCHITECT'S RESPONSIBILITY.  
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ANDERSEN  
 TW 3046 - DATA  
 8.7 SQ. FT. CLEAR OPENING  
 CLEAR OPENING DIMENSIONS 33"x24"



**SECOND FLOOR PLAN** SCALE: 1/4"=1'-0"

- ALL NOTES TYPICAL UNLESS NOTED OTHERWISE ON PLAN-
- DIMENSIONS ARE TO NEAREST INCH - ACTUAL ROOM SIZES VARY DUE TO GYPSUM BOARD
- ALL LUMBER TO BE GOOD GRADE STRAIGHT, CLEAN & FREE FROM ROT & DEFECTS
- HAVES A MINIMUM STRESS OF 1500 PSI
- MINIMUM DOUBLE STUDS AROUND ALL WALL OPENINGS PLUS JACK STUD UNDER HEADERS
- TRIPLE STUDS IN ALL CORNERS / SOLID STUDS OF SAME WIDTH UNDER HEADERS
- BEAMS & GIRDERS WITH ADDED STUDS EITHER SIDE WHERE SPACE PERMITS
- HEADERS TO BE MIN 12"x10" FOR SPANS UP TO 4'-10" (12"x12" OR 12"x12" FOR SPANS UP TO 8'-4" UNLESS NOTED OTHERWISE ON PLANS)
- ALL GIRDERS TO BE OF THE SIZES INDICATED NPS BY 'ANTHONY' - LBL POWER BEAMS W/ BENDING STRESS OF 3000 PSI - OR - EQUAL
- DBL JACK STUDS IN OPENINGS OVER 9'-0" AND TRIPLE JACK STUDS IN OPENINGS OVER 8'-0" UNLESS NOTED OTHERWISE ON PLANS
- DOUBLE JOISTS UNDER ALL PARTITIONS RUNNING PARALLEL W/ FLOOR SPANS
- ALL GLASS LESS THAN 48" ABOVE FINISHED FLOOR TO BE TEMPERED
- ALL WINDOW IN HABITABLE SPACES TO CONFORM WITH STATE EGRESS REQUIREMENTS
- ALL DOORS TO CONFORM TO STATE CODE SIZE REQUIREMENTS
- ALL RAFTERS TO CONFORM TO THE RESIDENTIAL CODE OF NEW YORK STATE, REQUIREMENTS WITH MAXIMUM OF 4' OPENINGS
- RIDGE BEAMS TO BE MIN 2" DEEPER THAN RAFTER SIZES JOINING IT-CONVENTIONAL LUMBER UP TO 14'-0" SPANS/LVL MATERIAL GREATER THAN 14' FT.
- DOUBLE VALLEY RAFTERS TO BE MIN 2" DEEPER THAN RAFTER SIZES JOINING IT-CONVENTIONAL LUMBER UP TO 14'-0" SPANS/LVL MATERIAL GREATER THAN 14' FT.
- POST ALL RIDGE/ HP/ VALLEY INTERSECTIONS DOWN TO MINIMUM TRIPLE 2"x8" CLG JOISTS
- ALL RIDGE/ HP/ VALLEY INTERSECTIONS TO RECEIVE 36" WIDE ICS & WATER SHIELD -OR- EQUAL -OR- EQUAL OVER EXTERIOR SHEATHING



INFORMATION FOR SITE PLAN  
 TAKEN FROM SURVEY PREPARED BY:  
 JAY GREENWELL P.L.S. LLC  
 85 LAFAYETTE AVENUE  
 SUFFERN, NY 10901  
 LIC. NO. 49676

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**John Perkins ARCHITECT**  
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 (845) 429-4225 www.JPerkinsArchitect.com

PROPOSED SINGLE FAMILY RESIDENCE FOR **ESM BUILDERS LLC**, 191 NORTH LINCOLN AVENUE, HAMLET OF PEARL RIVER, TOWN OF ORANGETOWN, NEW YORK

DATE: FEBRUARY 8, 2022  
 ACABOR REVIEW: APRIL 1, 2022

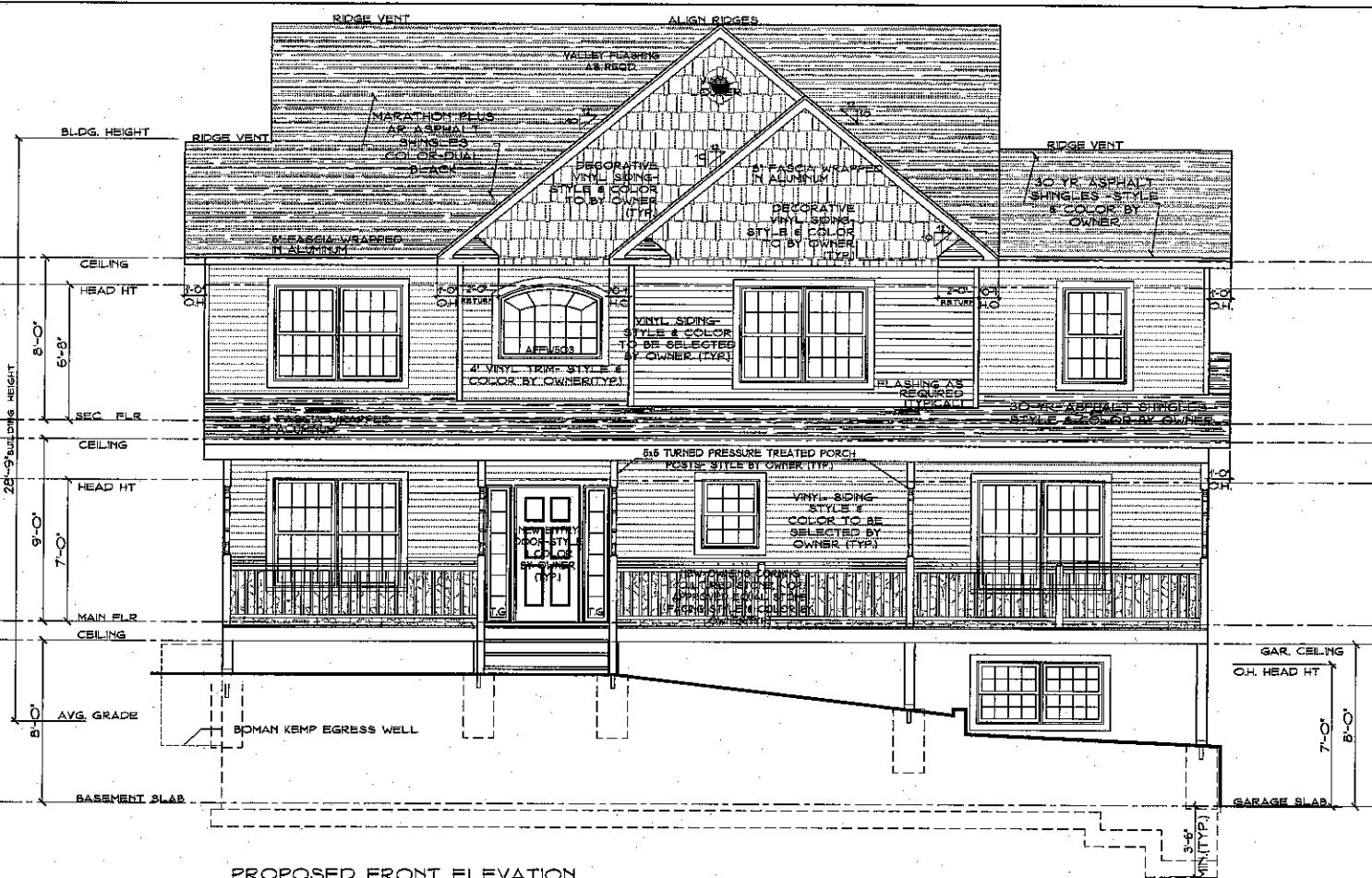
SHEET: 5 OF 7

REVISION:

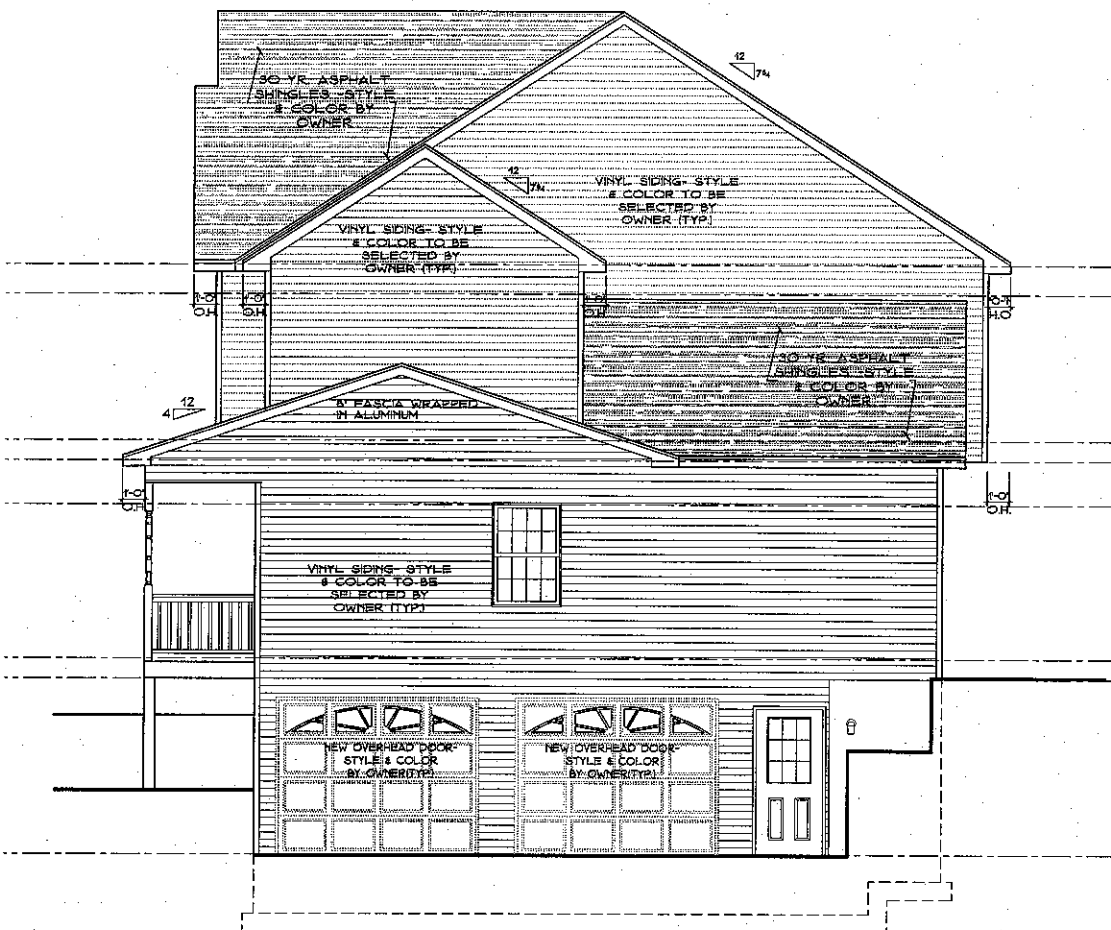
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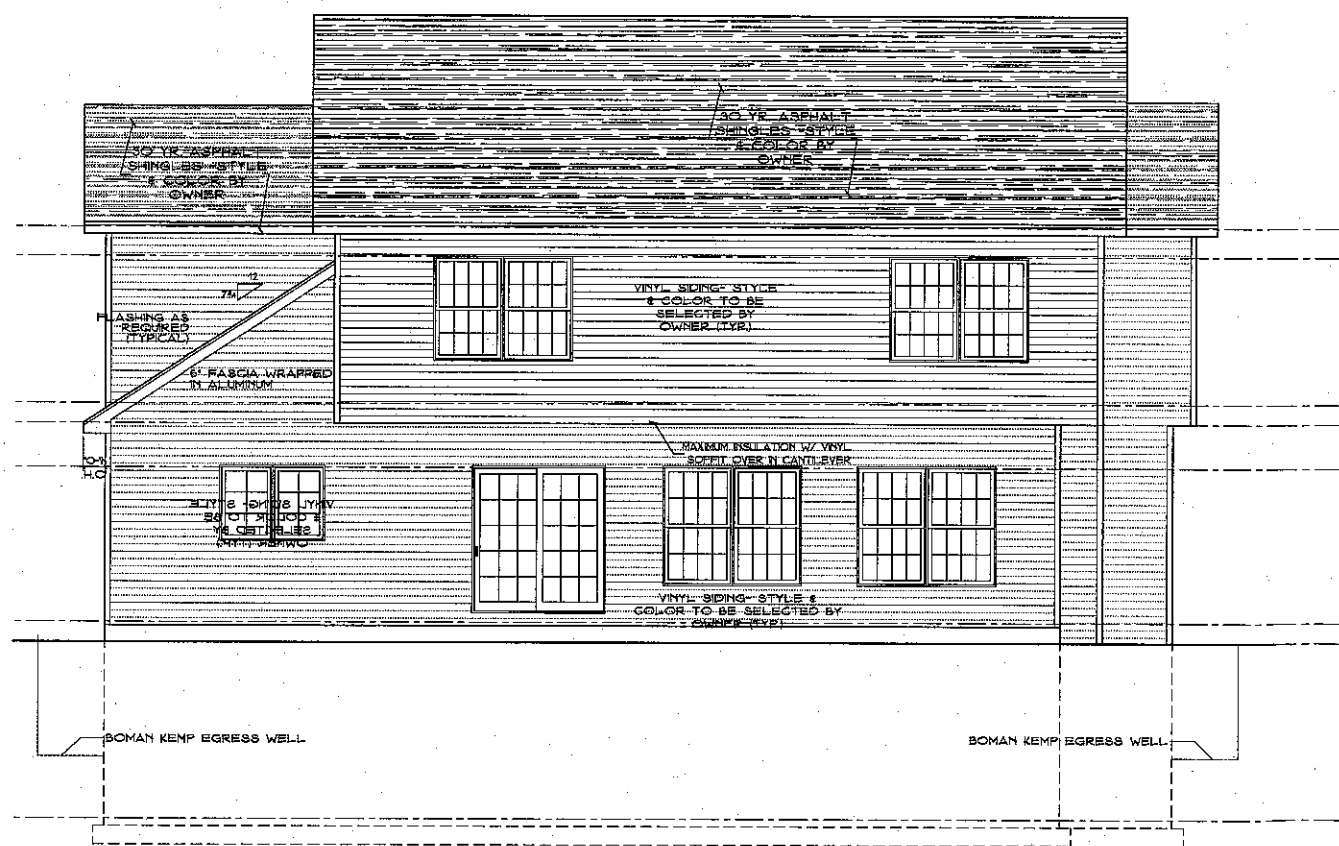
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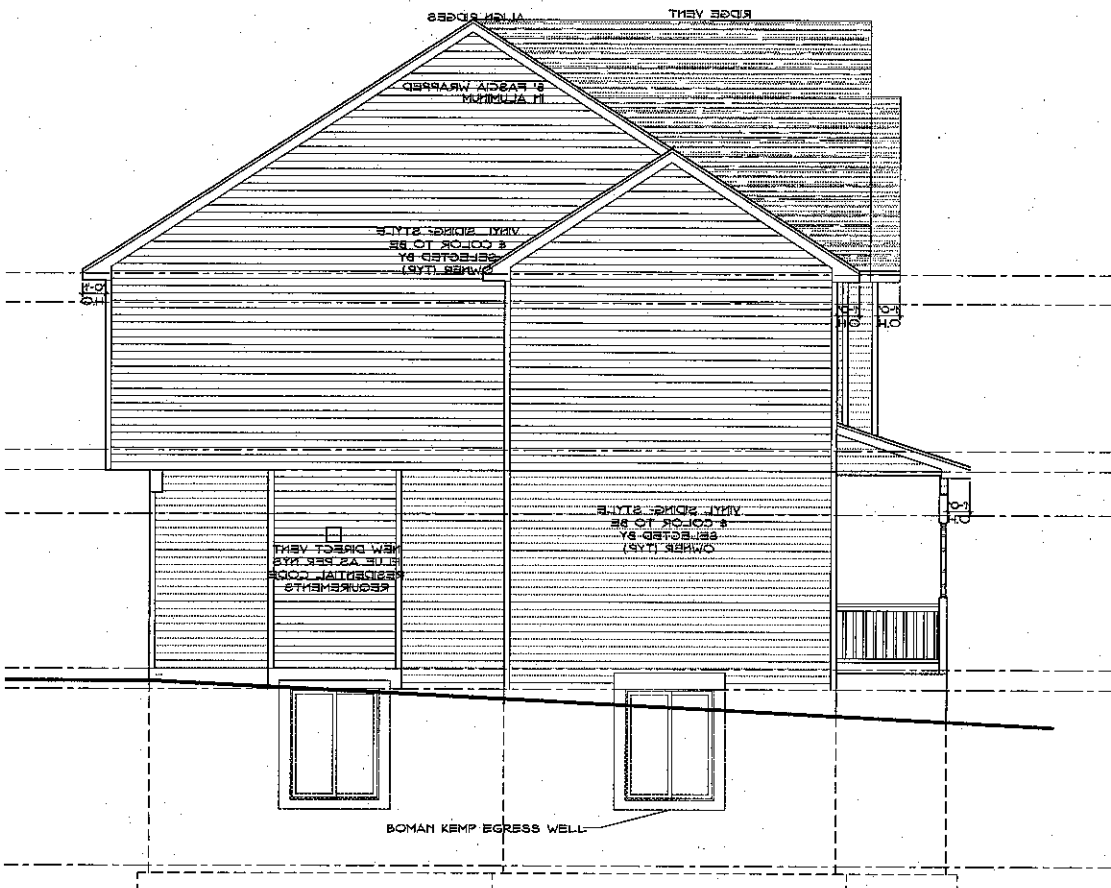
PROPOSED FRONT ELEVATION SCALE: 1/4"=1'-0"
NOTES: PROVIDE ALUMINUM GUTTERS & LEADERS AS REQUIRED... ELEVATION SHOWN MAY NOT BE ACCURATE IN EVERY DETAIL...



PROPOSED RIGHT ELEVATION SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION SCALE: 1/4"=1'-0"



PROPOSED LEFT ELEVATION SCALE: 1/4"=1'-0"

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Table with columns for DATE, SHEET, and ACABOR REVIEW. Values include FEBRUARY 8, 2022, SHEET 6 OF 7, and APRIL 1, 2022.

PROPOSED SINGLE FAMILY RESIDENCE FOR ESM BUILDERS LLC. 191 NORTH LINCOLN AVENUE HAMLET OF PEARL RIVER TOWN OF ORANGETOWN, NEW YORK

ELEVATIONS

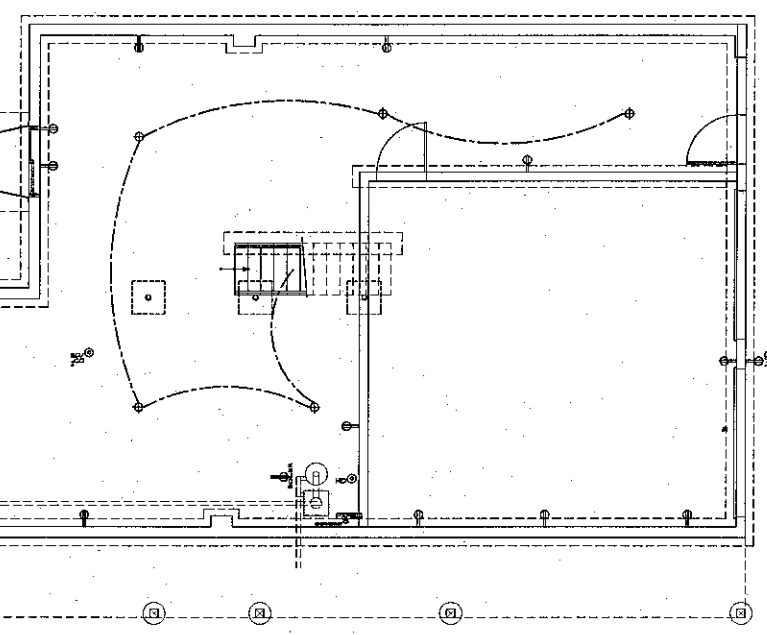
John Perkins ARCHITECT. Professional Limited Liability Company. N.C.A.R.B. Certified. 151 Westmore Street, Raleigh, NC 27601. (845) 429-4225 www.JPerkinsArchitect.com

Table with columns for REVISION and ISSUES FOR ACABOR REVIEW ONLY. Includes a note: NOT FOR CONSTRUCTION.

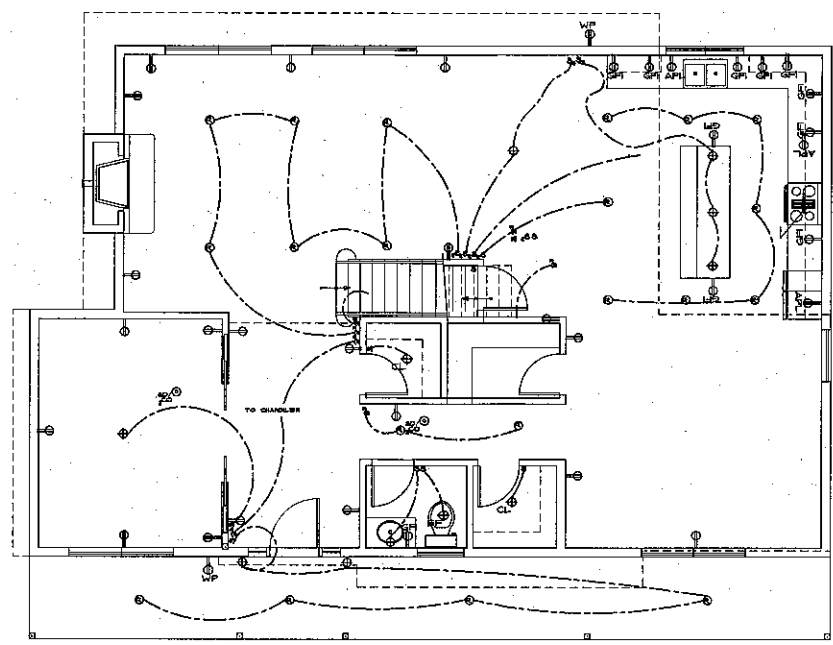
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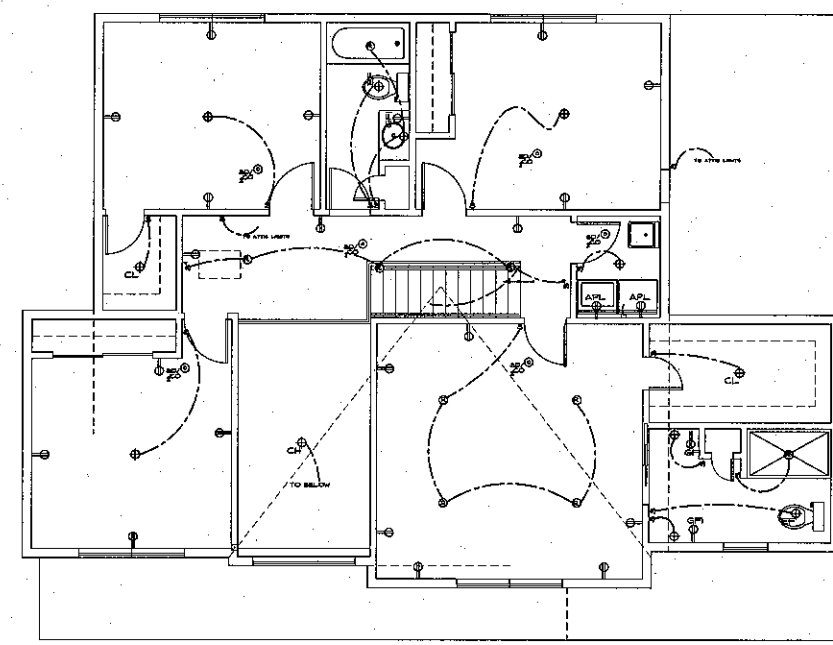
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 PROJECT SITE TO BE PROPERLY POSTED AND TAPED AND/OR FENCED OFF TO PROTECT SAFETY AND SURVEILLANCE THE PUBLIC.  
 GENERAL CONTRACTOR AND ANY SUBCONTRACTORS WORKING WITH THIS PROJECT TO PROTECT SAFETY AND SURVEILLANCE THE PUBLIC.  
 ALL WORKMAN AND ALL OTHER SAFETY REGULATIONS.  
 CONTRACTOR SHALL ADHERE WITH THESE GUIDELINES AND ASSUMES RESPONSIBILITY FOR THE SAFETY AND WELL-BEING OF ALL PERSONS.  
 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SCHEDULING, PERMITS AND ALL TEMPORARY PROTECTIVE MEASURES AT END OF EACH OF EACH WORK DAY.  
 PROJECT SITE IS TO BE SECURED AND HAZARD FREE AT END OF EACH WORK DAY.  
 CONTRACTOR & SUBCONTRACTORS SHALL CARRY ALL NECESSARY INSURANCE AND LICENSED BY LOCAL AGENCIES DEPARTMENT AND NEW YORK STATE CODES.



BASEMENT ELECTRICAL PLAN SCALE: 1/4"=1'-0"



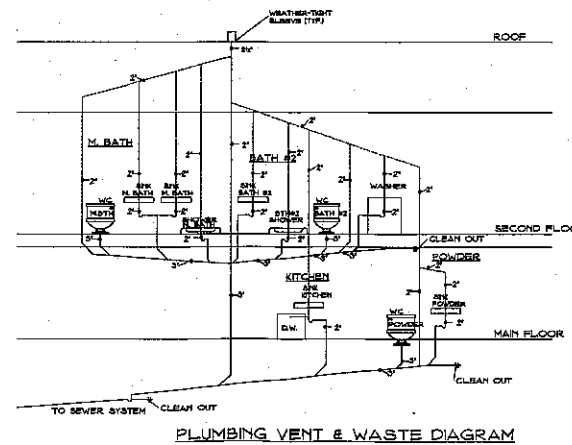
FIRST FLOOR ELECTRICAL PLAN SCALE: 1/4"=1'-0"



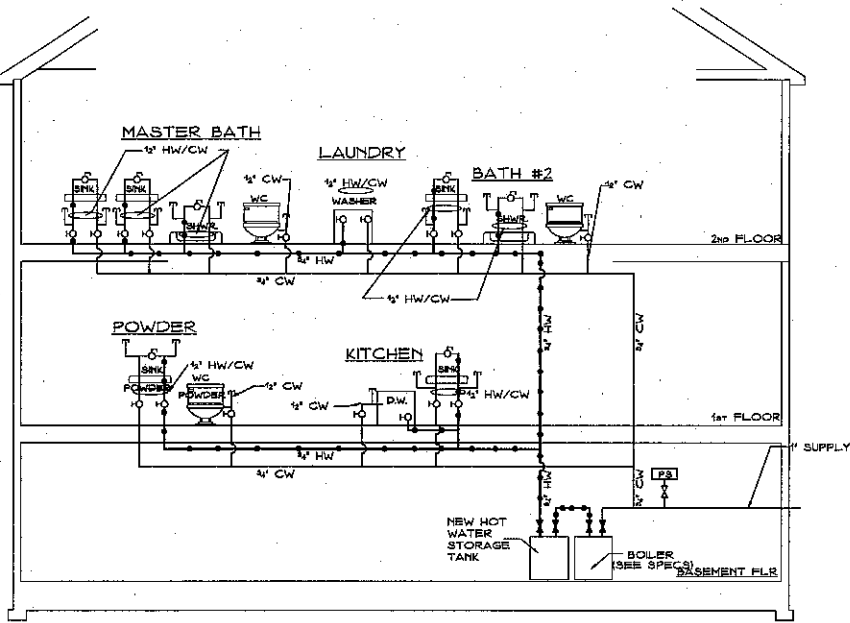
SECOND FLOOR ELECTRICAL PLAN SCALE: 1/4"=1'-0"

**ELECTRICAL NOTES**  
 1. ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE, 2017 EDITION AND LOCAL UTILITY COMPANY.  
 2. ALL FIXTURES SHALL BE COMPLETELY LAMPED AND OPERABLE ACCORDING TO MANUFACTURER'S SPECIFICATIONS.  
 3. ALL EQUIPMENT SHALL BE UL TESTED AND LABELED.  
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS FEES AND INSPECTIONS AND APPROVALS PRIOR TO APPROVAL OF ALL REGULATORY AGENCIES HAVING JURISDICTION AND SHALL FURNISH WRITTEN PROOF OF THE SAME TO OWNER. ALL NECESSARY PERMITS SHALL BE OBTAINED PRIOR TO WORK BEING EXECUTED.  
 5. ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.  
 6. THE CONTRACTOR SHALL BE RESPONSIBLE WITH ALL CONTRACTS AND COORDINATION WITH THE ELECTRIC UTILITY COMPANY. ANY AND ALL FEES REQUIRED BY THE ELECTRIC UTILITY COMPANY SHALL BE PROVIDED BY THE CONTRACTOR.  
 7. LOCATIONS OF EQUIPMENT SHOWN ON THE DRAWINGS SHALL BE VERIFIED THE EXACT LOCATION WITH THE OWNER IN THE FIELD PRIOR TO THE INSTALLATION OF THE EQUIPMENT OR THE WIRING.  
 8. ALL WIRING SHALL BE COPPER AND BE A MINIMUM GAUGE OF AWG NO. 14 UNLESS OTHERWISE NOTED. ALL WIRING TO BE MANUFACTURED BY ROHMER.  
 9. CONDUIT AND CABLE SHALL BE RIGID GALVANIZED STEEL WITH SEALED JOINTS WHERE INSTALLED UNDERGROUND OR UNDER SLABS - CONDUIT IN OTHER AREAS MAY BE ENT WIRE PERMITTED BY CODE.  
 10. CONDUIT AND CABLE BE RUN PARALLEL TO OR PERPENDICULAR TO BUILDING STRUCTURES AND SHALL BE SECURELY RUN OR SUPPORTED FROM THE BUILDING STRUCTURES WITH MINIMUM CLEARANCE ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.  
 11. ALL ELECTRICAL WORK IN FINISHED AREAS SHALL BE RUN CONCEALED WITH ALL RECEPTACLES, SWITCHES AND JUNCTION BOXES INSTALLED FLUSH.  
 12. ALL WIRING FOR TV'S AND PHONES SHALL BE AS PER OWNER'S REQUIREMENTS AND MANUFACTURER'S SPECIFICATIONS.  
 13. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE FROM THE OWNER.  
 14. WHERE WIRING IS TO BE INSTALLED CONCEALED IN FRAME WALLS OR ABOVE CEILING, WIRING SHALL BE PROTECTED BY SHIELDS AND PLATES AS REQUIRED.  
 15. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING NECESSARY FOR THE INSTALLATION OF ELECTRICAL WORK. NO CUTTING SHALL BE DONE WITHOUT PRIOR ACCEPTANCE BY OWNER.  
 16. LIGHTING AND RECEPTACLE LOADS ARE NOT CONNECTED TO THE SAME CIRCUIT.  
 17. CORRECT ALL CIRCUITS SO THAT THE LOAD ON ANY CIRCUIT DOES NOT EXCEED 80 PERCENT OF THE RATING OF THE CIRCUIT PER THE NATIONAL ELECTRICAL CODE.  
 18. ALL SMOKE DETECTION AND CARBON MONOXIDE DETECTORS ARE TO BE HARD-WIRED AND INTERCONNECTED WITH A BATTERY BACKUP. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.  
 19. INSTALL ALL RECEPTACLES AS PER ALL CODES.  
 20. INSTALL ALL FIXTURES AS PER MANUFACTURER'S SPECS AND ALL CODES.  
 21. ALL LOCATIONS AND SWITCHING OF FIXTURES SHALL BE DETERMINED ON SITE BY OWNER WITH CONTRACTOR.  
 22. ALL BATHROOM AREAS WITH NO PENETRATIONS SHALL BE EQUIPPED WITH MECHANICAL EXHAUST WITH A SEPARATE SWITCH.  
 23. RECESSED LIGHTING FIXTURES ARE SUGGESTED ONLY DETERMINED BY OWNER-CONTRACTOR CONTRACT.  
 24. ELECTRICAL SWITCHING OF FIXTURES TO BE DETERMINED ON SITE BY OWNER & CONTRACTOR.  
 25. ELECTRICAL OUTLETS AS PER ALL CODES.  
 26. ELECTRICAL LIGHTING AS PER ALL CODES.  
 27. UPGRADE THE EXISTING ELECTRICAL SERVICE TO A 200 AMP ELECTRICAL SERVICE WITH PANEL BOX.  
 28. DECORATIVE SURFACE LIGHTING SHALL BE PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. ALL OTHER FIXTURES SHALL BE PROVIDED BY THE CONTRACTOR.  
 29. CONTRACTOR SHALL PROVIDE SEPARATE CIRCUITS FOR THE FOLLOWING APPLIANCES: AIR CONDITIONERS, MICROWAVE OVEN, RANGE, REFRIGERATOR, FREEZER.  
 30. GROUND FAULT INTERRUPTER OUTLETS AS REQUIRED BY KITCHEN AND BATH LAYOUTS AND CODE REQUIREMENTS. ALL LIGHT SWITCHES AND RECEPTACLES SHALL BE DECORATIVE STYLE 3-WAY OR APPROVED EQUALS COLOR TO BE DETERMINED BY OWNER.

- ELECTRIC FIXTURE LEGEND**
- ⊕ DUPLEX OUTLET
  - ⊕ DUPLEX OUTLET - SWITCHED
  - ⊕ DUPLEX OUTLET - HALF SWITCHED
  - ⊕ GROUND FAULT INTERRUPTER
  - ⊕ WEATHERPROOF OUTLET/DUPLEX
  - ⊕ 220 VOLT OUTLET
  - ⊕ GAR. DR. CLOSER OUTLET/DUPLEX
  - ⊕ FLOOR OUTLET/STAIR
  - ⊕ DESIGNATED CIRCUIT OUTLET
  - ⊕ EXHAUST FAN/LIGHT OPTION
  - ⊕ CLOSET LIGHT FIXTURE
  - ⊕ PHONE JACK
  - ⊕ COAXIAL CABLE JACK
  - ⊕ SMOKE DETECTOR
  - ⊕ SMOKE & CARBON MONOXIDE DETECTOR (W/AT BATTERY)
  - ⊕ CARBON MONOXIDE DETECTOR
  - ⊕ CEILING MOUNTED FIXTURE (NON-RECESSED)
  - ⊕ WALL MOUNTED FIXTURE (NON-RECESSED)
  - ⊕ RECESSED CEILING FIXTURE (NON-RECESSED)
  - ⊕ RECESSED ADJUSTABLE FIXTURE (NON-RECESSED)
  - ⊕ DOUBLE FLOOR FIXTURE (NON-RECESSED)
  - ⊕ UNDER CABINET FIXTURE (FLUORESCENT)
  - ⊕ CHANDELIER (RECESSED CIRCUIT SUPPORT AS REQUIRED)
  - ⊕ CEILING FAN / FIXTURE OPTION (DEDICATED CIRCUIT)
  - ⊕ CEILING MOUNTED FIXTURE - FULL CHAIR
  - ⊕ SWITCH
  - ⊕ THREE WAY SWITCH
  - ⊕ FOUR WAY SWITCH
  - ⊕ SWITCH / DIMMER
  - ⊕ SWITCH / WASHY INDICATOR
  - ⊕ SWITCH TO FIXTURE WIRING



PLUMBING VENT & WASTE DIAGRAM



WATER SUPPLY PIPING DIAGRAM

CROSS-Linked POLYETHYLENE OR HI TEMPERATURE PEX TUBING - HOT  
 TYPE L COPPER - HOT  
 CROSS-Linked POLYETHYLENE OR PEX TUBING - COLD  
 TYPE L COPPER - COLD  
 SUPPLY LINES - BURIED  
 COPPER TUBING - ASTM B88, TYPE K, ANNEALED WITH WROUGHT COPPER FITTINGS AND COMPASSION JOINTS AND LEAD FREE SOLDER JOINTS.  
 ABOVE SLAB  
 COPPER TUBING - ASTM B88, TYPE L, HARD DRAWN WITH CAST BRASS OR WROUGHT COPPER FITTINGS AND LEAD FREE SOLDER JOINTS.

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 FOR  
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 HAMLET OF PEARL RIVER  
 TOWN OF ORANGETOWN, NEW YORK

DATE: FEBRUARY 6, 2022  
 ACABOR REVIEW: APRIL 1, 2022  
 SHEET: 7 OF 7

PLUMBING DIAGRAMS  
 ELECTRICAL PLANS

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