

Crosby

Historical Areas Board of Review(HABR)

Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 23 CROSTER ROAD Section/Block/Lot: 78.17/2/24

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:	CHARCOAL	FIBERGLASS SHINGLE	GAF TIMBERLINE 'NS'
Siding:	STERLING GRAY	VINYL	CERTAINTED ENCORE D5
Decorative Siding:	—		
Soffits & Fascia:	WHITE	PRE-FINISHED ALUMINUM	
Gutters & Leaders:	WHITE	PRE-FINISHED ALUMINUM	
Windows:	WHITE	CLAD WOOD	ANDERSEN (DOUBLE HUNG) PEMA (BOW WINDOW)
Trim:	WHITE	BRASS METAL ALUMINUM	
Shutters:	—		
Front Door:	—		
Back Door:	WHITE	WOOD & GLASS	SIMPSON
Garage Door(s):	—		
Other Door(s):	—		
Lighting:	—		
Lighting:	—		
Stone or Rock being used on Structure:	—		
Stone or Rock being used on walkway(s):	—		
Other:	BLACK	WROUGHT IRON RAILINGS	

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2022 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 51503
 ASSIGNED
 INSPECTOR: Glenn

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: JENNIFER CROSBY RESIDENCE

Street Address: 23 CLOSTER ROAD
PALISADES, NY 10964

Tax Map Designation:
Section: 78.17 Block: 2 Lot(s): 24
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the WEST side of CLOSTER ROAD, approximately 500 feet SOUTH of the intersection of OAK TREE ROAD, in the Town of Orangetow in the hamlet/village of PALISADES.

Acreage of Parcel <u>± .195</u>	Zoning District <u>R-40 AND HISTORIC</u>
School District _____	Postal District <u>DISTRICT</u>
Ambulance District _____	Fire District _____
Water District _____	Sewer District _____

Project Description: (If additional space required, please attach a narrative summary.)
NEW COVERED FRONT ENTRY, NEW REAR ENTRANCE VESTIBULE
NEW WINDOWS
NEW SIDING

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: MAY 4, 2022 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 1350 SF
- 2) Total square footage 1390 SF
- 3) Number of dwelling units 1

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area NO

Are there streams on the site? If yes, please provide the names. NO

Are there wetlands on the site? If yes, please provide the names and type:

NO

Project History:

Has this project ever been reviewed before? YES

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

ZBA

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

NONE



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

HISTORICAL AREAS BOARD OF REVIEW REFERRAL LETTER

Date: June 9. 2020

Applicant: Crosby

Address: 23 Closter Rd, Palisades

RE: Application Made at: same

Subject Referral for: Chapter 12 Section 12-4 Paragraph A requires HABR Approval


Section: 78.17 Block: 2 Lot: 24

Dear Crosby:

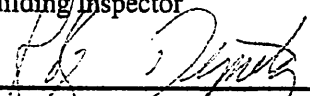
Please be advised that the Building Permit Application, which you submitted on May 28, 2021, has been referred to appear before the H.A.B.R. I have enclosed a copy of your application, where you will find at the bottom the reason for denial.

The Clerk to the Historical Areas Board of Review, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. Please contact her at 845-359-8410 ext. 4331 or darbolino@orangetown.com

Sincerely,

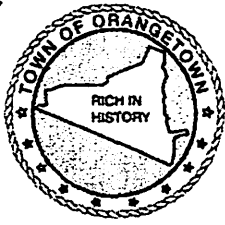

_____ 6.9.21

Richard Oliver
Deputy Building Inspector


_____ 6.9.21

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: June 9, 2021

Applicant: Crosby

Address: 23 Closter Rd, Palisades

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-40 District, Column 2 Group E, Column 3 SFR, Column 8 Front Yard 50' with 21.2' proposed for New Covered Entrance Steps, Column 9 Required Side Yard 20' w/ 11.17' proposed for New Entrance Vestibule and 6.26' New Basement Bulkhead Door, Column 10 Required Total Side Yard 40' with 11.15' proposed.

Existing Height (20' allowed with 24' existing per 5.21(e)) Existing Non-Conforming Section 5.21(a) & (e)

Four variances required

Section: 78.17

Block: 2

Lot: 24

Dear Crosby:

Please be advised that the Building Permit Application, which you submitted on

May 28, 2021, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,


Richard Oliver
Deputy Building Inspector

Signature of Director

NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

Date

CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

<u>SWIS</u>	<u>PRINT KEY</u>	<u>NAME</u>	<u>ADDRESS</u>
392489	78.17-2-22	Palisades Free Library	19 Closter Rd, Palisades, NY 10964
392489	78.17-2-23	Teri R Zehentner	21 Closter Rd, Palisades, NY 10964
392489	78.17-2-24	Jennifer A Crosby	23 Closter Rd, Palisades, NY 10964
392489	78.17-2-25	Diane Donnelly	25 Closter Rd, Palisades, NY 10964
392489	78.17-2-26	Charles Hyun Choi	P.O. Box 54, Palisades, NY 10964
392489	78.17-2-27	Emelyn DePalma	76 Fern Rd, Palisades, NY 10964
392489	78.17-2-28	Pierre Reiland	685 Oak Tree Rd, Palisades, NY 10964
392489	78.17-2-29	Sunny Park	679 Oak Tree Rd, Palisades, NY 10964

16.7% FLOOR AREA RATIO, 21.2' FRONT YARD, 11.17', 13.67', & 5.9' SIDE YARD, 17.3' TOTAL SIDE YARD, AND 24'6" BUILDING HEIGHT VARIANCES APPROVED; UNDERSIZED LOT ACKNOWLEDGED

To: William Pfaff (Crosby)
208 Foss Drive
Upper Nyack, New York 10960

ZBA #21-89
Date: October 20, 2021, December 1, 2021
and January 5, 2022 Permit #51563

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA#21-89: Application of Jennifer Crosby for variances from Zoning Code (Chapter 43) of the Town of Orangetown Code, R-40 District, Group E, Section 3.12, Columns 8 (Front Yard: 50' required, 21.2' proposed to new covered entrance steps), 9 (Side Yard: 20' required, 11.17' proposed to new entrance vestibule and 6.26' to new basement bulkhead door) 10 (Total Side Yard: 40' required, 11.15' proposed) and (Section 5.12(a) & (e) Undersized Lot Applies Building Height: 20' permitted, 24' existing) for an addition to an existing single-family residence. The property is located at 23 Closter Road, Palisades, New York and is identified on the Orangetown Tax Map as Section 78.17, Block 2, Lot 24 in the R-40 zoning district.

The applicant did not attend the October 20, 2021 hearing for health reasons and the item was postponed to the December 1, 2021 hearing date.

Held by the Zoning Board of Appeals of the Town of Orangetown at meetings held on the following Wednesdays, December 1, 2021 and January 5, 2022 at which time the Board made the determination hereinafter set forth.

William Pfaff, Architect, appeared and testified.

The following documents were presented:

1. Plans labeled "Renovations to The Crosby Residence" dated May 26, 2021 with the latest revision date of June 8, 2021 signed and sealed by William E. Pfaff, Architect. (1 pages).
2. Copy of survey.
3. A letter dated September 13, 2021 from the Rockland County Department of Planning signed by Douglas J. Schuetz, Acting Commissioner of Planning.
4. A letter dated August 23, 2021 from Rockland County Department of Health signed by Elizabeth Mello, P.E., Senior Public Health Engineer.
5. A letter dated September 27, 2021 from Rockland County Sewer District No.1 signed by Joseph LaFiandra, Engineer II.
6. A letter dated August 2, 2021 from Rockland County Highway Department signed by Dyan Rajasingham, Engineer III.

Mr. Sullivan, Chairman, made a motion to open the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

At the December 1, 2021 hearing William Pfaff, Architect testified that the required front yard is 50' and they are proposing a 21.2' front yard for the new entry; that the required side yard is 20' and the proposal is for 11.17' and 6.6' and the total side yard proposed is 11.15' that the lot is an

TOWN CLERK'S OFFICE
2022 JAN 12 A 9:37
TOWN OF ORANGETOWN

existing undersized lot in the R-40 zone and is located in the historic district; that the bilco doors are proposed to allow a more direct access to the basement; that presently the basement access is through a closet with steep steps down into it; that the basement is not living space; that the ceiling height is under seven feet and it has a dirt floor but all of the utilities are on the back wall of the basement; that the plans that he has have been revised and are not the same plans that the Board has; that he would like to request a continuance and talk to the client about moving the bulkhead and about additional parking on site.

Public Comment:

Diane Donnelly, 25 Closter Road, Palisades, submitted pictures of the applicants property and the ingress/ egress easement on her property to the Board; and she testified that she has concerns regarding the installation of the Bilco doors with only a six foot side yard to her property; that the easement is on that side of the Crosby house and the required side yard should be 20'; that she only has a 15' side yard and the Crosby property has a 12' side yard; that the previous owners subdivided the property and at that time the easement for ingress/egress was created and it is 10' wide and 70' long; that the Crosby property only has one parking space and they often park on the easement which is not permitted; that she is afraid that if the bilco doors are installed in that area they will not be able to access the one and only parking space and will block the easement; that she would request that the bilco doors be moved and that the applicant add more parking to their property; and that she is planning on adding a fence to her property.

The Board requested that the applicant correct the floor area ratio, address the location of the proposed bilco doors and investigate adding additional parking to the site.

REVISED TO REFLECT REVISED PLANS

ZBA#21-89: Application of Jennifer Crosby for variances from Zoning Code (Chapter 43) of the Town of Orangetown Code, R-40 District, Group E, Section 3.12, Columns 4 (Floor Area Ratio: 15% permitted, 16.7% proposed), 8 (Front Yard: (50' required, 21.2' proposed to new covered entrance steps), 9 (Side Yard: 20' required, 11.17' proposed to new entrance vestibule, 13.67' to north side new entrance stair and 5.9' to new basement bulkhead door) 10 (Total Side Yard: 40' required, 17.3' proposed) and (Section 5.12(a) & (e) Undersized Lot Applies Building Height: 20' permitted, 24'6" existing) for an addition to an existing single-family residence. The property is located at 23 Closter Road, Palisades, New York and is identified on the Orangetown Tax Map as Section 78.17, Block 2, Lot 24 in the R-40 zoning district.

The following items were submitted for review for the January 5, 2022 hearing:

1. Plans labeled "Renovations to The Crosby Residence" dated May 26, 2021 with the latest revision date of December 8, 2021 signed and sealed by William E. Pfaff, Architect. (1 pages).
2. Copy of survey.

At the January 5, 2021 hearing William Pfaff, Architect, appeared.

TOWN OF ORANGETOWN
2022 JAN 12 A 9:37
TOWN CLERK'S OFFICE

William Pfaff, Architect, testified that the revised plans are in answer to the concerns that were raised at the last meeting; that the increase in floor area ratio has been addressed and added to the bulk table; that the bilco door has been relocated and moved away from the existing parking on site; that the building height is 24'6" and is not changing; that the existing parking is not being reduced or increased; that he will agree to comply with the conditions of the letter dated September 13, 2021 from Rockland County Department of Planning.

Public Comment:

Diane Donnelly, 25 Closter Road, Palisades, stated that there is still only parking for one car on the lot; that instead of decking in the rear of the house, they should add parking to avoid parking on the easement; that it would be easier to do that now than to have to call the police for the easement being blocked.

The Board sympathized with the neighbor, but because the situation is not being made worse, they could not force the applicant to add parking.

On advice of Dennis Michaels, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Ms. Castelli moved for a Board determination that the foregoing application is a Type II action exempt from the State Environmental Quality Review Act (SEQRA), pursuant to SEQRA Regulations §617.5 (c) (11), (12), (16) and/or (17); which does not require SEQRA environmental review. The motion was seconded by Mr. Valentine and carried as follows: Mr. Bonomolo, aye; Mr. Valentine ; and Ms. Castelli, aye. Mr. Sullivan, Mr. Bosco and Mr. Quinn were absent.

The Board members made personal inspections of the premises the week before each meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Ms. Castelli made a motion to close the Public Hearing which motion was seconded by Mr. Valentine and carried unanimously.

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing all the documents submitted, the Board found and concluded that the benefits to the applicant if the variance(s) are granted outweigh the detriment (if any) to the health, safety and welfare of the neighborhood or community by such grant, for the following reasons:

1. The requested floor area ratio, front yard, side yard, total side yard and building height variances as modified will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. The Board acknowledged the undersized lot and noted that similar additions have been constructed in the neighborhood.

TOWN CLERK'S OFFICE
JAN 12 4 37
TOWN OF ORANGETOWN

2. The requested floor area ratio, front yard, side yard, total side yard and building height variances as modified will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. The Board acknowledged the undersized lot and noted that similar additions have been constructed in the neighborhood.
3. The benefits sought by the applicant cannot be achieved by other means feasible for the applicant to pursue other than by obtaining variances.
4. The requested floor area ratio, front yard, side yard, total side yard and building height variances as modified although somewhat substantial, and affords benefits to the applicant that are not outweighed by the detriment, if any, to the health, safety and welfare of the surrounding neighborhood or nearby community. The Board acknowledged the undersized lot and noted that similar additions have been constructed in the neighborhood.
5. The applicant purchased the property subject to Orangetown's Zoning Code (Chapter 43) and is proposing a new addition and/or improvements, so the alleged difficulty was self-created, which consideration was relevant to the decision of the Board of Appeals, but did not, by itself, preclude the granting of the area variance.

DECISION: In view of the foregoing and the testimony and documents presented, the Board **RESOLVED** that the application for the requested floor area ratio, front yard, side yard, total side yard, and building height variances are **APPROVED**; and the Undersized lot is acknowledged; and **FURTHER RESOLVED**, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

General Conditions:

(i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.

(ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.

(iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.

TOWN CLERK'S OFFICE
JAN 12 4 37
TOWN OF ORANGETOWN

(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.


(v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

The foregoing resolution to approve the application for the requested 16.7% floor area ratio, 21.2' front yard, 11.17', 13.67' & 5.9' side yards, 17.3' total side yard and 24' 6" building height variances are APPROVED and the undersized lot is acknowledged; was presented and moved by Mr. Bonomolo, seconded by Ms. Castelli and carried as follows: Mr. Valentine, aye; Mr. Bonomolo, aye; and Ms. Castelli, aye. Mr. Quinn, Mr. Sullivan and Mr. Bosco were absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: January 5, 2022

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
Deborah Arbolino
Administrative Aide

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR-G.M.

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
MGMT. and ENGINEERING
FILE.ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

TOWN CLERK'S OFFICE
2022 JAN 12 A 9:37
TOWN OF ORANGETOWN

Addition and Renovations to the Residence of Jennifer Crosby

23 Closter Road Palisades, NY 10964

pfaff architects
Upper Nyack, NY 10960
www.pfaffarchitects.com
845.358.1119

Member of
The American Institute of Architects
LEED Accredited Professional

GENERAL NOTES

- SCOPE OF WORK: PROVIDE ALL MATERIALS, LABOR, EQUIPMENT AND APPLIANCES TO PERFORM ALL WORK REQUIRED FOR CONSTRUCTION OF THE ADDITION AND RENOVATIONS TO THE RESIDENCE OF JENNIFER CROSBY AT 23 CLOSTER ROAD, PALISADES, NY IN ACCORDANCE WITH THESE DRAWINGS AND SPECIFICATIONS, AND THE EXISTING SITE CONDITIONS.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ZONING CODE OF THE TOWN OF ORANGETOWN, THE RESIDENTIAL CODE OF N.Y. STATE, THE ENERGY CONSERVATION CONSTRUCTION CODE OF N.Y. STATE, AND ALL AUTHORITIES HAVING JURISDICTION, INCLUDING THE TOWN OF ORANGETOWN BUILDING DEPARTMENT.
- ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS. ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, THE N.F.P.A., THE NY BOARD OF FIRE UNDERWRITERS, THE LOCAL UTILITY COMPANY REQUIREMENTS, AND SHALL BE SUBJECT TO THE APPROVAL OF THE ELECTRICAL INSPECTOR.
- PLUMBING WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS. ALL PLUMBING WORK SHALL CONFORM WITH THE LOCAL HEALTH DEPARTMENT REQUIREMENTS AND SHALL BE SUBJECT TO THE APPROVAL OF THE PLUMBING INSPECTOR.
- BEFORE COMMENCING WORK THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE TOWN OF ORANGETOWN BUILDING DEPARTMENT AND OBTAIN AND PAY FOR ALL REQUIRED PERMITS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE REQUIREMENTS OF THE TOWN OF ORANGETOWN, AND SHALL SCHEDULE, OBTAIN AND PAY FOR ALL PERMITS, INSPECTIONS AND APPLICABLE FEES.
- THE CONTRACTOR AND ANY SUBCONTRACTORS DOING WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ALL ACCIDENTS OF ANY KIND AND PROVIDE THE OWNER WITH CERTIFICATE OF SAID INSURANCE. THE CONTRACTOR SHALL CARRY WORKMENS COMPENSATION INSURANCE ON ALL WORKMEN EMPLOYED ON THE JOB.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY UTILITIES, CLOSURES, SHORING, AND PROTECTION REQUIRED FOR THE SAFE COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
- THE ARCHITECT HAS NOT BEEN RETAINED FOR CONSTRUCTION ADMINISTRATION SERVICES, INSPECTIONS, OR THE APPROVAL OF SHOP DRAWINGS. HIS RESPONSIBILITY IS STRICTLY LIMITED TO THE CONTENTS OF THESE DRAWINGS AND THEIR RELATED SPECIFICATIONS.
- THE CONTRACTOR SHALL INSTALL ALL MATERIALS, ITEMS, ACCESSORIES, AND INCIDENTALS AS SHOWN IN THESE DRAWINGS AND SPECIFICATIONS. ALL MATERIALS SHALL BE NEW, UNLESS AUTHORIZED BY THE OWNER.
- ALL WORK THAT IS IMPLIED OR REASONABLY INFERRABLE FROM THE DRAWINGS AND SPECIFICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE INCLUSION OF ANY WORK BY MENTION, NOTE, DETAIL, ITEMIZATION OR IMPLICATION, HOWEVER BRIEF, MEANS THAT THE CONTRACTOR SHALL FURNISH AND INSTALL SAME. ALL WORK SHALL INCLUDE ANY APPURTENANCES AND APPARATUS NORMALLY DEEMED TO BE PART OF A COMPLETED PACKAGE WITHIN THE DEFINITIONS OF NORMAL CONSTRUCTION INDUSTRY STANDARDS. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- ROOM DIMENSIONS, AS SHOWN ON THE DRAWINGS, ARE APPROXIMATE TO ONE INCH.
- THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL APPLY FOR A CERTIFICATE OF OCCUPANCY AND SHALL ARRANGE FOR THE BUILDING DEPARTMENT INSPECTIONS AND SIGN-OFFS REQUIRED TO OBTAIN A CERTIFICATE OF OCCUPANCY FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT.
- MANUFACTURED ARTICLES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS IN ALL CASES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONDITION THAT IS IN CONFLICT WITH THE MANUFACTURER'S SPECIFICATIONS OR INSTRUCTIONS, OR THAT MIGHT VOID A MANUFACTURER'S WARRANTY.
- THE CONTRACTOR SHALL PROVIDE TO THE OWNER GUARANTEE IN A FORM APPROVED BY THE OWNER WHICH SHALL COVER ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER.
- THE CONTRACTOR SHALL ASSEMBLE IN A BINDER AND PASS ALONG TO THE OWNER ALL EQUIPMENT AND MATERIAL WARRANTIES THAT MAY EXTEND THE BASE GUARANTEE PERIOD, AS WELL AS INSTALLATION AND MAINTENANCE INSTRUCTIONS.
- EXTERIOR JOINTS AROUND ALL WINDOWS, DOOR FRAMES, UTILITY SERVICES, AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE PROPERLY CAULKED, FLASHED, AND WEATHERSTRIPPED AS PER GENERALLY ACCEPTED CONSTRUCTION STANDARDS AND THE REQUIREMENTS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF N.Y. STATE.

PLUMBING NOTES

- BEFORE PROCEEDING WITH ANY WORK THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE THAT THE EXISTING PLUMBING SYSTEM IS FULLY FUNCTIONAL AND OF SUFFICIENT CAPACITY TO MEET THE REVISED REQUIREMENTS OF THE NEW WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, LAYOUT, AND INSTALLATION OF THE PLUMBING SYSTEM. ALL WORK SHALL BE APPROVED BY THE OWNER BEFORE IT IS BEGUN, AND ALL WORK SHALL CONFORM WITH THE LOCAL HEALTH DEPARTMENT REQUIREMENTS AND BE SUBJECT TO THE APPROVAL OF THE PLUMBING INSPECTOR.

HEATING SYSTEM NOTES

- BEFORE PROCEEDING WITH ANY WORK THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE THAT THE EXISTING HEATING AND AIR CONDITIONING SYSTEM IS FULLY FUNCTIONAL AND OF SUFFICIENT CAPACITY TO MEET THE REVISED REQUIREMENTS OF THE NEW WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, LAYOUT, AND INSTALLATION OF THE HEATING AND AIR CONDITIONING SYSTEM INCLUDING ALL HVAC SYSTEM UNITS, CONTROLS, CONTROL WIRING, POWER WIRING, DUCT WORK, AND REGISTERS. ALL WORK SHALL BE APPROVED BY THE OWNER BEFORE IT IS BEGUN, AND ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE N.Y. STATE ENERGY CONSERVATION CONSTRUCTION CODE.

ELECTRICAL NOTES

- BEFORE PROCEEDING WITH ANY WORK THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE THAT THE EXISTING ELECTRICAL SYSTEM IS FULLY FUNCTIONAL AND OF SUFFICIENT CAPACITY TO MEET THE REVISED REQUIREMENTS OF THE NEW WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, LAYOUT, AND INSTALLATION OF THE ELECTRICAL SYSTEM INCLUDING SIZING THE ELECTRICAL SERVICE. ALL WORK SHALL BE APPROVED BY THE OWNER BEFORE IT IS BEGUN, AND ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, THE N.F.P.A., THE NY BOARD OF FIRE UNDERWRITERS, THE LOCAL UTILITY COMPANY REQUIREMENTS, AND SHALL BE SUBJECT TO THE APPROVAL OF THE ELECTRICAL INSPECTOR.
- THE CONTRACTOR SHALL FURNISH AND INSTALL ELECTRIC OUTLETS, SWITCHES, LIGHT FIXTURES, LAMPS, AND ALL RELATED WORK. REVIEW ALL LIGHT FIXTURES WITH THE OWNER BEFORE ORDERING.
- THE NEW ELECTRIC WORK WIRING SHALL BE DESIGNED TO NOT EXCEED 1200 WATTS ON ANY CIRCUIT. CIRCUITS FOR LIGHTING SHALL NOT INCLUDE ANY RECEPTACLES. ANY SWITCHED DUPLEX RECEPTACLES SHALL HAVE ONLY ONE CONNECTION TO THE SWITCH AND ONE TO REMAIN LIVE.

STRUCTURAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE RESIDENTIAL CODE OF N.Y. STATE AND THE TOWN OF ORANGETOWN BUILDING DEPARTMENT.
- ALL WORK SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS, NOTES, AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROPERLY SHORE, BRACE, AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY AS JOB CONDITIONS REQUIRE.
- ALL CONCRETE SHALL BE STONE CONCRETE. MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI. ALL FOUNDATION CONCRETE AND GARAGE FLOOR SLABS SHALL BE AIR-ENTRAINED. INSTALLATION SHALL BE IN ACCORDANCE WITH ACI 301 SPECIFICATIONS FOR CONCRETE FOR BUILDINGS.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 AND TO THE AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS. BOLTS SHALL BE 3/4" DIAMETER UNFINISHED BOLTS CONFORMING TO ASTM A193, UNLESS OTHERWISE NOTED.
- ALL REINFORCING SHALL BE DEFORMED BILLET STEEL BARS CONFORMING TO ASTM A615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.
- WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS. WELDING ELECTRODES SHALL BE A51 A233, CLASS E70XX.
- ALL FRAMING LUMBER AND DETAILS OF WOOD CONSTRUCTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENINGS (INCLUDING SUPPLEMENT NO.1). ALL NEW FRAMING LUMBER SHALL BE GRADE MARKED AT THE MILL AND SHALL BE SURFACED DRY. NEW JOISTS SHALL COMPLY WITH PS-20-70 FOR SIZES.
- ALL WOOD STUDS, SILLS, POSTS, BEAMS, JOISTS AND RAFTERS SHALL MEET THE FOLLOWING STRUCTURAL BASE DESIGN VALUES, IN CONFORMANCE WITH THE AMERICAN FOREST AND PAPER ASSOCIATION'S NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, AND AS GRADED BY THE WESTERN WOOD PRODUCTS ASSOCIATION (PORTLAND, OREGON) AND APPROVED BY THE AMERICAN LUMBER STANDARDS BOARD OF REVIEW.

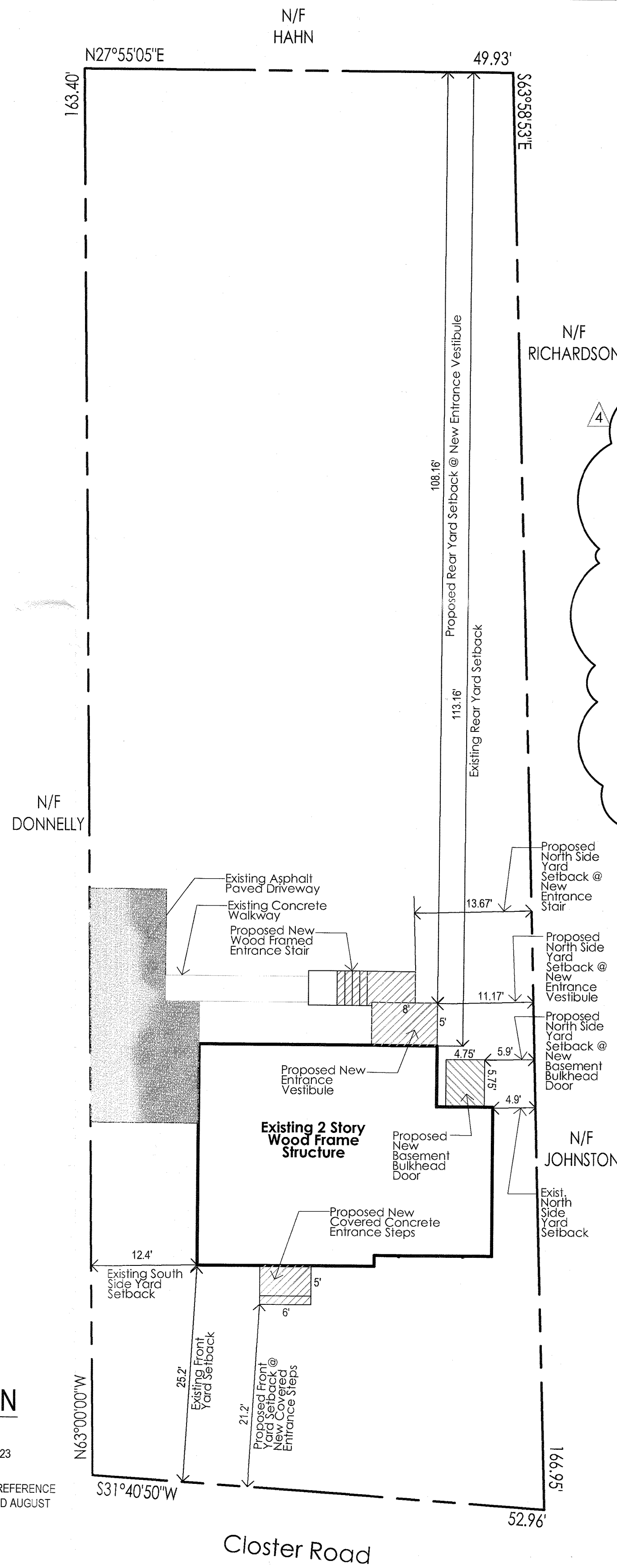
EXTREME FIBER STRESS IN BENDING (F _b):	1050 PSI
HORIZONTAL SHEAR STRESS (F _v):	85 PSI
MODULUS OF ELASTICITY (E):	1,500,000 PSI
- ALL STRUCTURAL LUMBER USED IN THE BUILDING SHALL BE SOUND LUMBER AND FREE FROM ROT, INSECT INFESTATION, LARGE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS.
- LINTELS OVER ALL WINDOWS, DOORS, AND WALL OPENINGS IN EXTERIOR WOOD STUD WALLS SHALL BE THREE (3) 2X12'S, AND IN INTERIOR WOOD STUD WALLS SHALL BE TWO (2) 2X12'S, EXCEPT WHERE OTHERWISE SPECIFICALLY NOTED.
- STUD WALLS SHALL HAVE A SINGLE PLATE ON THE BOTTOM AND A DOUBLE PLATE ON THE TOP OF EACH WALL OR PARTITION. LAP ALL PLATES AT CORNERS AND AT INTERSECTIONS OF PARTITIONS. ALL BEARING PARTITIONS SHALL HAVE ONE ROW OF SOLID BRIDGING AT MID-HEIGHT.
- SECURE ALL ROOF RAFTERS TO WALL TOP PLATES WITH SIMPSON #11 HURRICANE ANCHORS.
- ALL FRAMING MEMBERS NOTED AS TJI JOISTS OR LVL'S SHALL BE FACTORY MANUFACTURED GLUE LAMINATED WOOD TJI JOISTS, MICROLAM LVL'S, OR PARALLAM BEAMS AS MANUFACTURED BY TRUSJOIST MACMILLAN. THE CONTRACTOR SHALL STRICTLY FOLLOW THE MANUFACTURER'S REQUIREMENTS FOR FRAMING CONNECTIONS, BEARING LENGTH, NAILING PATTERN FOR MULTIPLE PIECES, SIDE LOADED CONNECTIONS FOR MULTIPLE MEMBER UNITS, ETC.
- DO NOT CUT AND PATCH STRUCTURAL FRAMING MEMBERS IN A MANNER THAT RESULTS IN A REDUCTION OF LOAD-CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. THE FOLLOWING RESTRICTIONS SHALL NOT BE EXCEEDED.
 - A. NOTCHES IN JOISTS: MAXIMUM 1/8 OF JOIST DEPTH, ONLY IN OUTER 1/4 OF JOIST SPAN. NOTCHES NOT PERMITTED IN MIDDLE HALF OF SPAN.
 - B. HOLES IN JOISTS: MAXIMUM DIAMETER OF 2 1/2", WITH EDGE OF HOLE NOT CLOSER THAN 2" TO TOP OR BOTTOM OF JOIST.
 - C. SEPARATION: NOTCHES OR HOLES SHALL BE SEPARATED FROM OTHER NOTCHES OR HOLES A MINIMUM OF 12" APART HORIZONTALLY BETWEEN THEIR NEAREST EDGES.
- ALL FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH APPROVED GALVANIZED STEEL JOIST OR BEAM HANGERS, MINIMUM 18 GAUGE, INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- WHERE FRAMING LUMBER IS FLUSH TO MICROLAM, STEEL, OR FLITCH PLATE GIRDERS, SET THESE GIRDERS 1/2" CLEAR BELOW TOP OF FRAMING LUMBER TO ALLOW FOR SHRINKAGE.
- STUD BEARING WALLS ARE TO BE 2X4'S @ 16" O.C. AT THE INTERIOR AND 2X6'S @ 16" O.C. AT THE EXTERIOR.
- ALL RAFTERS AND JOISTS SHALL ALIGN DIRECTLY WITH STUDS BELOW, WHERE REQUIRED TO ACHIEVE THIS USE ADDITIONAL STUDS. INSTALL DOUBLE STUDS AT ENDS OF WALLS AND ENDS OF OPENINGS. INSTALL DOUBLE TRIMMERS AND HEADERS AT ALL FLOOR OPENINGS WHERE BEAMS ARE NOT DESIGNATED. INSTALL DOUBLE OR TRIPLE RAFTERS (AS SPECIFICALLY NOTED ON THE ROOF PLAN) AND DOUBLE CEILING JOISTS AROUND ALL SKYLIGHT OPENINGS.
- AT THE ENDS OF ALL BEAMS, HEADERS, AND GIRDERS PROVIDE A BUILT UP OR SOLID WOOD POST WHOSE WIDTH IS AT LEAST EQUAL TO THE WIDTH OF THE MEMBER IT IS SUPPORTING AND WHOSE DEPTH IS 4" AT INTERIOR WALLS AND 6" AT EXTERIOR WALLS.
- STAGGER ALL SPLICES A MINIMUM OF 32" INCHES.
- PLYWOOD SHALL BE APA GRADE STAMPED AND SHALL NOT EXCEED THE SPANS INTENDED FOR USE ON THE GRADE. STAMP ALL PLYWOOD SUBFLOORING SHALL BE SCREWED AND GLUED TO THE FLOOR JOISTS USING AN APA APPROVED ADHESIVE (B.F. GOODRICH PL400 OR EQUAL).

ARCHITECTURAL REFERENCE SITE PLAN

1" = 10'

TAX MAP DESIGNATION: SECTION 93.7 BLOCK 1 LOT 23

NOTE:
THE INFORMATION SHOWN ON THIS ARCHITECTURAL REFERENCE SITE PLAN IS BASED ON THE PROPERTY SURVEY DATED AUGUST 21, 2006 PREPARED FOR JENNIFER CROSBY BY:
RAYMOND E. HEINSMAN
PROFESSIONAL LAND SURVEYOR, PLLC
1830 SOUTH ROAD, UNIT 24
WAPPINGERS FALLS, NY 125909
NYS LICENSE NO. 049270



DRAWING LIST

DRAWINGS
A1 DRAWING LIST, CODE DATA, GENERAL NOTES, SITE PLAN, & VICINITY MAP
A2 FLOOR PLANS
A3 EXTERIOR BUILDING ELEVATIONS

PROJECT & ZONING DATA

ZONING CODE: ORANGETOWN ZONING CODE
STREET ADDRESS: 23 CLOSTER ROAD, PALISADES, NY 10964
TAX MAP DESIGNATION: SECTION 78.17 BLOCK 2 LOT 24
ZONING DISTRICT: R-40 LOW DENSITY RESIDENCE ZONE AND THE PALISADES HISTORIC AREAS DISTRICT

NOTES: THIS APPLICATION IS FOR THE PROPOSED INSTALLATION OF NEW COVERED MAIN ENTRANCE CONCRETE STEPS, NEW REAR ENTRANCE VESTIBULE, NEW REAR ENTRANCE WOOD FRAMED STAIR, AND A NEW BASEMENT BULKHEAD DOOR. VARIANCES ARE REQUIRED BY THIS APPLICATION.

BULK TABLE DATA FROM TOWN OF ORANGETOWN TABLE OF GENERAL BULK REGULATIONS

BULK REGULATIONS (GROUP E)	REQUIRED	EXISTING	PROPOSED	REMARKS
MAX. FLOOR AREA RATIO	.15	.162	.167	Variance Required ***
MIN. LOT AREA (SF)	40,000	8,477	No Change	Existing Non-Conforming
MIN. LOT WIDTH (Feet)	150	49.93	No Change	Existing Non-Conforming
MIN. FRONTAGE (Feet)	100	52.96	No Change	Existing Non-Conforming
REQD FRONT YARD (Feet)	50	25.2	21.2	Variance Required ***
REQD SIDE YARD (Feet)	20*	4.9 North Side Yard	11.17 North Side Yard Setback @ New Entrance Vestibule 13.67 North Side Yard Setback @ New Entrance Stair	Variance Required ***
			5.9 North Side Yard Setback @ New Basement Bulkhead Stair	Variance Required ***
REQD SIDE YARD (Feet)	20*	12.4 South Side Yard	No Change	Existing Non-Conforming
TOTAL SIDE YARD (Feet)	40*	17.3	No Change	Existing Non-Conforming
REQD REAR YARD (Feet)	50	113.16	108.16	Complies
MAX. BUILDING HEIGHT	20***	24'-6"	No Change	Existing Non-Conforming

*PER TOWN OF ORANGETOWN ZONING CODE SECTION 5.21(a)
**PER TOWN OF ORANGETOWN ZONING CODE SECTION 5.21(e)
***VARIANCE GRANTED BY THE TOWN OF ORANGETOWN ZONING BOARD OF APPEALS AT THE ZBA MEETING OF JANUARY 5, 2022.

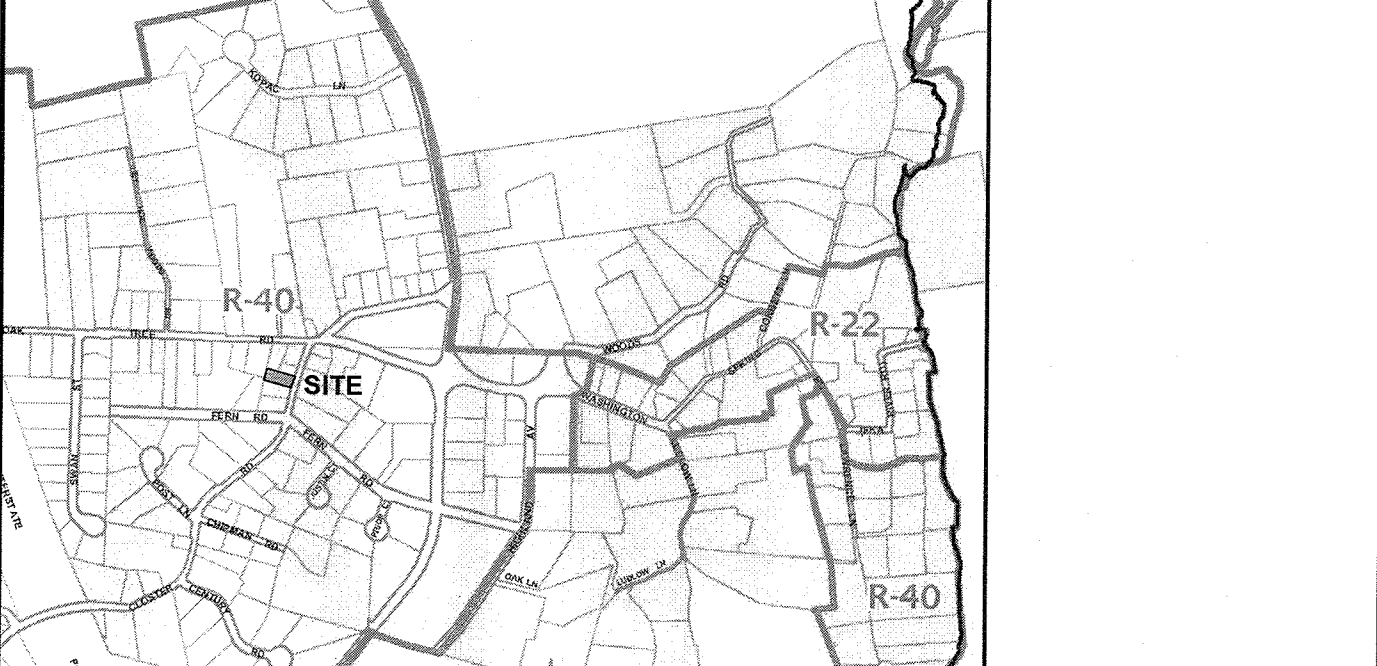
BUILDING CODE DATA

BUILDING CODE: THE 2018 RESIDENTIAL CODE OF N.Y. STATE
CONSTRUCTION TYPE: TYPE V (B) WOOD FRAME

DRAWING KEY

2 DETAIL TITLE SCALE: 1/8" = 1'-0"	1 DOOR NO. RE: DOOR SCHEDULE	1 DATUM / FLOOR ELEVATION MARKER	1 CONSTRUCTION KEY NOTE	1 NEW PARTITION
B BUILDING SECTION KEY	A WINDOW UNIT NO. RE: WINDOW SCHEDULE	2 WALL SECTION KEY	P1 EXISTING PARTITION TO REMAIN	
2 FRAMING NOTE	1 ELEVATION KEY	1 REVISION KEY	1 EXISTING PARTITION TO BE REMOVED	

LOCATION MAP



Project:
Renovations to The Crosby Residence
23 Closter Road
Palisades, NY 10964

Date:	Rev. No.:	Submission / Revision:
6/8/21	1	Bldg Dept Comments
10/14/21	2	ZBA Meeting
12/8/21	3	ZBA Meeting Comments
5/3/22	4	HABR Submission

Date: 3 May 2022



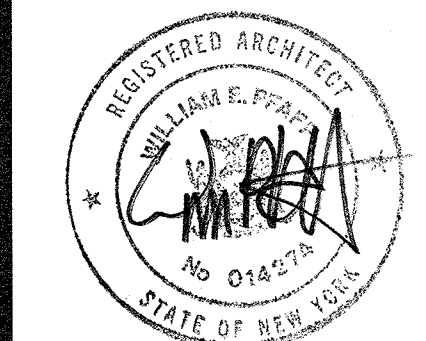
Drawing Title:
Drawing List, Code Data, General Notes, Site Plan, & Vicinity Map

Drawing Number:

A.1

Rev. No.	Submission / Revision:
Date: 12/8/21	Bldg Permit Submission
5/3/22	ZBA Meeting Comments
	HABR Submission

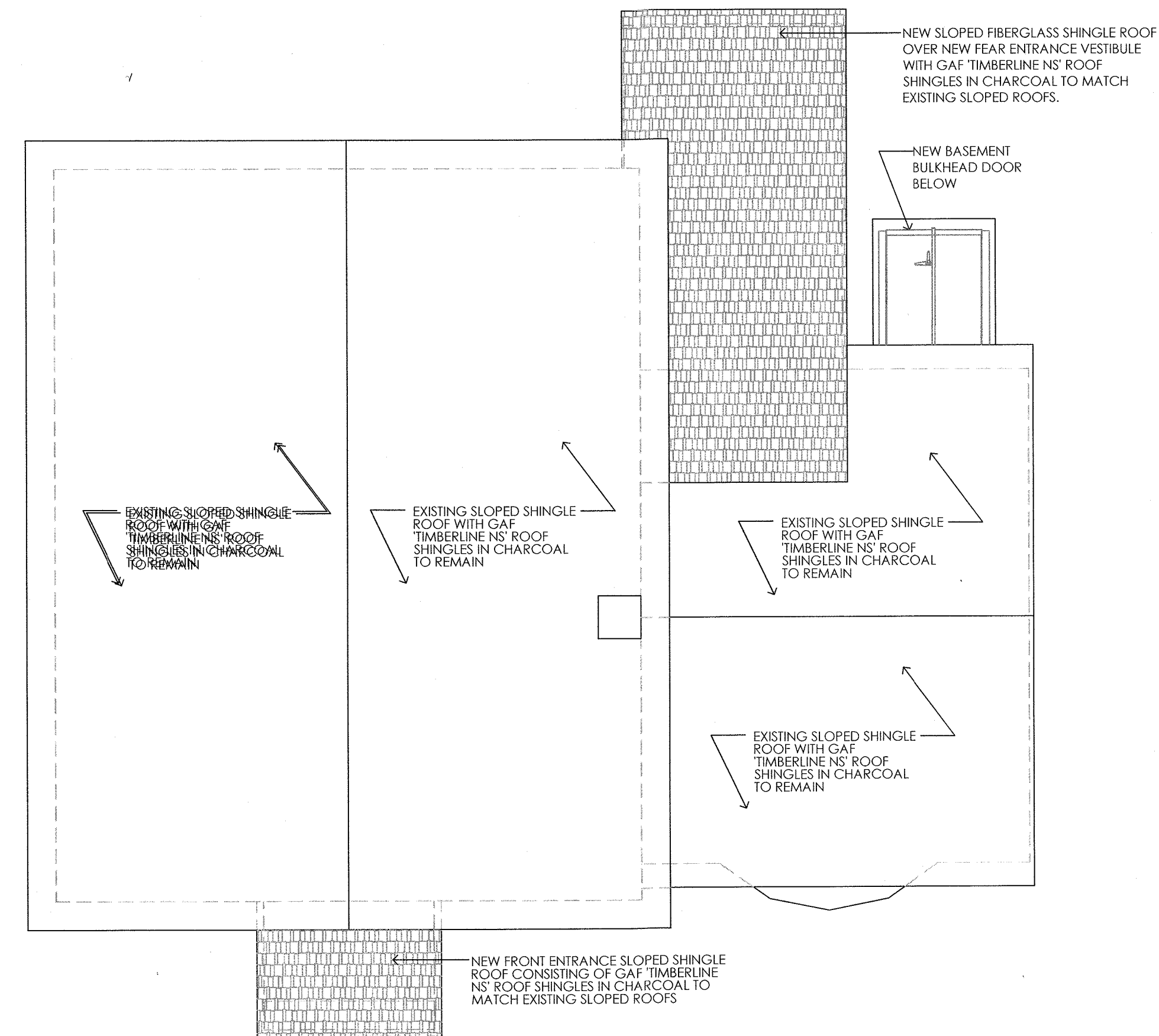
Date: 3 May 2022



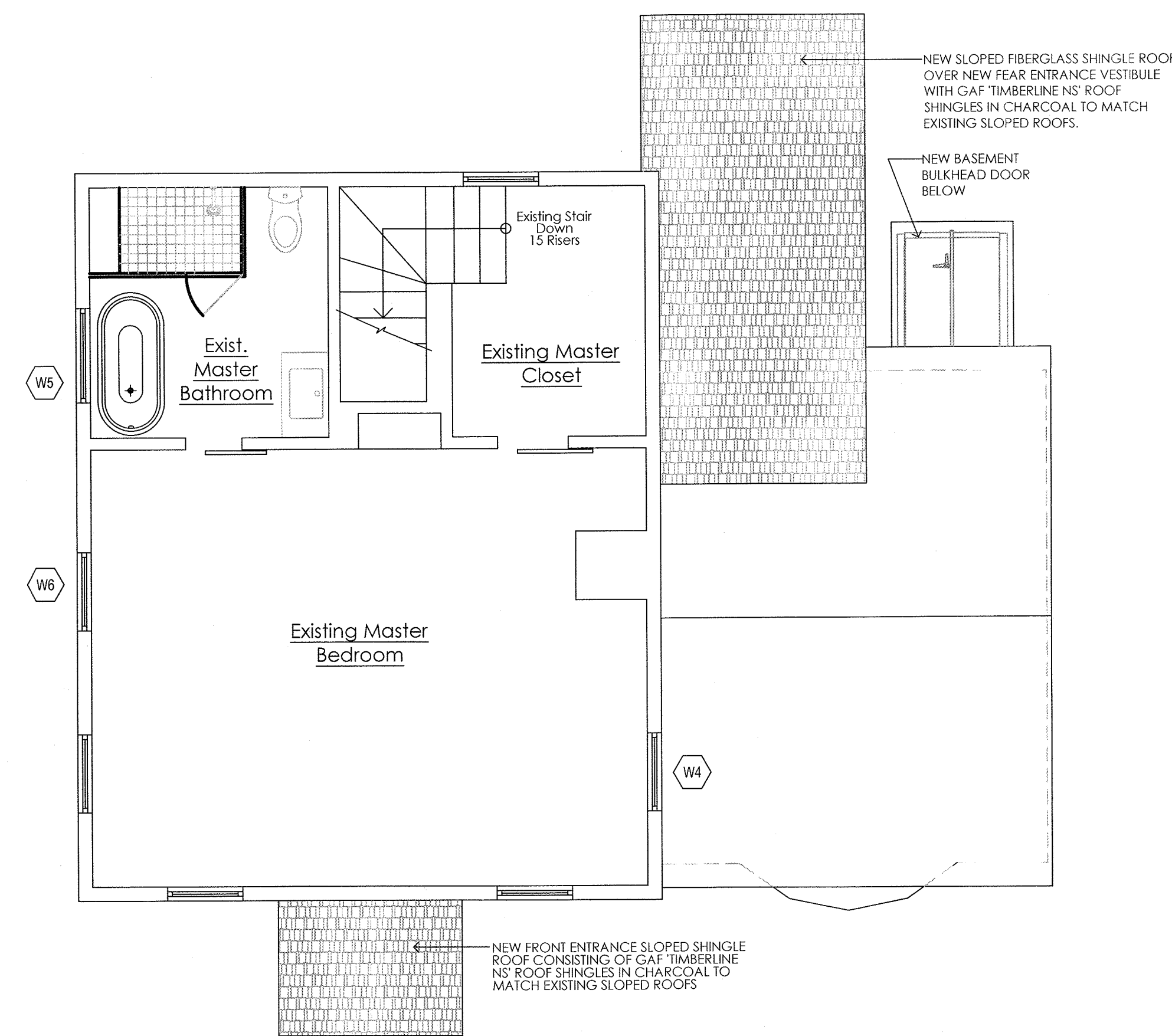
Drawing Title:
Floor Plans

Drawing Number:

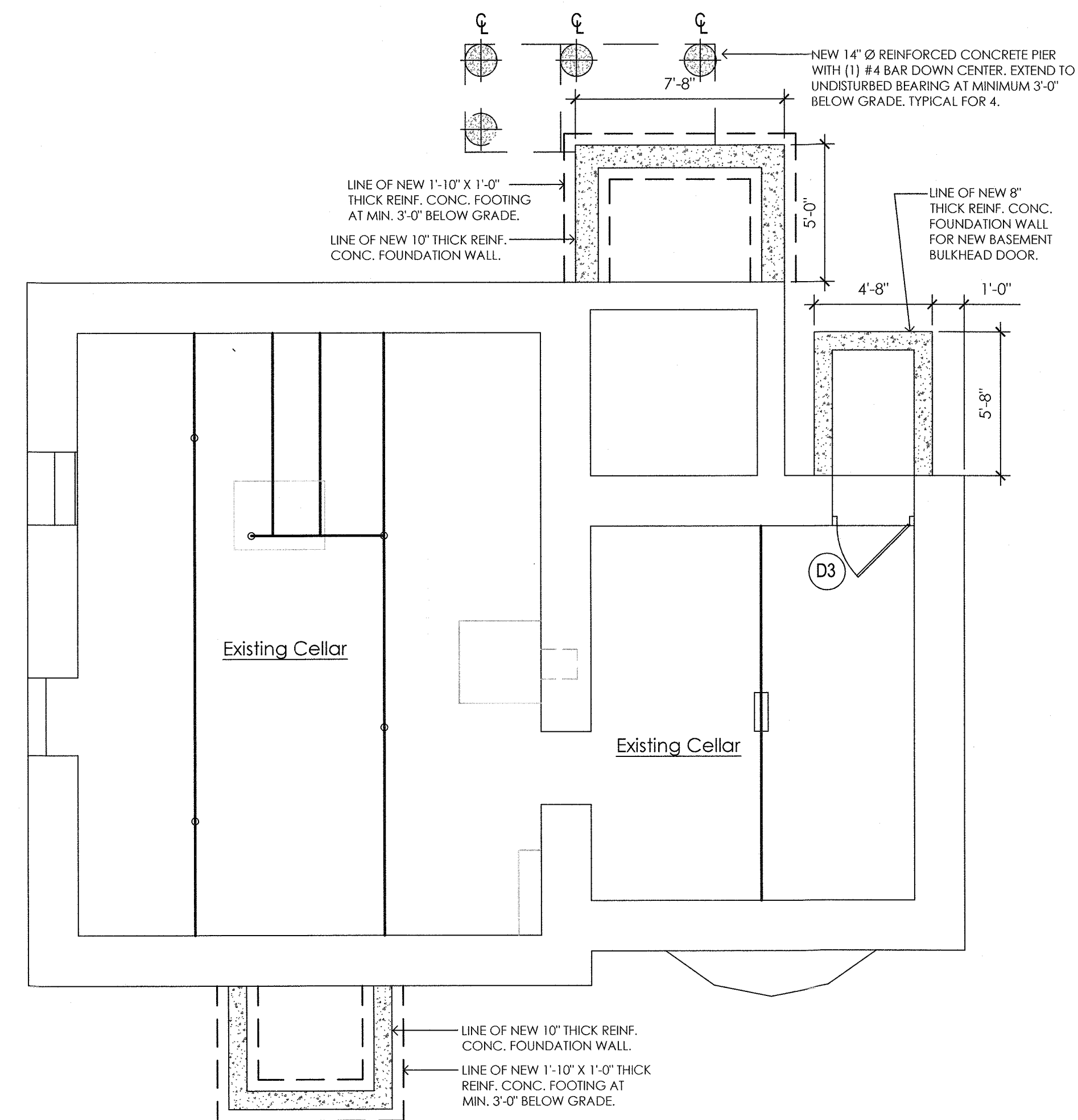
A.2



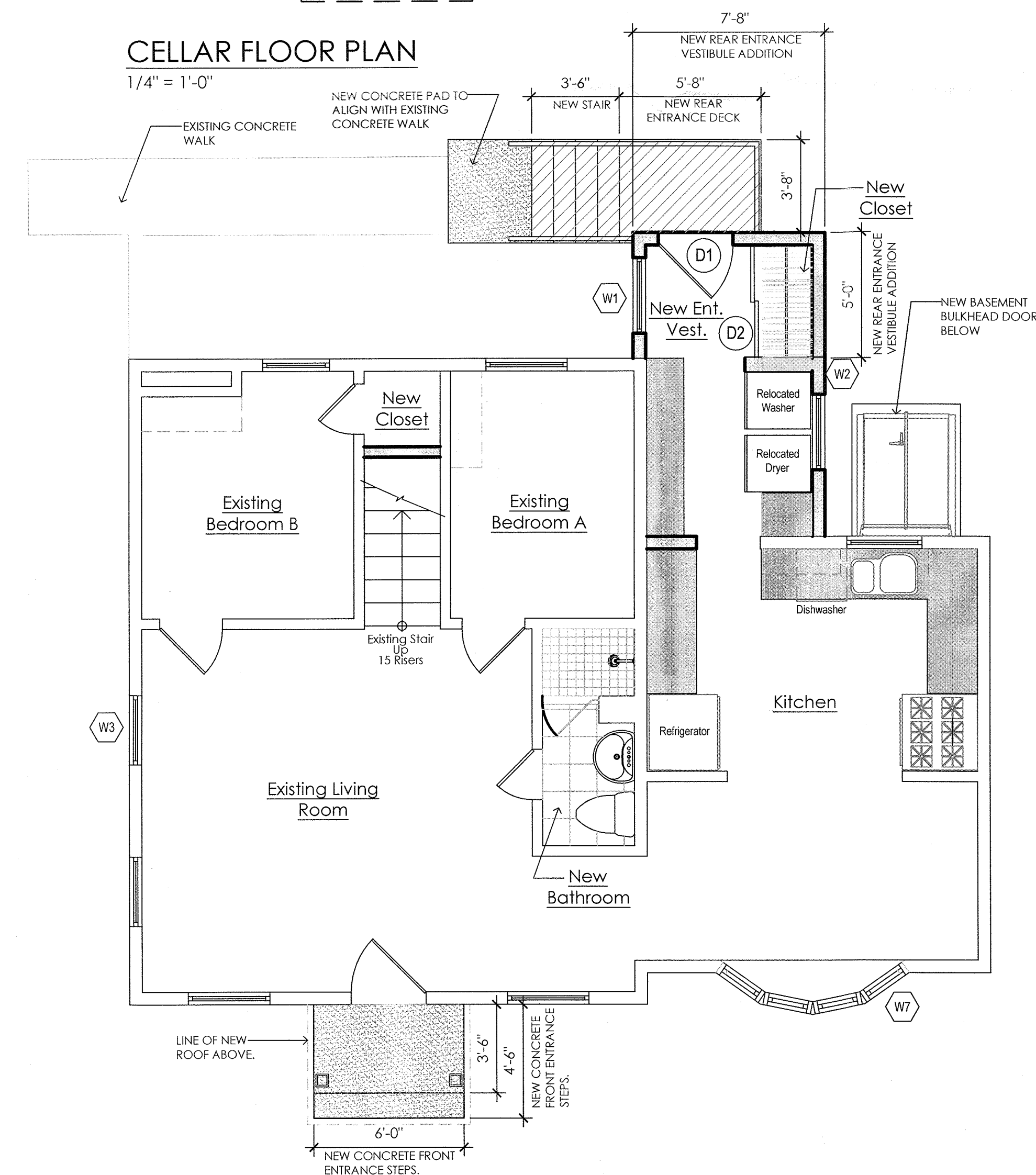
ROOF PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"



CELLAR FLOOR PLAN
1/4" = 1'-0"



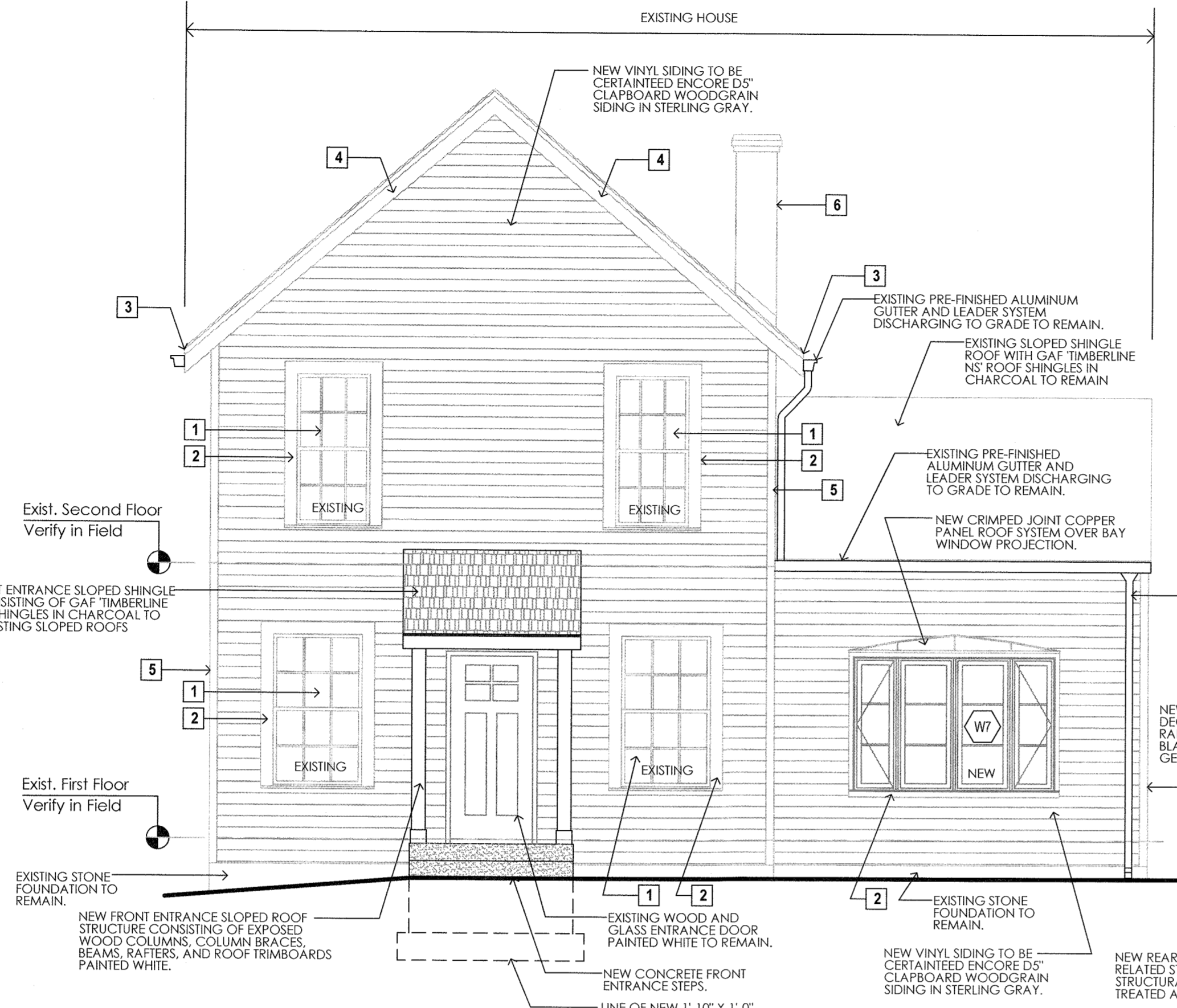
FIRST FLOOR PLAN
1/4" = 1'-0"

PROJECT GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE, THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE, THE ZONING CODE OF THE TOWN OF ORANGETOWN, AND ALL AUTHORITIES HAVING JURISDICTION, INCLUDING THE TOWN OF ORANGETOWN BUILDING DEPARTMENT.
- ALL HANDRAILS AND RAILINGS AT THE NEW REAR ENTRANCE DECK AND RELATED DECK STAIR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AS AMENDED TO DATE, SECTION R312 AS FOLLOWS:
ALL MAIN POSTS AND INTERMEDIATE RAILS SHALL BE SPACED SUCH THAT THEY DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER. AT THE STAIR, THE TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND BOTTOM RAIL AT THE OPEN SIDE OF THE STAIR SHALL BE SPACED SUCH THAT A SPHERE 6 INCHES OR MORE IN DIAMETER CANNOT PASS THROUGH.
- ALL HANDRAILS AND RAILINGS AT THE NEW REAR ENTRANCE DECK AND RELATED DECK STAIR SHALL BE WROUGHT IRON RAILINGS PRIMED AND FINISH PAINTED BLACK.
- THE EXTENT AND RUN OF THE NEW DECK STAIR AS SHOWN IS APPROXIMATE. VERIFY ACTUAL HEIGHT OF DECK TO GRADE TO ESTABLISH ACTUAL RUN AND RISER HEIGHT REQUIRED. DECK STAIR RISER HEIGHT SHALL NOT EXCEED 8".
- POST CAP ANCHORS TO BE **SIMPSON STRONG-TIE MODEL # BC52-3/6** POST CAPS WITH MFR'S "ZMAX" GALVANIZED FINISH. **NOTE:** VERIFY WITH THE POST BASE ANCHOR MFR. THAT THE CORROSION TREATMENT IS APPROVED FOR USE WITH THE PRESSURE TREATED WOOD BEING UTILIZED.
- POST BASE ANCHORS TO BE **SIMPSON STRONG-TIE MODEL # ABU44Z** POST BASE WITH MFR'S "ZMAX" GALVANIZED FINISH. **NOTE:** VERIFY WITH THE POST BASE ANCHOR MFR. THAT THE CORROSION TREATMENT IS APPROVED FOR USE WITH THE PRESSURE TREATED WOOD BEING UTILIZED.
- JOIST TO DROPPED BEAM CONNECTORS TO BE **SIMPSON STRONG-TIE H1 SEISMIC & HURRICANE TIES** WITH MFR'S "ZMAX" GALVANIZED FINISH. TYPICAL FOR ALL JOIST TO DROPPED BEAM CONNECTIONS. RE: DETAIL D/A3. **NOTE:** VERIFY WITH T/CONECTOR MFR. THAT THE CORROSION TREATMENT IS APPROVED FOR USE WITH THE PRESSURE TREATED WOOD BEING UTILIZED.
- STAIR POST BASE ANCHORS TO BE **SIMPSON STRONG-TIE MODEL # ABU44Z** POST BASE WITH MFR'S "ZMAX" GALVANIZED FINISH. **NOTE:** VERIFY WITH THE POST BASE ANCHOR MFR. THAT THE CORROSION TREATMENT IS APPROVED FOR USE WITH THE PRESSURE TREATED WOOD BEING UTILIZED. TYPICAL FOR 2.

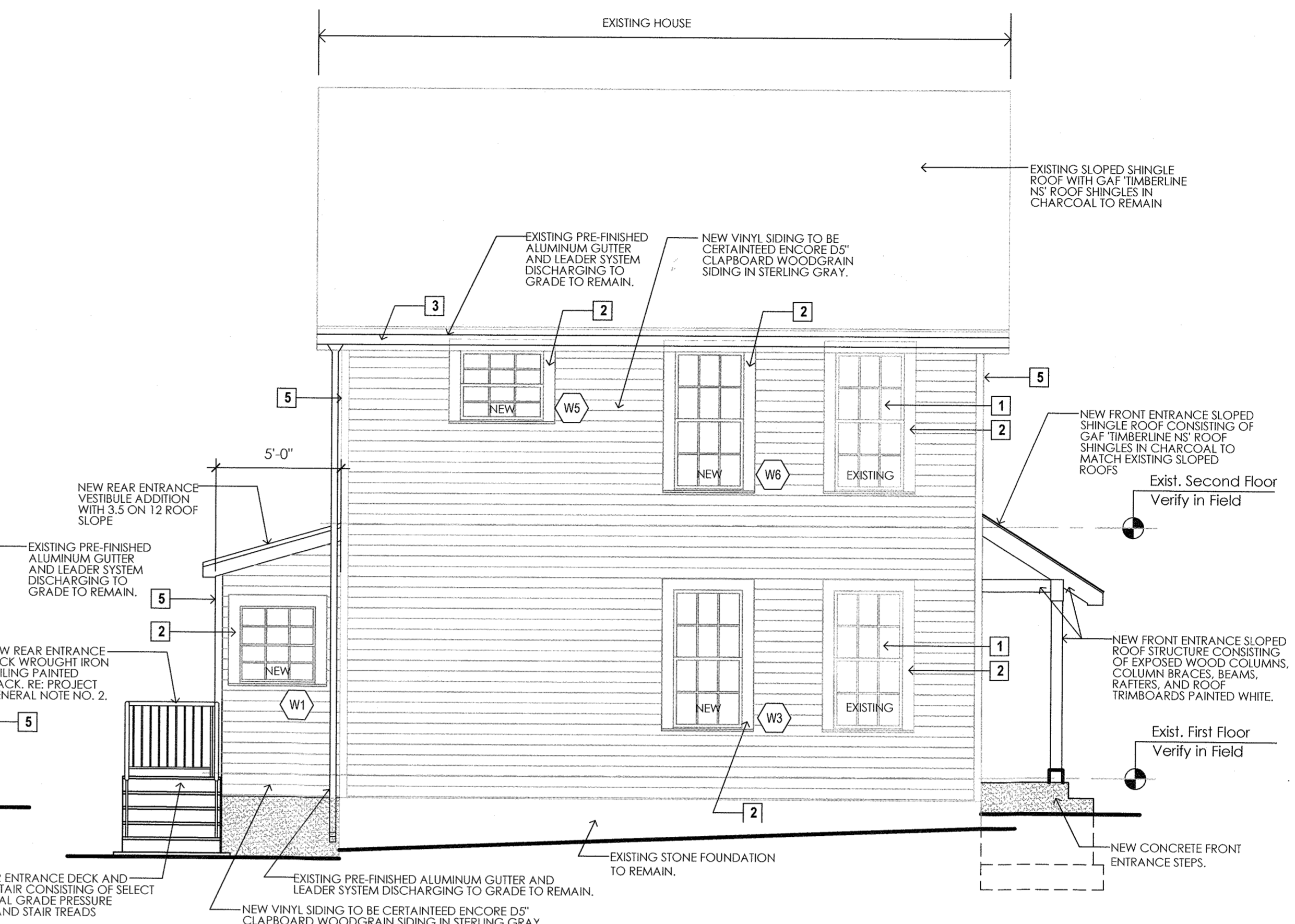
Construction Keynotes for Elevations

- EXISTING WOOD WINDOWS TO REMAIN. CLEAN, REPAIR WHERE REQUIRED, AND REPAINT WHITE WHERE REQUIRED.
- NEW 4" WIDE WHITE, PRE-FINISHED BRASS METAL TRIM. TYPICAL AT ALL EXISTING AND NEW WINDOWS.
- EXISTING PRE-FINISHED ALUMINUM FASCIA BOARD COVERING AND RELATED PRE-FINISHED ALUMINUM VENTED SOFFIT SYSTEM TO REMAIN.
- NEW PRE-FINISHED ALUMINUM FASCIA BOARD COVERING AND RELATED PRE-FINISHED ALUMINUM VENTED SOFFIT SYSTEM TO MATCH EXISTING PRE-FINISHED ALUMINUM FASCIA BOARD COVERING AND RELATED PRE-FINISHED ALUMINUM VENTED SOFFIT SYSTEM. EXTEND FULL LENGTH OF ROOF EAVE.
- NEW VINYL SIDING CORNER TRIMBOARD TO BE NOMINAL 3 1/2" CERTAINTED CORNER TRIM IN STERLING GRAY.
- CHIMNEY SCOPE OF WORK: REMOVE EXISTING STUCCO, REPAIR AND RE-POINT EXISTING CHIMNEY MASONRY, AND APPLY NEW STUCCO FINISH COAT TO CHIMNEY.



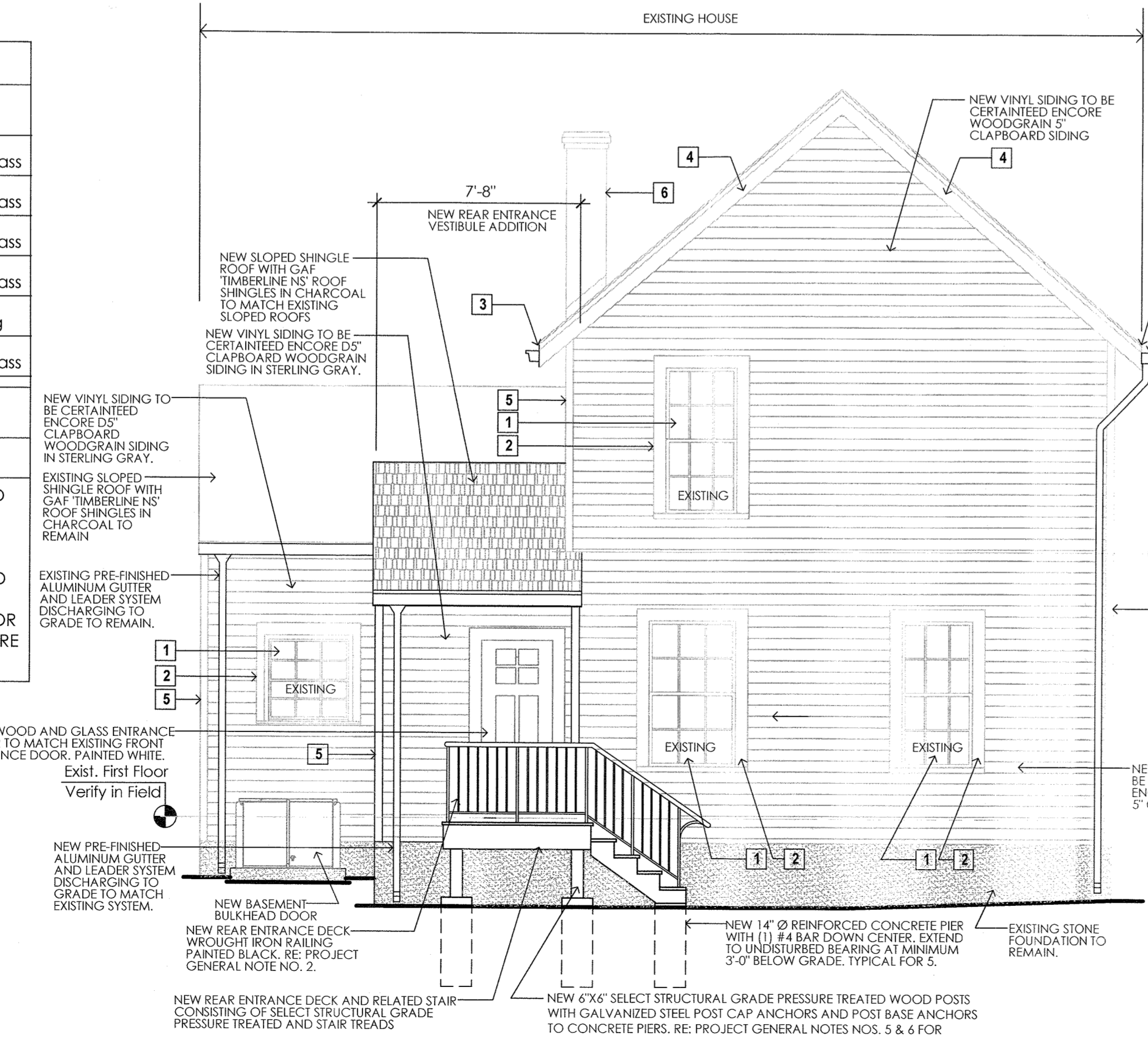
EAST ELEVATION

1/4" = 1'-0"



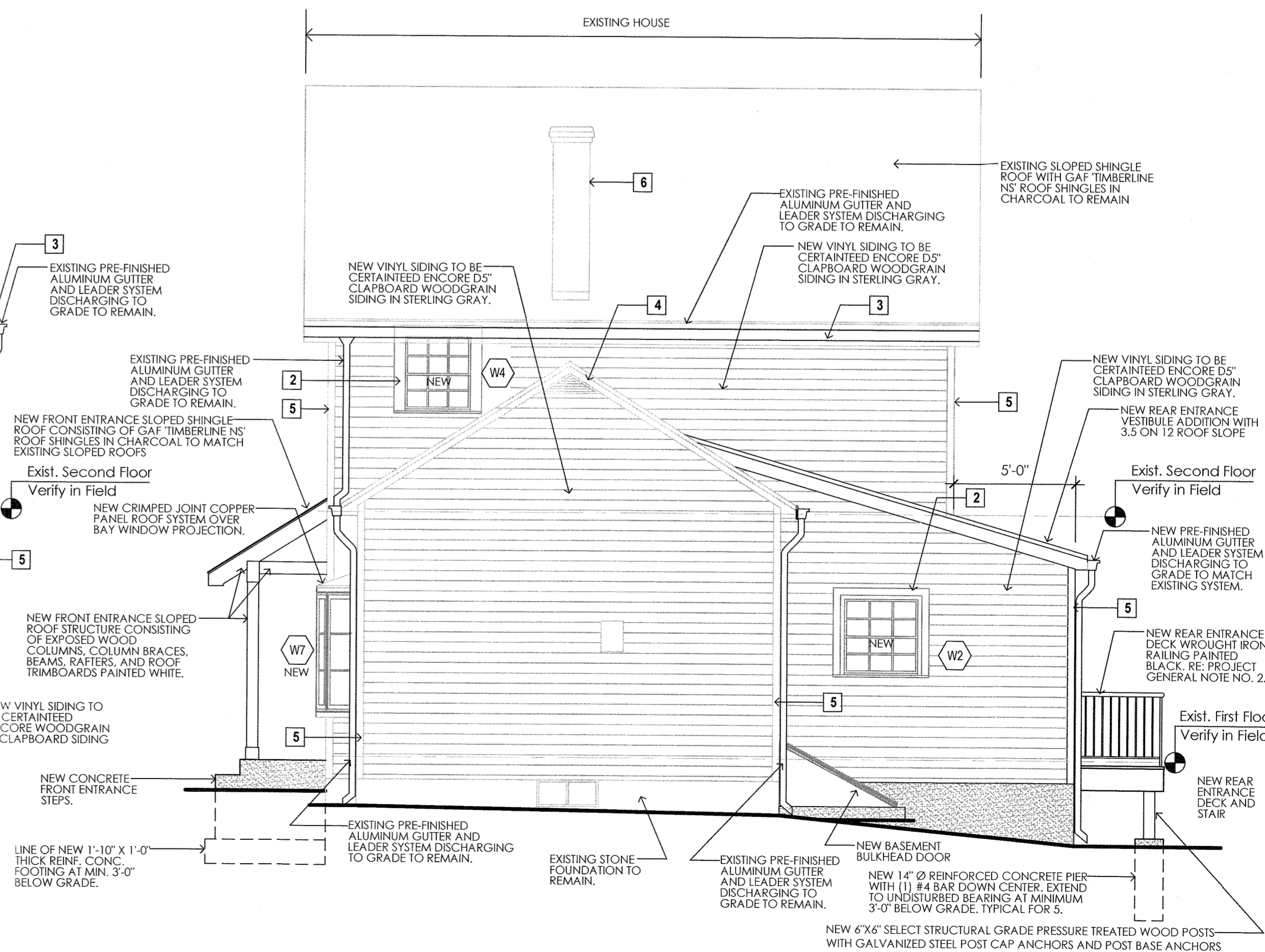
SOUTH ELEVATION

1/4" = 1'-0"



WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

WINDOW SCHEDULE				
NO.	ANDERSEN MODEL NO.	TYPE	NOMINAL UNIT SIZE (W x H)	REMARKS
W1	244DH3030	Double Hung Unit	3'-0" W x 3'-0" H	High-Performance Low-E4 Smart-Sun Glass
W2	244DH3030	Double Hung Unit	3'-0" W x 3'-0" H	High-Performance Low-E4 Smart-Sun Glass
W3	244DH2856	Double Hung Unit	2'-8" W x 5'-6" H	High-Performance Low-E4 Smart-Sun Glass
W4	244DH2830	Double Hung Unit	2'-8" W x 3'-0" H	High-Performance Low-E4 Smart-Sun Glass
W5	Existing	Double Hung Unit	3'-4" W x 2'-8" H	Existing Window Unit Behind Existing Siding
W6	244DH2856	Double Hung Unit	2'-8" W x 5'-6" H	High-Performance Low-E4 Smart-Sun Glass
NO.	PELLA MODEL NO.	TYPE	NOMINAL UNIT SIZE (W x H x Projection)	REMARKS
W7	Series 250 15" Bow	4 Unit Casement Bow Window	7'-0" W x 5'-0" H x 20" Projection	

- MODEL NOS. FOR WINDOW NOS. W1 - W6 ARE FOR SERIES 200 DOUBLE-HUNG CLAD WOOD WINDOWS AS MANUFACTURED BY ANDERSEN CORPORATION.
- MODEL NO. FOR WINDOW NO. W7 IS FOR SERIES 250 CASEMENT WOOD BOW WINDOW AS MANUFACTURED BY PELLA CORPORATION.
- REFER TO MFR'S DETAILS FOR EXACT UNIT SIZES, ROUGH OPENING DIMENSIONS, AND FRAMING REQUIREMENTS.
- VERIFY EXISTING WALL CONDITIONS AND COORDINATE WINDOW REQUIREMENTS FOR EXTENSION JAMBS. COORDINATE ALL FINAL WINDOW OPTIONS WITH OWNERS BEFORE ORDERING WINDOWS.

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10964

Rev. No.	Submission / Revision:
12/8/21	ZBA Meeting Comments
5/3/22	HABR Submission

Date: 3 May 2022



Drawing Title:
Exterior Building Elevations

Drawing Number:

A.3